



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>HM/A-23:165</b>	<b>SUBJECT PROPERTY:</b>	198 HAWKSWOOD TRAIL, HAMILTON
<b>ZONE:</b>	"R1" (Low Density Residential)	<b>ZONING BY-LAW:</b>	Zoning By-law City of Hamilton 05-200, as Amended 22-197

**APPLICANTS:**      **Owner:** SCOTT DUNCAN  
                                 **Agent:** CHARLES MACPHAIL

The following variances are requested:

1. The proposed rear deck shall be permitted to encroach a maximum of 4.5 m into the required 7.5 m rear yard instead of the maximum permitted encroachment of 1.5 m.

**PURPOSE & EFFECT:**      To facilitate the construction of a deck attached to the rear of the existing dwelling:

**Notes:** N/A

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, July 27, 2023</b>
<b>TIME:</b>	<b>9:40 a.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

## HM/A-23:165

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

### PUBLIC INPUT

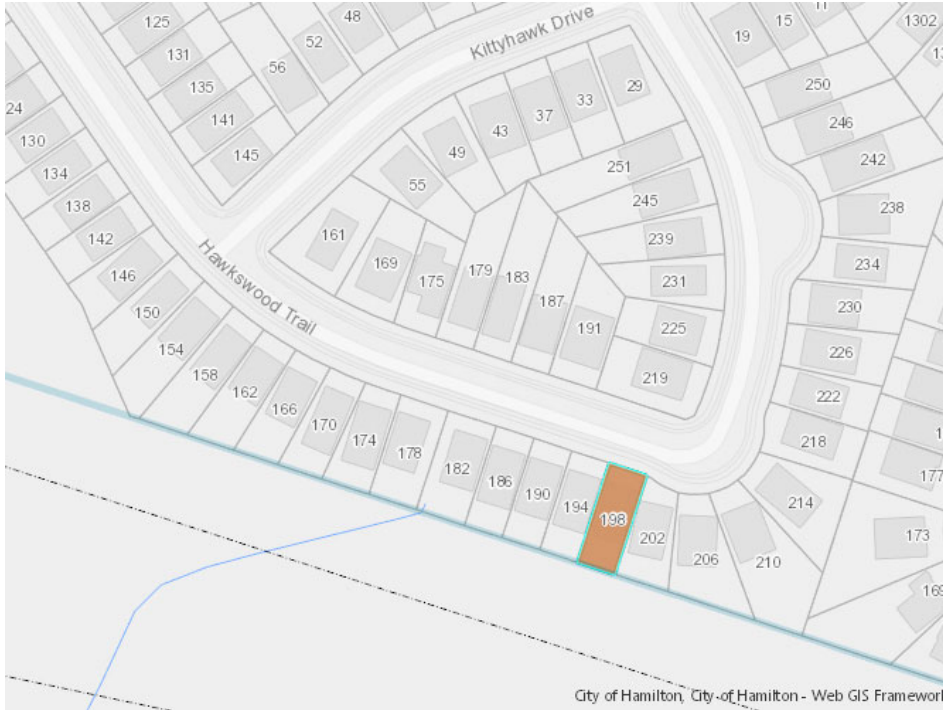
**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

### FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:165, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: July 11, 2023

