



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-23:161	SUBJECT PROPERTY:	142 ALPINE AVENUE, HAMILTON
ZONE:	“R1” (Low Density Residential)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended 22-197

APPLICANTS: **Owner:** ERIC CANTON
 Agent: THERESA LACHARITY

The following variances are requested:

1. A maximum ground floor area of 67 square metres (84%) for an Additional Dwelling Unit - Detached shall be provided instead of the maximum required ground floor area of 56 square metres (70%) for an Additional Dwelling Unit - Detached

PURPOSE & EFFECT: So as to permit the construction of a Additional Dwelling Unit Detached within the rear yard of an Existing Single Detached Dwelling notwithstanding that:

Notes:

- i) Be advised, insufficient information has been provided to determine the projection of the eaves and gutter of the Additional Dwelling Unit – Detached into the required rear and side yard. Should the eaves and gutter exceed the permitted projection of 0.3 metres into a rear or side yard, as per Section 19.(1).2(vi)(a) of Hamilton Zoning By-Law 6593, additional variances may be required.
- ii) Be advised, parking requirements pertaining to the existing Single Detached Dwelling have not been provided. It is noted that the 1.0 metre unobstructed path is indicated along the Easterly lot line and within the existing driveway. Should this result in a reduction to the size or number of existing parking spaces, parking space requirements as per Section 15.1.2.1 h)ii) and Section 5) of Hamilton Zoning By-Law 05-200 shall apply. As such, should the existing spaces no longer be provided, a minimum of three (3) parking spaces shall be required; two (2) for the existing Single Detached Dwelling and one (1) for the proposed Additional Dwelling Unit – Detached.
- iii) Note, insufficient information has been provided to determine the 12m² landscaped area within the rear yard, required as per Section 4.33.2 (b)(k) of Hamilton Zoning By-Law 05-200 and 19.(1).2(xii)

HM/A-23:161

of Hamilton Zoning By-Law 6593. Should the 12 m2 landscaping not be provided, additional variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, July 13, 2023
TIME:	9:40 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:161, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: June 27, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

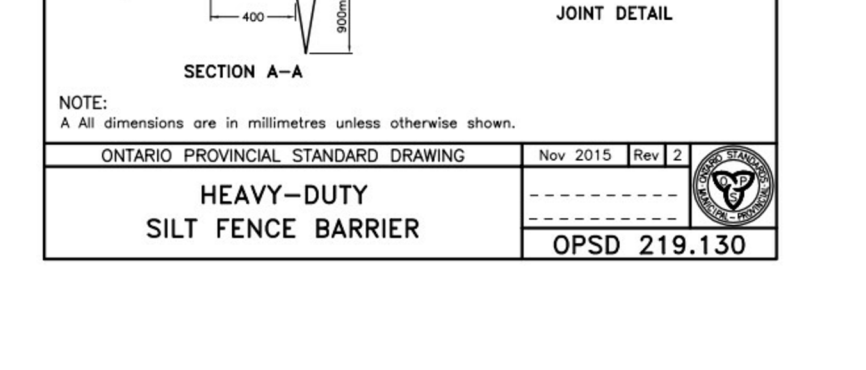
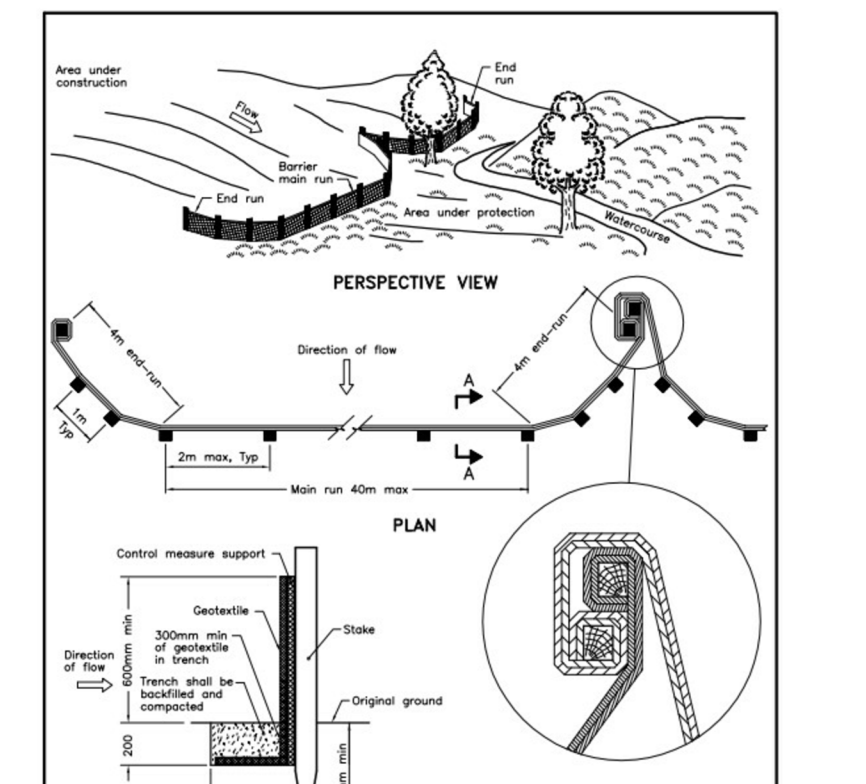
We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

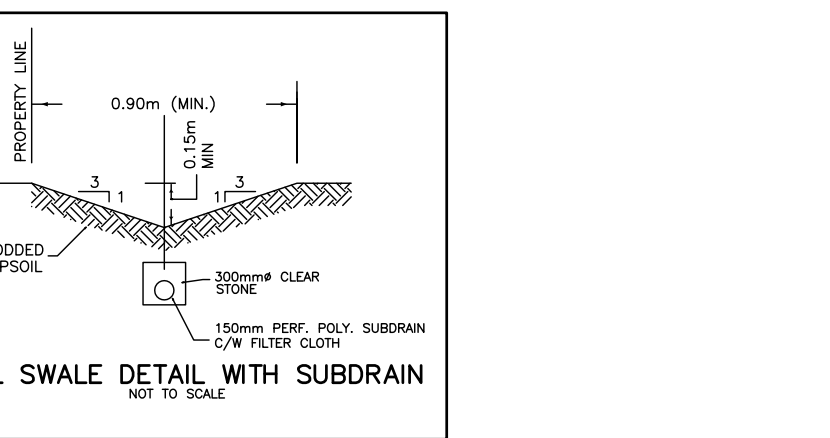
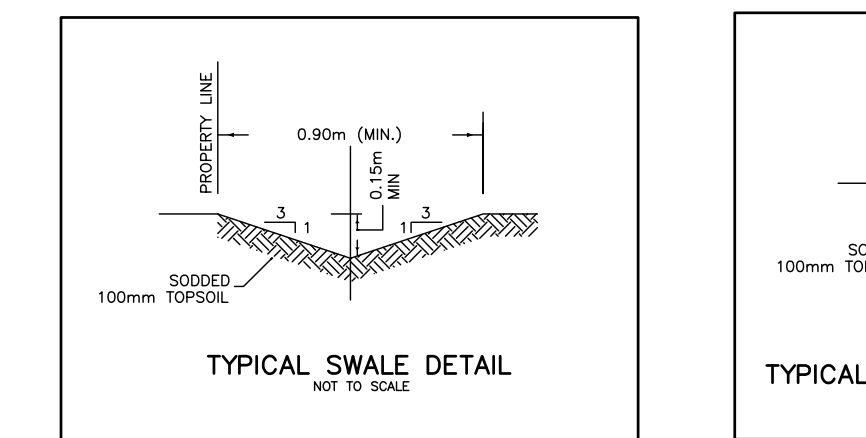
GENERAL NOTES
 1. THESE PLANS IS/ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED BY THE ENGINEER AND INDICATED ISSUED FOR CONSTRUCTION ON THE DRAWING.
 2. THESE PLANS IS/ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BARICH GRENKIE SURVEYING LTD.
 3. INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION DRAWINGS ARE FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ITS ACCURACY AND /OR SUFFICIENCY. THE CONTRACTOR SHALL ASSUME LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
 4. SITE PLAN INFORMATION TAKEN FROM SURVEY BY BARICH GRENKIE SURVEYING LTD. DATED MARCH 15, 2023.
 5. THESE PLANS IS/ARE TO BE USED FOR SERVING AND GRADING ONLY, FOR BUILDING LOCATION REFER TO THE SITE PLAN.
 6. MUNICIPAL APPROVAL OF THESE DRAWINGS IS FOR MATERIAL AND COMPLIANCE WITH CITY/TOWN STANDARDS AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION OF THE WORKS BY THE CITY/TOWN STAFF DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS NOR RELIEVE THE CONTRACTOR OF CERTIFICATION OF ALL WORKS BY THE OWNER'S ENGINEER.
 7. ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED WRITTEN APPROVAL HAS FIRST BEEN OBTAINED FROM THE CITY OF HAMILTON AND THE ENGINEER.
 8. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDING CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - SEWER PERMITS
 - APPROACH APPROVAL PERMITS
 - RELOCATION OF SERVICES
 - COMMITTEE OF ADJUSTMENT ENCROACHMENT AGREEMENTS

9. PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:
 I. CHECK AND VERIFY ALL DIMENSIONS AND EXISTING ELEVATIONS WHICH INCLUDE BUT ARE NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS, EXISTING INVERTS AND REPORT FINDINGS IN WRITING TO THE ENGINEER.
 II. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
 III. VERIFY ALL FINISHED FLOOR ELEVATIONS AND GASOMETRIC ELEVATIONS WHICH MY APPEAR ON THESE PLANS COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
 IV. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
 V. NOTIFY THE ENGINEER OF THE PROPOSED CONSTRUCTION SCHEDULE FOR COORDINATION OF NECESSARY INSPECTIONS.
 10. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER 48 HOURS PRIOR TO THE COMMENCING SITE WORKS TO ARRANGE FOR INSPECTION. THE ENGINEER SHALL DETERMINE THE EXTENT OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGROUND SERVICE INSTALLATION AS MANDATED BY THE HAMBUR BUILDING CODE DIVISION C, PART 1 SECTION 11.2.2 GENERAL REVIEW. FAILURE TO MAKE SUITABLE ARRANGEMENTS FOR INSPECTION WILL LEAD TO POST CONSTRUCTION TESTING AND INSPECTION AS DETERMINED BY THE ENGINEER. THE COSTS OF WHICH INCLUDING ANY DELAYS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR. FULL PAYMENT FOR UN-INSPECTED WORKS MAY BE WITHHELD UNTIL THE COMPLETION OF THE POST CONSTRUCTION INSPECTION AND TESTING TO THE SATISFACTION OF THE ENGINEER.
 11. INSPECTION BY THE OWNER'S ENGINEER IS FOR CERTIFICATION AND GENERAL CONFORMANCE PURPOSES AND DOES NOT CERTIFY LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THE INSTALLATION OF THE WORKS TO PROPER LINE, GRADE AND QUALITY TO CURRENT INDUSTRY STANDARDS.
 12. ANY UTILITY RELOCATIONS AND RESTORATIONS DUE TO THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER AND SHALL BE COORDINATED BY THE CONTRACTOR WITH LOCAL RESTORATIONS AND RECONSTRUCTIONS SHALL BE COMPLETED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY/TOWN STANDARDS.
 13. ALL RESTORATIONS AND RECONSTRUCTIONS SHALL BE COMPLETED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY/TOWN STANDARDS.
 14. SERVING CONTRACTOR TO MAINTAIN A "CONFINED TRENCH CONDITION" IN ALL SEWER AND WATERMAIN INSTALLATION TECHNIQUES.
 15. THE SITE SERVING CONTRACTOR SHALL TERMINATE ALL SERVICES 1.0m FROM THE BUILDING FACE.
 16. NO BLASTING WILL BE PERMITTED.

SILTATION AND EROSION CONTROL
 A. SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED.
 B. ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE OF CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.
 C. ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.
RESTORATIONS
 A. ALL TRENCH EXCAVATION WITHIN EXISTING ROAD ALLOWANCES SHALL BE BACKFILLED WITH GRANULAR "A", COMPACTED TO 98% S.P.D. PAVEMENT RESTORATION SHALL BE PERFORMED AS PER RD-100.01 & 100.02.
 B. ALL BOULEVARDS TO BE RESTORED WITH #1 NURSERY SOG ON 100mm MINIMUM THICK SELECT TOPSOIL.
 C. BEDDING MATERIALS TO BE AS PER FORM 600. COMPACTION TO BE AS PER FORM 900.
REMOVALS & ABANDONMENTS
 A. COMPLETELY REMOVE ABANDONED SEWER/WATERMAIN WHERE POSSIBLE AND/OR AS DIRECTED BY THE CITY OF HAMILTON. IF MAINS TO BE ABANDONED IN PLACE, FOLLOW OPSS 510.
 2. WHERE ABANDONING A WATER SERVICE CONNECTION OR WATERMAIN CONNECTED TO A LIVE MAIN, THE PREFERRED METHOD IS TO REMOVE THE CURB STOP AND STEM, SHUT OFF MAIN STOP AND DISCONNECT/CUT WATER SERVICE AT MAIN STOP.



SEWERS
 1. STORM SEWERS
 A. CONSTRUCTION OF STORM SEWERS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
 B. COVER AND BEDDING MATERIAL FOR PVC PIPE SHALL BE GRANULAR 'A' MATERIAL AS PER OPSS 802.010 OR 802.013.
 C. PVC PIPE WILL REQUIRE SPECIAL CONSTRUCTION PROCEDURES AS PER CITY SPECIFICATIONS.
 D. ALL SEWERS TO BE VIDEO INSPECTED.
 E. ALL SEWERS TO BE FLUSHED PRIOR TO VIDEO INSPECTION.
 F. STORM SEWERS 200mm TO 600mm IN DIAMETER SHALL BE PVC PIPE, CSA B182.2, SDR-35.
 G. PROPOSED PRIVATE REAR LOT CATCH BASINS (RLCB'S) ARE TO BE AS PER OPSS 705.010, COMPLETE WITH BROODAGE FRAME AND GRATE AS PER OPSS 400.120. REAR LOT CATCH BASINS ARE TO BE SIMPLESS.
 H. ALL PVC SEWERS ARE TO BE TESTED FOR DEFLECTION (MANDREL PASSAGE) AFTER INSTALLATION.
 2. STORM AND SANITARY PRIVATE DRAINS
 A. CONSTRUCTION OF PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
 B. PRIVATE DRAINS TO BE 150mm PVC PIPE, CSA B182.1 M-1983, SDR 26 AS PER FORM 500. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOR OTHER THAN WHITE. WOOD MARKING AT END OF SANITARY PRIVATE DRAIN SHALL BE PAINTED RED.
 C. COVER AND BEDDING MATERIAL FOR PRIVATE DRAINS SHALL BE GRANULAR 'A' INSTALLED AS PER OPSS 802.010 OR 802.013.
 D. MINIMUM FALL FOR PRIVATE DRAINS TO BE 2.0%.
 E. TOP OF SANITARY PRIVATE DRAINS AT STREET LINE TO BE 2.2M (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
 F. TOP OF STORM PRIVATE DRAINS AT STREET LINE TO BE 1.2M (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
 G. BUILDING RANWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE TO LANDSCAPED SURFACES VIA SPLASH PADS.
 H. SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WEeping TILES TO THE STORM PRIVATE DRAINS. THE SUMP OUTLET PIPE SHALL EXTEND A MINIMUM OF 1200mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN. SEE DETAIL 3.
 I. IF THE APPLICANT/OWNER INTENDS TO REUSE A PORTION OF A SITE'S EXISTING SEWER SYSTEM, IT IS THEIR RESPONSIBILITY TO ENSURE THAT THE SEWER IS ADEQUATE CAPACITY, MEETS ALL APPLICABLE BY-LAW REQUIREMENTS, AND IS IN GOOD WORKING ORDER. SEWERS TO BE REUSED MUST BE VIDEO INSPECTED, WHILE THE CITY/TOWN SEWER INSPECTOR IS PRESENT. THE APPLICANT/OWNER IS RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THEIR PRIVATE VIDEO INSPECTION CONTRACTOR ALONG WITH PAYMENT OF AN INSPECTION FEE.



GRADING NOTES
 1. GENERAL GRADING
 A. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOPED SLOPES (MIN. 3% TO 1%) AND/OR RETAINING WALLS AS SPECIFIED.
 B. ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.E.
 C. SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150MM ABOVE THE PROPOSED SIDE YARD SWALES.
 D. RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
 E. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (MIN.) ABOVE FINISHED GRADE.
 F. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0% REVERSED SLOPED DRIVEWAYS IN NEW CONSTRUCTION ARE NOT PERMITTED.
 G. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
 H. THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
 I. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VALVES AND OTHER STREET FURNITURE ARE A MIN. OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
 J. ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
 K. ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
 L. SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPILT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33.0% GRADE (3:1 SLOPE).
 M. WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED, PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET (WITH A MINIMUM 0.3m COVER OVER THE SUBDRAIN), OR OTHER MITIGATION MEASURES.
 N. MINIMUM GRADE FOR WALK-AROUND SWALES IN BACKYARDS SHALL BE 1.0%.
 O. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED IN A STRAIGHT LINE.
 P. GARAGE FLOOR ELEVATIONS TO BE SET 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
 Q. ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 98% S.P.D. (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 300mm.

