



WELCOME TO THE CITY OF HAMILTON

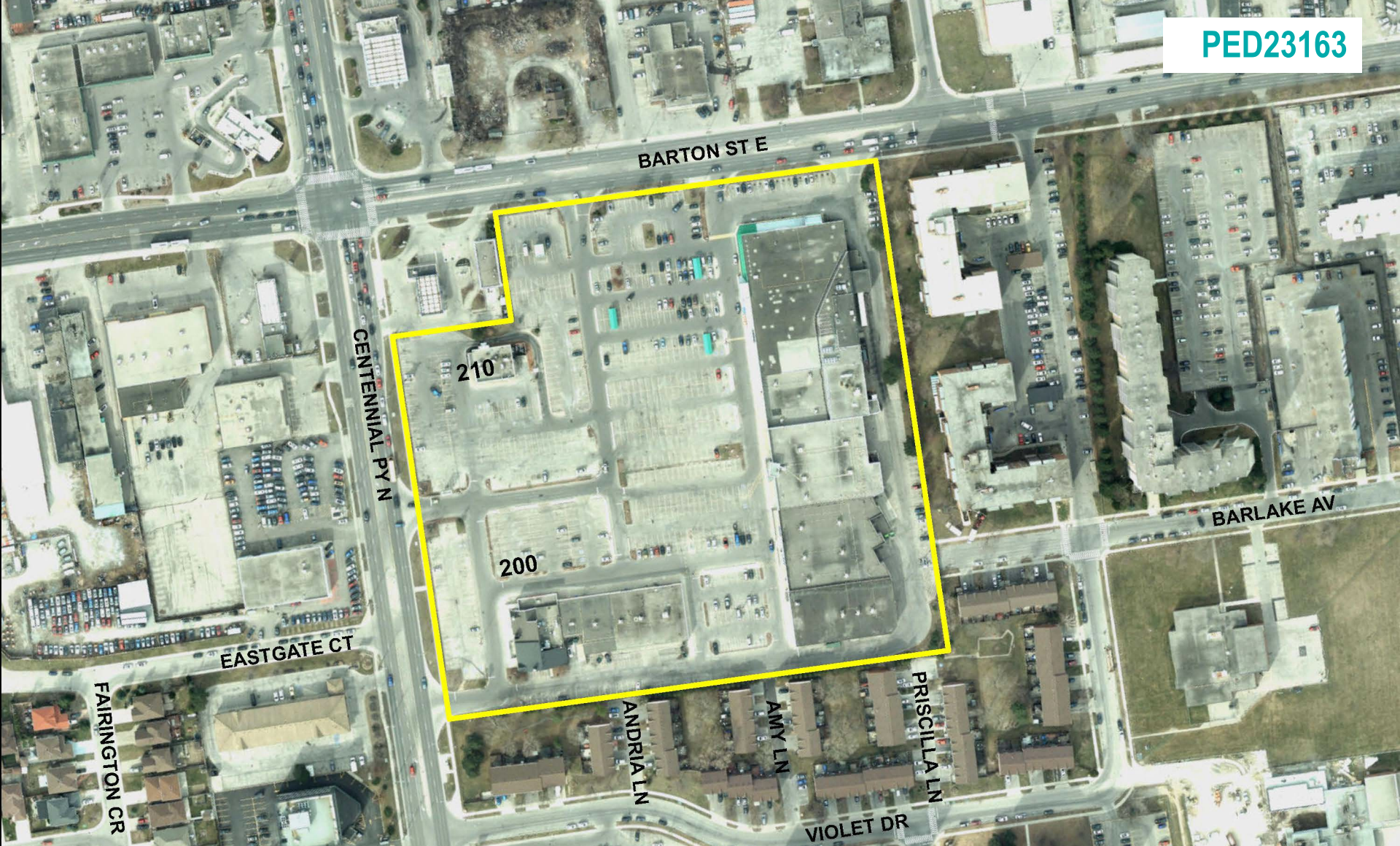
PLANNING COMMITTEE

August 15, 2023

PED23163 – (ZAC-22-013)

Application for a Zoning By-law Amendment for Lands Located at
200 Centennial Parkway North, Hamilton.

