



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-23:192	SUBJECT PROPERTY:	25 BURLINGTON STREET W, HAMILTON
ZONE:	“D” (Urban Protected Residential – One- and Two-Family Dwellings)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended

APPLICANTS: **Owner:** DAVID LIBURDI, FEBBO LIBURDI, & NATHAN DE HAAN
Agent: MICHAEL PONGETTI

The following variances are requested:

1. Zero (0) onsite parking spaces shall be provided instead of 2 parking spaces for each Class A dwelling unit, for the first 8 habitable rooms in the dwelling unit plus 0.5 parking space for each additional habitable room as well as, and no additional parking space shall be required for either a Secondary Dwelling Unit or a Secondary Dwelling Unit - Detached, provided the required parking spaces which existed on May 12, 2021 for the existing dwelling shall continue to be provided and maintained required.

PURPOSE & EFFECT: To facilitate the establishment of a Secondary Dwelling unit- Detached;

Notes:

1. It is noted that the provided plans show no parking within the existing driveway, should this variance be approved the 1.0m unobstructed path from the street line to the entrance of the Secondary Dwelling unit- Detached will be required to be provided at all times.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 24, 2023
TIME:	9:25 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:192, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: August 8, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

GENERAL NOTES

1. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE (O.B.C.) INCLUDING THE LATEST STANDARDS REFERENCED WITHIN.
2. DRAWINGS ARE NOT TO BE SCALED AT ANY TIME.
3. ALL DRAWINGS ARE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.
4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.
5. IF ANY ERRORS OR OMISSIONS ARE FOUND ON THESE DRAWINGS, THEY SHALL BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION. DRAWINGS MUST BE REVIEWED.

DESIGN LOADS

1. GROUND SNOW (S _s) / RAIN (S _r):	1.3 kPa / 0.4 kPa
2. MAXIMUM ROOF SNOW (S):	1.44 kPa
3. ROOF DEAD LOAD (D):	1.0 kPa
4. WIND LOAD (q ₅₀):	0.43 kPa
5. FLOOR LIVE LOAD (L):	1.9 kPa
6. FLOOR DEAD LOAD (D):	1.0 kPa
7. ATTIC LOAD (NO ACCESS/NO STORAGE)	0.5 kPa

LUMBER NOTES

1. ALL SAWN LUMBER TO BE S.P.F. No. 2 GRADE OR BETTER AND CONFORM TO CSA-0141
2. ALL ENGINEERED BUILT UP BEAMS ARE TO BE LVL'S (GRADE 2.0x10E4 PSI) UNLESS OTHERWISE NOTED. REPLACEMENT WITH A HIGHER GRADE IS NOT ALWAYS A SUITABLE EQUIVALENT. CONTACT ENGINEER FOR EQUIVALENT.
3. PROVIDE SOLID BLOCKING BETWEEN JOISTS BELOW ALL LOAD BEARING WALLS/COLUMNS WHICH ARE PERPENDICULAR TO THE JOISTS.
4. WOOD IS NOT TO BEAR DIRECTLY ON CONCRETE/MASONRY, PROVIDE PRESSURE TREATED, POLY OR SILL GASKET BETWEEN CONCRETE/MASONRY AND WOOD SILL PLATE.
5. ALL JOISTS SHOULD HAVE A MINIMUM OF 40 mm (1-1/2") OF BEARING WITH JOIST HANGARS.
6. ALL BUILT UP BEAMS TO PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4" x 3-1/2" LG. @12" O.C. w/ MINIMUM 3-1/2" OF BEARING.

FOUNDATION NOTES

1. ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 3000 P.S.F.
2. PROVIDE 4'-0" MINIMUM OF FROST COVER FOR ALL EXTERIOR FOOTINGS.
3. ALL REINFORCING STEEL TO BE 400W AND SHALL CONFORM TO CSA-G30.18-M92.
4. CONCRETE TO BE MIN. 32 MPa COMPRESSIVE STRENGTH @ 28 DAYS, 5-8% AIR ENTRAINMENT.
5. END BEARING - ALL WOOD & STEEL BEAMS SHALL HAVE EVEN & LEVEL BEARING & SHALL NOT HAVE LESS THAN 3-1/2" OF BEARING AT END OF SUPPORTS AS PER O.B.C. 9.23.8.1.
6. ALL FLOOR JOISTS SHALL HAVE NO LESS THAN 1-1/2"(38mm) IN LENGTH FOR END BEARING EXCEPT WHEN SUPPORTED ON RIBBON BOARDS AS PER O.B.C. 9.23.9.1(1).

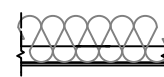
STRUCTURAL STEEL NOTES

1. STRUCTURAL STEEL DESIGN MUST CONFORM TO CSA S16
2. STRUCTURAL STEEL W SECTIONS AND COLUMNS SHALL CONFORM TO ASTM A992 U.O.N.
3. STRUCTURAL STEEL CHANNELS, HSS, ANGLES, MUST CONFORM TO CSA G40.21, GRADE 350W U.O.N
4. ALL WELDING TO CONFORM TO C.W.B. APPROVED PROCEDURES. ALL WELDING TO BE CARRIED OUT BY WELDERS CERTIFIED BY THE C.W.B., EMPLOYED BY A FIRM CERTIFIED IN DIVISION 1 OR 2
5. ALL STRUCTURAL STEEL SHALL RECEIVE A MINIMUM OF ONE COAT OF SHOP PRIMER
6. DO NOT SPLICE OR CUT OPENING IN STRUCT. STEEL WITHOUT THE ENGINEERS APPROVAL

CONCRETE & REINFORCING NOTES

1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF CSA A23.1, A23.2 & 23.3.
2. REINFORCING SHALL CONFORM TO CSA G30.18, GRADE 400W, F_y=400MPa
3. WELDED WIRE MESH AND WELDED WIRE FABRIC SHALL CONFORM TO CSA G30.5, F_y=450MPa & HAVE A MINIMUM LAP OF 150mm (6") AT JOINTS U.O.N.
4. ALL REINFORCING LAP SPLICES SHALL CONFORM TO THE LATEST CSA STANDARD A23.3 & ALL BAR SPLICES TO BE CLASS 'B' TENSION U.O.N.
5. CRACK CONTROL SHOULD BE PLACED ALONG THE CENTRE OF THE LENGTH AND WIDTH OF AREA AND PLACED NO MORE THAN 14'-0" O/C. PROVIDE JOINT FILLER IN CONTROL JOINTS
6. ALL CONCRETE COVER SHALL CONFORM TO CSA A23.1 AND THE FOLLOWING BELOW U.O.N.
 - A. CONCRETE CAST AGAINST EARTH: 75mm
 - B. EXTERIOR BEAMS, SLABS, COLUMNS, PIERS AND WALLS: 40mm
 - C. INTERIOR SLABS: 25mm

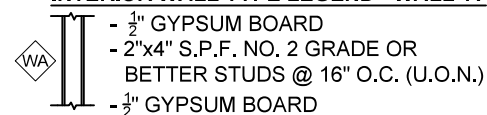
25 BURLINGTON ST. W GARAGE CONVERSION



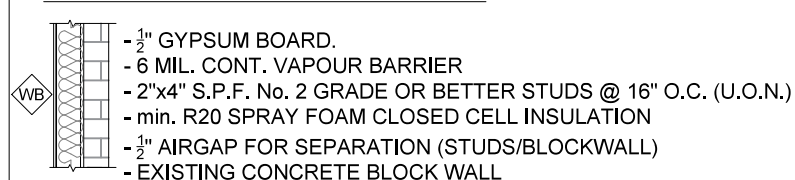
EXISTING CEILING:

- min. R60 INSULATION TO BE ADDED
- EXISTING 2"x6" CEILING JOISTS
- CONT. SUPER 6 MIL. AIR/VAP BARRIER
- 1/2" GYPSUM BOARD.