MUNICIPAL ADDRESS
 142 ALPINE AVENUE, HAMILTON

LEGAL DESCRIPTION
 PART OF LOTS 9 & 14
 CITY OF HAMILTON ZONING
 LOW DENSITY RESIDENTIAL ZONE (R1)
 (RESIDENTIAL ZONES (SECONDARY DWELLING UNITS-SDUS))

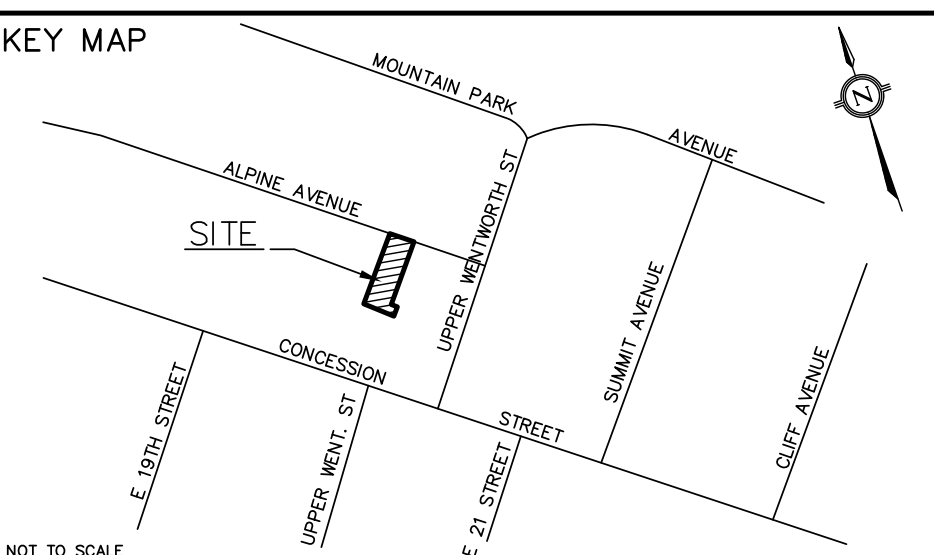
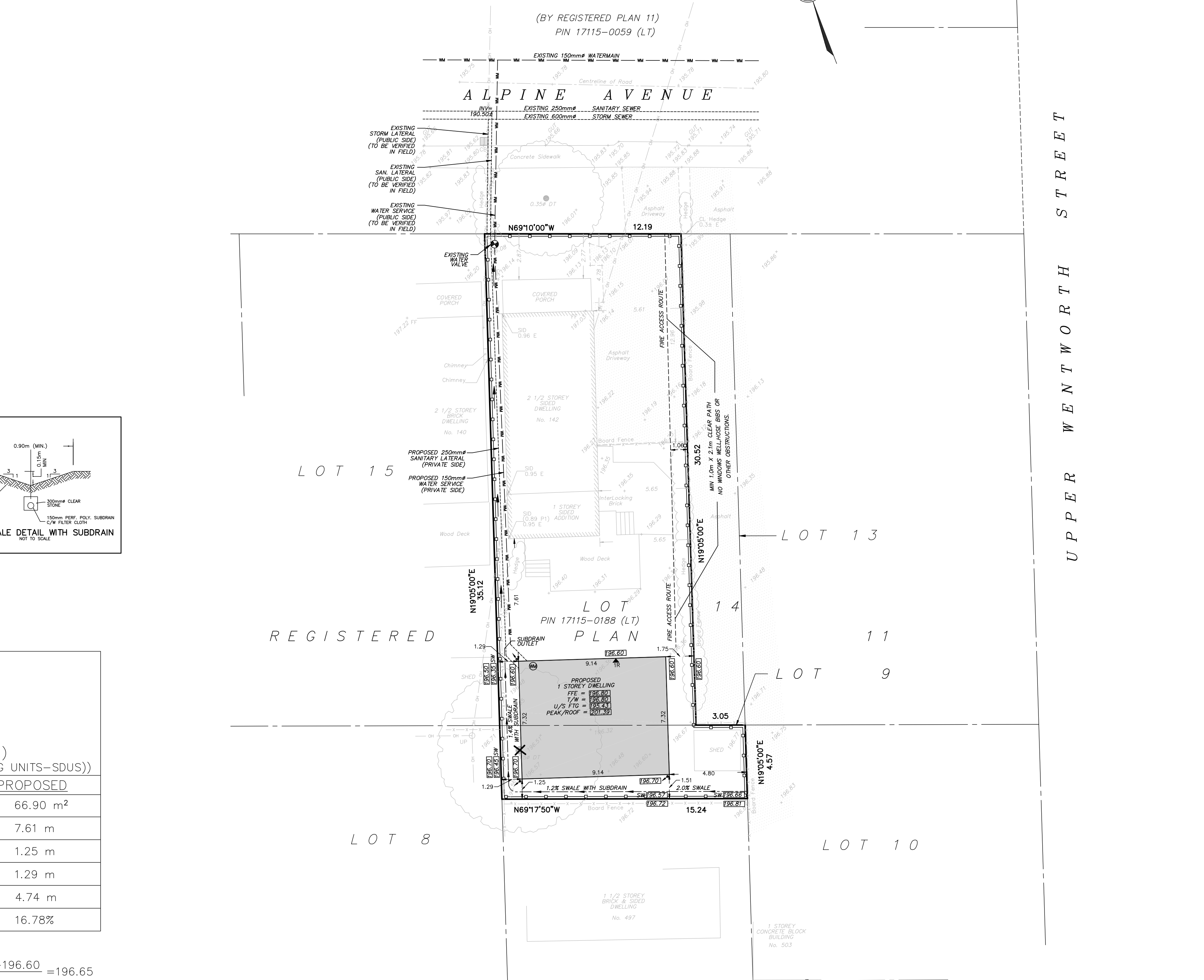
SITE STATISTICS	BYLAW	PROPOSED
MAX. FFE	75 m ²	66.90 m ²
FRONT YARD SETBACK (FROM THE PRINCIPAL DWELLING)	7.5 m	7.61 m
REAR YARD SETBACK	1.2 m	1.25 m
SIDE YARD SETBACK-W	1.2 m	1.29 m
HEIGHT (PEAK OF ROOF)	6.0 m	4.74 m
MAX. LOT COVERAGE	25%	16.78%

AVERAGE GRADE = $\frac{196.70+196.70+196.60+196.60}{4} = 196.65$

AVERAGE GRADE BY THE CITY OF HAMILTON (HEIGHT DEFINITION)

2. BACKYARD GRADING
 A. DEFINITION: "REQUIRED BACK YARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 1.2m.
 B. THE MAXIMUM 5.0% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE DOES NOT EXCEED 1.0m ON EACH LOT.
 C. WHERE THE 5.0% RESTRICTION ON BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. 3:1 SLOPES CAN REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
 D. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 E. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS, AND BACK YARDS, OUTSIDE THE AREAS DEFINED IN ITEM "A" ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOALS OF THE AREA (5:1 MAXIMUM).

COMPACTION REQUIREMENTS
 UNLESS OTHERWISE NOTED OR DIRECTED BY THE GEOTECHNICAL CONSULTANT, THE FOLLOWING SHALL APPLY:
 A. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUB-GRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS, ETC., SHALL BE COMPACTED TO MIN. 98% S.P.D. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
 B. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO 98% S.P.D.
 C. FOR ALL SEWERS AND WATERMANS IN FILL SECTIONS, THE COMPACTION SHALL BE CERTIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO LAYING OF PIPE.



ADDRESS: 142 ALPINE AVENUE, HAMILTON

SITE AND GRADING PLAN OF PART OF LOTS 9 & 14 REGISTERED PLAN 11 IN THE CITY OF HAMILTON

BARICH GRENKIE SURVEYING LTD.
 A DIVISION OF GEOMAPLE
 © COPYRIGHT 2023

METRIC
 DISTANCES AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- CB DENOTES CATCH BASIN
- DT DENOTES DECIDUOUS TREE
- CT DENOTES CONIFEROUS TREE
- SV DENOTES SERVICE VALVE
- LS DENOTES SUBJECT LANDS BOUNDARY
- DL DENOTES DEED LINE
- LL DENOTES LOT LINE
- SL DENOTES LIMIT OF STREET
- FL DENOTES FENCE LINE
- TR DENOTES TREE TO BE REMOVED
- N-E-S-W DENOTES NORTH-EAST-SOUTH-WEST
- EL DENOTES EXISTING ELEVATION
- PE DENOTES PROPOSED ELEVATION
- ST DENOTES PROPOSED SILT FENCE
- SP DENOTES DOWNPOUT WITH SPLASH PAD
- WM DENOTES WATER METER

ELEVATION NOTE
 ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928/1978) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK NO. 0772002012 HAVING AN ELEVATION OF 195.497 m.

NO.	DATE	BY	REVISIONS
2	05/18/2023	GF	AS PER CITY COMMENTS
1	04/11/2023	GF	AS PER CITY COMMENTS
0	03/28/2023	DC	ISSUED FOR REVIEW

DESIGN	GF	CHK'D	DJ	DATE
DRAWN	GF	CHK'D	DJ	MAY 18, 2023

Scale 1:150
 0 2 4 6 8 10 METRES

APPROVALS

STAMP

Barich Grenkie Surveying Ltd.
 301 HWY No. 8 (2ND FLOOR)- STONEY CREEK, ON
 (905) 862-8767
 A DIVISION OF GEOMAPLE

DWN BY: GF
 CHK BY: MF
 JOB No. 23-3089

CLIENT: **MATT CREARY RESIDENCE**

PROJECT NAME: **PROPOSED DWELLING 142 ALPINE AVENUE, HAMILTON**

TITLE: **SITE AND GRADING PLAN**

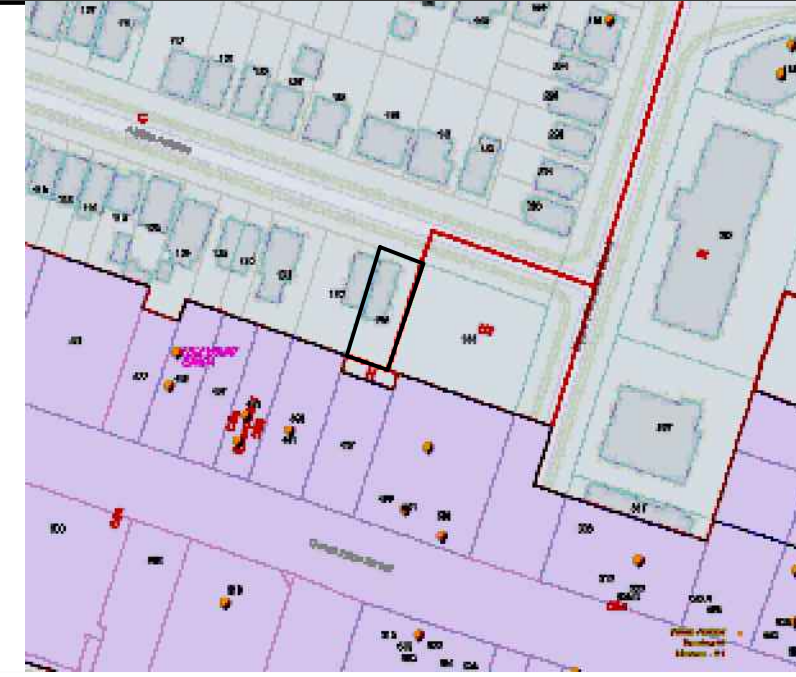
PROJECT No. 23-3089 DRAWING No. 23-3089 SGP

PROJECT INFORMATION

Project Information:

2022-031

142 Alpine Ave, Hamilton Ontario



ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE ONTARIO BUILDING CODE REGULATIONS

This drawing set has been prepared under the

O. Reg 332/12
Ontario Building Code 1992
Amendment Jan 1 2020

CONSTRUCTION NOTES:
1. ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE 2022 ONTARIO BUILDING CODE REGULATIONS.
2. ALL DIMENSIONS GIVEN FIRST IN METRIC AND FOLLOWED BY IMPERIAL.

1.	Issued to Consultants	2022.08.11	E.C.
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Virtual Creations Inc. – Energy Efficiency for Housing SB-12 (2017) ZONE 1 <92

COMPONENTS

	Attic	Cathedral	Exposed Floor	Walls	Continuous Insulation	Basement	Slab Horizontal	Edge of Slab
COMPLIANCE PACKAGE	R60	R31	R31	R22	N/A	R20 ci	---	R10
Package A1	Heated Slab	Skylights	Windows	Glazing Upgrade	Space Heating	HRV	Hot Water	Gray water heat recovery
Table 3.1.1.2.A (IP)	R10	.49	25er		96%	75%	.8	42%

SB12 Schedule

SB-12 2.1. METHODS FOR ACHIEVING ENERGY EFFICIENCY COMPLIANCE (CONCLUSION)
 TOTAL WALL AREA = 982.80 Sq. Ft. TOTAL DOOR GLAZING AREA = 0.00 Sq. Ft.
 TOTAL RSO AREA (NOT INCLUDING BASEMENT WINDOWS) = 105.20 Sq. Ft.
 TOTAL PERCENTAGE = 10.70%

- COMPLY WITH 3.1.1.1.(7) <17%
- COMPLY WITH 3.1.1.1.(8) >17% <22% (UPGRADES HAVE BEEN NOTED)
- COMPLY WITH 3.1.1.1.(9) >22% (ENERGY CONSULTANT MUST BE CONSULTED)

SB-12 2.1. METHODS FOR ACHIEVING ENERGY EFFICIENCY COMPLIANCE - FIRST FLOOR
 TOTAL WALL PERIMETER = 108.0'
 WALL HEIGHT FROM GRADE TO CEILING = 9.1
 TOTAL WALL AREA = 982.80 Sq. Ft.

BUILDING INFORMATION

Area Calculations

Total Building Area	720.00 Sq. Ft. (66.89 Sq. m.)
Proposed First Floor Area	720.00 Sq. Ft. (66.89 Sq. m.)

1	Bathroom group* with 6 LPF flush tank	N/A	3.6
2	Bathroom group* with greater than 6 LPF flush	N/A	6
3	Bathtub with or without shower head	1/2	1.4
4	Clothes washer	1/2	1.4
5	Dishwasher, domestic	3/8	1.4
6	Hose bibb (1/2")	1/2	2.5
7	Lavatory	3/8	0.7
8	Shower head	1/2	1.4
9	Shower, spray, multi-head, fixture unit per head	**	1.4
10	Sink, bar	3/8	1
11	Sink, kitchen, domestic	3/8	1.4
12	Sink, laundry (1 or 2 compartments)	3/8	1.4
13	Water closet, 6 LPF or less with flush tank	3/8	2.2
14	Other:		

Room Schedule

See plans for additional information

BUILDING INFORMATION

Metric to Imperial Steel Beam Converting

Metric	Imperial	Metric	Imperial	Metric	Imperial	Metric	Imperial	Metric	Imperial
W150x22	W6x15	W200x27	W8x18	W250x22	W10x15	W310x39	W12x26	W360x57	W14x38
W150x30	W6x20	W200x31	W8x21	W250x33	W10x22	W310x60	W12x40		
W150x37	W6x25	W200x36	W8x24	W250x38	W10x29	W310x67	W12x45		
		W200x42	W8x28						
		W200x46	W8x31						
		W200x59	W8x40						

Beam Schedule

Information Not Required

Pad Footing Schedule

Information Not Required

Window and Door Schedule

Window & Door Schedule							
TAG	SIZE	SB12	OPERATOR	LOCATION	HEIGHT	GRILL	GLAZING
01A	24"x48"	8.0	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 5.2
01B	24"x48"	8.0	FIXED	NORTH ELEV	92" ATFW	NONE	Glazing 5.2
02A	36"x92"	16.7	3/4 GLAZED	NORTH ELEV	92" ATFW	NONE	Glazing 10.7
03A	24"x56"	9.3	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 6.2
03B	24"x56"	9.3	FIXED	NORTH ELEV	92" ATFW	NONE	Glazing 6.2
04A	24"x44"	7.3	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 4.7
04B	24"x44"	7.3	FIXED	NORTH ELEV	92" ATFW	NONE	Glazing 4.7
05A	24"x44"	7.3	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 4.7
05B	24"x44"	7.3	FIXED	NORTH ELEV	92" ATFW	NONE	Glazing 4.7
06A	24"x52"	8.7	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 5.7
06B	24"x52"	8.7	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 5.7
07A	24"x44"	7.3	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 4.7
		105.2000					

Designed By:
VIRTUAL CREATIONS INC.
 ARCHITECTURAL CONSULTING SERVICES (905) 481 1153

PROJECT: 142 Alpine Ave, Hamilton Ontario
 VIRTUAL CREATIONS INC. PROJECT NO: 2022-031
 (905) 481 1153 BCIN No. 28844
 ERIC CANTON BCIN#25135
 Classification: Theresa Lacharity
 Original Signature: *E.C.*
 WWW.VCINC.CA
 SMALL BUILDINGS
 AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED A COMPREHENSIVE SET OF CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS AT THE TIME OF DESIGNING THAT ARE UNAVAILABLE OR INACCESSIBLE. WITH PROPER CO-ORDINATION AND ACCESS TO THE EXISTING BUILDING STRUCTURES AND ENGINEERED FLOOR JOIST TO VIRTUAL CREATIONS INC. TO REVIEW PRIOR TO FABRICATION, DETERMINE LOCATIONS OF EXISTING SERVICES, INFORM VIRTUAL CREATIONS INC. OF ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS FOR REVIEW BEFORE COMMENCING CONSTRUCTION. ALL DESIGNS AND DRAWINGS ARE THE SOLE PROPERTY AND COPYRIGHT OF VIRTUAL CREATIONS INC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY VIRTUAL CREATIONS INC. OR PURCHASED THROUGH VIRTUAL CREATIONS INC. DIRECTLY.
 ISSUED: Apr 05 2023
 CONTRACT

NOTE TO TRUSS MANUFACTURE:

2019.11.27 - Manufactured Items and Materials

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review all relevant dimensions and inform Virtual Creations and the manufacture of any discrepancies. At the minimum the client must at least contact Virtual Creation to review the as build condition before purchasing, ordering or putting into production any and all materials.

FAILURE to verify these dimensions will absolve Virtual Creations of any responsibility of errors or discrepancies in our plans. By paying this invoice you agree to this requirement and condition.

DIMENSION NOTE:

2019.12.05 - There are different ways of dimension architectural floors, what follows is an explanation of the why interior walls are dimensioned as 4" or 6" vs other methods.

Some Architectural drawings chose to dimension the rough wood stud framing. However this would create a lot fractioned dimensions on the plans and would require the framer to account for the 1/2" drywall material in some conditions like bathroom tubs and stair wells.

Some Architectural drawings chose to dimension the finished wall thickness. However this would create a lot fractioned dimensions as well.

These Architectural set of drawings chose to dimension interior walls to a round 4" or 6" dimension. We feel this is the cleanest dimension as they do not have fractions, and at most produce a 1/4" error which isn't typically an issue. Further we full appreciate that we can not ask trades in the field to measure to 1/4" accuracies nor to we assume that as built construction could hold those tolerances.

OBC 9.10.19.3 - Smoke Alarms

(Renovations Only)

Existing smoke alarms are acceptable, however, if the scope of work involves renovating existing bedrooms, changing room uses from a non bedroom use to proposed bedroom use or an addition which includes a bedroom many requirements of 9.10.19.3 would apply including being interconnected, hardwired and with visual notification. If a smoke alarm is required it will be noted on drawings

Electrical Safety Authority

Doing electrical work? A notification must be filed with the Electrical Safety Authority. Hiring someone to do electrical contractor.