Presented by: Daniel Barnett

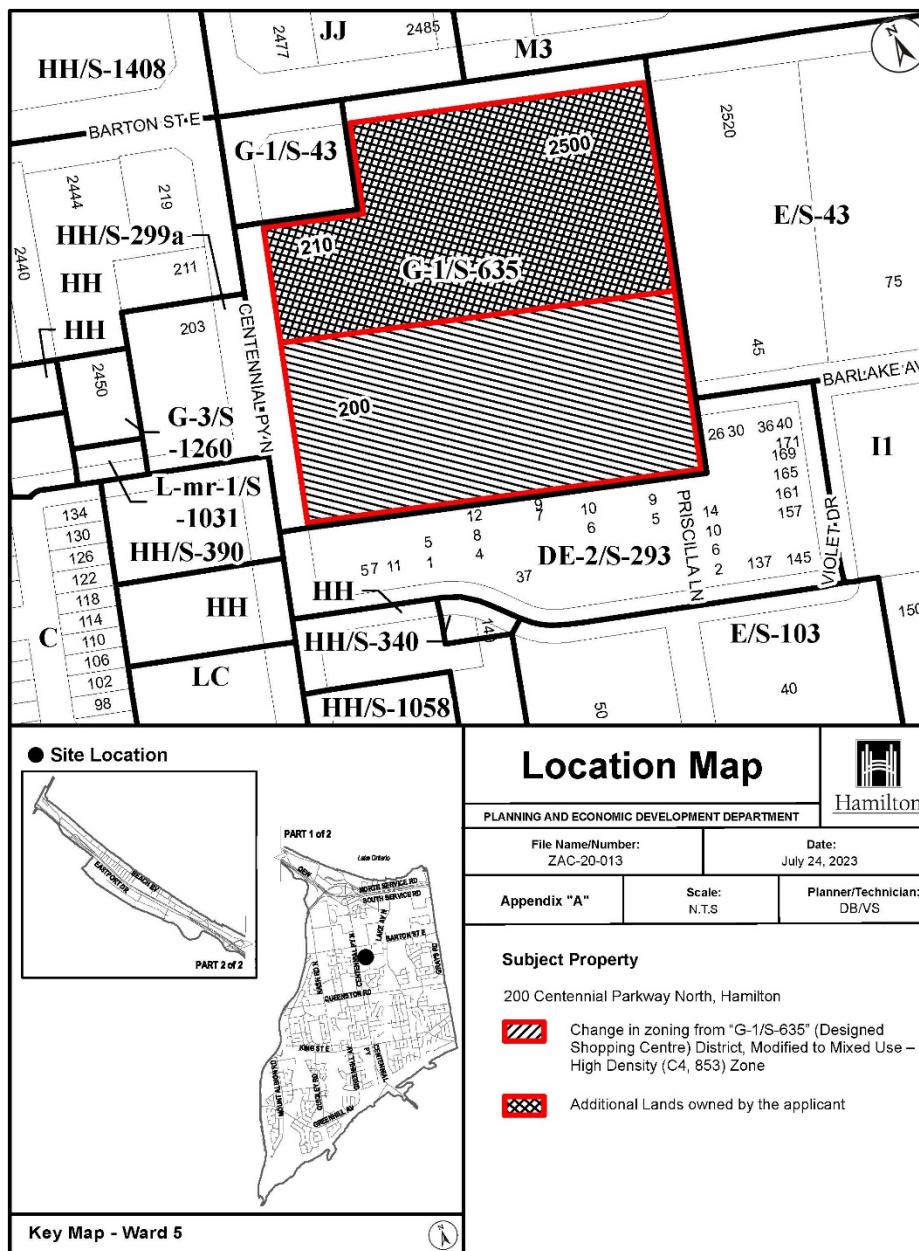


SUBJECT PROPERTY

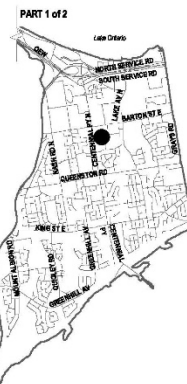
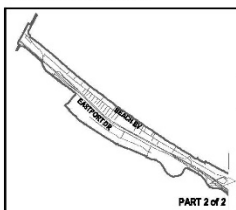


200 Centennial Parkway North, Hamilton





● Site Location



Key Map - Ward 5

Location Map



PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:
ZAC-20-013

Date:
July 24, 2023


Appendix "A"

Scale:
N.T.S.

