

Authority: Item 4, Planning Committee
Report: 23-011 (PED23114)
CM: July 14, 2023
Ward: 6
Written approval of this by-law was given by
Mayoral Decision MDE-2023-01 dated
August 18, 2023

Bill No. 145

CITY OF HAMILTON

BY-LAW NO. 23-

To Adopt:

**Official Plan Amendment No. 187 to the
Urban Hamilton Official Plan**

Respecting:

1093 Fennell Avenue East

NOW THEREFORE the Council of the City of Hamilton enacts as follows:

1. Amendment No. 187 to the Urban Hamilton Official Plan consisting of Schedule “1”, hereto annexed and forming part of this by-law, is hereby adopted.

PASSED this 18th day of August, 2023.

A. Horwath
Mayor

A. Holland
City Clerk

Urban Hamilton Official Plan Amendment No. 187

The following text, together with Appendix “A” attached hereto, constitutes Official Plan Amendment No. 187 to the Urban Hamilton Official Plan.

1.0 Purpose and Effect:

The purpose and effect of this Amendment is to redesignate the subject lands from “District Commercial” to “Mixed Use – Medium Density” to permit a mixed use building with a maximum height of 12 storeys.

2.0 Location:

The lands affected by this Amendment are known municipally as 1093 Fennell Avenue East, in the former City of Hamilton.

3.0 Basis:

The basis for permitting this Amendment is:

- The proposed development supports the policies of the Urban Hamilton Official Plan, as it contributes to the range of housing forms and the efficient use of land and infrastructure;
- The proposed development is compatible with existing adjacent development and creates residential units adjacent to existing commercial uses and in proximity to existing transit;
- The proposed development supports the Residential Intensification policies of the Urban Hamilton Official Plan; and,
- The proposed Amendment is consistent with the Provincial Policy Statement, 2020 and conforms to the Growth Plan for the Greater Golden Horseshoe, 2019, as amended.

4.0 Actual Changes:

4.1 Volume 1 – Parent Plan

Schedules and Appendices

4.1.1 Schedule

- a. That Volume 1: Schedule E-1 – Urban Land Use Designations be amended by redesignating the subject lands from “District Commercial” to “Mixed Use – Medium Density”, as shown on Appendix “A”, attached to this Amendment.

5.0 Implementation:

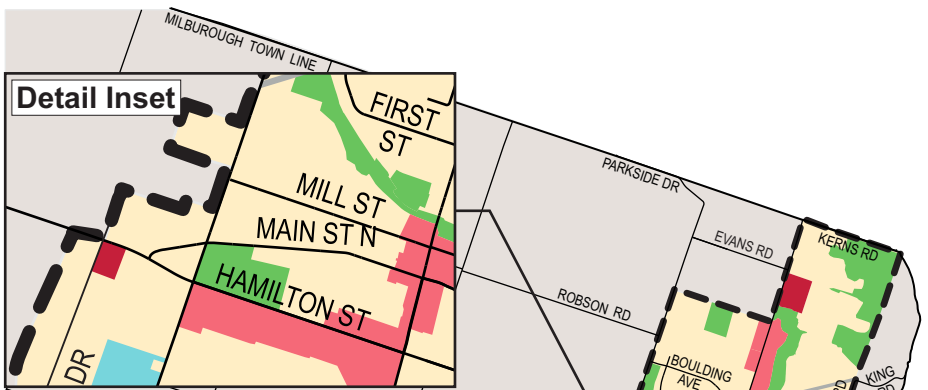
An implementing Zoning By-Law Amendment and Site Plan will give effect to the intended uses on the subject lands.

This Official Plan Amendment is Schedule “1” to By-law No. 23-145 passed on the 18th day of August, 2023.


The City of Hamilton

A. Horwath
Mayor

A. Holland
City Clerk



Appendix A
APPROVED Amendment No. 187
to the Urban Hamilton Official Plan

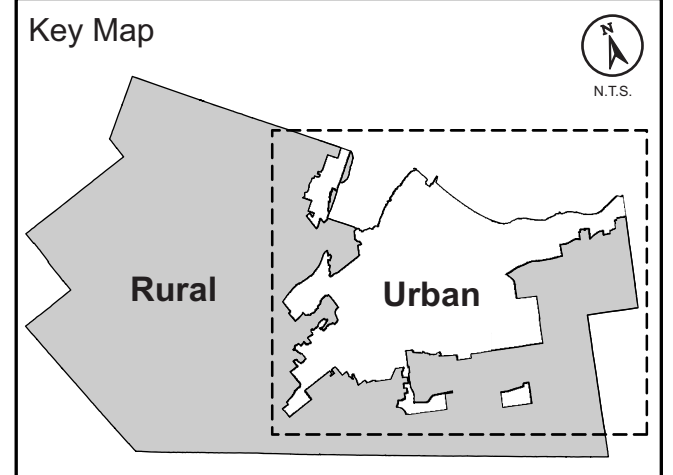
 Lands to be redesignated from "District Commercial" to "Mixed Use - Medium Density"
 (1093 Fennell Avenue East, Hamilton)