It's the law.
For more information go to www.esa.on.ca or call 1-877-372-7233



Part 4 Loads used

20lb Dead Load
40lb Live Load (interior)
50lb Live Load (exterior)
32lb Snow Load
10lb Wind Load

Deflection limits

L/425 Floors (interior)
L/360 Floors (exterior)

Commitment to General Review

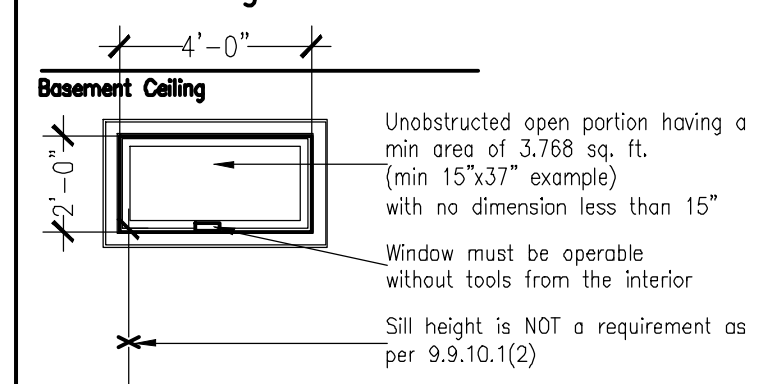
To plans examiner, please indicate here if a commitment to general review will be required for any item submitted here on this sheet

Yes No

Notes: Engineering Drawings

These drawings shall be read in association with the engineering floor joist and specifications as well as the engineering truss layout and specification.

9.9.10.1 Egress from Bedrooms



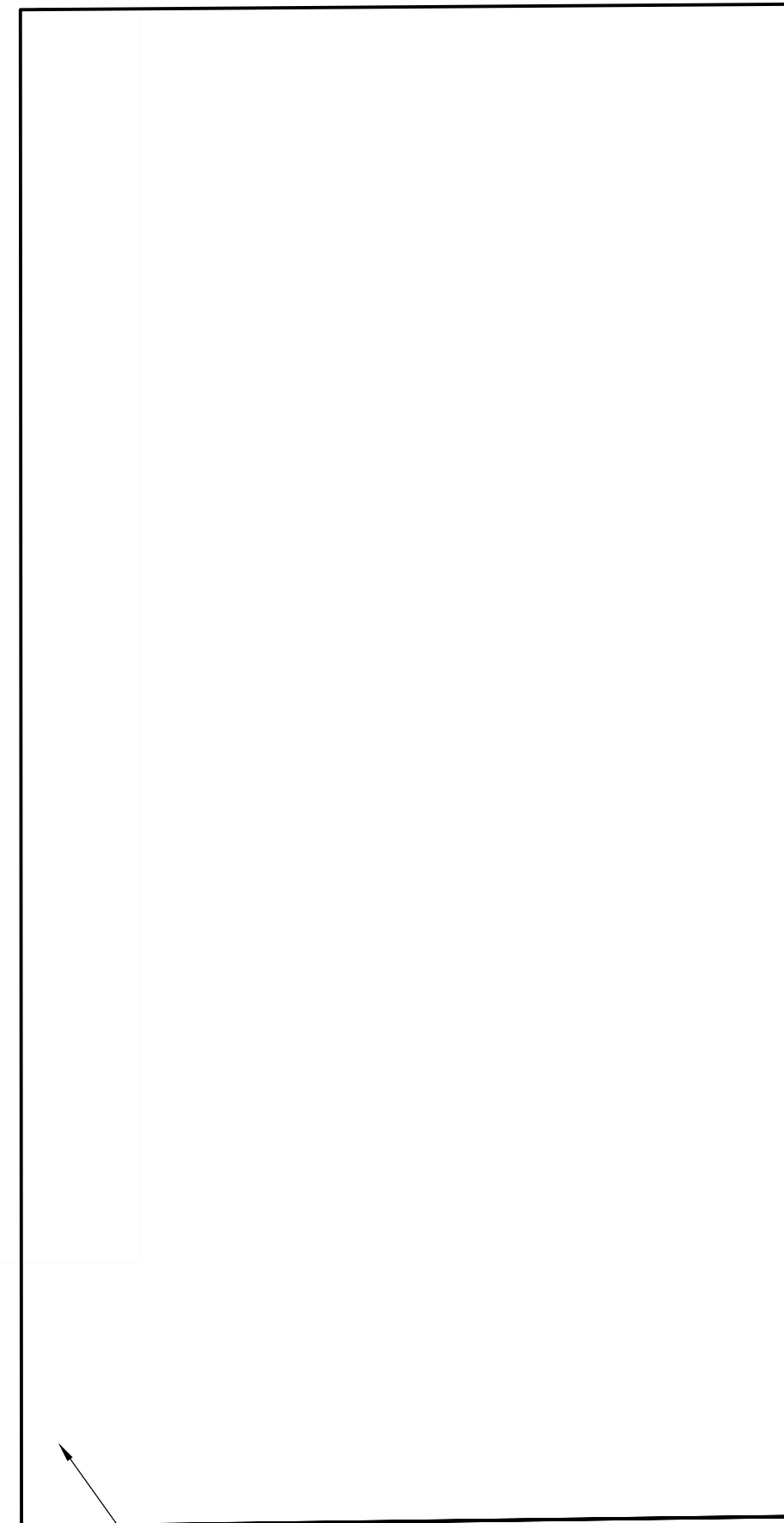
Basement Floor

Where this window opens into a window well a clearance of not less than 22" shall be provided in front of the window on the exterior.

One window in the basement must comply with these requirements as there is not a door on the same floor level as the bedroom which provides direct access to the exterior.

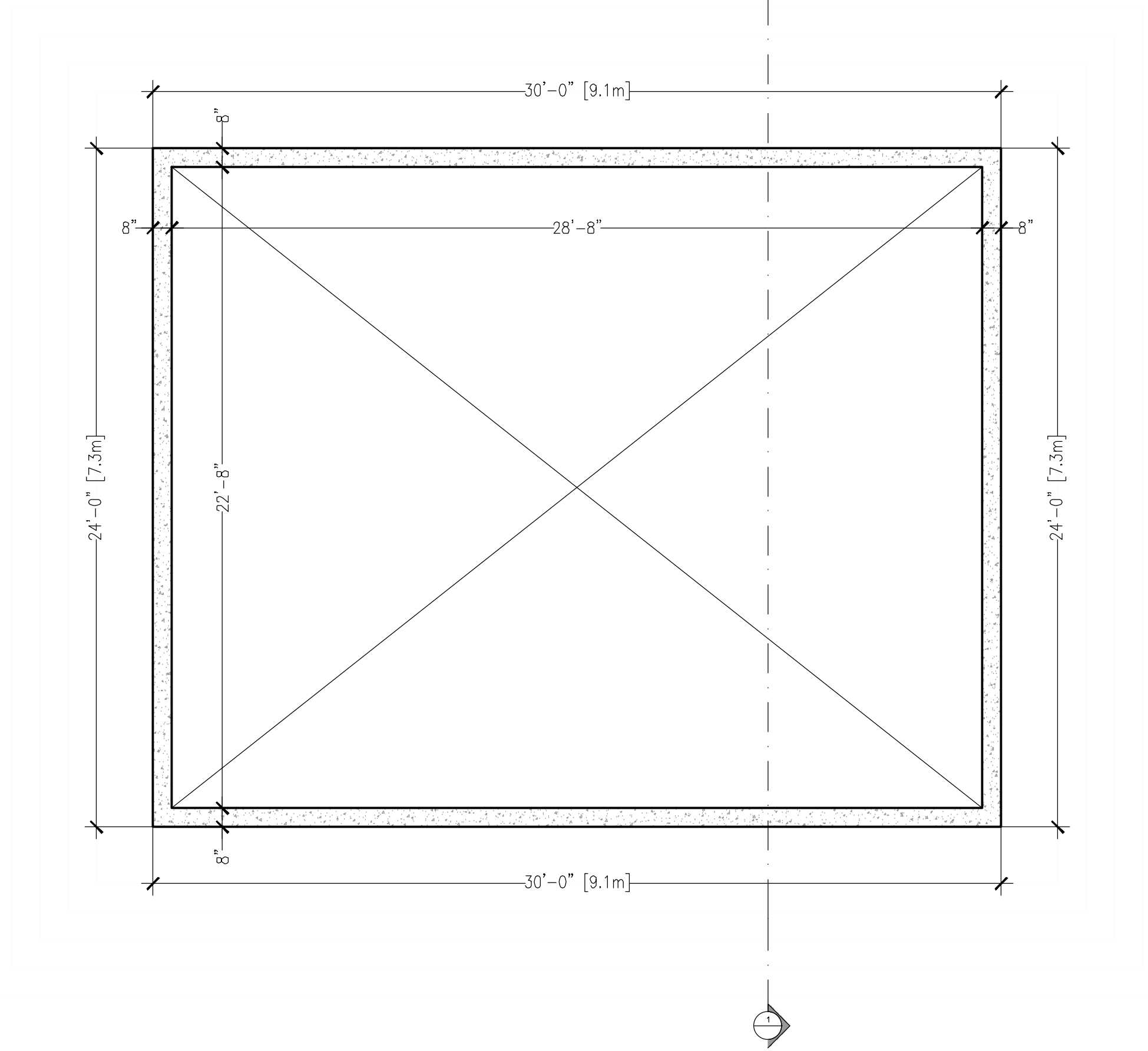
Basement Note:

This unit has a finished basement, see other drawings sheet "Foundation Plan (Basement)" for more information like interior wall framing.



Foundation Area
686.25 Sq. Ft.
Unfinished

Principal Foundation Floor Plan
SCALE 1/4" = 1'-0"



- Drawing Checklist:**
- Client sign off
 - Review Survey
 - Review Grading
 - Review Truss Layout
 - Review Floor Layout
 - Engineering review
 - Issued for Permit

Foundation Floor Plan
SCALE 1/4" = 1'-0"

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Failing to **CALL** Virtual Creations Inc before starting a project will absolve Virtual Creations Inc of liability of issues with the drawings

1.905.481.1153

Client Sign Off: _____ Date: _____

PROJECT: 142 Alpine Ave, Hamilton Ontario

PROJECT No: 2022-031

BCIN No. 28844

VIRTUAL CREATIONS INC.
(905) 481 1153

Classification: _____

Client: Theresa Lacharity

Client Signature: _____

ERIC CANTON BCIN#25155

WWW.VCINC.CA

AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED A COMPREHENSIVE SET OF CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS AT THE TIME OF DESIGNING THAT ARE UNAVAILABLE OR INACCESSIBLE. WITH PROPER CO-ORDINATION WITH THE CLIENT, THE DESIGNER WILL MAKE EVERY EFFORT TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS. THE CLIENT IS ADVISED THAT THE DESIGNER IS NOT PROVIDING ANY SERVICES IN CONNECTION WITH THE CONSTRUCTION OF THE PROJECT. ALL DESIGNS AND DRAWINGS ARE THE SOLE PROPERTY AND COPYRIGHT OF VIRTUAL CREATIONS INC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY VIRTUAL CREATIONS INC OR PURCHASED THROUGH VIRTUAL CREATIONS INC DIRECTLY.

ISSUED: May 23 2023



CONTRACT

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Some Architectural drawings chose to dimension the rough wood stud framing. However this would create a lot fractioned dimensions on the plans and would require the framer to account for the 1/2" drywall material in some conditions like bathroom tubs and stair wells.

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OBC 9.10.19.3 - Smoke Alarms
 (Renovations Only)

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Electrical Safety Authority

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It's the law.
 For more information go to www.esosafe.com or call 1-877-372-7233



Part 4 Loads used

- 20lb Dead Load
- 40lb Live Load (interior)
- 50lb Live Load (exterior)
- 32lb Snow Load
- 10lb Wind Load

Deflection limits

- L/425 Floors (interior)
- L/360 Floors (exterior)

Commitment to General Review

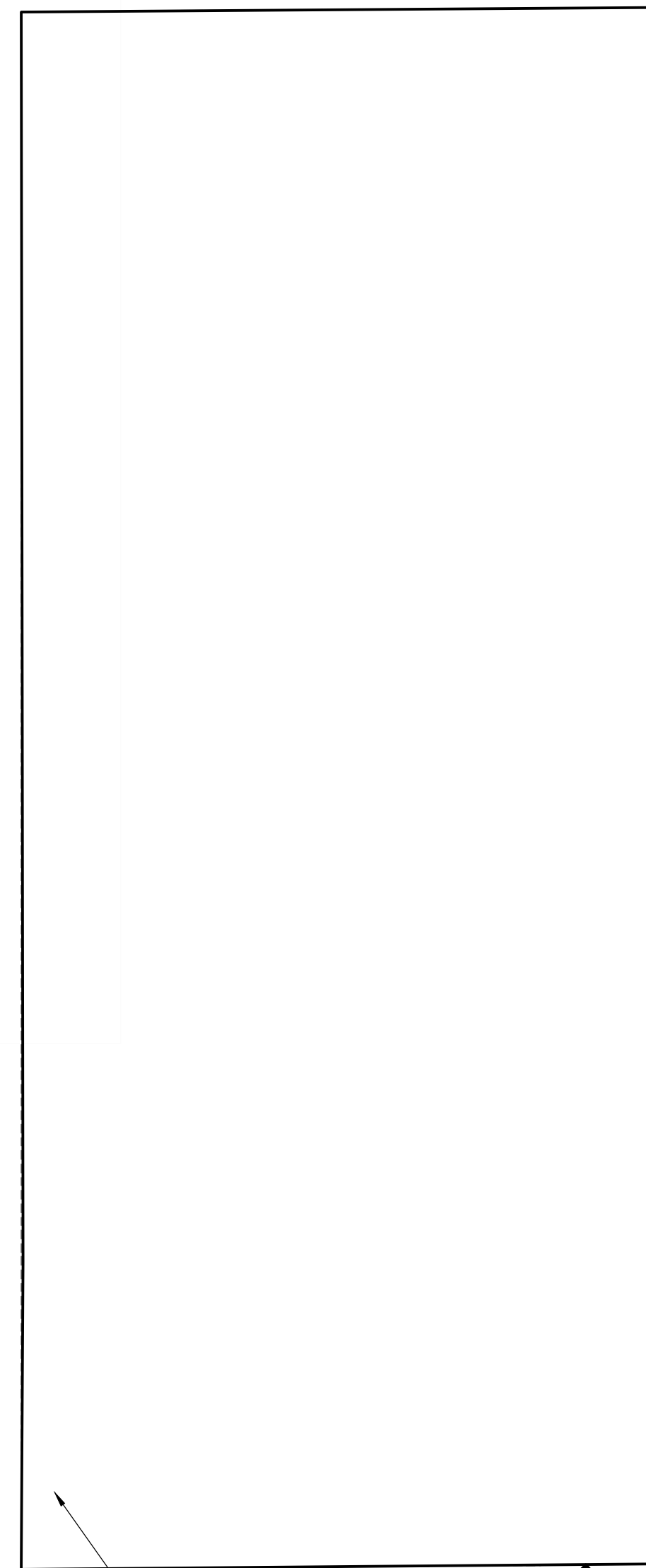
To plans examiner, please indicate here if a commitment to general review will be required for any item submitted here on this sheet

Yes

No

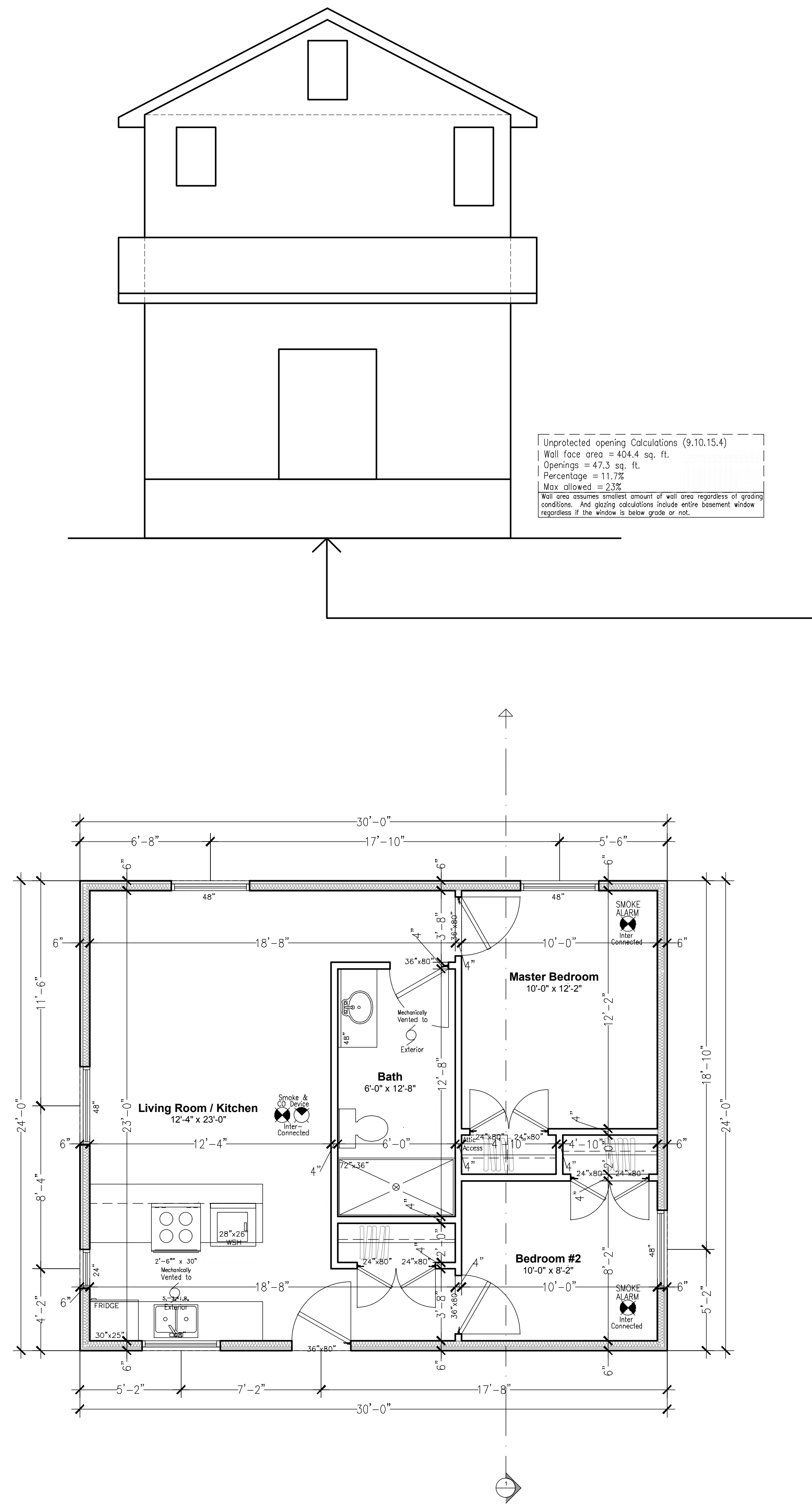
Notes: Engineering Drawings

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First Floor Area
 857.55 Sq. Ft.