Planner/Technician:
DB/VS

Subject Property

200 Centennial Parkway North, Hamilton

 Change in zoning from "G-1/S-635" (Designed Shopping Centre) District, Modified to Mixed Use – High Density (C4, 853) Zone

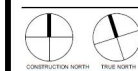
 Additional Lands owned by the applicant



Chamberlain Architect
Services Limited
401 Pelham Valley Drive E.
Burlington, Ontario L7M 0W9
CANADA
Phone: 905.631.7777
www.chamberlainapd.com

NO.	REVISED	DATE
1	REVISION	10/10/2021
2	REVISION	10/10/2021
3	REVISION	10/10/2021

DO NOT SCALE DIMENSIONS. USE ONLY DIMENSIONS
CONTAINED HEREIN. CONSULT WITH THE ARCHITECT
FOR ANY CHANGES TO THE DEVELOPMENT.
CHANGES AND ARCHITECT'S REVISIONS SHALL BE
MADE IN ACCORDANCE WITH THE CITY OF HAMILTON
PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT
HAMILTON, ONTARIO



200 CENTENNIAL
PARKWAY

200 CENTENNIAL
PARKWAY - HAMILTON

FULL
DEVELOPMENT

SHEET DATE: DEC 10TH, 2021
DESIGNED BY: JMC/MMW
CHECKED BY: MEC/M
SCALE: As indicated
PROJECT NO: 121052

A001C

Acknowledgement Note: The subject property has been determined to be an area of archaeological potential. It is reasonable to expect that archaeological resources may be encountered during any demolition, grading, construction activities, landscaping, staging, stockpiling or other soil disturbances. If archaeological resources are encountered, the proponent may be required to conduct an archaeological assessment prior to further impact in order to address these concerns and mitigate, through preservation of resource, removal and documentation, adverse impacts to any significant archaeological resources found. Mitigation, by an Ontario-licensed archaeologist, may include monitoring of any mechanical excavation arising from the project. If archaeological resources are identified on-site, further stage 3 site specific Assessment and Stage Spot, Tourism and Culture Industries (MHSCTI). All archaeological reports shall be submitted to the City of Hamilton for approval concurrent with their submission to the MHSCTI.

Should deeply buried archaeological materials be found on the property during any of the above development activities the MHSCTI should be notified immediately (416-212-8888). In the event that human remains are encountered during construction, the proponent should immediately contact both MHSCTI and the Registrar or Deputy Registrar of the Cemeteries Regulation Unit of the Ministry of Government and Consumer Services (416-212-7498).

BUILDING SETBACK SCHEDULE - PHASE 1					
PAGE	DATE	FROM	TO	LEVEL	HEIGHT
1	10/10/2021	EXISTING FLOOR EXTERIOR WALL	EXISTING FLOOR EXTERIOR WALL	1st	5.0 m
2	10/10/2021	EXISTING FLOOR EXTERIOR WALL	EXISTING FLOOR EXTERIOR WALL	1st	5.0 m
3	10/10/2021	EXISTING FLOOR EXTERIOR WALL	EXISTING FLOOR EXTERIOR WALL	1st	5.0 m
4	10/10/2021	EXISTING FLOOR EXTERIOR WALL	EXISTING FLOOR EXTERIOR WALL	1st	5.0 m

BUILDING SETBACK SCHEDULE - PHASE 2					
PAGE	DATE	FROM	TO	LEVEL	HEIGHT
1	10/10/2021	EXISTING FLOOR EXTERIOR WALL	EXISTING FLOOR EXTERIOR WALL	1st	5.0 m
2	10/10/2021	EXISTING FLOOR EXTERIOR WALL	EXISTING FLOOR EXTERIOR WALL	1st	5.0 m
3	10/10/2021	EXISTING FLOOR EXTERIOR WALL	EXISTING FLOOR EXTERIOR WALL	1st	5.0 m
4	10/10/2021	EXISTING FLOOR EXTERIOR WALL	EXISTING FLOOR EXTERIOR WALL	1st	5.0 m