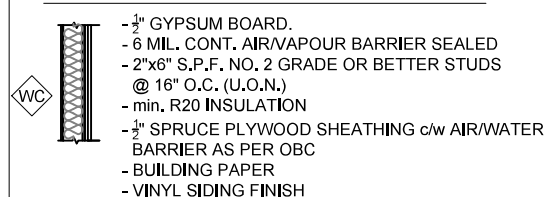
INTERIOR WALL TYPE LEGEND - WALL 'A'



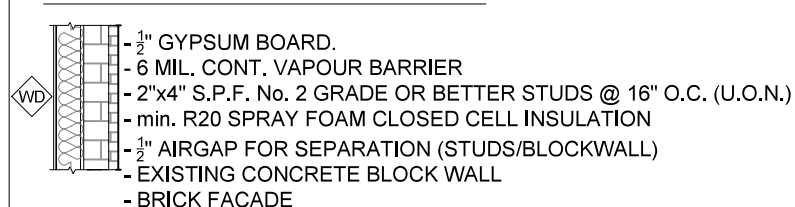
EXTERIOR WALL TYPE LEGEND - WALL 'B'



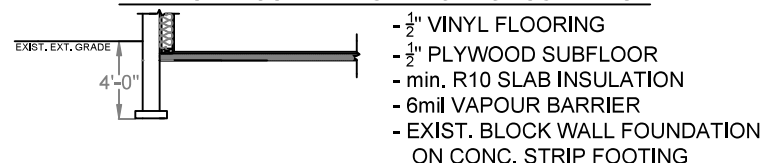
EXTERIOR WALL TYPE LEGEND - WALL 'C'



EXTERIOR WALL TYPE LEGEND - WALL 'D'



INTERIOR FLOOR MAKEUP/EXISTING FOUNDATION



#:	DATE:	DESC.

REVISIONS

DECC INC.

DESIGN | ENGINEER | CONSULT | CONSTRUCT

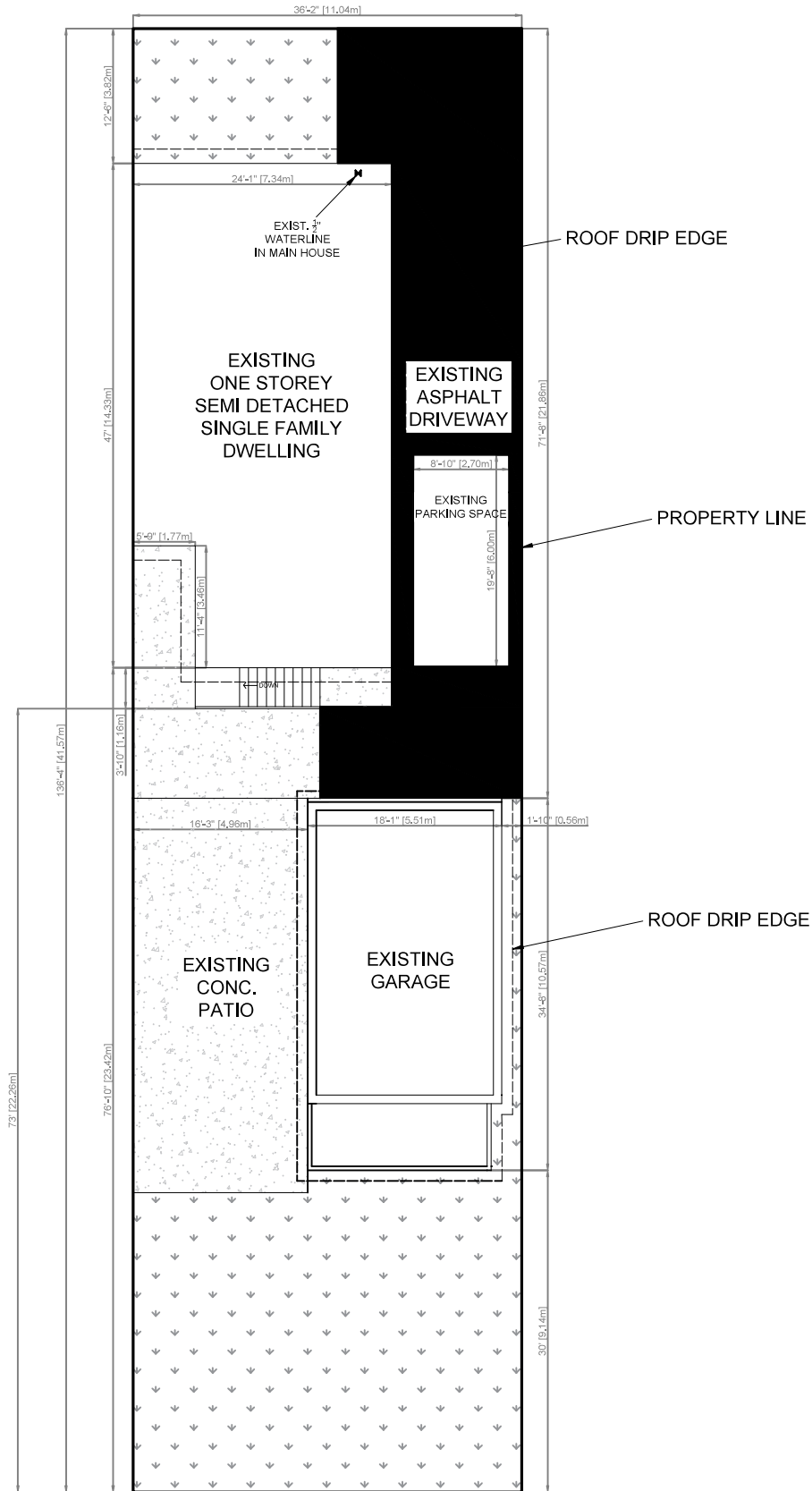
SITE:
25 BURLINGTON ST. W
HAMILTON, ONTARIO

PROJECT:
A.D.U.
GARAGE CONVERSION

DWG:
A0.01
GENERAL NOTES

DATE: JULY 1, 2023	DRAWN BY: MT	DWG #: 1 / 10
PROJECT #: 102	CHKD BY: MP	

GENERAL NOTES
SCALE: NTS



#:	DATE:	DESC.
REVISIONS		
DECC INC.		
DESIGN ENGINEER CONSULT CONSTRUCT		
SITE: 25 BURLINGTON ST. W HAMILTON, ONTARIO		
PROJECT: A.D.U. GARAGE CONVERSION		
DWG: SP1.01 SITE PLAN EXISTING		
DATE: JULY 1, 2023	DRAWN BY: MT	DWG #: 2 / 10
PROJECT #: 102	CHKD BY: MP	