Principal First Floor Plan
 SCALE 1/4" = 1'-0"



Unprotected opening Calculations (9.10.15.4)
 Wall face area = 404.4 sq. ft.
 Openings = 47.3 sq. ft.
 Percentage = 11.7%
 Max allowed = 23%
 Wall area assumes smallest amount of wall area regardless of grading conditions. And glazing calculations include entire basement window regardless if the window is below grade or not.

- Drawing Checklist:
- Client sign off
 - Review Survey
 - Review Grading
 - Review Truss Layout
 - Review Floor Layout
 - Engineering review
 - Issued for Permit

First Floor Plan
 SCALE 1/4" = 1'-0"

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1.905.481.1153

Date: _____
 Client Sign Off: _____

PROJECT: 142 Alpine Ave, Hamilton Ontario
 PROJECT No: 2022-031

Client: **28844**
 BCIN No. **28844**

Classification: _____
 Original Signature: _____
 Theresa Lacharity

VIRTUAL CREATIONS INC.
 (905) 481 1153
 ERIC CANTON BCIN#25135
 WWW.VCINC.CA

AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED A COMPREHENSIVE SET OF CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS AT THE TIME OF DESIGNING THAT ARE UNAVAILABLE OR INACCESSIBLE. WITH PROPER CO-ORDINATION WITH THE CLIENT, THE DESIGNER WILL ATTEMPT TO OBTAIN THE NECESSARY INFORMATION TO COMPLETE THE DRAWINGS. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED. VIRTUAL CREATIONS INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED. VIRTUAL CREATIONS INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS.

CONTRACT

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It's the law.

For more information go to www.esasoafe.com or call 1-877-372-7233



Part 4 Loads used

- 20lb Dead Load
- 40lb Live Load (interior)
- 50lb Live Load (exterior)
- 32lb Snow Load
- 10lb Wind Load

Deflection limits

- L/425 Floors (interior)
- L/360 Floors (exterior)

Commitment to General Review

To plans examiner, please indicate here if a commitment to general review will be required for any item submitted here on this sheet

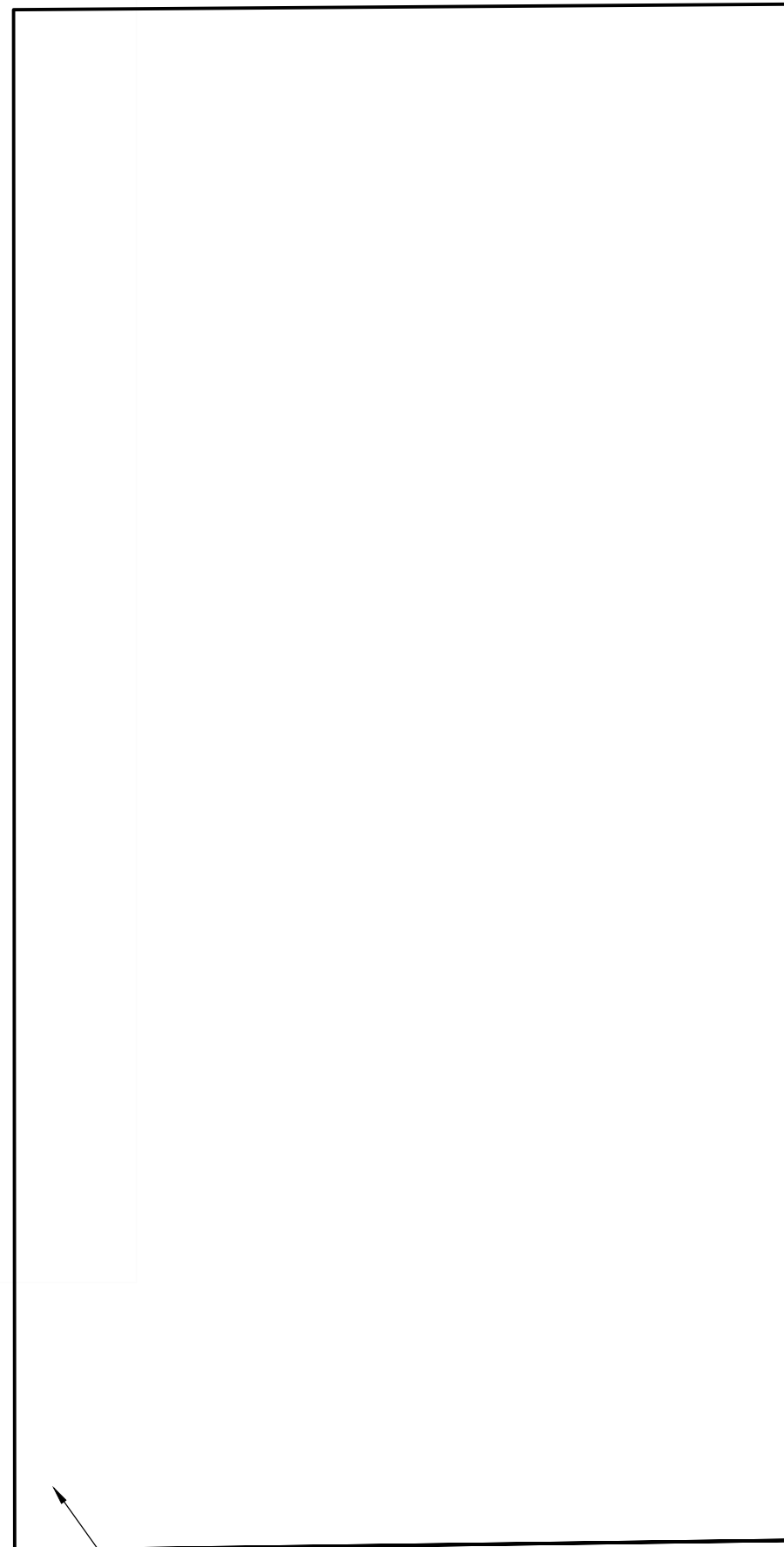
Yes	No
<input type="checkbox"/>	<input type="checkbox"/>

Notes: Engineering Drawings

These drawings shall be read in association with the engineering floor joist and specifications as well as the engineering truss layout and specification.

OBC 9.26.18 – Downspouts

Any and all downspouts must direct water away from the building without causing soil erosion. But also not permit any water to leave the property or to flow onto public property which may cause flooding or freezing and present a condition which could cause a slip, fall or property damage.



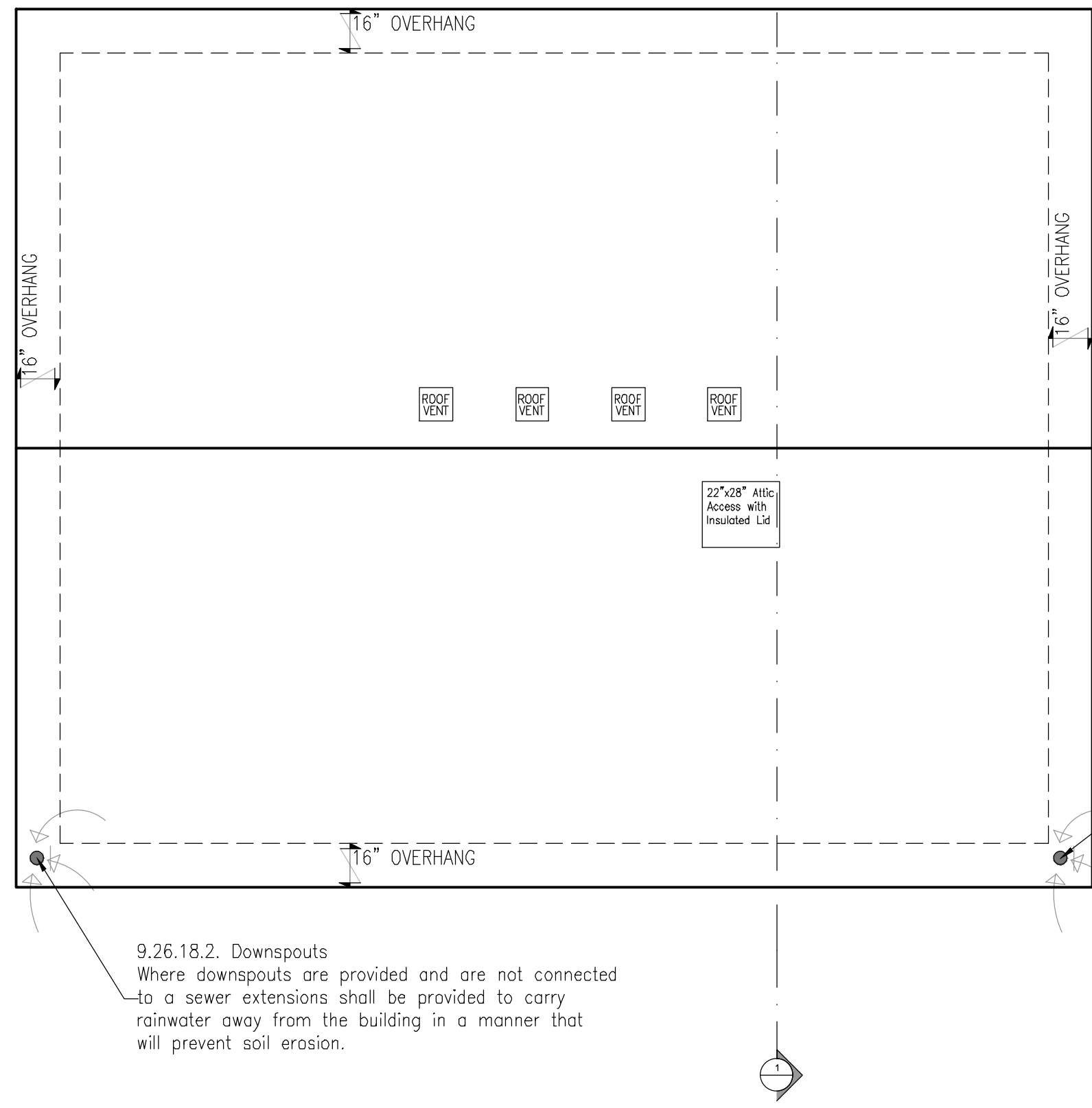
Second Floor Area
686.68 Sq. Ft.

Principal Second Floor Plan
SCALE 1/4" = 1'-0"

FLAT ROOF OVER REGULATION:
Total Roof Area from eaves: 871.0
Total Flat Roof Area: 0.0

0.0%

9.19.1.2. Roof Venting requirements:
Total roof area = 135.3 OBC ratio = 150.0
Total OBC venting area requirements = 1 sq. ft.
50% of vent req. to be in soffit = 0 sq. ft.
Number of vents in roof space = 0
VDNC recommends = 1



9.26.18.2. Downspouts
Where downspouts are provided and are not connected to a sewer extensions shall be provided to carry rainwater away from the building in a manner that will prevent soil erosion.

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Where downspouts are provided and are not connected to a sewer extensions shall be provided to carry rainwater away from the building in a manner that will prevent soil erosion.

- Drawing Checklist:**
- Client sign off
 - Review Survey
 - Review Grading
 - Review Truss Layout
 - Review Floor Layout
 - Engineering review
 - Issued for Permit

Roof Plan
SCALE 1/4" = 1'-0"

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1.905.481.1153

Client Sign Off: _____ Date: _____

PROJECT: 142 Alpine Ave, Hamilton Ontario

PROJECT No: 2022-081

VIRTUAL CREATIONS INC.
(905) 481 1153

VIRTUAL CREATIONS INC.
ARCHITECTURAL CONSULTING SERVICES
ISSUED May 23 2023

SMALL BUILDINGS

Client: Theresa Lacharity
Classification: _____

BCIN No. **288444**

BCIN No. **288444**

ERIC CANTON BCIN# 25135

Original Signature: *E. Canton*

WWW.VCINC.CA

AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED A COMPREHENSIVE SET OF CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS AT THE TIME OF DESIGNING THAT ARE UNAVAILABLE OR INACCESSIBLE. WITH PROPER CO-ORDINATION AND ACCESS TO THESE AREAS, VIRTUAL CREATIONS INC. WILL BE ABLE TO PROVIDE A MORE COMPLETE SET OF DRAWINGS. VIRTUAL CREATIONS INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCIES OR SUBSTITUTIONS FOR REVIEW BEFORE COMMENCING CONSTRUCTION. ALL DESIGNS AND DRAWINGS ARE THE SOLE PROPERTY AND COPYRIGHT OF VIRTUAL CREATIONS INC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY VIRTUAL CREATIONS INC OR PURCHASED THROUGH VIRTUAL CREATIONS INC DIRECTLY.

CONTRACT

15'-7" [4.7m] STRUCTURE'S HEIGHT

180.7" HEIGHT OF BUILDING

108.0" FIRST FLOOR CEILING
FIRST FLOOR SOFFIT

92.0" TOP OF DOORS

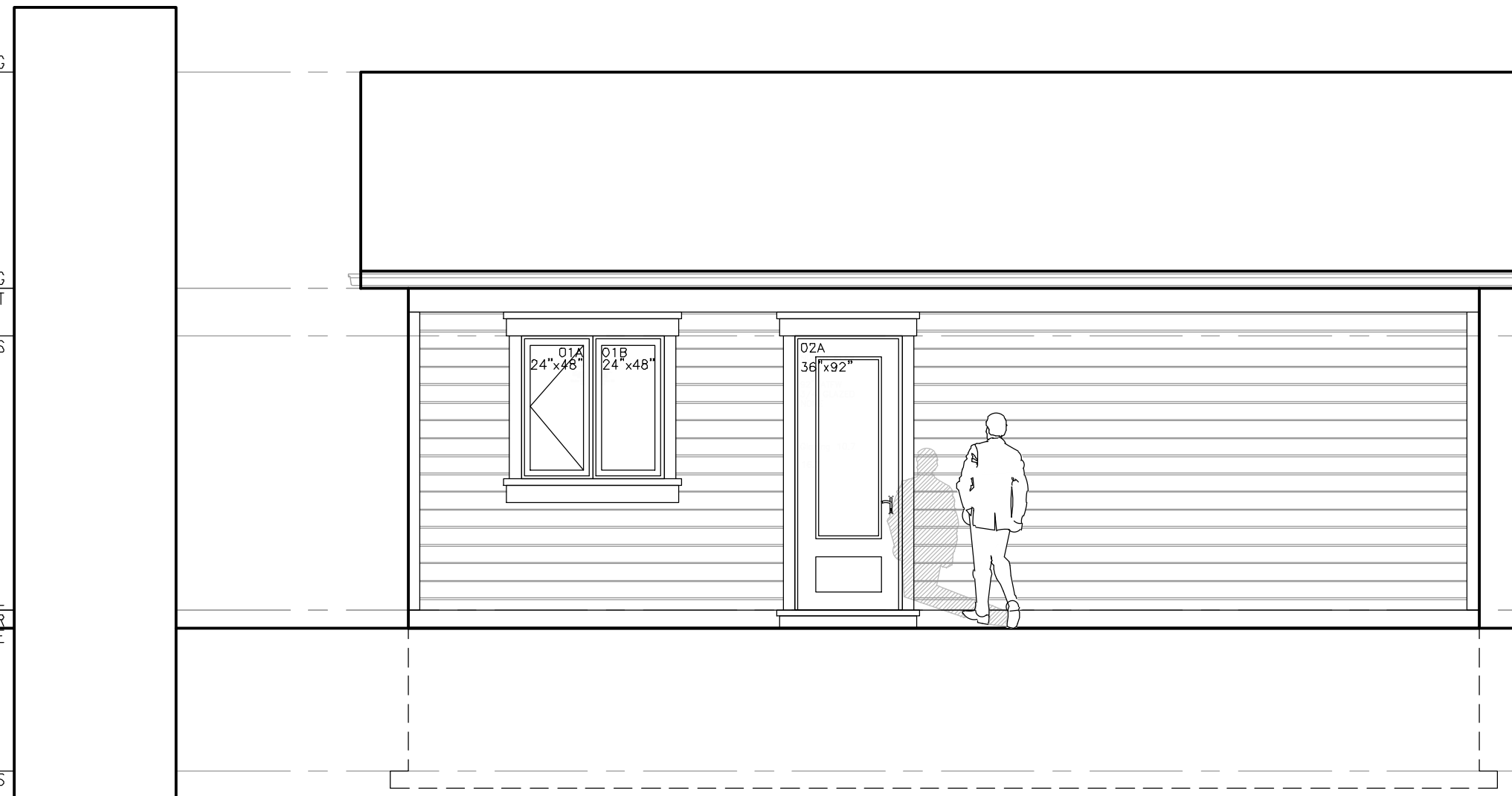
9'-0" [2.7m] Floor Height

8" [0.2m] EST. JOIST

0.0" TOP OF FOUNDATION WALL
FIRST FLOOR

-6.0" MAX EXTERIOR GRADE

-54.0" U/S OF FOOTINGS



Front Elevation

SCALE 1/4" = 1'-0"