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

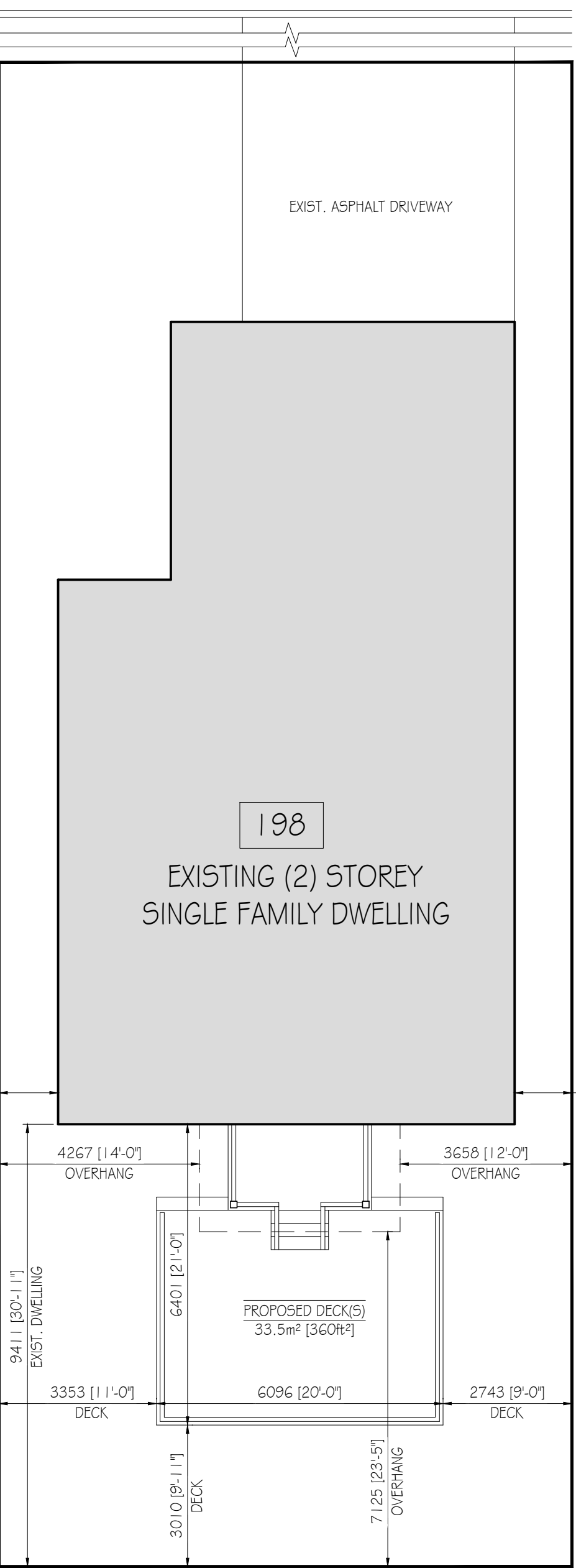
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

# DRAWINGS FOR A NEW DECK TO A SINGLE FAMILY DWELLING 198 HAWKSWOOD TRAIL HAMILTON, ONTARIO

**SCOPE OF WORK**

- NEW 5.6m<sup>2</sup> COVERED REAR DECK TO REPLACE EXISTING
- NEW 27.9m<sup>2</sup> REAR DECK

~ HAWKSWOOD TRAIL ~



**3 PROPOSED SITE PLAN**  
SCALE: 1:100

**1 GENERAL NOTES**

- ALL CONSTRUCTION TO COMPLY WITH THE 2012 ONTARIO BUILDING CODE, AS AMENDED, AND ALL APPLICABLE LOCAL AND MUNICIPAL BY-LAWS AND REGULATIONS.
- THESE DRAWINGS DO NOT INCLUDE ANY ELECTRICAL WORK THAT MAY BE REQUIRED.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK ON SITE WITH OTHER SUBCONTRACTORS TO PREVENT CONFLICTS.
- PRIOR TO THE START OF THE WORK, THE CONTRACTOR IS RESPONSIBLE FOR MAKING ARRANGEMENTS WITH THE CONSULTANT FOR THEIR REVIEW AS PER THE CONSULTANT'S REQUIREMENTS.
- FOR PROJECTS THAT REQUIRE DEMOLITION AND/OR RENOVATION WORK, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND EXISTING CONSTRUCTION. SHOULD A DISCREPANCY BE FOUND THE CONTRACTOR IS TO REPORT THEIR FINDINGS TO THE DESIGNER BEFORE PROCEEDING.
- PRIOR TO THE START OF THE WORK, THE CONTRACTOR IS RESPONSIBLE FOR MAKING ARRANGEMENTS TO OBTAIN LOCATES FOR ALL UTILITIES THAT MAY BE IN THE AREA OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES DURING CONSTRUCTION OR DUE TO ITS CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND NOTIFY THE DESIGNER OF ANY CONTEMPLATED DEVIATIONS FROM THESE DRAWINGS TO SUIT SITE CONDITIONS PRIOR TO MAKING CHANGES.
- ANY PROPOSED DEVIATION FROM THESE DRAWINGS THAT WOULD BE CONSIDERED A MATERIAL CHANGE SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW AND APPROVAL, AND THEN TO THE AUTHORITY HAVING JURISDICTION FOR REVIEW AND APPROVAL, PRIOR TO THE CHANGES BEING CARRIED OUT.
- REQUIRED INSPECTIONS BY THE AUTHORITIES HAVING JURISDICTION TO BE ARRANGED BY THE CONTRACTOR. ALL INSPECTIONS TO BE CARRIED OUT, AND THE CONSTRUCTION APPROVED, BEFORE PROCEEDING TO THE NEXT STAGE.
- ACCESS TO EXITS AND STAIRWAYS SHALL BE MAINTAINED FREE OF DEBRIS AND ACCESSIBLE AT ALL TIMES.