SITE PLAN
 SCALE: $\frac{1}{16}'' = 1'-0''$

SPATIAL SEPARATION ANALYSIS

NORTH SIDE OF PROPOSED BUILDING
 - LIMITING DISTANCE (Ld) = 4'-2" = 1.27m²
 - AREA OF BUILDING FACE = 208.35ft² = 19.36m²
 - TABLE 9.10.14.4, USING INTERPOLATION
 - ALLOWABLE PERCENTAGE OF UNPROT. OPENINGS = 8.47%
 - AREA OF ALLOWABLE UNPROT. OPENINGS = 19.36m² x 0.0847 = 1.64m²
 - BUILDING UNPROTECTED OPENING AREA
 D1 = 17.33ft² = 1.61m²
 W3 = N/A (GLASS BLOCK)
 TOTAL = 1.61m² < 1.64m²

- THEREFORE PROPOSED BUILDING OPENINGS CONFORM TO TABLE 9.10.14.4.

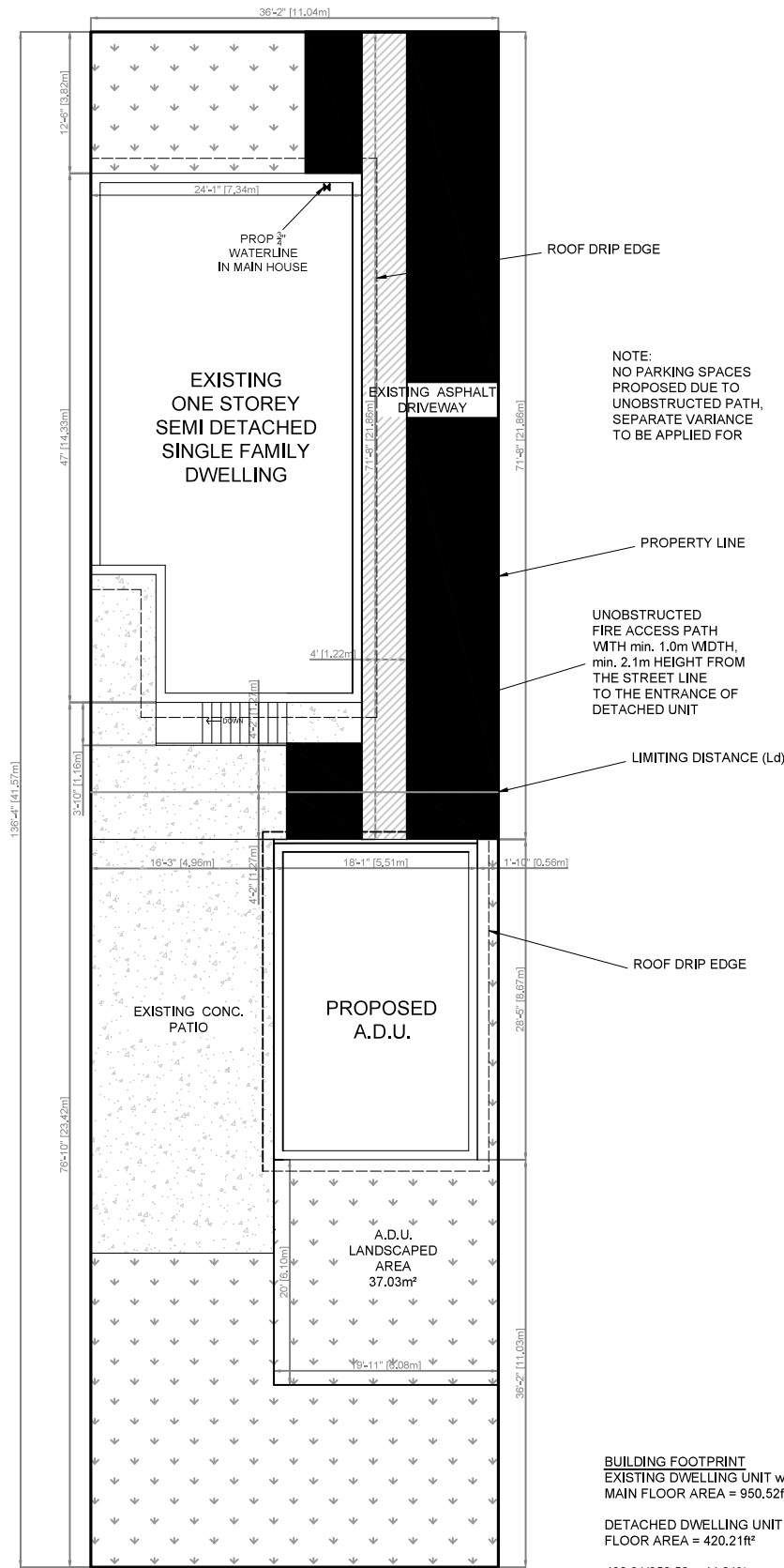
WEST SIDE OF PROPOSED BUILDING
 - LIMITING DISTANCE (Ld) = 16'-3" = 4.96m²
 - AREA OF BUILDING FACE = 212.58ft² = 19.75m²
 - TABLE 9.10.14.4
 - ALLOWABLE PERCENTAGE OF UNPROT. OPENINGS = 53%
 - AREA OF ALLOWABLE UNPROT. OPENINGS = 19.75m² x 0.53 = 10.47m²
 - BUILDING UNPROTECTED OPENING AREA
 W1 = 6.81ft² = 0.63m²
 W4 = 8.0ft² = 0.74m²
 TOTAL = 1.37m² < 10.47m²

- THEREFORE PROPOSED BUILDING OPENINGS CONFORM TO TABLE 9.10.14.4.

EAST SIDE OF PROPOSED BUILDING
 - NOT REQUIRED, NO PROPOSED OPENINGS

SOUTH SIDE OF PROPOSED BUILDING
 - LIMITING DISTANCE (Ld) = 36'-2" = 11.03m²
 - AREA OF BUILDING FACE = 195.47ft² = 18.16m²
 - TABLE 9.10.14.4
 - ALLOWABLE PERCENTAGE OF UNPROT. OPENINGS = 100%
 - AREA OF ALLOWABLE UNPROT. OPENINGS = 18.16m² x 1.00 = 18.16m²
 - BUILDING UNPROTECTED OPENING AREA
 W2 = 6.81ft² = 0.63m²
 TOTAL = 18.16m² < 18.16m²

- THEREFORE PROPOSED BUILDING OPENINGS CONFORM TO TABLE 9.10.14.4.