Date: July 17, 2023	Revised By: MM/NB	Reference File No.: OPA-187(H)
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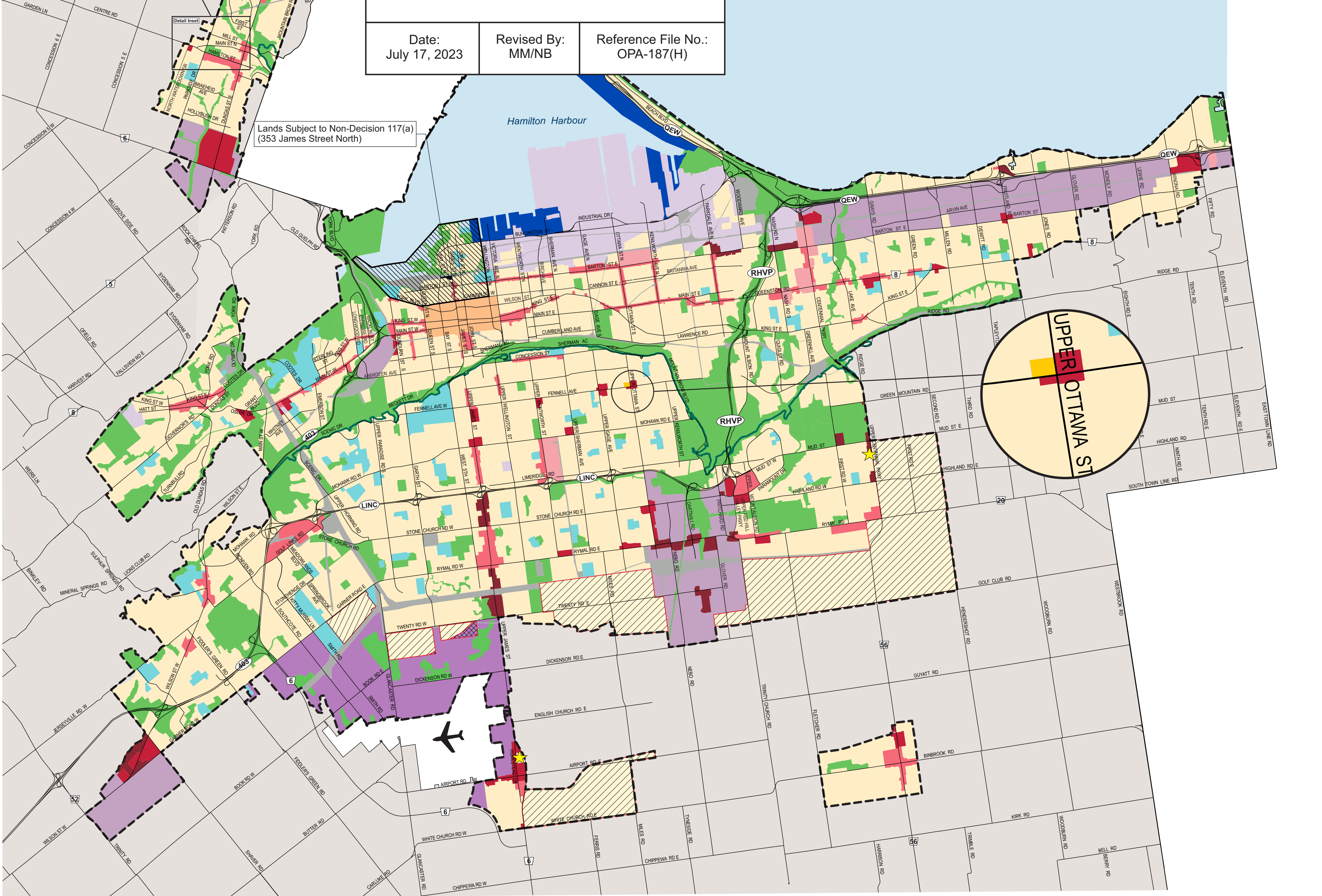
APPEALS

UHOPA NO. 69 APPEALS - PL171450

★ - 3011 Homestead Drive (Glanbrook), Appellant # 4
 - 237 Upper Centennial Parkway (Stoney Creek), Appellant # 14



Note: For Rural Land Use Designations, refer to Schedule D of the Rural Hamilton Official Plan.



Lands Subject to Non-Decision 117(a)
 (353 James Street North)

UPPER OTTAWA ST

- Legend**
- Neighbourhoods
 - Open Space
 - Institutional
 - Utility
 - Urban Expansion Area - Neighborhoods
 - Urban Expansion Area - Employment
- Commercial and Mixed Use Designations**
- Downtown Mixed Use Area
 - Mixed Use - High Density
 - Mixed Use - Medium Density
 - District Commercial
 - Arterial Commercial
- Employment Area Designations**
- Industrial Land
 - Business Park
 - Airport Employment Growth District
 - Shipping & Navigation
- Other Features**
- Rural Area
 - John C. Munro Hamilton International Airport
 - Niagara Escarpment
 - Urban Boundary
 - Municipal Boundary
 - Lands Subject to Non Decision 113 West Harbour Setting Sail

Council Adoption: July 9, 2009
 Ministerial Approval: March 16, 2011
 Effective Date: August 16, 2013

Urban Hamilton Official Plan
Schedule E-1
Urban Land Use Designations



Not To Scale
 Date: June 2023

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