15'-7" [4.7m] STRUCTURE'S HEIGHT

180.7" HEIGHT OF BUILDING

108.0" FIRST FLOOR CEILING
FIRST FLOOR SOFFIT

92.0" TOP OF DOORS

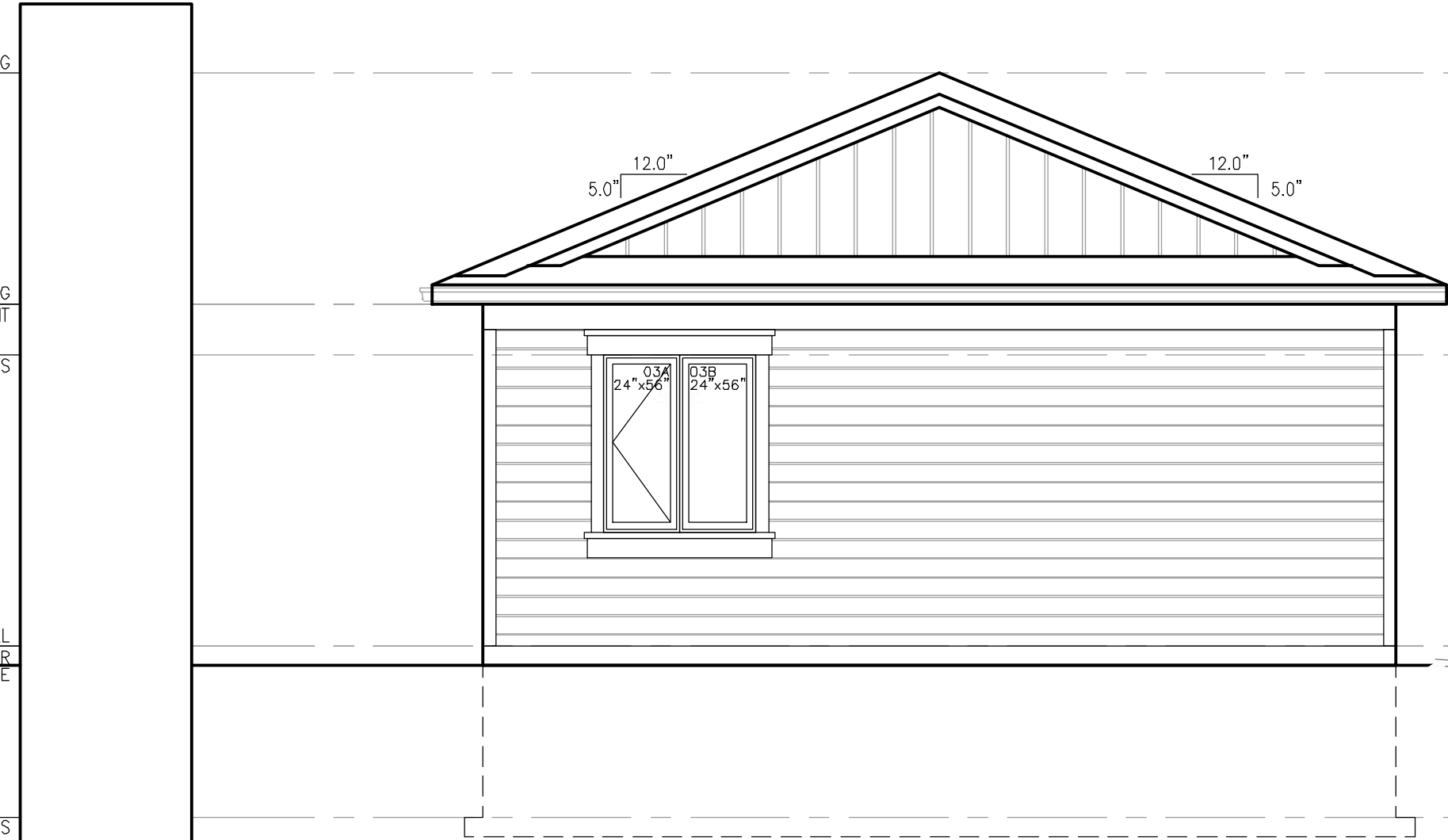
9'-0" [2.7m] Floor Height

8" [0.2m] EST. JOIST

0.0" TOP OF FOUNDATION WALL
FIRST FLOOR

-6.0" MAX EXTERIOR GRADE

-54.0" U/S OF FOOTINGS



Right Side Elevation

SCALE 1/4" = 1'-0"

Unprotected opening Calculations (9.10.15.4)
 Wall face area = 228.0 sq. ft.
 Openings = 12.5 sq. ft.
 Percentage = 5.5%
 Max allowed = 7%
 Wall area assumes smallest amount of wall area regardless of grading conditions. Not grading calculations include entire basement window regardless if the window is below grade or not.

PROJECT: 142 Alpine Ave, Hamilton Ontario

INC. BCIN No. 28844

(905) 481-1153

VIRTUAL CREATIONS

A2-00

Date: _____

Client Sign Off: _____

SMALL BUILDINGS

Classification: _____

Client: Theresa Lacharity

Client: 28844

BCIN# 25135

ERIC CANTON

INC. BCIN No. 28844

(905) 481-1153

VIRTUAL CREATIONS

A2-00

Original Signature: *E.C.*

Classification: _____

Client: Theresa Lacharity

Client: 28844

BCIN# 25135

ERIC CANTON

INC. BCIN No. 28844

(905) 481-1153

VIRTUAL CREATIONS

A2-00

WWW.VCINC.CA

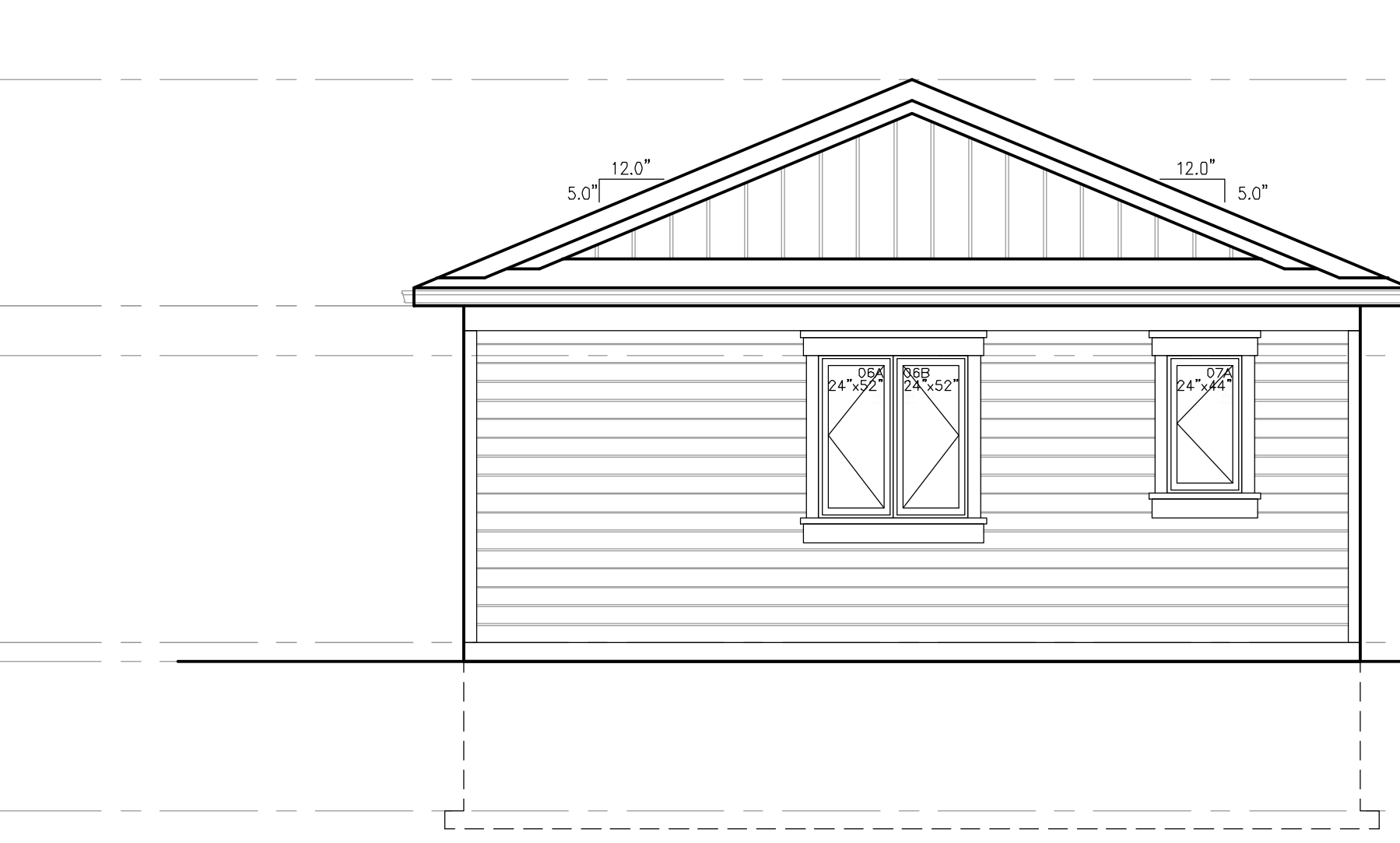
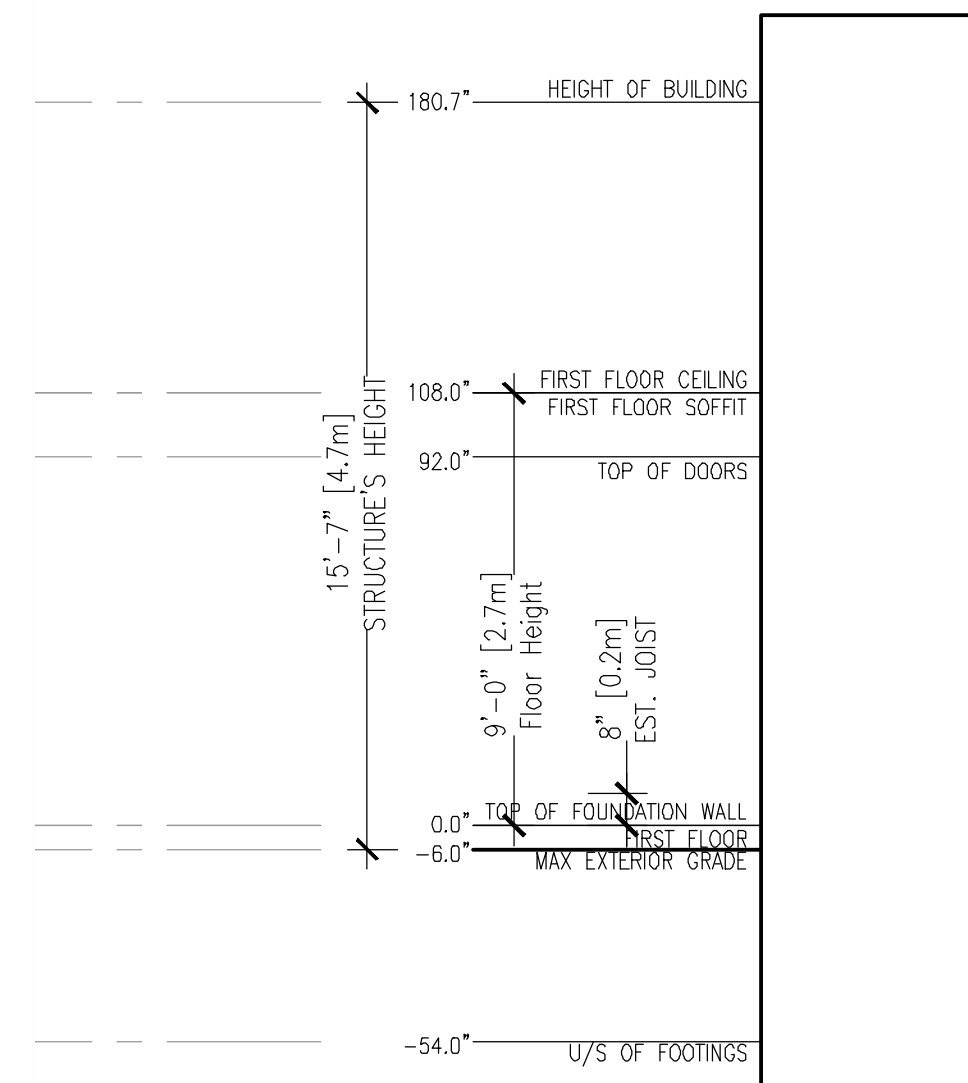
A2-00

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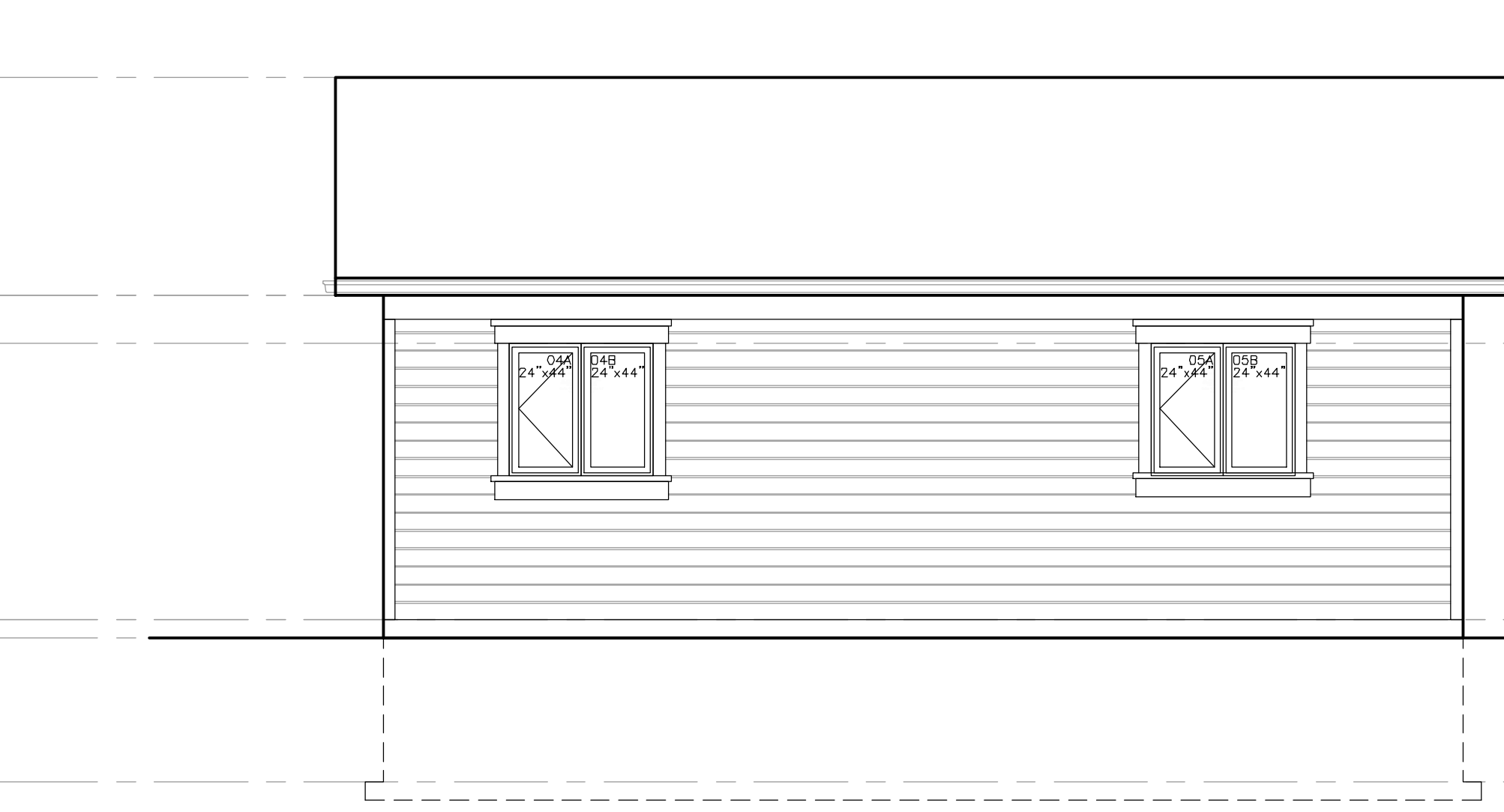
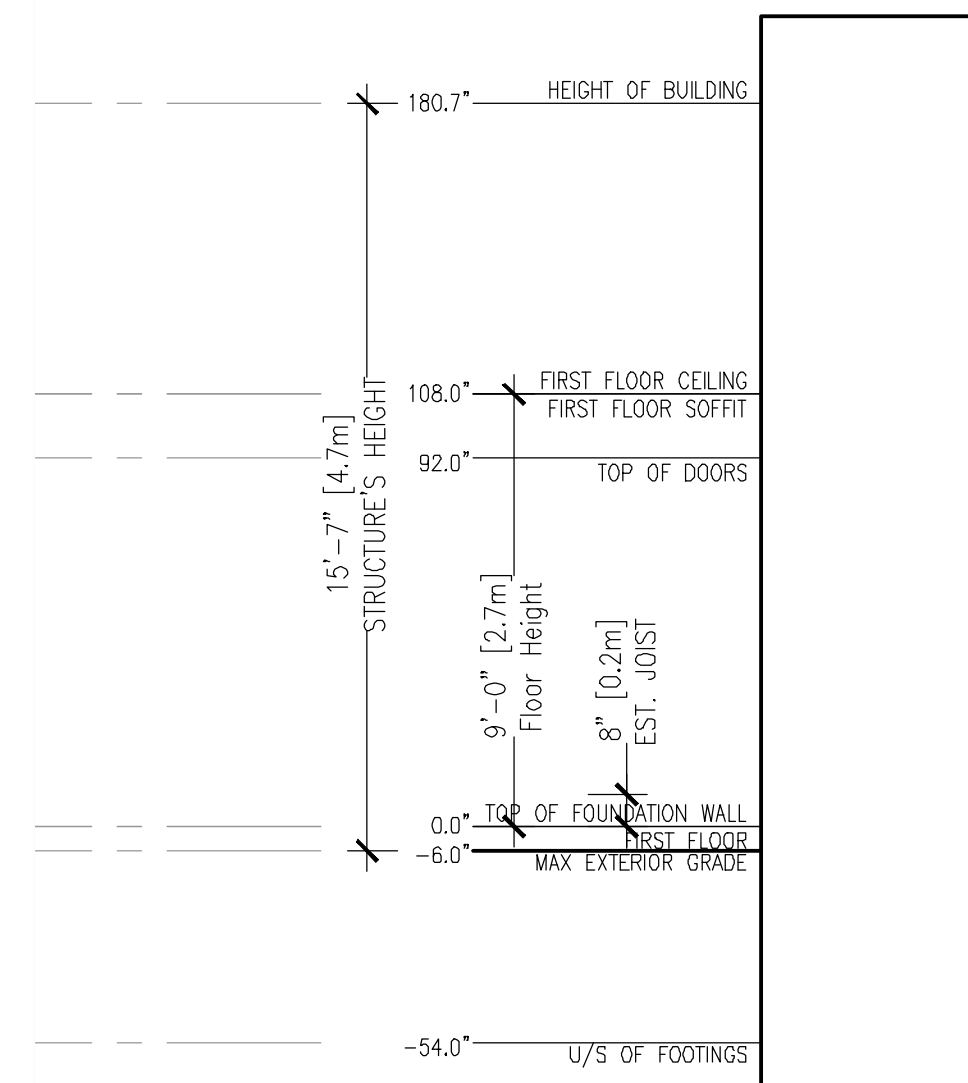
ISSUED: May 23 2023

CONTRACT



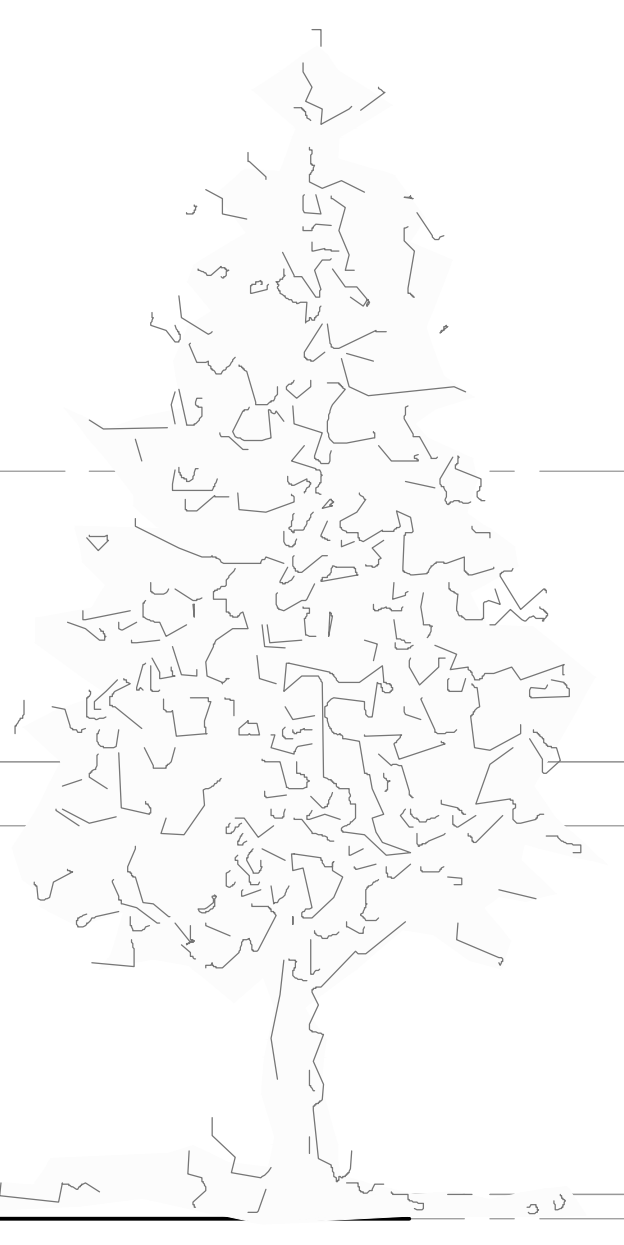
Unprotected opening Calculations (9.10.15.4)
 Wall face area = 228.0 sq. ft.
 Openings = 16.0 sq. ft.
 Percentage = 7.0%
 Max allowed = 7%
 Wall area assumes smallest amount of wall area regardless of grading conditions. And glazing calculations include entire basement window regardless if the window is below grade or not.