BUILDING FOOTPRINT
 EXISTING DWELLING UNIT w/ S.D.U.
 MAIN FLOOR AREA = 950.52ft²
 DETACHED DWELLING UNIT
 FLOOR AREA = 420.21ft²
 420.21/950.52 = 44.21%

SITE PLAN
 SCALE: 1/16" = 1'-0"



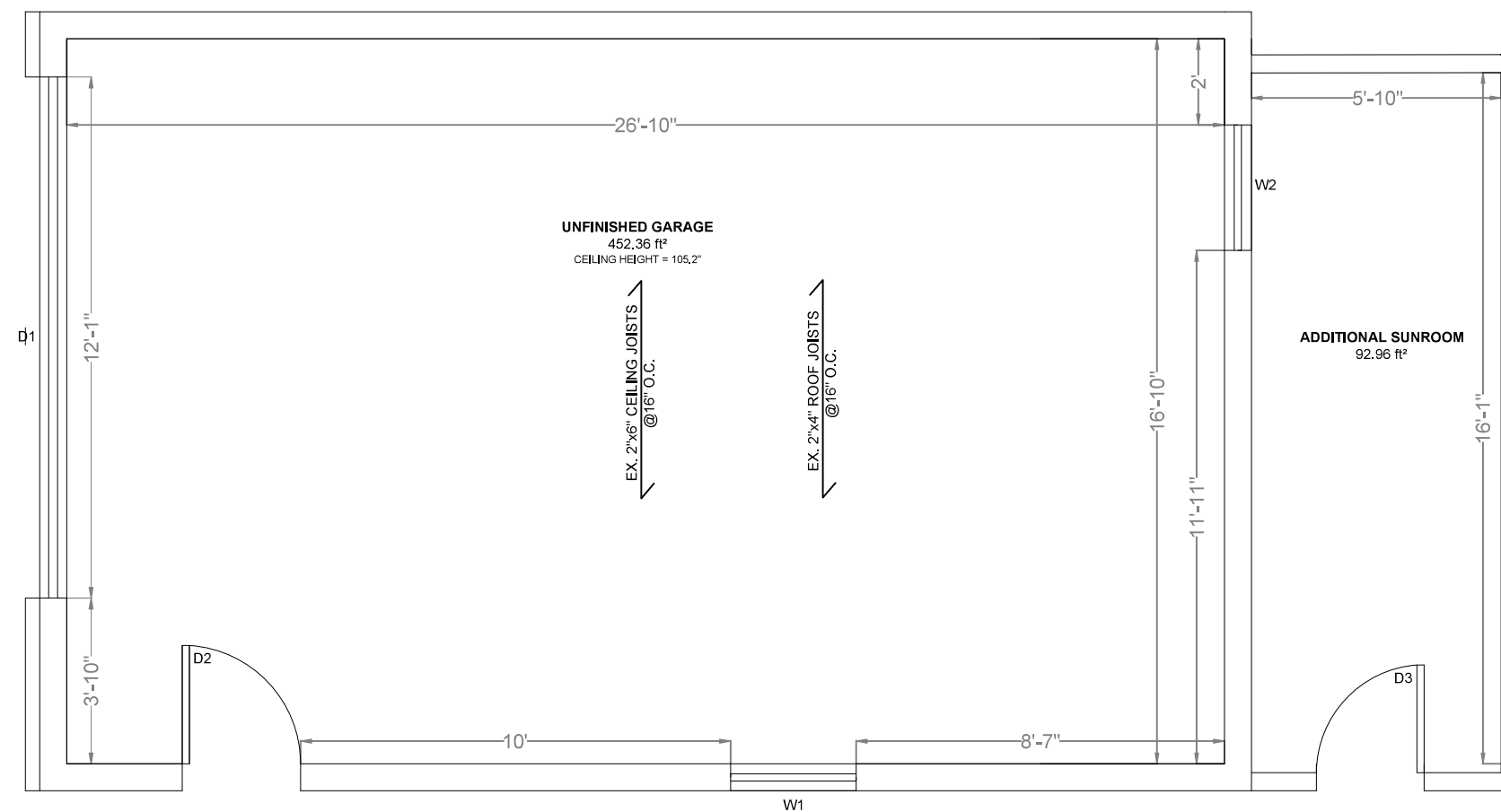
#:	DATE:	DESC.
REVISIONS		
DECC INC.		
DESIGN ENGINEER CONSULT CONSTRUCT		
SITE:		
25 BURLINGTON ST. W HAMILTON, ONTARIO		
PROJECT:		
A.D.U. GARAGE CONVERSION		
DWG:		
SP1.02 SITE PLAN PROPOSED		
DATE:	DRAWN BY:	DWG #:
JULY 1, 2023	MT	3 / 10
PROJECT #:	CHKD BY:	
102	MP	

**EXISTING FLOOR PLAN
DIMENSIONS/CONFIGURATION
AREA APPROXIMATE**

**GARAGE AREA:
+/- 452.36 ft²**

WINDOW/DOOR SCHEDULE

NO.	WIDTH	HEIGHT
D1	143"	90"
D2	33"	81"
D3	30"	78"
W1	35"	28"
W2	35"	28"



#	DATE	DESC.

REVISIONS

DECC INC.
DESIGN | ENGINEER | CONSULT | CONSTRUCT

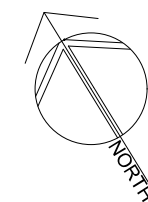
**SITE:
25 BURLINGTON ST. W
HAMILTON, ONT.**

**PROJECT:
A.D.U.
GARAGE CONVERSION**

**DWG:
A1.01
FLOOR PLAN
EXISTING**

DATE: JULY 1, 2023	DRAWN BY: MT	DWG #: 4 / 10
PROJECT #: 102	CHKD BY: MP	

FLOOR PLAN
SCALE: 1/4" = 1'-0"

