

Pilon, Janet

Subject: Urban Plan Official Plan Amendment re File UHOPA-22-002 - Objection

From: Carl Maragno

Sent: June 19, 2023 10:04 AM

To: clerk@hamilton.ca

Subject: Urban Plan Official Plan Amendment re File UHOPA-22-002 - Objection

Hello,

With regard to the above noted Urban Plan Official Plan Amendment, while I am not opposed to the construction of a new condo building, there is a concern regarding the proposed positioning of the garbage units.

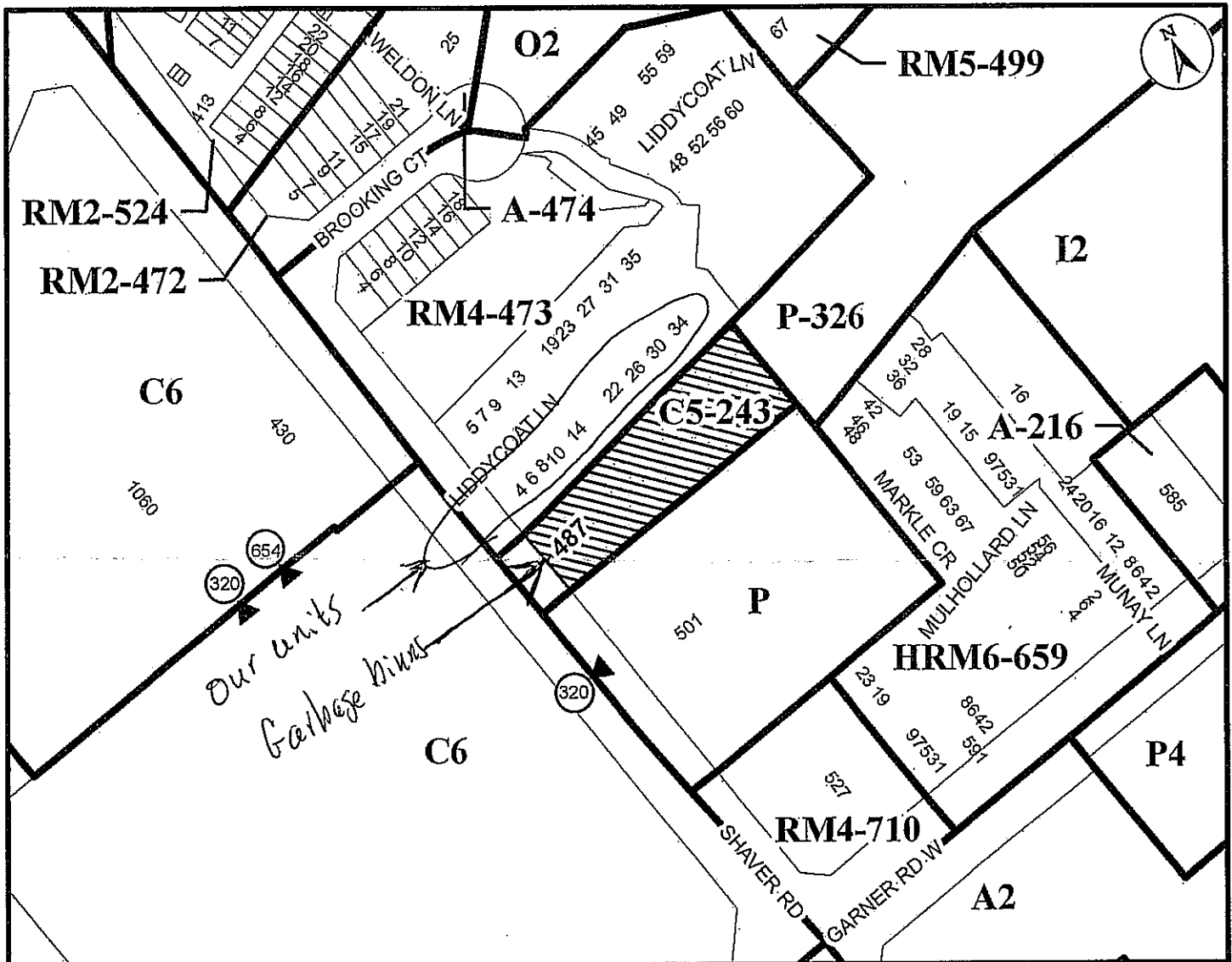
As noted in the attached Location Map for the proposed project, the shaded area labeled as C5-243 is immediately adjacent to our units [REDACTED]. This is where the garbage containers are to be located. I have also attached a picture showing the fence directly behind our unit [REDACTED]. It is very clear that if the garbage containers are indeed allowed to be placed in this location it will have a detrimental effect on not only our unit but those of our neighbours as well. Clearly there will be the constant smell of waste. Furthermore, this could very well have a negative impact on the property values of the units affected by the garbage units. Looking at the Location Map more closely, note that the garbage containers are proposed to be located at the far end of the proposed parking lot, significantly away from the new condo units. Of course placing the garbage units away from the new condos will enhance the opportunity to maximize sales and profits for the developer without regard for the effect that such placement will have on the values of our properties. Put another way, if it is my personal opinion that values may be hindered by the location of the garbage containers then it is very plausible to assume that potential buyers will be deterred from purchasing here due to the unattractiveness of having garbage containers directly behind our units thus greatly reducing enjoyment of using the backyard patios.

It is my suggestion that the developers change the location of the garbage containers or in fact eliminate them altogether and operate in a similar fashion to how our units are managed. We place our garbage, recycling, and compost inside appropriate containers in our garages and place them at curbside for pick up by local waste management once a week. Other condo corporations have designated interior waste collection rooms way from residential units where residents take their various waste materials and deposit them into the appropriate containers which are then picked up by waste management companies. In each case there are no unsightly garbage containers outside that take away from the attractiveness of the surrounding areas.

To suggest that trees, plants and other proposed maintenance measures will reduce the unattractiveness of these bins is simply masking the real problem.

We hope that these concerns are given serious consideration.

Thank you,
Carl Maragno



● Site Location

Location Map



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:
ZAC-22-005/UHOPA-22-002

Date:
March 8, 2023

Appendix "A"

Scale:
N.T.S

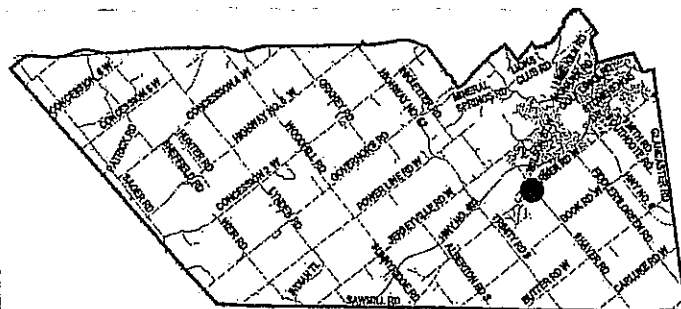
Planner/Technician:
MM/NB

Subject Property

487 Shaver Road, Ancaster (Ward 12)



Change in zoning from the Rural Commercial "C5-243" Zone, Modified to the Holding Residential Multiple "RM5-716" Zone, Modified



Key Map - Ward 12



