

**Authority:** Item 4, Planning Committee  
Report: 23-011 (PED23114)  
CM: July 14, 2023  
Ward: 6  
Written approval for this by-law was given  
through Mayoral Decision MDE-2023-01 dated  
August 18, 2023

**CITY OF HAMILTON**

**Bill No. 145**

**BY-LAW NO. 23-**

**To Adopt:**

**Official Plan Amendment No. 187 to the  
Urban Hamilton Official Plan**

Respecting:

**1093 Fennell Avenue East**

**NOW THEREFORE** the Council of the City of Hamilton enacts as follows:

1. Amendment No. 187 to the Urban Hamilton Official Plan consisting of Schedule "1", hereto annexed and forming part of this by-law, is hereby adopted.

**PASSED** this 18<sup>th</sup> day of August, 2023.

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A. Horwath  
Mayor

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A. Holland  
City Clerk

## Urban Hamilton Official Plan Amendment No. 187

The following text, together with Appendix “A” attached hereto, constitutes Official Plan Amendment No. 187 to the Urban Hamilton Official Plan.

### 1.0 Purpose and Effect:

The purpose and effect of this Amendment is to redesignate the subject lands from “District Commercial” to “Mixed Use – Medium Density” to permit a mixed use building with a maximum height of 12 storeys.

### 2.0 Location:

The lands affected by this Amendment are known municipally as 1093 Fennell Avenue East, in the former City of Hamilton.

### 3.0 Basis:

The basis for permitting this Amendment is:

- The proposed development supports the policies of the Urban Hamilton Official Plan, as it contributes to the range of housing forms and the efficient use of land and infrastructure;
- The proposed development is compatible with existing adjacent development and creates residential units adjacent to existing commercial uses and in proximity to existing transit;
- The proposed development supports the Residential Intensification policies of the Urban Hamilton Official Plan; and,
- The proposed Amendment is consistent with the Provincial Policy Statement, 2020 and conforms to the Growth Plan for the Greater Golden Horseshoe, 2019, as amended.

### 4.0 Actual Changes:

#### 4.1 Volume 1 – Parent Plan

**Schedules and Appendices**

4.1.1 Schedule

- a. That Volume 1: Schedule E-1 – Urban Land Use Designations be amended by redesignating the subject lands from “District Commercial” to “Mixed Use – Medium Density”, as shown on Appendix “A”, attached to this Amendment.

**5.0 Implementation:**

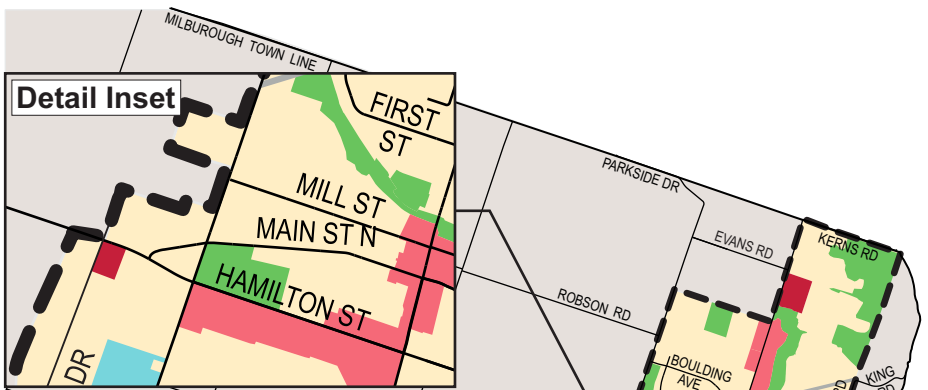
An implementing Zoning By-Law Amendment and Site Plan will give effect to the intended uses on the subject lands.

This Official Plan Amendment is Schedule “1” to By-law No. 23-145 passed on the 18<sup>th</sup> day of August, 2023.


**The  
City of Hamilton**

\_\_\_\_\_  
A. Horwath  
Mayor

\_\_\_\_\_  
A. Holland  
City Clerk



**Appendix A**  
**APPROVED Amendment No. 187**  
**to the Urban Hamilton Official Plan**

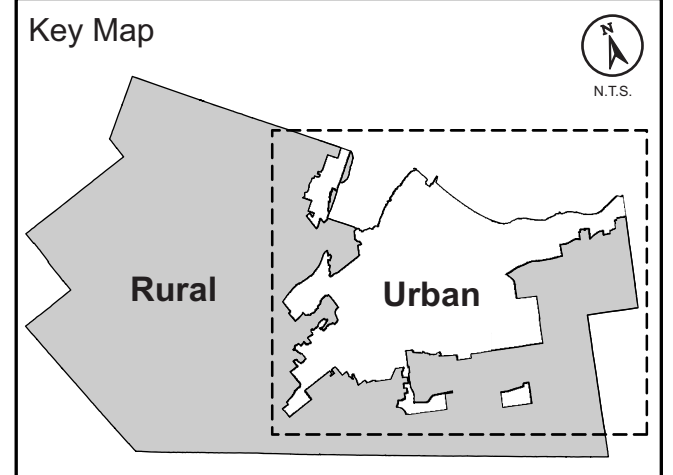
 Lands to be redesignated from "District Commercial" to "Mixed Use - Medium Density"  
 (1093 Fennell Avenue East, Hamilton)