- POSITIVE DRAINAGE SHALL BE PROVIDED THROUGHOUT THE SITE AT ALL TIMES DURING THE CONSTRUCTION.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR STRESSES AND INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR ALL SUCH MEASURES. IT WILL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SHORING SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THE WORK.
- ALL DESIGN, DETAILING, CONSTRUCTION, AND SHORING MUST CONFORM TO THE PRESENT ONTARIO BUILDING CODE, OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. LATEST ADDITION. ALL ASSOCIATED COSTS FOR THE DESIGN SUPPLY AND INSTALLATION OF TEMPORARY SHORING ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- REVIEW OF SHOP DRAWINGS BY THE DESIGNER IS ONLY TO ASSESS THAT SUBMITTED SHOP DRAWINGS REFLECT THE INTENT OF THE DESIGN.
- REVIEW BY THE CONSULTANT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR SEEING THAT THE WORK IS COMPLETE, ACCURATE, AND IN CONFORMITY WITH THE DRAWINGS AND SPECIFICATIONS.
- ALL AREAS SHOWN ON PLAN WHICH ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER. GRASSED AREAS SHALL BE RESTORED WITH NEW SOD ON MINIMUM 6" OF TOP SOIL.
- ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF.
- TYPICAL DETAILS SHALL BE USED WHERE SPECIFIC DETAILS ARE NOT SHOWN ON THE DRAWINGS.

**2 CONSTRUCTION NOTES**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ANY NECESSARY SHORING OR TEMPORARY SUPPORTS THAT MAY BE REQUIRED ARE INSTALLED PRIOR TO THE START OF ANY WORK.
- NEW FOOTINGS TO BEAR ON UNDISTURBED SOILS WITH A MINIMUM BEARING CAPACITY OF: 100 kPa (5L5) 150 kPa (UL5)
- ALL CONCRETE IN ACCORDANCE WITH CSA A23.1:19A23.2:19 "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION TEST METHODS AND STANDARD PRACTICES FOR CONCRETE".
- PLACEMENT AND CURING OF CONCRETE UNDER HOT WEATHER (MORE THAN 27°C) AS PER CLAUSE 7.5 "ENVIRONMENTAL PROTECTION" OF CAN/CSA-A23.1:19/23.2:19.
- SUPPLY AND PLACE CONCRETE IN ACCORDANCE WITH TABLE 1, THIS PAGE.
- CONTRACTOR TO PROVIDE STEEL SHOP DRAWINGS TO DESIGNER FOR REVIEW AND APPROVAL PRIOR TO ANY FABRICATION.
- STRUCTURAL STEEL ROLLED SHAPES # HSS TO MEET THE REQUIREMENTS OF CAN/CSA G40.21-04, GRADE 350W. STEEL PLATES TO BE GRADE 300W.
- FABRICATION AND ERECTION SHALL BE IN COMPLIANCE WITH CSA S16.1. WELDING TO BE PERFORMED BY A COMPANY CERTIFIED TO CSA W47.1 IN EITHER DIVISION 1 OR DIVISION 2. ALL WELDING TO CSA W59-03.
- STRUCTURAL STEEL TO BE PRIMED, PAINTED, OR OTHERWISE PROTECTED FROM CORROSION.
- WHERE NOT INDICATED ON DRAWINGS, MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
  - ALL STEEL NOT CAST IN FORMS PERMANENTLY AGAINST EARTH OR ROCK AND IN NON-CORROSIVE ENVIRONMENTS, COVER TO BE 75 mm (3").
  - ALL STEEL CAST IN FORMS SHALL CONFORM TO TABLE 2, THIS PAGE.
- SEE DRAWINGS FOR ADDITIONAL NOTES.