Left Side Elevation
 SCALE 1/4" = 1'-0"



Unprotected opening Calculations (9.10.15.4)
 Wall face area = 285.0 sq. ft.
 Openings = 19.0 sq. ft.
 Percentage = 6.7%
 Max allowed = 7%
 Wall area assumes smallest amount of wall area regardless of grading conditions. And glazing calculations include entire basement window regardless if the window is below grade or not.

Rear Elevation
 SCALE 1/4" = 1'-0"



Client Sign Off: _____ Date: _____

PROJECT: 142 Alpine Ave, Hamilton Ontario

VIRTUAL CREATIONS INC. PROJECT No: 2022-031

(905) 481 1153 BCIN No. **28844**

Client: Theresa Lacharity

Classification:

ERIC CANTON BCIN# 25135

SMALL BUILDINGS Original Signature: *E.C.*

WWW.VCINC.CA

AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED A COMPREHENSIVE SET OF CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS AT THE TIME OF DESIGNING THAT ARE UNAVAILABLE OR INACCESSIBLE. WITH PROPER CO-ORDINATION OF THE CLIENT AND VIRTUAL CREATIONS INC. THE DRAWINGS WILL BE REVISED TO REFLECT THE EXISTING CONDITIONS. DETERMINE LOCATIONS OF EXISTING SERVICES. INFORM VIRTUAL CREATIONS INC. OF ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS FOR REVIEW BEFORE COMMENCING CONSTRUCTION. ALL DESIGNS AND DRAWINGS ARE THE SOLE PROPERTY AND COPYRIGHT OF VIRTUAL CREATIONS INC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY VIRTUAL CREATIONS INC OR PURCHASED THROUGH VIRTUAL CREATIONS INC DIRECTLY.

ISSUED: May 23 2023



CONTRACT

GENERAL NOTES

1. THESE PLANS IS/ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED BY THE ENGINEER AND INDICATED ISSUED FOR CONSTRUCTION ON THE DRAWING.
2. THESE PLANS IS/ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BARICH GRENKIE SURVEYING LIMITED.
3. INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION DRAWINGS ARE FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS HOLD AN ALL RESPONSIBILITY FOR THE ACCURACY AND/OR SUFFICIENCY. THE CONTRACTOR SHALL ASSUME LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
4. SITE PLAN INFORMATION TAKEN FROM SURVEY BY BARICH GRENKIE SURVEYING LTD DATED 28/04/2023.
5. THESE PLANS IS/ARE TO BE USED FOR SERVING AND GRADING ONLY. FOR BUILDING LOCATION REFER TO THE SITE PLAN.
6. MUNICIPAL APPROVAL OF THESE DRAWINGS IS FOR MATERIAL AND COMPLIANCE WITH CITY/TOWN STANDARDS AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION OF THE WORKS BY THE CITY/TOWN STAFF DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS NOR RELIEVE THE CONTRACTOR OF CERTIFICATION OF ALL WORKS BY THE OWNER'S ENGINEER.
7. ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED WRITTEN APPROVAL HAS FIRST BEEN OBTAINED FROM THE CITY OF HAMILTON AND THE ENGINEER.
8. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - STREET PERMITS
 - APPROACH APPROVAL PERMITS
 - RELOCATION OF SERVICES
 - COMMITTEE OF ADJUSTMENT ENCROACHMENT AGREEMENTS
9. PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:
 1. CHECK AND VERIFY ALL DIMENSIONS AND EXISTING ELEVATIONS WHICH INCLUDE BUT ARE NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS, EXISTING INKERS AND REPORT FINDING IN WRITING TO THE ENGINEER.
 2. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
 3. OBTAIN ALL FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH APPEAR ON THESE PLANS CORRELATE WITH THE FINAL ARCHITECTURAL DRAWINGS.
 4. CONTROL ALL GRADINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION. NOTIFY THE ENGINEER OF THE PROPOSED CONSTRUCTION SCHEDULE FOR COORDINATION OF NECESSARY INSPECTIONS.
10. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER 48 HOURS PRIOR TO THE COMMENCING SITE WORKS TO ARRANGE FOR INSPECTION. THE ENGINEER SHALL DETERMINE THE EXTENT OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGROUND SERVICE INSTALLATION AS MANDATED BY THE ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2. GENERAL REVIEW FAILURES TO MAKE SCHEDULE ARRANGEMENTS FOR INSPECTION WILL LEAD TO STOP CONSTRUCTION TESTING AND INSPECTION AS DETERMINED BY THE ENGINEER. THE COSTS OF WHICH INCLUDING ANY DELAYS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR. FULL PAYMENT FOR UNINSPECTED WORKS MAY BE WITHHELD UNTIL THE COMPLETION OF THE POST CONSTRUCTION INSPECTION AND TESTING TO THE SATISFACTION OF THE ENGINEER.
11. INSPECTION BY THE OWNER'S ENGINEER IS FOR CERTIFICATION AND GENERAL PERFORMANCE PURPOSES AND DOES NOT CERTIFY LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE INSTALLATION OF THE WORKS TO PROPER LINE, GRADE, AND QUALITY TO CURRENT INDUSTRY STANDARDS.
12. ANY UTILITY RELOCATIONS AND RESTORATIONS DUE TO THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER AND SHALL BE COORDINATED BY THE CONTRACTOR.
13. ALL RESTORATIONS AND RECONSTRUCTIONS SHALL BE COMPLETED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY/TOWN STANDARDS.
14. SERVING CONTRACTOR TO MAINTAIN A "CONFIRMED TRENCH CONDITION" IN ALL SEWER AND WATERMAIN INSTALLATION TRENCHES.
15. THE SITE SERVING CONTRACTOR SHALL TERMINATE ALL SERVICES 1.0m FROM THE BUILDING FACE.
16. NO BLASTING WILL BE PERMITTED.

SEWERS

- STORM SEWERS**
 1. CONSTRUCTION OF STORM SEWERS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
 2. COVER AND BEDDING MATERIAL FOR PVC PIPE SHALL BE GRANULAR "A" MATERIAL AS PER OPSD 502.00 OR REGION 3.
 3. PVC PIPE SHALL REQUIRE SPECIAL CONSTRUCTION PROCEDURES AS PER CITY SPECIFICATIONS.
 4. ALL SEWERS TO BE FLOWED PRIOR TO VIDEO INSPECTION.
 5. STORM SEWERS 250mm to 600mm IN DIAMETER SHALL BE PVC PIPE, CSA B182.2, SDR-35.
 6. PROPOSED PRIVATE REAR LOT CATCH BASINS (RCS) ARE TO BE CONSTRUCTED TO FULLY COMPLY COMPLETE WITH BIBC/C/816 FRAME AND GRATE AS PER OPSD 400.120. REAR LOT CATCH BASINS ARE TO BE SIMPLISS.
 7. ALL PVC SEWERS ARE TO BE TESTED FOR DEFLECTION (MANHOLE PASSAGE) AFTER INSTALLATION.
- STORM AND SANITARY PRIVATE DRAIN**
 1. CONSTRUCTION OF PRIVATE DRAIN SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
 2. PRIVATE DRAIN TO BE 150mm PVC PIPE, CSA B182.2 M-1983, SDR 28 AS PER FORM 500. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOUR OTHER THAN WHITE. WOOD MARKINGS AT END OF SANITARY PRIVATE DRAIN SHALL BE PAINTED RED.
 3. COVER AND BEDDING MATERIAL FOR PRIVATE DRAIN SHALL BE GRANULAR "A" INSTALLED AS PER OPSD 502.00 OR REGION 3.
 4. MINIMUM FALL FOR PRIVATE DRAIN TO BE 2.0%
 5. TOP OF SANITARY PRIVATE DRAIN AT STREET LINE TO BE 2.24 (MIN.) BELOW CENTRALISE ROAD ELEVATION AT THAT POINT OR AS DETAIL.
 6. TOP OF STORM PRIVATE DRAIN AT STREET LINE TO BE 1.24 (MIN.) BELOW CENTRALISE ROAD ELEVATION AT THAT POINT OR AS DETAIL.
 7. BUILDING SANITARY LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE TO LANDSCAPED SURFACES VIA SPLASH PADS.
 8. SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WASTEWATER TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET PIPE SHALL EXTEND A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE MANHOLE (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN. SEE DETAIL J.
 9. IF THE APPLICANT/OWNER INTENDS TO REUSE A PORTION OF A SITE'S EXISTING SEWER SYSTEM, IT IS THEIR RESPONSIBILITY TO ENSURE THAT THE SEWER IS ADEQUATE CAPACITY TO ACCOMMODATE ALL APPLICABLE BY-LAW REQUIREMENTS, AND IS IN GOOD WORKING ORDER. SEWERS TO BE REUSED MUST BE VIDEO INSPECTED, WHILE THE CITY/TOWN SEWER INSPECTOR IS PRESENT. THE APPLICANT/OWNER IS RESPONSIBLE FOR MAKING ALL ARRANGEMENTS FOR THEIR PRIVATE VIDEO INSPECTION CONTRACTOR ALONG WITH PAYMENT OF AN INSPECTION FEE.

WATERMANS AND WATER SERVICES

- WATER SERVICES**
 1. CONSTRUCTION OF PRIVATE WATER SERVICES SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
 2. WHERE METAL FITTINGS ARE TO BE USED ON PVC MAINS SUFFICIENT CATHODIC PROTECTION MUST BE PROVIDED AS PER THE FOLLOWING REQUIREMENTS:
 1. MINIMUM OF ONE TWO ZINC ANODE SHALL BE INSTALLED FOR EVERY 1500m OF TRACER WIRE.
 2. ONE TWO ZINC ANODE SHALL BE INSTALLED FOR EACH COPPER WATER SERVICE CONNECTION.
 3. ONE TWO ZINC ANODE SHALL BE INSTALLED ON EVERY WATER SERVICE CONNECTION. THE SIZING, REDUCER, PLUG, CAP, JOINT RESTRAINT, COUPLING, ETC., CONNECTED TO THE PVC PIPE.
 4. WATER SERVICE TO BE 25mm DIA. TYPE "N" SDR COPPER AS PER 784.002.01 OR AS DETAIL.
 5. GRANULAR BEDDING AS PER 784.002.01 AND 784.002.02 TO BE GRANULAR "A" AS PER FORM 800.
 6. ALL VALVE BOXES TO BE SET TO PROPOSED GRADES.

GRADING NOTES

- GENERAL GRADING**
 1. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOPED SLOPES (MIN. 1% TO 10% AND/OR RETAINING WALLS AS SPECIFIED).
 2. ALL RETAINING WALLS, WALLWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.5m OR HIGHER SHALL BE DESIGNED BY A P.E.
 3. CHOKED A RETAINING WALL IS REQUIRED. THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD DWALE.
 4. RETAINING WALLS 0.9m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
 5. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (MIN) ABOVE FINISHED GRADE.
 6. EXISTING SLOPES SHALL NOT BE LESS THAN 7% AND NOT MORE THAN 7.5% REVERSED SLOPED DRAINWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
 7. IF GRADING IS REQUIRED ON LANDS ADJOINING THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
 8. THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO EXERCISING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHHELD PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
 9. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT WALKER VAULTS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS. ANY CHANGES IN GRADEN AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
 10. ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 50% MAXIMUM GRADE. THEREAFTER ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADE.
 11. SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 2.0% GRADE (3:1 SLOPE).
 12. WHEN MATING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.2% GRADE IS PERMITTED PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUSTAINABLE OUTLET (WITH A MINIMUM 0.5m COVER OVER THE SUBDRAIN), OR OTHER MITIGATION MEASURES.
 13. MAXIMUM GRADE FOR WRAP-AROUND SWALE IN BACKYARDS SHALL BE 1.0%.
 14. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED IN A STRAIGHT LINE.
 15. GARAGE FLOOR ELEVATIONS TO BE SET 0.3m HIGHER THAN BACK OF WALK UNLESS OTHERWISE SPECIFIED.
 16. ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 80% S.P.D. (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 300mm.
- BACKYARD GRADING**
 1. DEFINITION "REQUIRED BACK YARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW R-1.2.
 2. THE MAXIMUM 5.0% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE BACK OF THE LOT, PROVIDED THE TOTAL WIDTH OF THE SWALE DOES NOT EXCEED 1.0m ON EACH LOT.
 3. WHERE THE 5.0% RESTRICTION ON BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOTS. 3:1 SLOPES CAN REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
 4. GENERALLY SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 5. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS, AND BACK YARDS, OUTSIDE THE AREAS REFERRED IN ITEM 1.4, ABOVE. PROVIDING THE SLOPES ARE STABLE FOR THE SOLES OF THE AREA (3:1 MAXIMUM).

COMPACTION REQUIREMENTS

UNLESS OTHERWISE NOTED OR DIRECTED BY THE GEOTECHNICAL CONSULTANT, THE FOLLOWING SHALL APPLY:

1. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUB-GRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS, ETC., SHALL BE COMPACTED TO MIN. 90% S.P.D. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
2. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO 98% S.P.D.
3. FOR ALL SEWERS AND WATERMANS IN FULL SECTIONS, THE COMPACTION SHALL BE CERTIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO LAYING OF PIPE.

SILTATION AND EROSION CONTROL

SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAIL.

ALL SILTATION CONTROL MEASURES SHALL BE CLEARED AND MAINTAINED AFTER EACH RAINFALL, AS DIRECTED AND TO THE SATISFACTION OF THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.

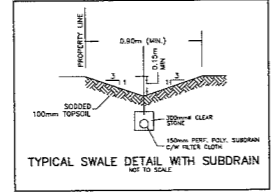
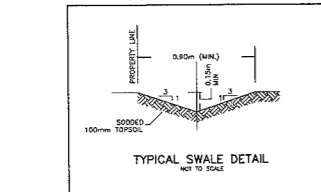
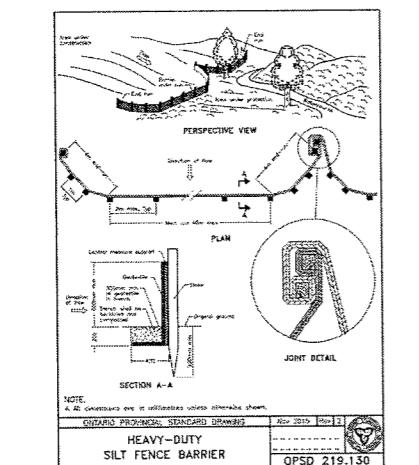
ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.

RESTORATIONS

1. ALL TRENCH EXCAVATION WITHIN EXISTING ROAD ALLOWANCES SHALL BE BACKFILLED WITH GRANULAR "A" COMPACTED TO 98% S.P.D. PAVEMENT.
2. RESTORATION SHALL BE PERFORMED AS PER RD-100-D1 & 100-D2.
3. SHALL BOLLIVARDWAYS TO BE RESTORED WITH #1 NURSERY SOO ON 100mm MINIMUM FINCH SELECT TOPSOIL.
4. BEDDINGS MATERIALS TO BE AS PER FORM 600. COMPACTION TO BE AS PER FORM 900.

REMOVALS & ABANDONMENTS

1. COMPLETELY REMOVE ABANDONED SEWER/WATERMAIN, WHERE POSSIBLE AND/OR AS DIRECTED BY THE CITY OF HAMILTON. IF MAINS TO BE ABANDONED IN PLACE, FOLLOW OPSD 510.
2. WHERE ABANDONING A WATER SERVICE CONNECTION OR WATERMAIN CONNECTED TO A LIVE MAIN, THE PREFERRED METHOD IS TO REMOVE THE CURB STOP AND STEM, SHUT OFF MAIN STOP AND DISCONNECT/OUT WATER SERVICE AT MAIN STOP.