BUILDING SETBACK SCHEDULE - PHASE 3					
PAGE	DATE	FROM	TO	LEVEL	HEIGHT
1	10/10/2021	EXISTING FLOOR EXTERIOR WALL	EXISTING FLOOR EXTERIOR WALL	1st	5.0 m
2	10/10/2021	EXISTING FLOOR EXTERIOR WALL	EXISTING FLOOR EXTERIOR WALL	1st	5.0 m
3	10/10/2021	EXISTING FLOOR EXTERIOR WALL	EXISTING FLOOR EXTERIOR WALL	1st	5.0 m
4	10/10/2021	EXISTING FLOOR EXTERIOR WALL	EXISTING FLOOR EXTERIOR WALL	1st	5.0 m

SITE PLAN LEGEND					
EXISTING	EXISTING BUILDING	EXISTING BUILDING	EXISTING BUILDING	EXISTING BUILDING	EXISTING BUILDING
EXISTING	EXISTING BUILDING	EXISTING BUILDING	EXISTING BUILDING	EXISTING BUILDING	EXISTING BUILDING
EXISTING	EXISTING BUILDING	EXISTING BUILDING	EXISTING BUILDING	EXISTING BUILDING	EXISTING BUILDING

TOWER STEPBACK SCHEDULE - PHASE 1					
PAGE	DATE	FROM	TO	LEVEL	HEIGHT
1	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
2	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
3	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
4	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m

TOWER STEPBACK SCHEDULE - PHASE 2					
PAGE	DATE	FROM	TO	LEVEL	HEIGHT
1	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
2	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
3	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
4	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m

TOWER STEPBACK SCHEDULE - PHASE 3					
PAGE	DATE	FROM	TO	LEVEL	HEIGHT
1	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
2	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
3	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
4	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m

TOWER STEPBACK SCHEDULE - PHASE 3					
PAGE	DATE	FROM	TO	LEVEL	HEIGHT
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2	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
3	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
4	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m

TOWER STEPBACK SCHEDULE - PHASE 3					
PAGE	DATE	FROM	TO	LEVEL	HEIGHT
1	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
2	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
3	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m
4	10/10/2021	TOWER EXTERIOR WALL	TOWER EXTERIOR WALL	1st	17.0 m



NO.	ISSUED	DATE
1	ISSUED FOR ZSA, SUB 1	DEC 10TH 2021
2	ZSA - SUB 1	DEC 11-21

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

CHARBETLAN ARCHITECT SERVICES LIMITED AND CHARBETLAN CONSTRUCTION SERVICES LIMITED
 1000 15th Avenue, Suite 1000, Vancouver, BC V6P 4E1
 Tel: 604.681.7000 Fax: 604.681.7001
 Email: info@charbetlan.com Website: www.charbetlan.com

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200 CENTENNIAL
PARKWAY

200 CENTENNIAL
 PARKWAY - HAMILTON

EXTERIOR
ELEVATION I

START DATE DEC 10TH 2024

DRAWN BY

CHECKED BY _____ Checker _____

SCALE 1 : 350

PROJECT NO. 121052

DRAWING
A 0001

A201





Chamberlain Architect
Services Limited
4071 Palladium Way Unit 11
Brampton, Ontario L7M 3W5
CANADA
Phone: 905.821.7777
www.chamberlainapd.com

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	2021.09
2	FOR COMMENTS	2021.09

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200 CENTENNIAL
PARKWAY

200 CENTENNIAL
PARKWAY - HAMILTON

SHEET NAME

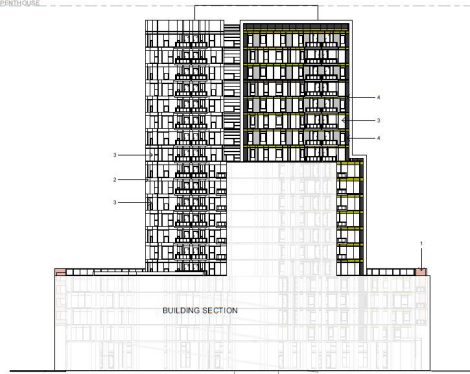
EXTERIOR
ELEVATION II

PROJECT DATE: DEC 10TH, 2021
DESIGNED BY: AMS
CHECKED BY: Checker
SCALE: 1 : 350
PROJECT NO: 121052

A202

- MATERIAL LEGEND**
- 1) RED MASONRY BRICK
 - 2) GREY EIFS
 - 3) GLAZING
 - 4) SPANDREL
 - 5) DARK EIFS
 - 6) DARK MASONRY BRICK