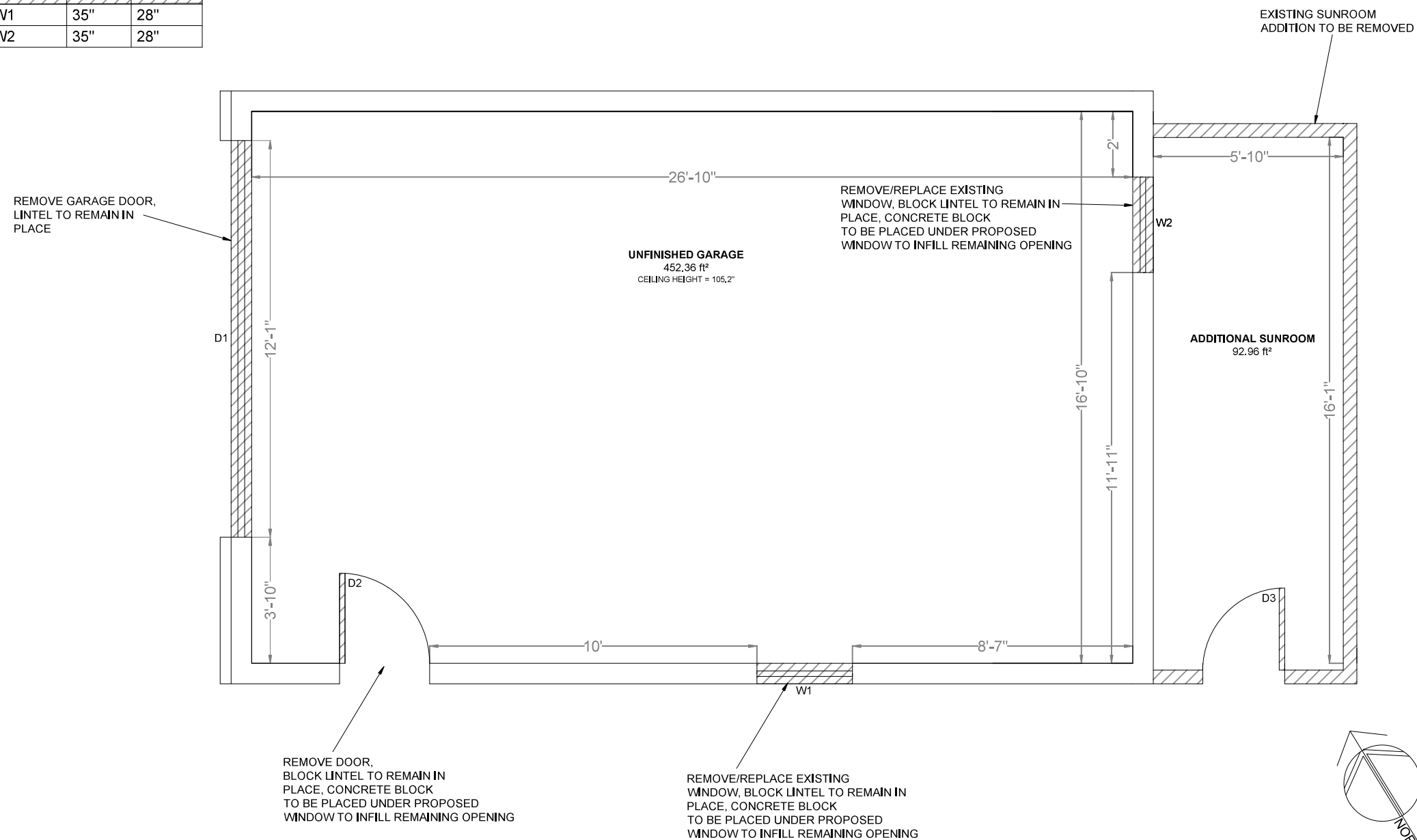


**EXISTING FLOOR PLAN
DIMENSIONS/CONFIGURATION
AREA APPROXIMATE**

**GARAGE AREA:
+/- 452.36 ft²**

WINDOW/DOOR SCHEDULE

NO.	WIDTH	HEIGHT
D1	143"	90"
D2	33"	81"
D3	30"	78"
W1	35"	28"
W2	35"	28"



#.	DATE:	DESC.
REVISIONS		
DECC INC.		
DESIGN ENGINEER CONSULT CONSTRUCT		
SITE:		
25 BURLINGTON ST. W HAMILTON, ONT.		
PROJECT:		
A.D.U. GARAGE CONVERSION		
DWG:		
A1.02 FLOOR PLAN REMOVALS		
DATE:	DRAWN BY:	DWG #:
JULY 1, 2023	MT	5 / 10
PROJECT #:	CHKD BY:	
102	MP	

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

EXISTING FLOOR PLAN
DIMENSIONS/CONFIGURATION
AREA APPROXIMATE

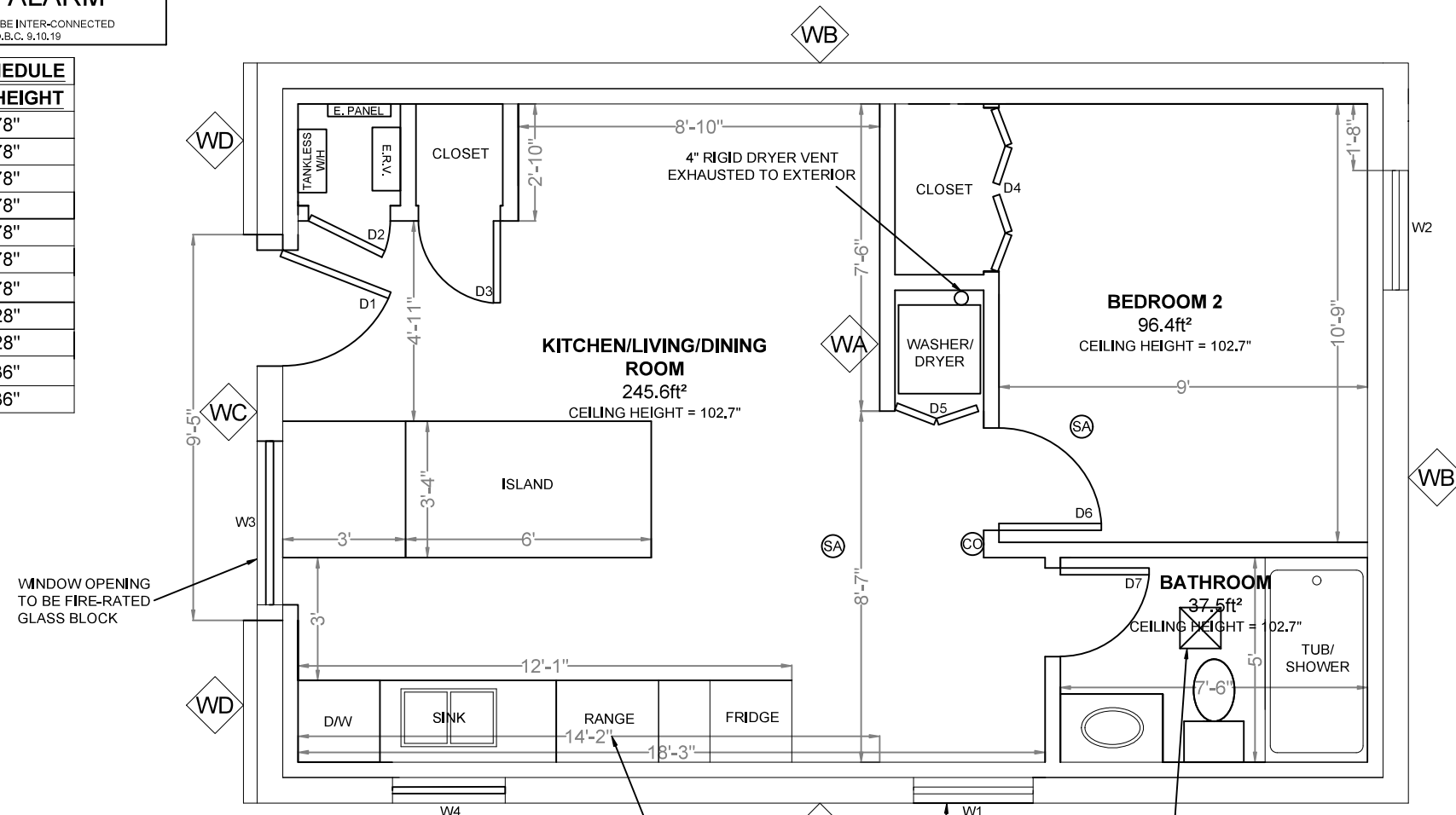
FLOOR AREA:
+/- 420.14 ft²

LEGEND 
CARBON MONOXIDE ALARMS
REQUIRED ADJACENT TO BEDROOMS
ON EACH LEVEL AND COMPLY w/ O.B.C 9.33.4

 **SMOKE ALARM**
ALL SMOKE DETECTORS TO BE INTER-CONNECTED
AND COMPLY w/ O.B.C. 9.10.19

WINDOW/DOOR SCHEDULE

NO.	WIDTH	HEIGHT
D1- GLZD	32"	78"
D2	24"	78"
D3	24"	78"
D4 - DBL	24"	78"
D5	26"	78"
D6	30"	78"
D7	26"	78"
W1	35"	28"
W2	35"	28"
W3	48"	36"
W4	32"	36"



NOTE: ALL PLUMBING SUBJECT TO FIELD INSPECTION

NOTE: UTILITIES TO BE TRENCHED AND CONNECTED TO EXISTING DWELLING

NOTE: ALL INTERIOR WALLS NOT NOTED DIFFERENTLY SHALL BE OF WALL TYPE B CONSTRUCTION

RANGE EXHAUST FAN VENTED TO OUTSIDE AS PER O.B.C. 9.32.3.5.