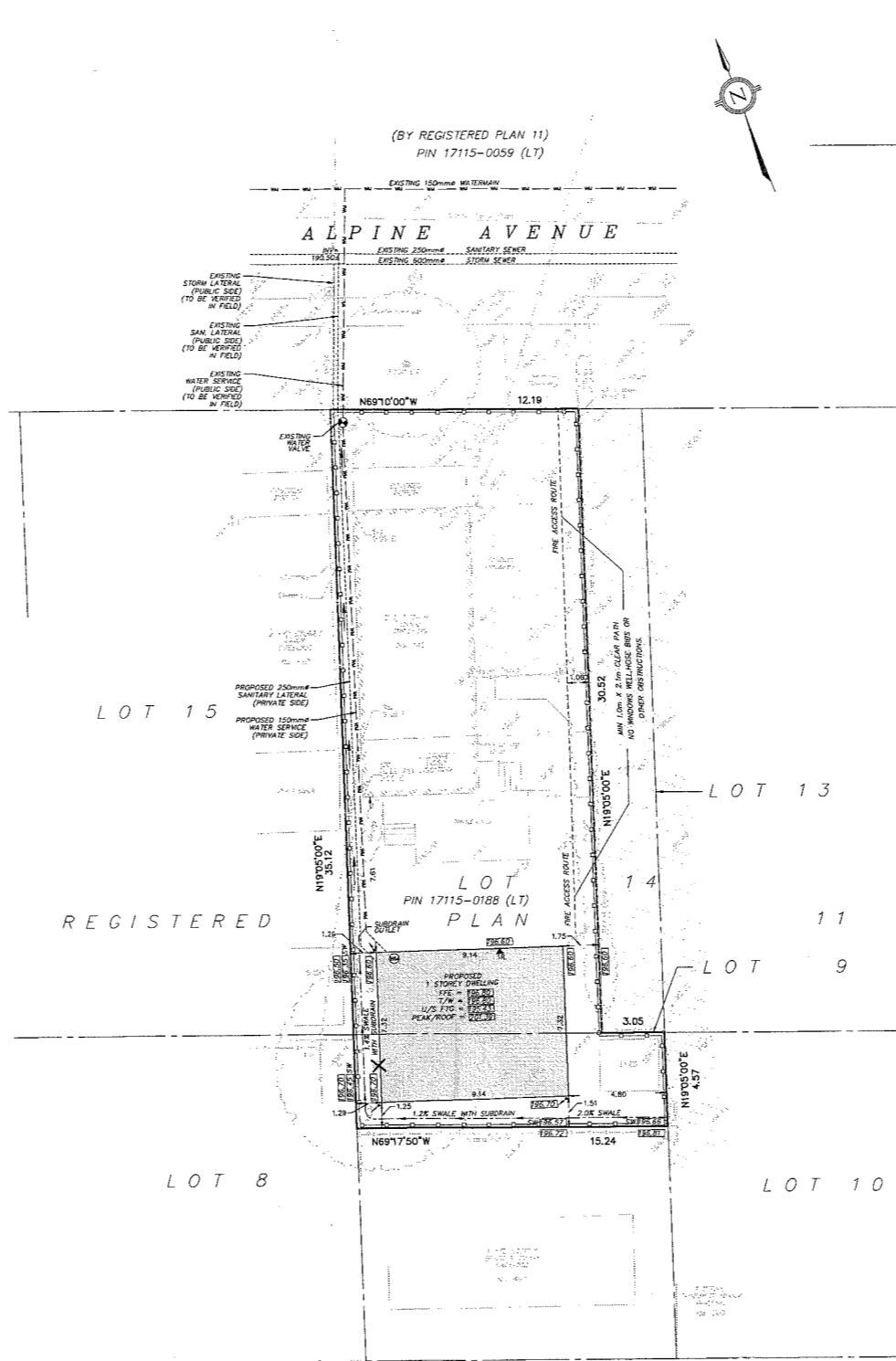
MUNICIPAL ADDRESS
142 ALPINE AVENUE, HAMILTON

LEGAL DESCRIPTION
PART OF LOTS 9 & 14
CITY OF HAMILTON ZONING LOW DENSITY RESIDENTIAL ZONE (R1) (RESIDENTIAL ZONES (SECONDARY DWELLING UNITS-SDUS))

SITE STATISTICS	BYLAW	PROPOSED
MAX. FFE	75 m ²	66.90 m ²
FRONT YARD SETBACK (FROM THE PRINCIPAL DWELLING)	7.5 m	7.61 m
REAR YARD SETBACK	1.2 m	1.25 m
SIDE YARD SETBACK-W	1.2 m	1.29 m
HEIGHT(PEAK OF ROOF)	6.0 m	4.74 m
MAX. LOT COVERAGE	25%	16.78%

AVERAGE GRADE = $\frac{196.70+196.70+196.60+196.60}{4} = 196.65$

AVERAGE GRADE BY THE CITY OF HAMILTON (HEIGHT DEFINITION)



UPPER WENTWORTH STREET

KEY MAP

NOT TO SCALE

ADDRESS: 142 ALPINE AVENUE, HAMILTON

SITE AND GRADING PLAN OF PART OF LOTS 9 & 14 REGISTERED PLAN 11 IN THE CITY OF HAMILTON

BARICH GRENKIE SURVEYING LTD. A DIVISION OF GEOMAPLE © COPYRIGHT 2023

METRIC
DISTANCES AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- CB DENOTES CATCH BASIN
- DT DENOTES DEODOROUS TREE
- DT DENOTES CONIFEROUS TREE
- SV DENOTES SERVICE VALVE
- SB DENOTES SUBJECT LANDS BOUNDARY
- DL DENOTES DEED LINE
- LL DENOTES LOT LINE
- LL DENOTES LIMIT OF STREET
- FT DENOTES FENCE LINE
- TR DENOTES TREE TO BE REMOVED
- N-E-S-W DENOTES NORTH-EAST-SOUTH-WEST
- EL DENOTES EXISTING ELEVATION
- PL DENOTES PROPOSED 3/4" FENCE
- SP DENOTES DOWNSPOUT WITH SPLASH PAD
- WM DENOTES WATER METER

ELEVATION NOTE
ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928-1978) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK No. 0772002012 HAVING AN ELEVATION OF 195.497 m.

NO.	DATE	BY	REVISIONS
2	05/18/2023	GF	AS PER CITY COMMENTS
1	04/11/2023	GF	AS PER CITY COMMENTS
0	03/28/2023	DC	ISSUED FOR REVIEW

DESIGN	GF	CHK'D	DJ	DATE
DRAWN	GF <td>CHK'D</td> <td>DJ</td> <td>MAY 18, 2023</td>	CHK'D	DJ	MAY 18, 2023

Scale 1:150

APPROVALS

STAMP

Licensed Professional Engineer
M. FATHI
100086843
MAY 18, 2023
PROVINCE OF ONTARIO

Barich Grenkie
Surveying Ltd.
381 HWY No. 8 (2ND FLOOR) STONEY CREEK, ON
M9W 5S7
A DIVISION OF GEOMAPLE

DWN BY: GF
CHK BY: MF
JOB No. 23-3089

CLIENT: MATT CREARY RESIDENCE

PROJECT NAME: PROPOSED DWELLING 142 ALPINE AVENUE, HAMILTON

TITLE: SITE AND GRADING PLAN

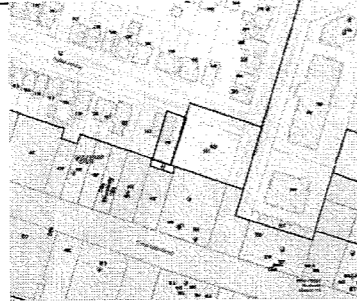
PROJECT No. 23-3089 DRAWING No. 23-3089 SGP

PROJECT INFORMATION

Project Information:

2022-031

142 Alpine Ave, Hamilton Ontario



ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE ONTARIO BUILDING CODE REGULATIONS

This drawing set has been prepared under the

O. Reg 332/12
Ontario Building Code 1992
Amendment Jan 1 2020

ISSUED TO CONSULTANTS

1.	Issued to Consultants	2022.08.11	E.C.
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Virtual Creations Inc. - Energy Efficiency for Housing SB-12 (2017) ZONE 1 <92

COMPONENTS

COMPLIANCE PACKAGE	Attic	Cathedral	Exposed Floor	Walls	Continuous Insulation	Basement	Slab Horizontal	Edge of Slab
Package A1 Table 3.1.1.2A (P) 3.1.1.2A(P)	R60	R31	R31	R22	N/A	R20 ci	---	R10
	Heated Slab	Skylights	Windows	Glazing Upgrade	Space Heating	HRV	Hot Water	Gray water heat recovery
	R10	.49	25er		96%	75%	.8	42%

SB12 Schedule

SB-12 2.1. METHODS FOR ACHIEVING ENERGY EFFICIENCY COMPLIANCE (CONCLUSION)
TOTAL WALL AREA = 982.80 Sq. Ft. TOTAL DOOR GLAZING AREA = 0.00 Sq. Ft.
TOTAL RSO AREA (NOT INCLUDING BASEMENT WINDOWS) = 105.20 Sq. Ft.
TOTAL PERCENTAGE = 10.70%

- COMPLY WITH 3.1.1.1.(7) <17%
- COMPLY WITH 3.1.1.1.(8) >17% <22% (UPGRADES HAVE BEEN NOTED)
- COMPLY WITH 3.1.1.1.(9) >22% (ENERGY CONSULTANT MUST BE CONSULTED)

SB-12 2.1. METHODS FOR ACHIEVING ENERGY EFFICIENCY COMPLIANCE - FIRST FLOOR
TOTAL WALL PERIMETER = 108.0'
WALL HEIGHT FROM GRADE TO CEILING = 9.1
TOTAL WALL AREA = 982.80 Sq. Ft.

BUILDING INFORMATION

Area Calculations

Total Building Area	720.00 Sq. Ft. (66.89 Sq. m.)
Proposed First Floor Area	720.00 Sq. Ft. (66.89 Sq. m.)

1	Bathroom group* with 6 LPF flush tank	N/A	3.6
2	Bathroom group* with greater than 6 LPF flush	N/A	6
3	Bathub with or without shower head	1/2	1.4
4	Clothes washer	1/2	1.4
5	Dishwasher, domestic	3/8	1.4
6	Hose bibb (1/2")	1/2	2.5
7	Lavatory	3/8	0.7
8	Shower head	1/2	1.4
9	Shower, spray, multi-head, fixture unit per head	**	1.4
10	Sink, bar	3/8	1
11	Sink, kitchen, domestic	3/8	1.4
12	Sink, laundry (1 or 2 compartments)	3/8	1.4
13	Water closet, 6 LPF or less with flush tank	3/8	2.2
14	Other:		

Room Schedule

See plans for additional information

BUILDING INFORMATION

Metric to Imperial Steel Beam Converting

Metric	Imperial	Metric	Imperial	Metric	Imperial	Metric	Imperial	Metric	Imperial
W150x22	W6x15	W200x27	W8x18	W250x33	W10x22	W310x39	W12x26	W360x57	W14x38
W150x30	W6x20	W200x36	W8x24	W250x39	W10x29	W310x47	W12x35		
W150x37	W6x25	W200x42	W8x28	W250x46		W310x54			
		W200x49	W8x31	W250x52		W310x62			
		W200x55	W8x36						

Beam Schedule

Information Not Required

Pad Footing Schedule

Information Not Required

Window and Door Schedule

TAD	SIZE	SB12	OPERATOR	LOCATION	HEIGHT	GRILL	GLAZING
01A	24"x48"	8.0	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 5.2
01B	24"x48"	8.0	FIXED	NORTH ELEV	92" ATFW	NONE	Glazing 5.2
02A	36"x92"	16.7	3/4 GLAZED	NORTH ELEV	92" ATFW	NONE	Glazing 10.7
03A	24"x56"	9.3	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 6.2
03B	24"x56"	9.3	FIXED	NORTH ELEV	92" ATFW	NONE	Glazing 6.2
04A	24"x44"	7.3	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 4.7
04B	24"x44"	7.3	FIXED	NORTH ELEV	92" ATFW	NONE	Glazing 4.7
05A	24"x44"	7.3	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 4.7
05B	24"x44"	7.3	FIXED	NORTH ELEV	92" ATFW	NONE	Glazing 4.7
06A	24"x52"	8.7	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 5.7
06B	24"x52"	8.7	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 5.7
07A	24"x44"	7.3	CASEMENT	NORTH ELEV	92" ATFW	NONE	Glazing 4.7
		105.2000					

Designed By:
VIRTUAL CREATIONS INC.
ARCHITECTURAL CONSULTING SERVICES (905) 481 1153

PROJECT: 142 Alpine Ave, Hamilton Ontario
 CLASSIFICATION: SMALL BUILDINGS
 ORIGINAL SIGNATURE: *E.C.*
 WWW.VCINC.CA
 CLIENT: 28844
 BCIN No. 28844
 ERIC CANTON BCIN#25155
 VIRTUAL CREATIONS INC. (905) 481 1153
 ISSUED Apr 05 2023

AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED A COMPREHENSIVE SET OF CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS AT THE TIME OF DESIGNING THAT ARE UNAVAILABLE OR UNACCESSIBLE. WITH PROPER COORDINATION WITH THE CLIENT, THESE AREAS WILL BE RECORDED AND SHOWN AS UNRECORDED. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED. VIRTUAL CREATIONS INC. IS NOT RESPONSIBLE FOR ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS FOR REVIEW BEFORE COMMENCING CONSTRUCTION. ALL DESIGNS AND DRAWINGS ARE THE SOLE PROPERTY AND COPYRIGHT OF VIRTUAL CREATIONS INC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY VIRTUAL CREATIONS INC. OR PURCHASED THROUGH VIRTUAL CREATIONS INC. DIRECTLY.

CONTRACT

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review all relevant dimensions and inform Virtual Creations and the manufacturer of any discrepancies. At the minimum the client must at least contact Virtual Creations to review the as build condition before purchasing, ordering or putting into production any and all materials.

FAILURE to verify these dimensions will oblige Virtual Creations of any responsibility of errors or discrepancies in our plans. By paying this invoice you agree to this requirement and condition.

DIMENSION NOTE:

2019.12.05 - There are different ways of dimension architectural floors, what follows is an explanation of the why interior walls are dimensioned as 4" or 6" vs other methods.

Some Architectural drawings chase to dimension the rough wood stud framing. However this would create a lot fractioned dimensions on the plans and would require the framer to account for the 1/2" drywall material in some conditions like bathroom tubs and stair wells.

Some Architectural drawings chase to dimension the finished wall thickness. However this would create a lot fractioned dimensions as well.

These Architectural set of drawings chase to dimension interior walls to a round 4" or 6" dimension. We feel this is the cleanest dimension as they do not have fractions, and at most produce a 1/2" error which isn't typically an issue. Further we full appreciate that we can not ask trades in the field to measure to 1/2" accuracies nor to we assume that as built construction could hold these tolerances.

OBC 9.10.19.3 - Smoke Alarms

(Renovations Only)
Existing smoke alarms are acceptable, however, if the scope of work involves renovating existing bedrooms, changing room uses from a non bedroom use to proposed bedroom use or an addition which includes a bedroom many requirements of 9.10.19.3 would apply including being interconnected, hardwired and with visual notification. If a smoke alarm is required it will be noted on drawings

Electrical Safety Authority

Doing electrical work? A notification must be filed with the Electrical Safety Authority. Hiring someone to do electrical contractor.

It's the law.
For more information go to www.esa.on.ca or call 1-877-372-7233

Part 4 Loads used
20lb Dead Load
40lb Live Load (interior)
50lb Live Load (exterior)
32lb Snow Load
10lb Wind Load

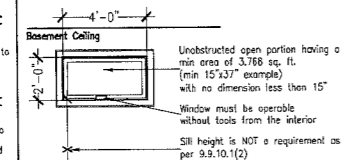
Deflection limits
1/425 Floors (interior)
1/350 Floors (exterior)

Commitment to General Review
To plans examiner, please indicate here if a commitment to general review will be required for any item submitted here on this sheet

Yes	No
<input type="checkbox"/>	<input type="checkbox"/>

Notes: Engineering Drawings
These drawings shall be read in association with the engineering floor joist and specifications as well as the engineering truss layout and specification.

9.9.10.1 Egress from Bedrooms

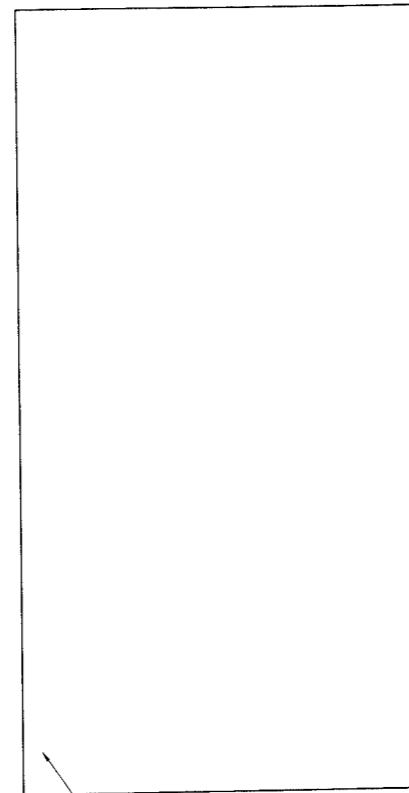


Basement Floor

Where this window opens into a window well a clearance of not less than 22" shall be provided in front of the window on the exterior.

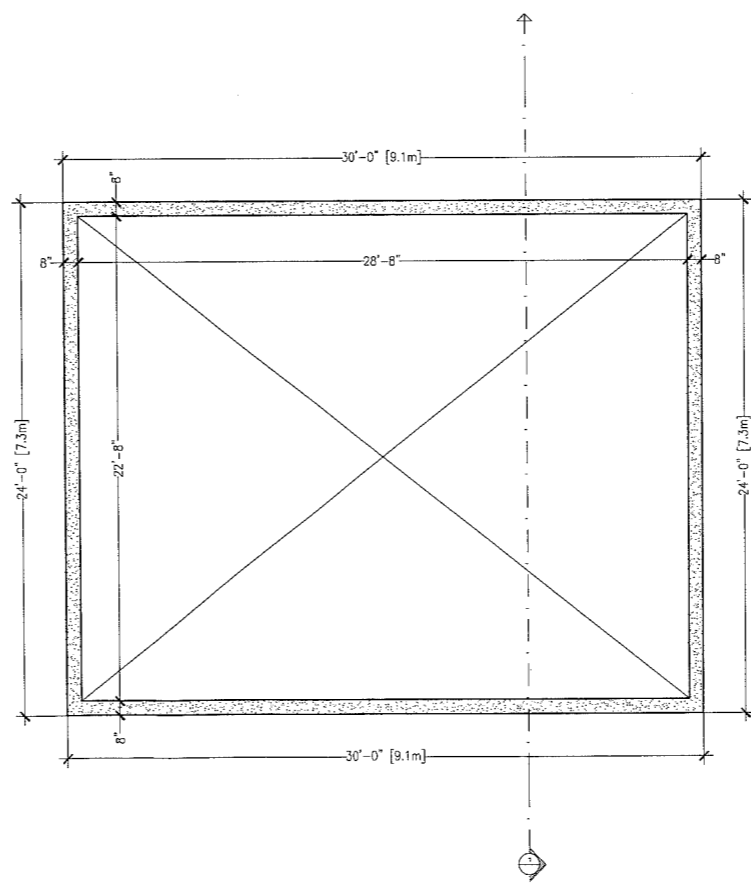
One window in the basement must comply with these requirements as there is not a door on the same floor level as the bedroom which provides direct access to the exterior.