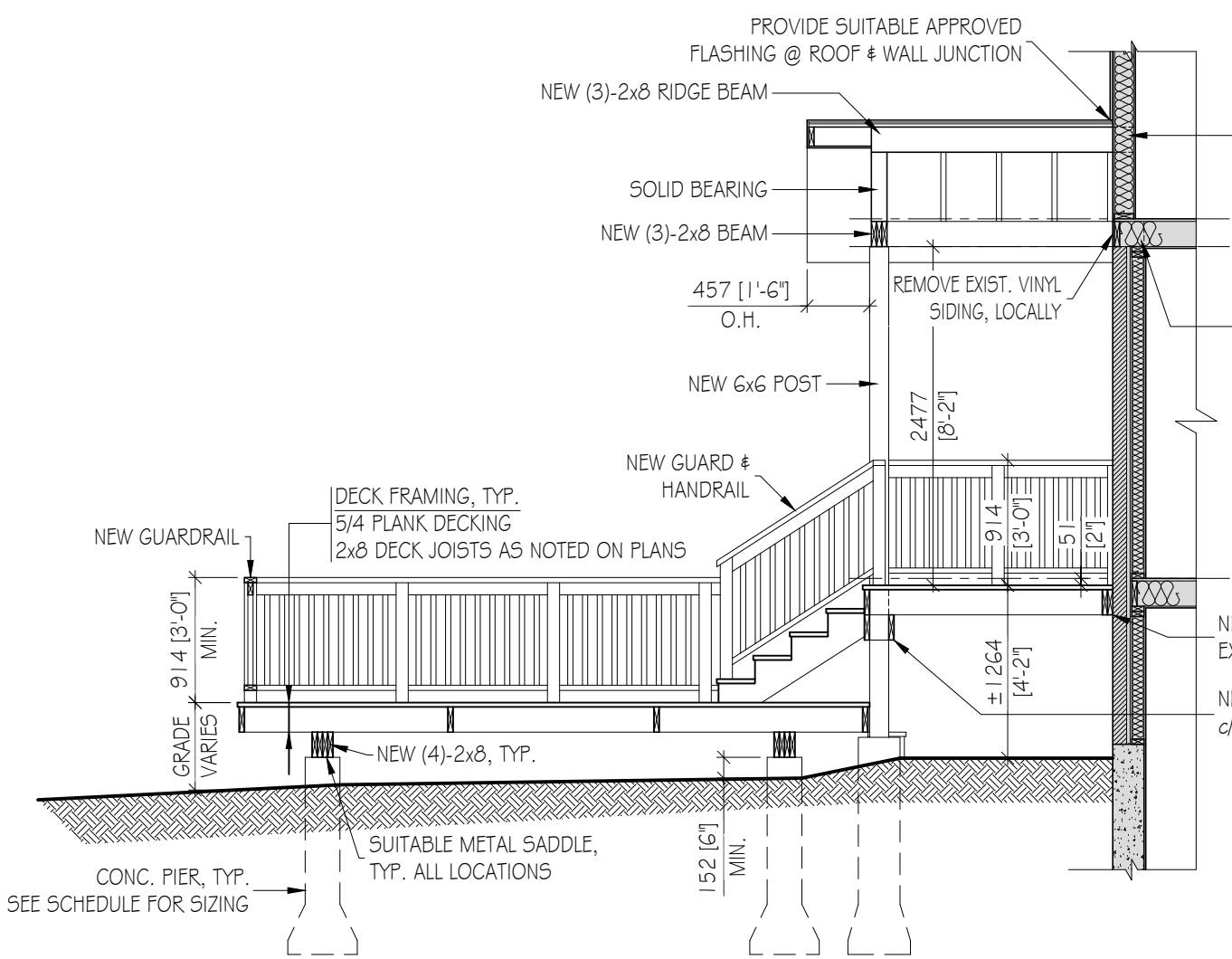
TABLE 1

LOCATION	MIN COMPRESSIVE STRENGTH (f <sub>cd</sub> ) AT 28 DAYS (MPa) (PSI)	SUMP (mm (in))	EXPOSURE CLASS	AIR CONTENT (%)
FND. WALL (STRIP) FOOTING AND SPREAD FOOTINGS	25 (3500)	80 ± 30 (3 ± 1)	R-1	0
FND. WALLS, PIERS ABOVE GRADE WALLS RETAINING WALLS	35 (5000)	80 ± 30 (3 ± 1)	R-2	5-8
SIDEWALK/CURBS PAVING SLABS, EXTERIOR CONC.	35 (5000)	40 ± 20 (1 1/2 ± 1)	C-2	5-8
HOUSEKEEPING PADS	25 (3500)	80 ± 30 (3 ± 1)	N	0
NON-SHRINKABLE GROUT	30	AS PER MANUF. RECOMM.	N	0
LEAN MIX CONCRETE	8 (1000)	80 ± 30 (3 ± 1)	N	0
TOPPING	25 (3500)	50 ± 25 (2 ± 1)	N	0