BATHROOM VENTED TO EXTERIOR

BATHROOM VENTED TO EXTERIOR

NATURAL LIGHT - GLASS AREA REQUIREMENTS (O.B.C. 9.7.2.3.)			
ROOM	AREA OF ROOM	AREA OF WDN. REQ.	AREA OF WDN. PROVIDED
LIVING/KITCHEN/ DINING ROOM	245.6R ²	10% = 24.56R ²	W1 - 32'x24" = 5.33R ² W2 - 44'x32" = 9.78R ² W4 - 38'x32" = 6.29R ² D1 - 20'x66" = 9.17R ² TOTAL = 30.57R ²
BEDROOM	96.4R ²	5% = 4.82R ²	W2 - 32'x24" = 5.33R ²



#.	DATE:	DESC.
REVISIONS		

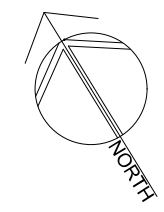
DECC INC.
DESIGN | ENGINEER | CONSULT | CONSTRUCT

SITE:
**25 BURLINGTON ST. W
HAMILTON, ONT.**

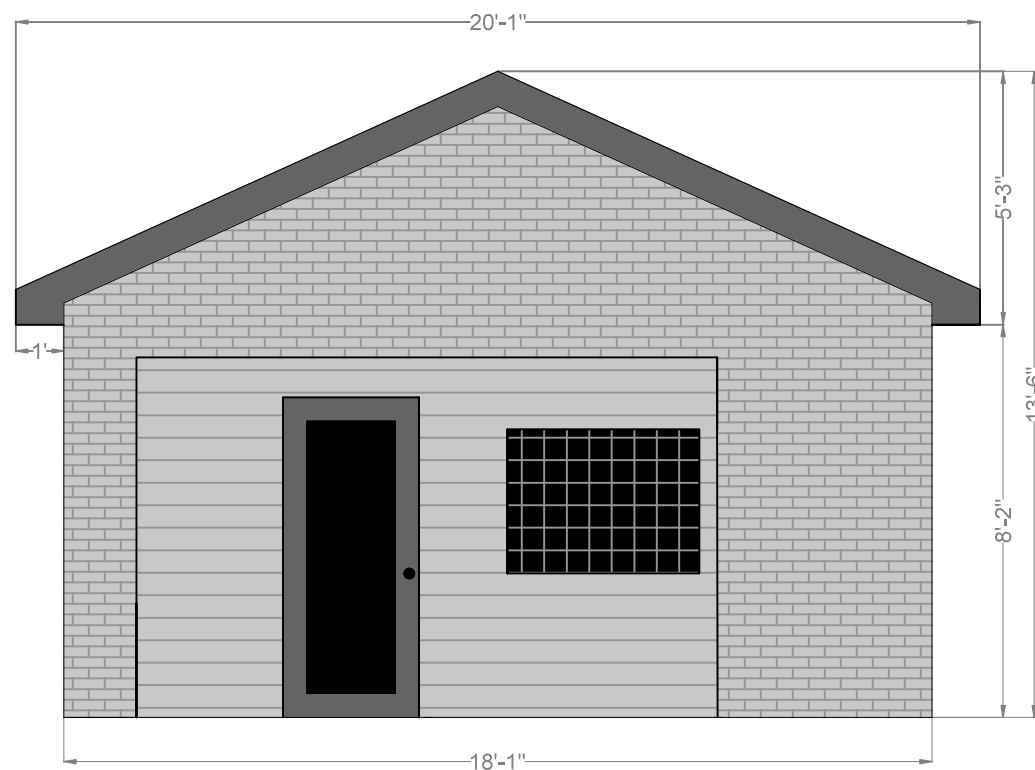
PROJECT:
**A.D.U.
GARAGE CONVERSION**

DWG:
**A1.03
FLOOR PLAN
PROPOSED**

DATE: JULY 1, 2023	DRAWN BY: MT	DWG #: 6 / 10
PROJECT #: 102	CHKD BY: MP	



FLOOR PLAN
SCALE: 1/4" = 1'-0"