Date: July 17, 2023	Revised By: MM/NB	Reference File No.: OPA-187(H)
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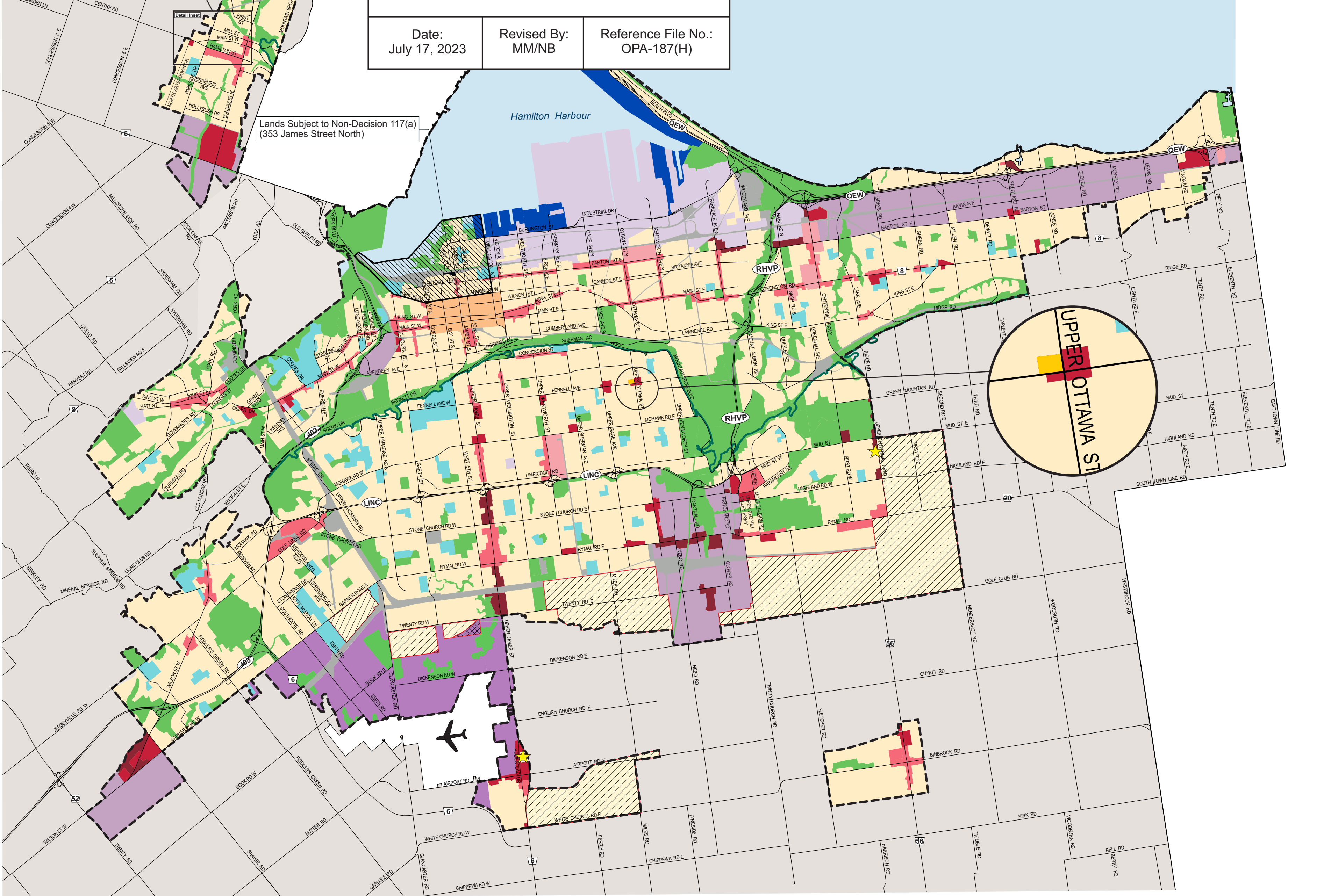
**APPEALS**

**UHOPA NO. 69 APPEALS - PL171450**

★ - 3011 Homestead Drive (Glanbrook), Appellant # 4  
 - 237 Upper Centennial Parkway (Stoney Creek), Appellant # 14



**Note:** For Rural Land Use Designations, refer to Schedule D of the Rural Hamilton Official Plan.



Lands Subject to Non-Decision 117(a)  
 (353 James Street North)

**UPPER OTTAWA ST**

- Legend**
- Neighbourhoods
  - Open Space
  - Institutional
  - Utility
  - Urban Expansion Area - Neighborhoods
  - Urban Expansion Area - Employment
- Commercial and Mixed Use Designations**
- Downtown Mixed Use Area
  - Mixed Use - High Density
  - Mixed Use - Medium Density
  - District Commercial
  - Arterial Commercial
- Employment Area Designations**
- Industrial Land
  - Business Park
  - Airport Employment Growth District
  - Shipping & Navigation
- Other Features**
- Rural Area
  - John C. Munro Hamilton International Airport
  - Niagara Escarpment
  - Urban Boundary
  - Municipal Boundary
  - Lands Subject to Non Decision 113 West Harbour Setting Sail

Council Adoption: July 9, 2009  
 Ministerial Approval: March 16, 2011  
 Effective Date: August 16, 2013

**Urban Hamilton Official Plan**  
**Schedule E-1**  
**Urban Land Use Designations**



Not To Scale  
 Date: June 2023

**PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT**  
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