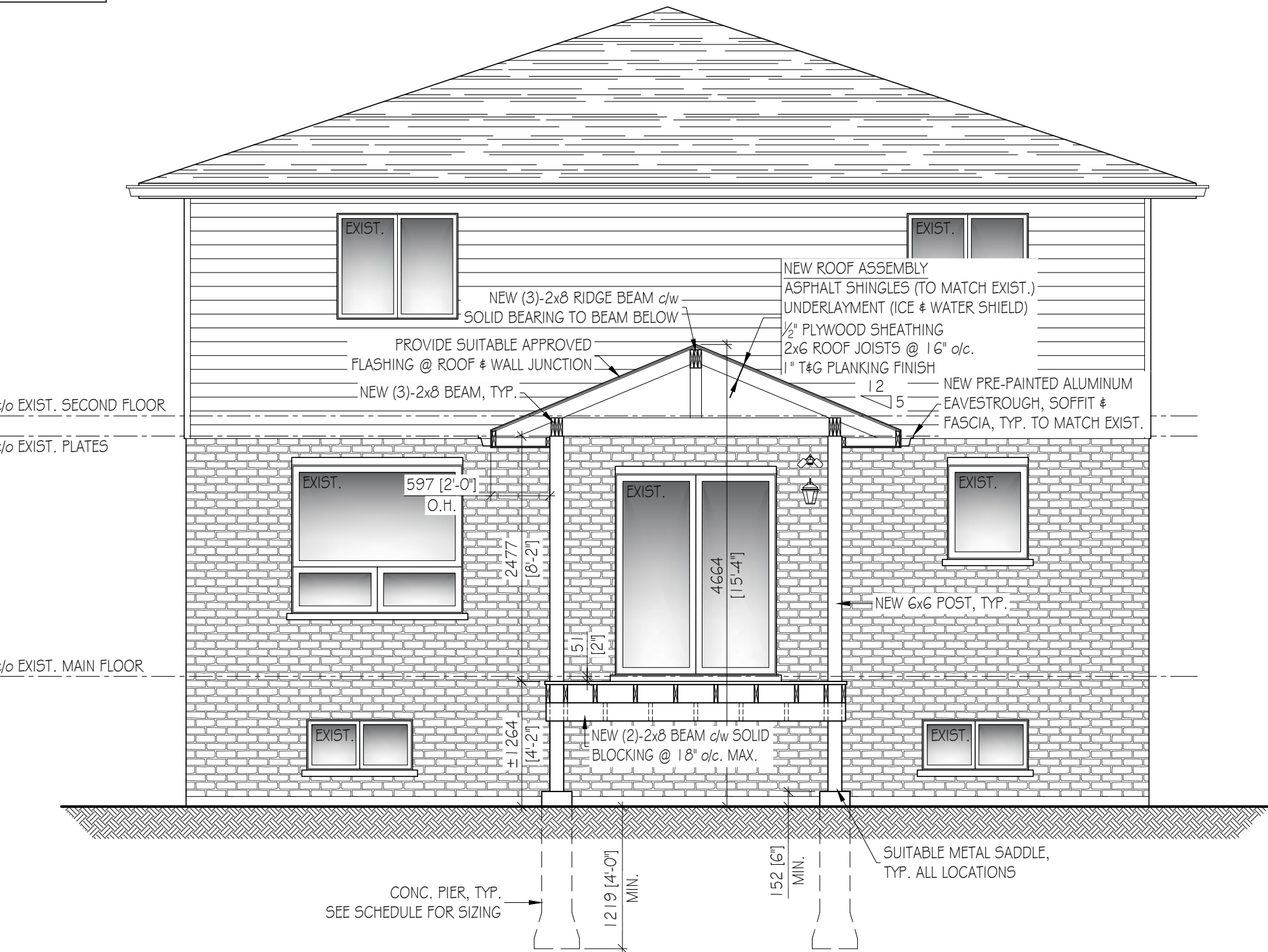
TABLE 2

STRUCTURAL ELEMENT	COVER (mm (in))	STRUCTURAL ELEMENT	COVER (mm (in))
CONCRETE POURED IN FORMS BUT EXPOSED TO WEATHER OR EARTH		CONCRETE NOT EXPOSED TO WEATHER OR EARTH	
BARS LARGER THAN 15M	50(2")	SLABS AND WALLS	25(1")
BARS 15M AND SMALLER	35(1 1/2")	BEAMS AND GRIDDERS	35(1 1/2")
PIES & OTHER ELEMENTS POURED AGAINST EARTH	75(3")	COLUMNS MAIN STEEL	50(2")

