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FILE: HP2023-021

June 7, 2023

Michael Isotti Pongetti
229 Locke Street South
Hamilton, ON
L8P 4B8

**Re: Heritage Permit Application HP2023-021:
Removal of window at 56 Charlton Avenue West, Hamilton (Charlton Hall)
(Ward 2) (By-law No. 15-152)**

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2023-021 is approved for the designated property at 56 Charlton Avenue West, Hamilton (Charlton Hall) in accordance with the submitted Heritage Permit Application for the following alterations:

- Removal and filling in of one oval window on the east elevation, including:
 - Infilling with brick to match the colour and size of the existing historic brick;
 - Masonry repairs to the bottom of the window opening;
 - The use of appropriate mortar, in accordance with the City's Masonry Restoration Guidelines; and,
 - Storage of the existing oval window to be removed on site in the basement, flat and elevated off the ground.

Subject to the following conditions:

- a) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- b) Implementation of the alterations, in accordance with this approval, shall be completed no later than June 30, 2025. If the alterations are not completed by June 30, 2025, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

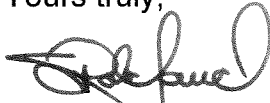
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Please note that this property is designated under Part IV of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions, please feel free to contact Lisa Christie, Cultural Heritage Planner, at 905-546-2424 ext. 1291 or via email at Lisa.Christie@hamilton.ca.

Yours truly,



Steve Robichaud, MCIP RPP
Director of Planning and Chief Planner

cc: Lisa Christie, Cultural Heritage Planner
Chantal Costa, Plan Examination Secretary
Laurie Smith, Plans Examiner
Matt Gauthier, Legislative Coordinator
Councillor Cameron Kroetsch, Ward 2