Basement Note:
This unit has a finished basement, see other drawings sheet "Foundation Plan (Basement)" for more information like interior wall framing.



Foundation Area
686.25 Sq. Ft.
Unfinished

Principal Foundation Floor Plan
SCALE 1/4" = 1'-0"



NOTE TO FRAMERS:
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1.905.481.1153

- Drawing Checklist:**
- Client sign off
 - Review Survey
 - Review Grading
 - Review Truss Layout
 - Review Floor Layout
 - Engineering review
 - Issued for Permit

Foundation Floor Plan
SCALE 1/4" = 1'-0"

Client Sign Off: _____ Date: _____
PROJECT: 142 Alpine Ave, Hamilton Ontario
VIRTUAL CREATIONS INC. PROJECT No: 2022-031
(905) 481-1153 BCIN No. 28844
ISSUED: May 23 2023
ERIC CANTON BCIN# 25135
Classification: _____
Thames Liability: _____
Original Signature: *[Signature]*
WWW.VCINC.CA

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 (Renovations Only)

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Part 4 Loads used

- 20lb Dead Load
- 40lb Live Load (interior)
- 50lb Live Load (exterior)
- 32lb Snow Load
- 10lb Wind Load

Deflection limits

- L/425 Floors (interior)
- L/360 Floors (exterior)

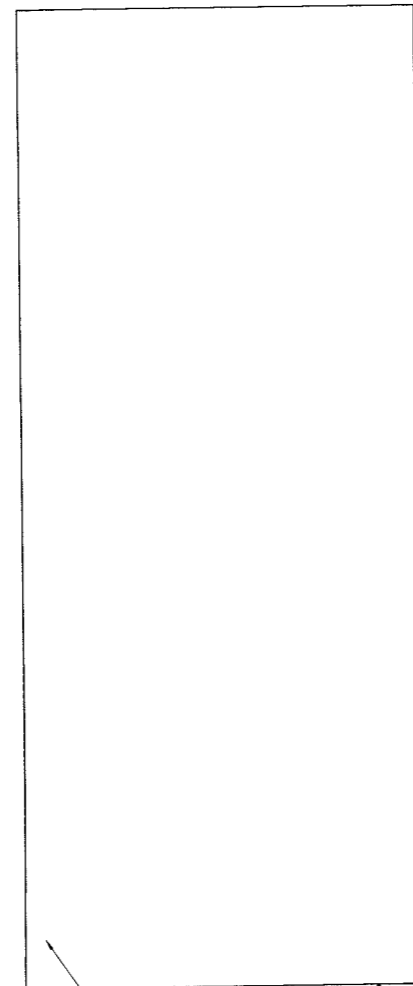
Commitment to General Review

To plans examiner, please indicate here if a commitment to general review will be required for any item submitted here on this sheet

Yes	No
<input type="checkbox"/>	<input type="checkbox"/>

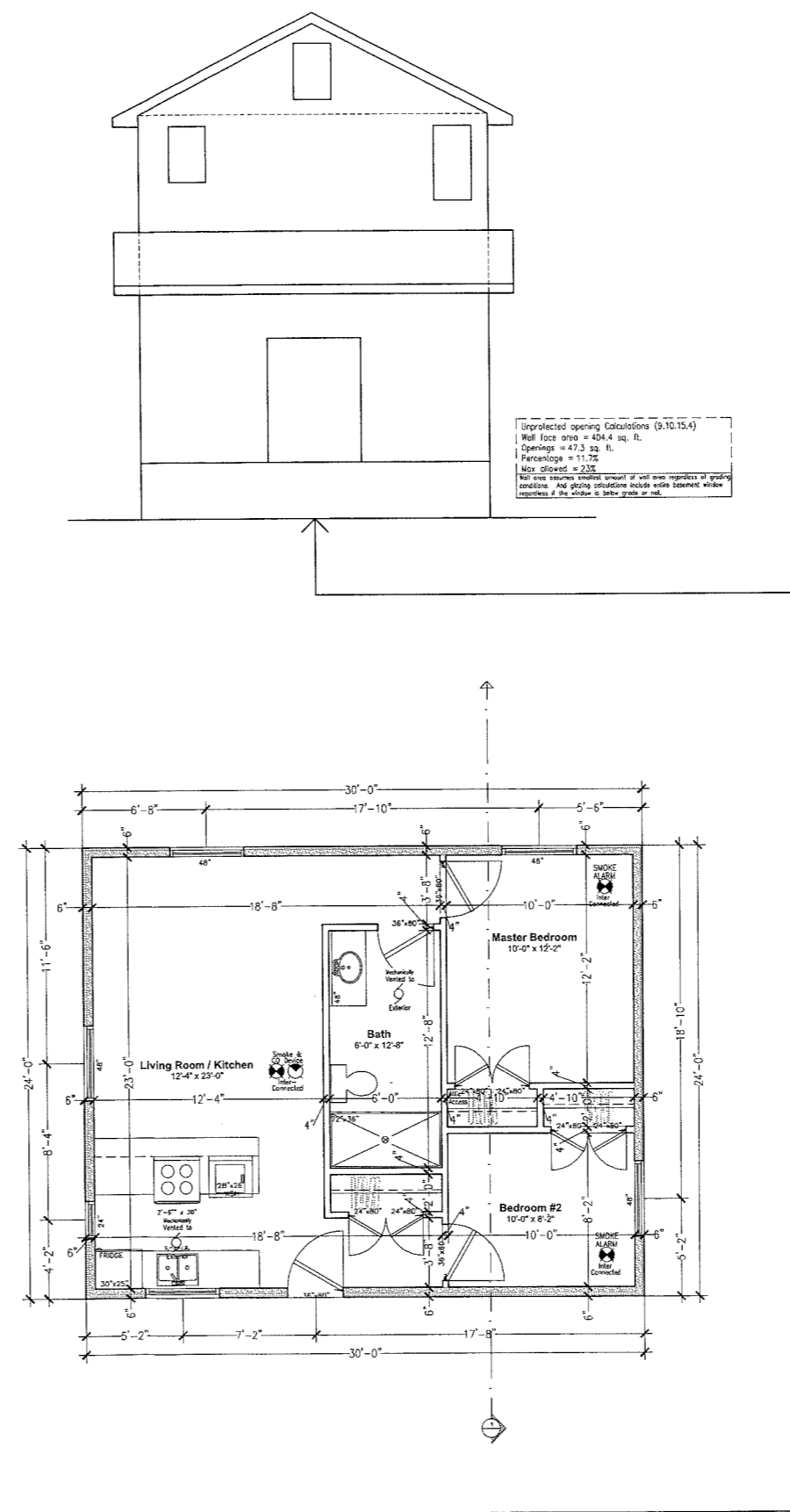
Notes: Engineering Drawings

These drawings shall be read in association with the engineering floor joist and specifications as well as the engineering truss layout and specification.



First Floor Area
857.55 Sq. Ft.

Principal First Floor Plan
SCALE 1/4" = 1'-0"



Unprotected opening Calculations (9.10.15.4)
 Wall face area = 424.4 sq. ft.
 Openings = 47.3 sq. ft.
 Percentage = 11.7%
 Area affected = 2.2%

- Drawing Checklist:**
- Client sign off
 - Review Survey
 - Review Grading
 - Review Truss Layout
 - Review Floor Layout
 - Engineering review
 - Issued for Permit

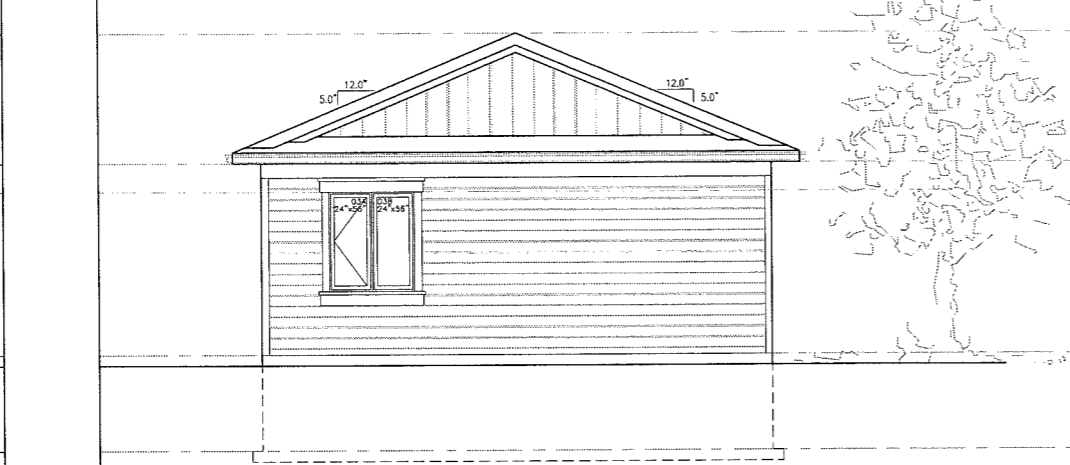
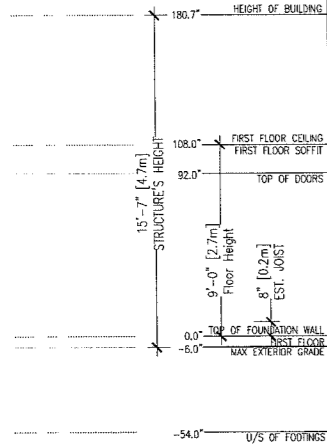
First Floor Plan
SCALE 1/4" = 1'-0"

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1.905.481.1153

Client Sign Off: _____ Date: _____
 PROJECT: 142 Alpine Ave, Hamilton Ontario
 SMALL BUILDINGS Original Signature: *[Signature]*
 Classification: _____
 Theresia Lacharity
 Client: **28844**
 BCIN No: **1053**
 ERIC CANTON BCIN#25135
VIRTUAL CREATIONS INC. (905) 481-1153
 PROJECT: INC2022031
 ISSUED: May 23 2023

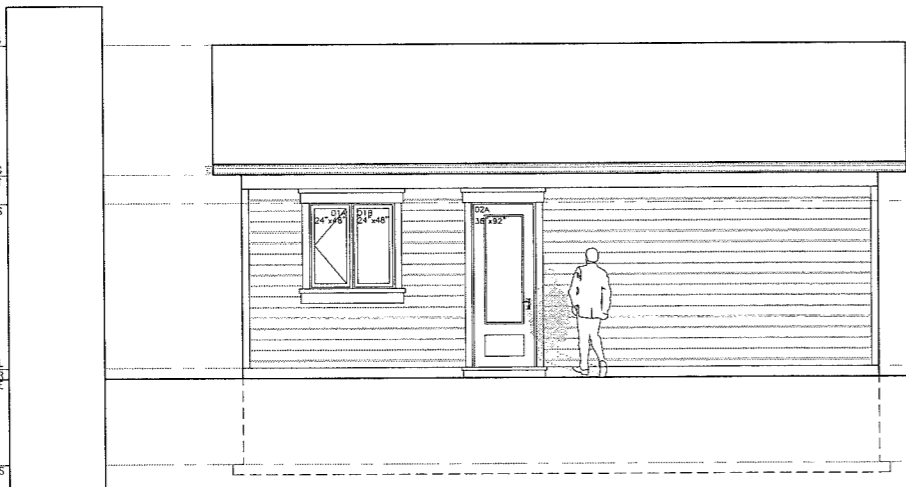
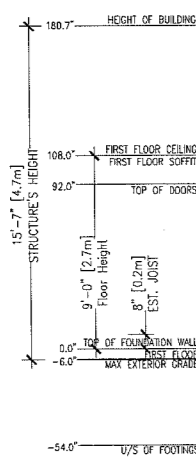
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CONTRACT



Unprotected opening Calculations (9.10.15.4)
 Wall face area = 228.0 sq. ft.
 Openings = 12.5 sq. ft.
 Percentage = 5.5%
 Max allowed = 7%
 Note: Area assumes smallest amount of wall area regardless of gazing conditions. And gazing calculations include entire basement window regardless if the window is below grade or not.

Right Side Elevation
 SCALE 1/4" = 1'-0"



Front Elevation
 SCALE 1/4" = 1'-0"

PROJECT: 142 Alpine Ave, Hamilton Ontario
 Client: **28844**
 Classification: **SMALL BUILDINGS**
 Client Sign Off: *[Signature]* Date: _____
 Original Signature: **WWW.VCINC.CA**

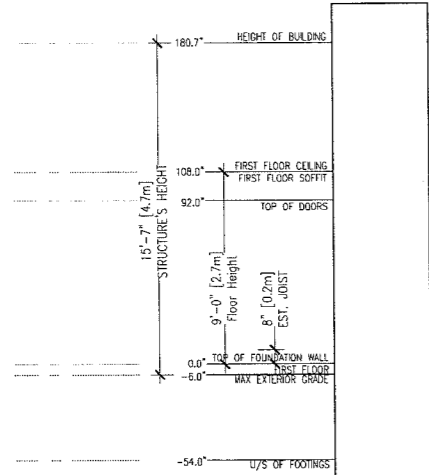
VIRTUAL CREATIONS INC.
 (905) 481-1153
 BCIN No. 28844
 ERIC CANTON BCIN#25135

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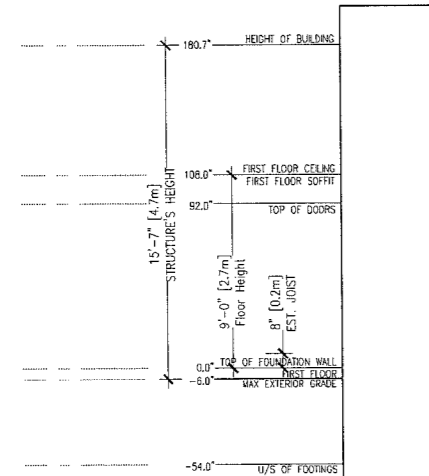
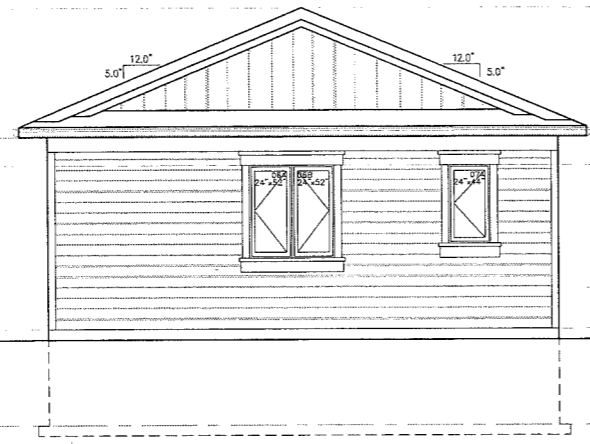
ISSUED: May 23 2023

CONTRACT



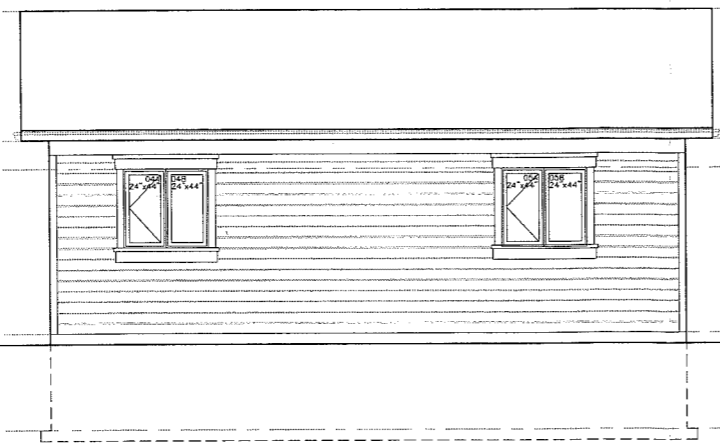
Unprotected opening Calculations (9.10.15.4)
 Wall face area = 228.0 sq. ft.
 Openings = 18.0 sq. ft.
 Percentage = 7.0%
 Max allowed = 7%
 Wall area assumes smallest amount of wall area regardless of spacing conditions. And glazing calculations include entire basement window regardless if the window is below grade or not.

Left Side Elevation
 SCALE 1/4" = 1'-0"



Unprotected opening Calculations (9.10.15.4)
 Wall face area = 285.0 sq. ft.
 Openings = 19.0 sq. ft.
 Percentage = 6.7%
 Max allowed = 7%
 Wall area assumes smallest amount of wall area regardless of spacing conditions. And glazing calculations include entire basement window regardless if the window is below grade or not.

Rear Elevation
 SCALE 1/4" = 1'-0"



Client Sign Off: _____ Date: _____

PROJECT: 142 Alpine Ave, Hamilton Ontario
 PROJECT No: 2022031
 CLIENT: ERIC CANTON BCIN# 23135
 CLASSIFICATION: SMALL BUILDINGS
 ORIGINAL SIGNATURE: *[Signature]*
 WWW.VCINC.CA

VIRTUAL CREATIONS INC. (905) 481-1153
 BCIN No. 28844
 ERIC CANTON BCIN# 23135

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ISSUED: May 23 2023

CONTRACT



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Registered Owners(s)			
Applicant(s)			
Agent or Solicitor			Phone:
			E-mail:

1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	142 Alpine Ave, Hamilton Ontario		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

To permit a detached SDU in the rear yard which is 67 sq. m. in building area where as the bylaw only permits a max 70% of the ground floor of the principal dwelling (55 sq. m.)

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The principal dwelling is small and would result in an SDU which is too small to be practical or economical.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
12.19	35.05	440.3462	unknown

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling	2.77	16.29	0.95 / 5.56	01/01/1940

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Detached Dwelling (SDU)	26.47	1.2	1.2	09/06/2023

4.3 Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Principal Dwelling	80	145	2	9.5

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Detached Dwelling (SDU)	67	67	1	4.8

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Detached secondary dwelling unit

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

residential and commercial

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

August 1st, 1992

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:

since 1950s

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): residential

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-