**6 LOWER DECK CROSS SECTION**  
SCALE: 1:50



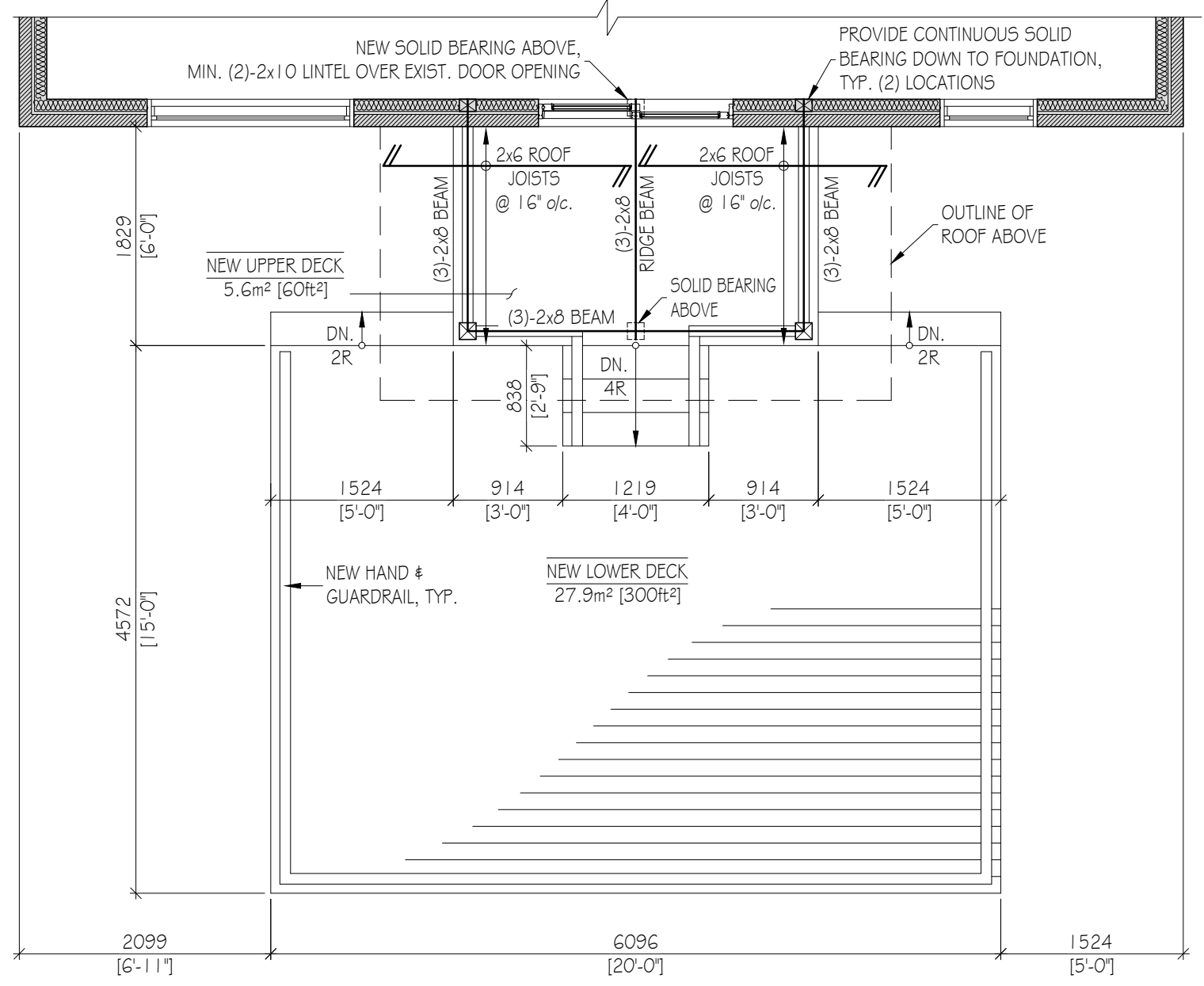
**6 UPPER DECK CROSS SECTION**  
SCALE: 1:50