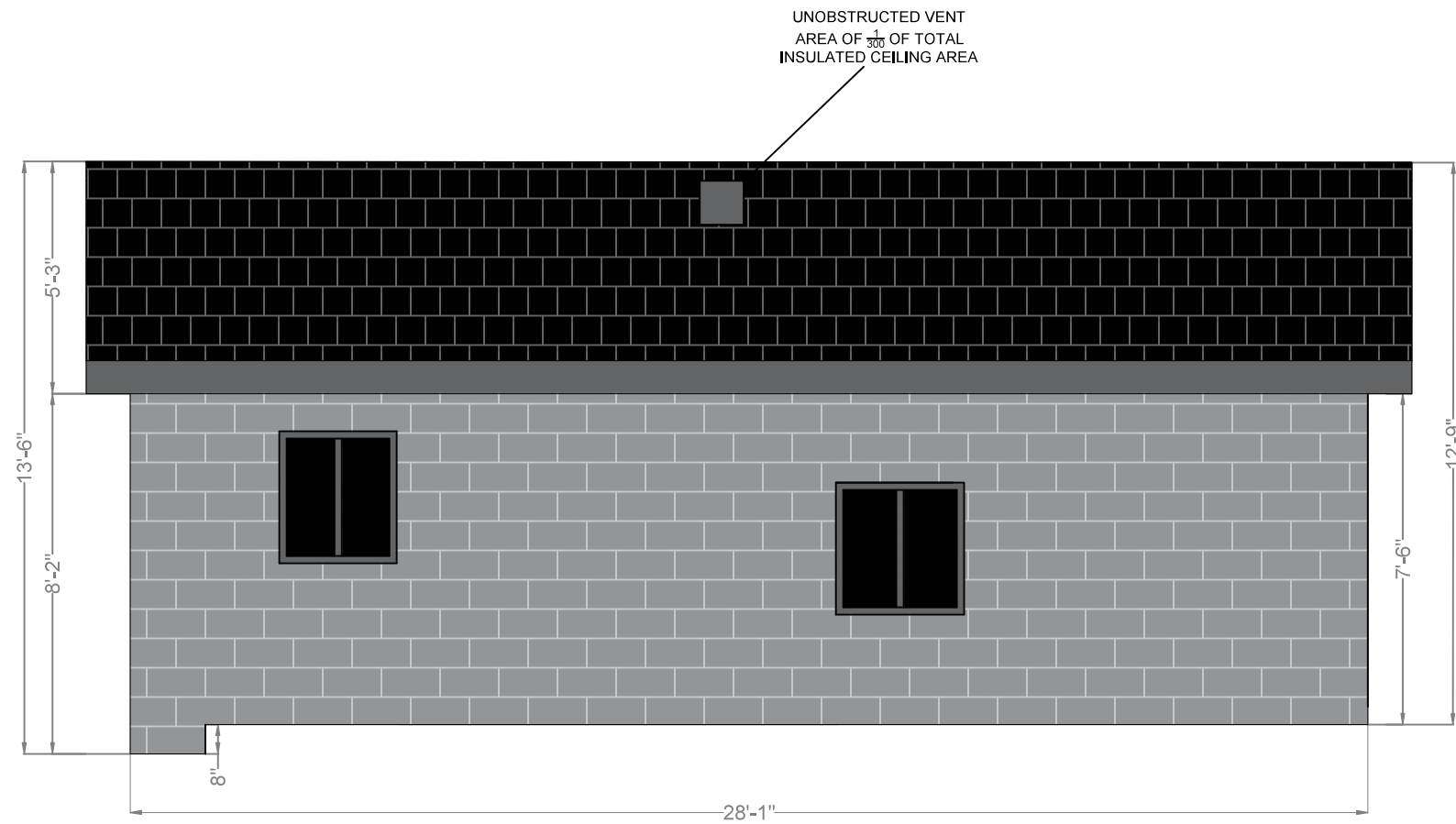


SPATIAL SEPARATION ANALYSIS
NORTH SIDE OF PROPOSED BUILDING
- LIMITING DISTANCE (Ld) = 4'-2" = 1.27m ²
- AREA OF BUILDING FACE = 208.35ft ² = 19.36m ²
- TABLE 9.10.14.4. USING INTERPOLATION
- ALLOWABLE PERCENTAGE OF UNPROT. OPENINGS = 8.47%
- AREA OF ALLOWABLE UNPROT. OPENINGS = 19.36m ² x 0.0847 = 1.64m ²
- BUILDING UNPROTECTED OPENING AREA
D1 = 17.33ft ² = 1.61m ²
W3 = N/A (GLASS BLOCK)
TOTAL = 1.61m ² < 1.64m ²
- THEREFORE PROPOSED BUILDING OPENINGS CONFORM TO TABLE 9.10.14.4.



#:	DATE:	DESC.
REVISIONS		
DECC INC.		
DESIGN ENGINEER CONSULT CONSTRUCT		
SITE:		
25 BURLINGTON ST. W HAMILTON, ONT.		
PROJECT:		
A.D.U. GARAGE CONVERSION		
DWG:		
A2.01 NORTH ELEVATION PLAN PROPOSED		
DATE:	DRAWN BY:	DWG #:
JULY 1, 2023	MT	7 / 10
PROJECT #:	CHKD BY:	
102	MP	

FLOOR PLAN
SCALE: 1/4" = 1'-0"

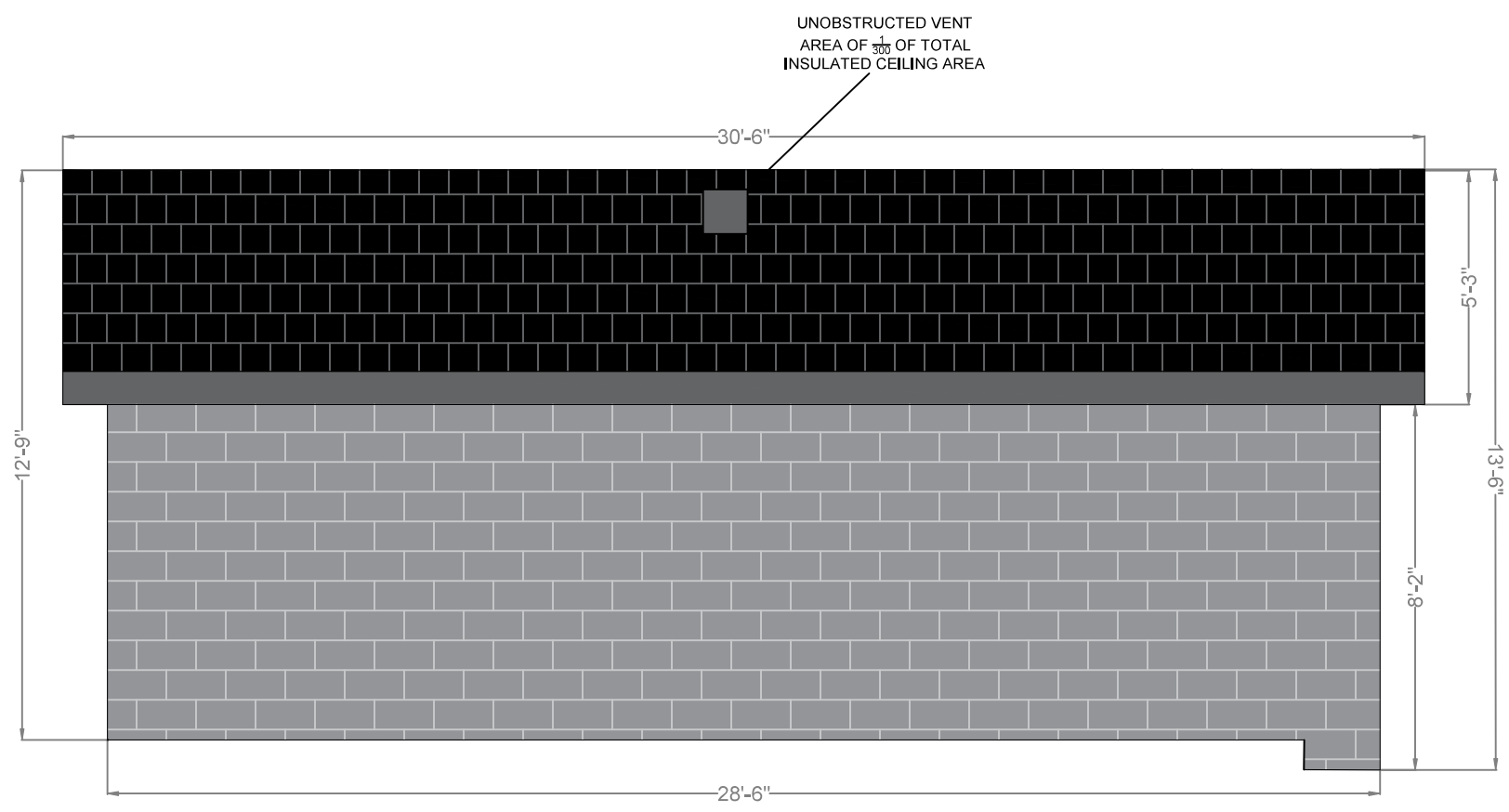


SPATIAL SEPARATION ANALYSIS
WEST SIDE OF PROPOSED BUILDING
- LIMITING DISTANCE (Ld) = 16'-3" = 4,96m ²
- AREA OF BUILDING FACE = 212,58ft ² = 19,75m ²
- TABLE 9.10.14.4.
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TOTAL = 1,37m ² < 10,47m ²
- THEREFORE PROPOSED BUILDING OPENINGS CONFORM TO TABLE 9.10.14.4.