TO MECH FLOORS
25.10 m

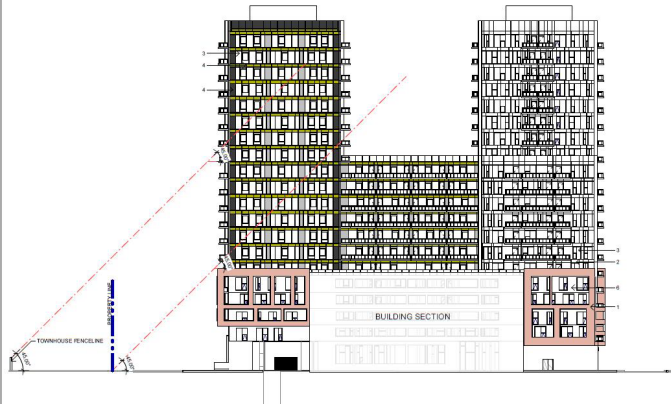


8 ELEVATION - SOUTH - INTERIOR - PHASE 1
A202 1:350

TO MECH FLOORS
25.10 m



7 ELEVATION - NORTH - INTERIOR - PHASE 1
A202 1:350



3 ELEVATION - EAST - PHASE 1
A202 1:350



2 ELEVATION - WEST - PHASE 1
A202 1:350



Chamberlain Architect
Services Limited
4071 Palladium Way Unit 11
Burlington, Ontario L7R 0W9
CANADA
Phone: 905-631-7777
www.chamberlainPED.com

NO.	REVISION	DATE
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2	REVISION NO. 1	DEC 10TH 2021

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200 CENTENNIAL PARKWAY

200 CENTENNIAL PARKWAY - HAMILTON

EXTERIOR ELEVATION III

DATE: DEC 10TH 2021
DRAWN BY: AMS
CHECKED BY: Checker
SCALE: 1:350
PROJECT NO: 121052

A203

A203 - 200 CENTENNIAL PARKWAY - HAMILTON - EXTERIOR ELEVATION III - PHASE 2





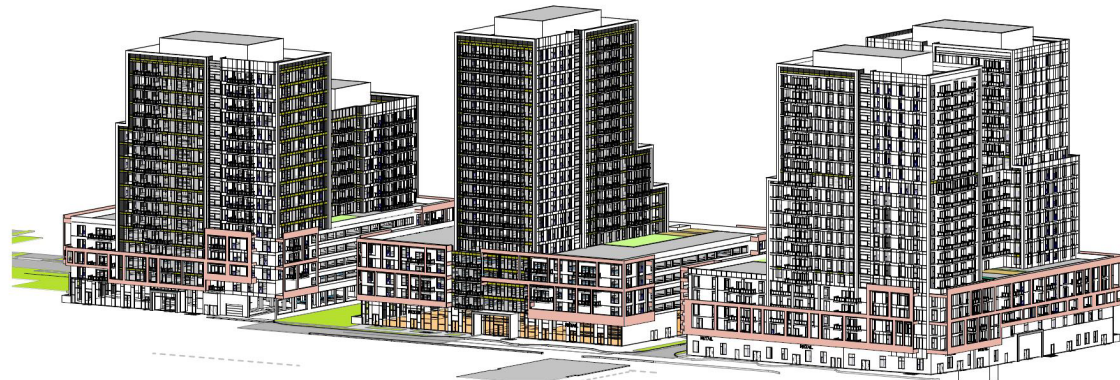
Chamberlain Architects
Architects
Constructors
Managers