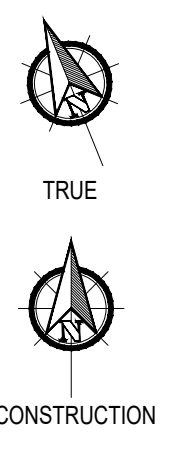
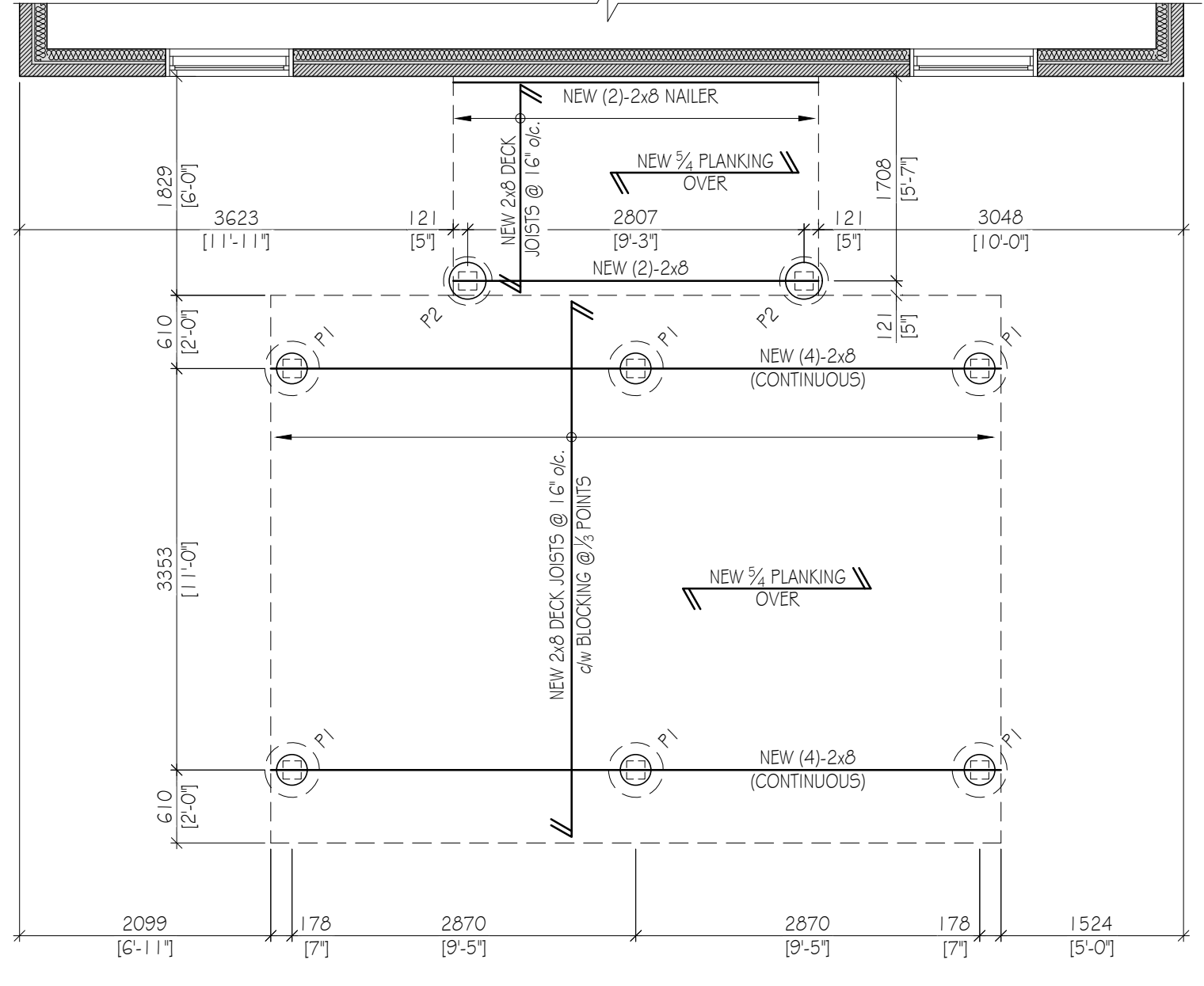
**7 REAR (SOUTH) ELEVATION**  
SCALE: 1:50



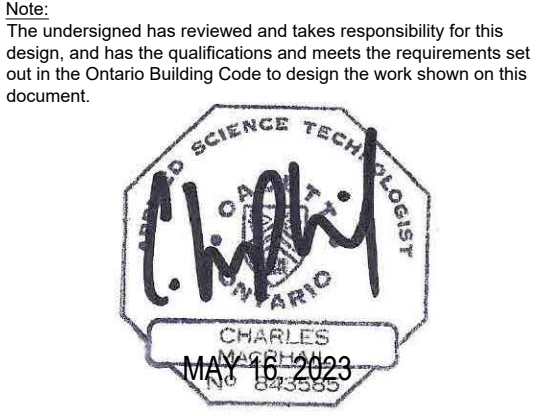
**5 DECK FINISH PLAN w/ ROOF FRAMING ABOVE**  
SCALE: 1:50