#:	DATE:	DESC.
REVISIONS		
DECC INC.		
DESIGN ENGINEER CONSULT CONSTRUCT		
SITE:		
25 BURLINGTON ST. W HAMILTON, ONT.		
PROJECT:		
A.D.U. GARAGE CONVERSION		
DWG:		
A2.02 WEST ELEVATION PLAN PROPOSED		
DATE:	DRAWN BY:	DWG #:
JULY 1, 2023	MT	8 / 10
PROJECT #:	CHKD BY:	
102	MP	

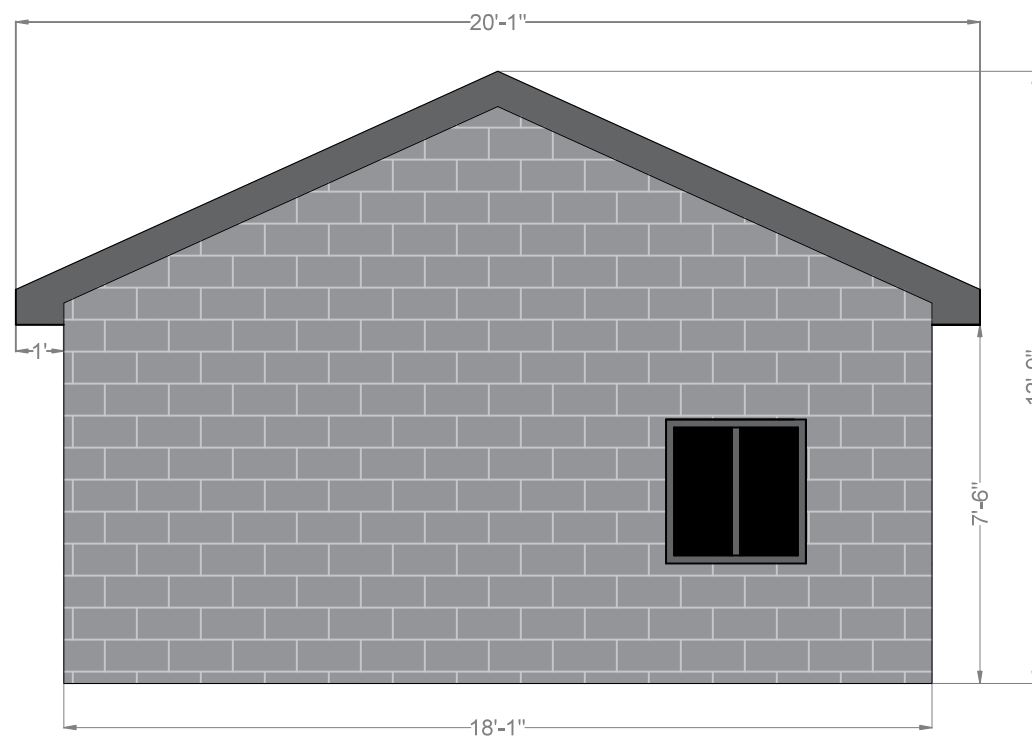
FLOOR PLAN
SCALE: 1/4" = 1'-0"



#:	DATE:	DESC.
REVISIONS		
DECC INC.		
DESIGN ENGINEER CONSULT CONSTRUCT		
SITE:		
25 BURLINGTON ST. W HAMILTON, ONT.		
PROJECT:		
A.D.U. GARAGE CONVERSION		
DWG:		
A2.03 EAST ELEVATION PLAN PROPOSED		
DATE:	DRAWN BY:	DWG #:
JULY 1, 2023	MT	9 / 10
PROJECT #:	CHKD BY:	
102	MP	

SPATIAL SEPARATION ANALYSIS
EAST SIDE OF PROPOSED BUILDING
- NOT REQUIRED, NO PROPOSED OPENINGS

ELEVATION PLAN
SCALE: 1/4" = 1'-0"

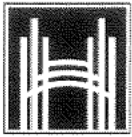


SPATIAL SEPARATION ANALYSIS
SOUTH SIDE OF PROPOSED BUILDING
- LIMITING DISTANCE (Ld) = 36'-2" = 11.03m ²
- AREA OF BUILDING FACE = 195.47ft ² = 18.16m ²
- TABLE 9.10.14.4.
- ALLOWABLE PERCENTAGE OF UNPROT. OPENINGS = 100%
- AREA OF ALLOWABLE UNPROT. OPENINGS = 18.16m ² x 1.00 = 18.16m ²
- BUILDING UNPROTECTED OPENING AREA W2 = 6.81ft ² = 0.63m ²
TOTAL = 18.16m ² < 0.63m ²
- THEREFORE PROPOSED BUILDING OPENINGS CONFORM TO TABLE 9.10.14.4.



#:	DATE:	DESC.
REVISIONS		
DECC INC.		
DESIGN ENGINEER CONSULT CONSTRUCT		
SITE:		
25 BURLINGTON ST. W HAMILTON, ONT.		
PROJECT:		
A.D.U. GARAGE CONVERSION		
DWG:		
A2.04 SOUTH ELEVATION PLAN PROPOSED		
DATE:	DRAWN BY:	DWG #:
JULY 1, 2023	MT	10 / 10
PROJECT #:	CHKD BY:	
102	MP	

FLOOR PLAN
SCALE: 1/4" = 1'-0"



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT***

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)		
Agent or Solicitor		

1.2 All correspondence should be sent to Purchaser Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Purchaser Applicant Owner AgentSolicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent [REDACTED]

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	25 BURLINGTON ST. WEST		
Assessment Roll Number			
Former Municipality	HAMILTON		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

TO PERMIT NO PARKING SPACES FOR THE DWELLINGS IN ORDER TO MEET THE UNOBSTRUCTED FIRE ACCESS PATH REQUIRED FOR AN A.D.U.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

DRIVEWAY WIDTH WILL NOT ALLOW PARKING SPACES AND THE UNOBSTRUCTED FIRE ACCESS PATH

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
11.04m	41.57m	458.91m ²	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SINGLE FAMILY DWELLING	1.677m	23.42m	3.69m/0m	02/08/1970
REAR STEPS	14.33m	22.26m	1.77m/3.69m	02/08/1970
GARAGE	21.86m	9.24m	4.96m/0.56m	03/01/1990

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
A.D.U.	21.86m	11.14m	4.96m/0.56m	03/01/1990

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
SINGLE FAMILY DWELLING	99.06m ²	198.12m ²	1	7.9m
GARAGE	57.11m ²	57.11m ²	1	4.12m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
A.D.U.	47.25m ²	47.25m ²	1	4.12m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)
- _____

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

SEMI DETACHED SINGLE FAMILY DWELLING w/ DETACHED ADDITIONAL DWELLING UNIT

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

SINGLE FAMILY DWELLINGS

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SEMI DETACHED SINGLE FAMILY DWELLING

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SEMI DETACHED SINGLE FAMILY DWELLING

7.4 Length of time the existing uses of the subject property have continued:

PROPERTIES EXISTANCE

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? _____

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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