Chamberlain Architect
Services Limited
4071 Palladium Way, Suite 111
Cambridge, Ontario, L1R 0Y9
Canada
Phone: 905.631.7777
www.chamberlainPED.com

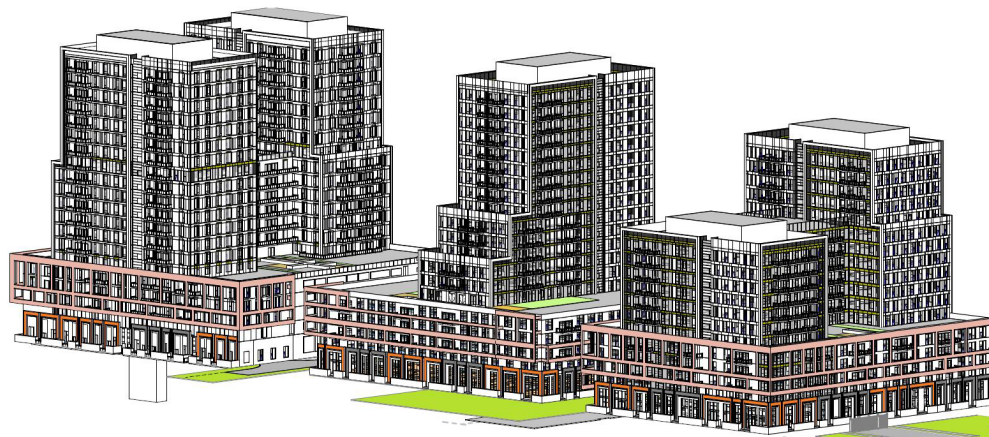
NO.	REVISION	DATE
1	REVISION FOR A907	DEC 10TH 2021
2	REVISION FOR A907	DEC 10TH 2021

3D VIEWS - FULL DEVELOPMENT - MASSING - AXO 1

3D VIEWS - FULL DEVELOPMENT - MASSING - AXO 2



1 FULL DEVELOPMENT - MASSING - AXO 1



2 FULL DEVELOPMENT - MASSING - AXO 2

200 CENTENNIAL
PARKWAY

200 CENTENNIAL
PARKWAY - HAMILTON

3D VIEWS - FULL
DEVELOPMENT -
MASSING

DATE: DEC 10TH, 2021
AUTHOR:
CHECKER:
PROJECT NO: 121052

A907



Chamberlain Architect
Services Limited
4071 Palladium Way (Unit 1)
Burlington, Ontario L7R 3W9
CANADA
Phone: 905.631.7777
www.chamberlainapc.com

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3	ISSUED FOR PERMIT	DEC 10TH 2021

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200 CENTENNIAL
PARKWAY

200 CENTENNIAL
PARKWAY - HAMILTON

3D VIEWS - FULL
DEVELOPMENT

ISSUED DATE: DEC 10TH 2021
DRAWN BY: Author
CHECKED BY: Checker
SCALE:
PROJECT NO.: 121052

DRAWING:
A908



2 AXO - FULL DEVELOPMENT 2



1 AXO - FULL DEVELOPMENT



Subject property 200 Centennial Parkway North (southerly portion), containing existing commercial uses, as seen from Centennial Parkway North looking east



Subject property 200 Centennial Parkway North (northern portion), containing the balance of the commercial uses, as seen from Centennial Parkway North looking north east



Existing commercial uses located across the street from the subject lands, as seen from Centennial Parkway North looking north west



Rear yards of the existing townhouse dwelling to the south of the subject property (1 – 11 Violet Drive), as seen from Centennial Parkway North looking east



Existing townhouse dwelling (1 – 11 Violet Drive) located to the south of the subject property, as seen at the intersection of Centennial Parkway North and Violet Drive, looking north east



Existing townhouse 2-12 Amy Lane located off of Violet Drive which is located to the south of the subject property, as seen from Violet Drive looking north



Existing multiple dwelling at 45 Barlake Avenue located to the east of the subject property, as seen from Barlake Avenue looking north west



Existing townhouse at 26-40 Barlake Avenue located to the east of the subject property, as seen from Barlake Avenue looking south west



Hamilton

THANK YOU FOR ATTENDING

THE CITY OF HAMILTON PLANNING COMMITTEE