**4 FOUNDATION PLAN w/ DECK FRAMING ABOVE**  
SCALE: 1:50



**CHARLES LINSEY & ASSOCIATES LIMITED**  
37 Main Street South, P.O. Box 1479, Waterdown, On. L0R 2H0  
Tel: (905) 548-7407  
Info@charleslinsey.com  
www.charleslinsey.com



CHARLES MacPHAIL  
CHARLES LINSEY & ASSOCIATES LIMITED  
BCIN# 25723  
BCIN# 41983

**LEGEND**

EXISTING ASSEMBLY / CONSTR. TO REMAIN

**TYPICAL NOTES**

- STAIRS (AS PER O.B.C. 9.8.8)
- RISE - MIN. 4", MAX. 7"
  - RUN - MIN. 10", MAX. 14"
- HANDRAILS (AS PER O.B.C. 9.8.7)
- MIN. 2'-10" HIGH, MAX. 3'-6" HIGH
  - OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"
- GUARDS (AS PER O.B.C. 9.8.8)
- MIN. 2'-11" HIGH, U.N.D.
  - OPENINGS BETWEEN PICKETS TO BE LESS THAN 4"
- PIER / FOOTING SCHEDULE
- NEW 6x6 WOOD POST w/ SUITABLE METAL SADDLE ON 1' Ø CONC. PIER c/w 1' Ø BELLED FOOTING, MIN. 4'-0" BELOW GRADE
  - NEW 6x6 WOOD POST w/ SUITABLE METAL SADDLE ON 12" Ø CONC. PIER c/w 1' Ø BELLED FOOTING, MIN. 4'-0" BELOW GRADE

REV.	DESCRIPTION	DATE
0	FOR BUILDING PERMIT APPLICATION	MAY 16/23

client  
**HOME OWNER**

project  
**198 HAWKSWOOD TRAIL  
HAMILTON, ONTARIO**

PROJECT No. 23-100

title  
**SCOPE OF WORK, GENERAL & CONSTRUCTION NOTES, SITE PLAN, PLANS DECK CROSS SECTIONS / ELEVATIONS**

drawn	G.D.	checked	C.M.
date	MAY 2023	scale	AS NOTED
revision number	0	drawing number	AO



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)		
Agent or Solicitor		

1.2 All correspondence should be sent to  Purchaser  Applicant  Owner  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Applicant  Owner  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:

Municipal Address	198 HAWKSWOOD TRAIL		
Assessment Roll Number	08110201398		
Former Municipality	HAMILTON		
Lot	25	Concession	
Registered Plan Number	62M837	Lot(s)	LT500787
Reference Plan Number (s)	62R-14396	Part(s)	1,2,3,4,5,6 & 7

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

### 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

REQUESTING A 3m REAR YARD SETBACK  
FROM THE REQUIRED 6m FOR A DECK

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

CONSTRUCTING A REASONABLY SIZED DECK RELATIVE TO THE BACKYARD SIZE THAT IS SITUATED LOW TO THE GROUND TO PREVENT ONLOOK AND PRIVACY TO AND FROM NEIGHBOURING PROPERTIES. THE HEIGHT FROM MAIN FLOOR TO GRADE AT THE REAR IS SUBSTANTIAL WHICH REQUIRES A NUMBER OF STEPS TO GET DOWN AND THEREFORE REQUIRING A GREATER DECK DEPTH OVERALL.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
12.19	32	390.08	20

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
DWELLING	±6.5	9.41	1.26 & 1.22	07/01/2000

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
DECK	N/A	3.01	3.35 & 2.74	09/01/2023

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
DWELLING	~150	~230	2	~7.5

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
DECK	N/A	33.5	N/A	VARIES (1'-8" TO 4'-2")

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)



4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

SINGLE FAMILY DWELLING

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

SINGLE FAMILY DWELLING

### 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

~2000

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE FAMILY DWELLING

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE FAMILY DWELLING

7.4 Length of time the existing uses of the subject property have continued:

~23

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) \_\_\_\_\_

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: \_\_\_\_\_

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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes  No

If yes, please provide the file number: \_\_\_\_\_

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes  No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

**8 ADDITIONAL INFORMATION**

8.1 Number of Dwelling Units Existing:   1  

8.2 Number of Dwelling Units Proposed:   1  

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
- 
-