



NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	FL/A-23:190	SUBJECT PROPERTY:	957 BROCK ROAD, FLAMBOROUGH
ZONE:	A2 (Rural)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: **Owner:** JAGROOP GULACHA
 Agent: LISA COCKWELL

The following variances are requested:

1. A maximum aggregate Gross Floor Area of all Accessory Buildings of 548.3 square metres whereas the by-law permits a maximum of 200 square metres.

PURPOSE & EFFECT: So as to permit the construction of a new accessory building in the rear yard to complement the existing Single Detached Dwelling.

Notes:

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 24, 2023
TIME:	10:15 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

FL/A-23:190

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

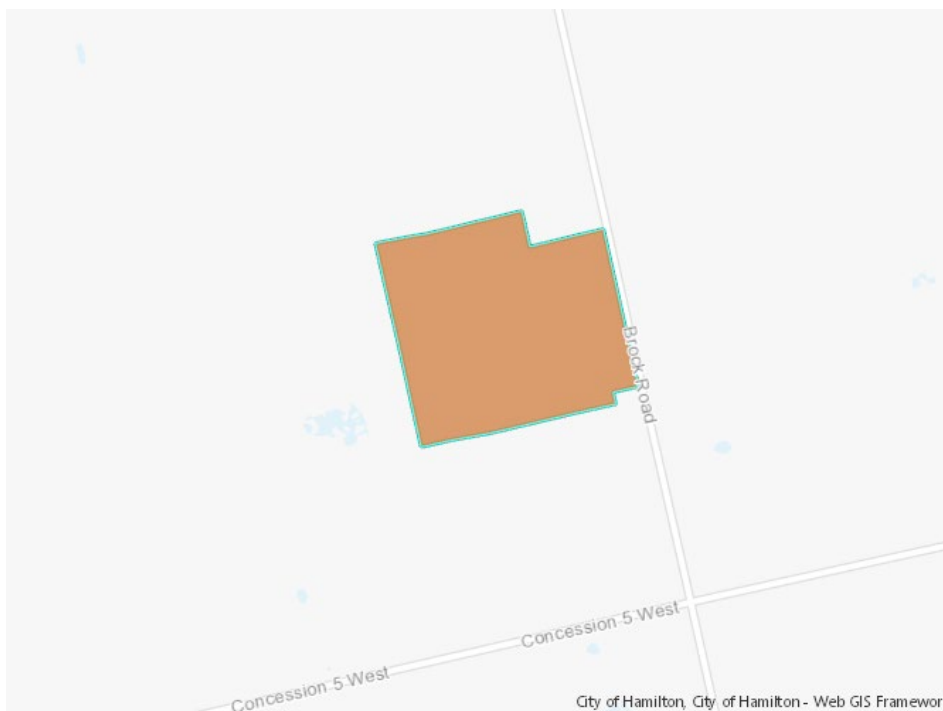
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding FL/A-23:190, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: August 8, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

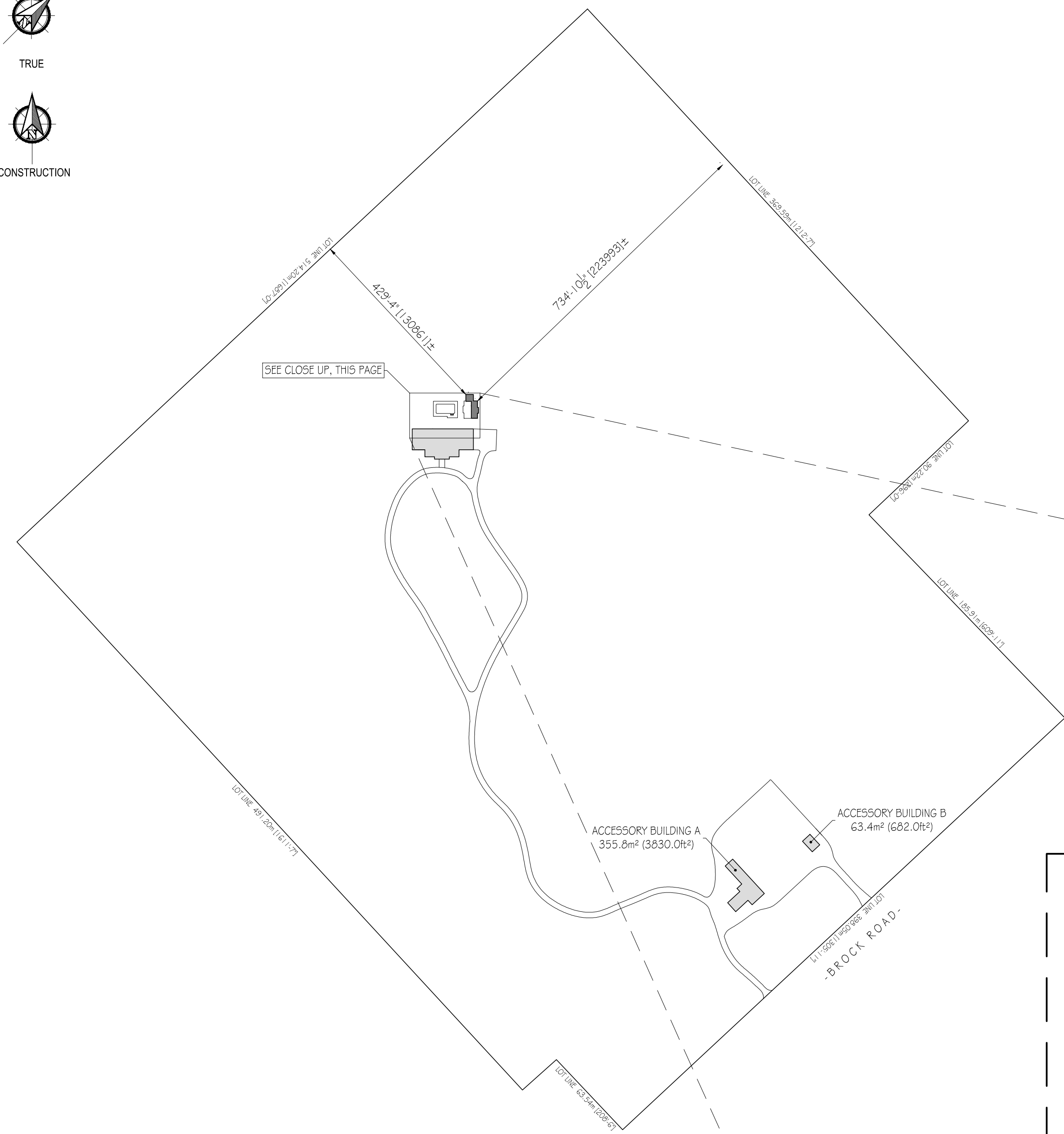
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



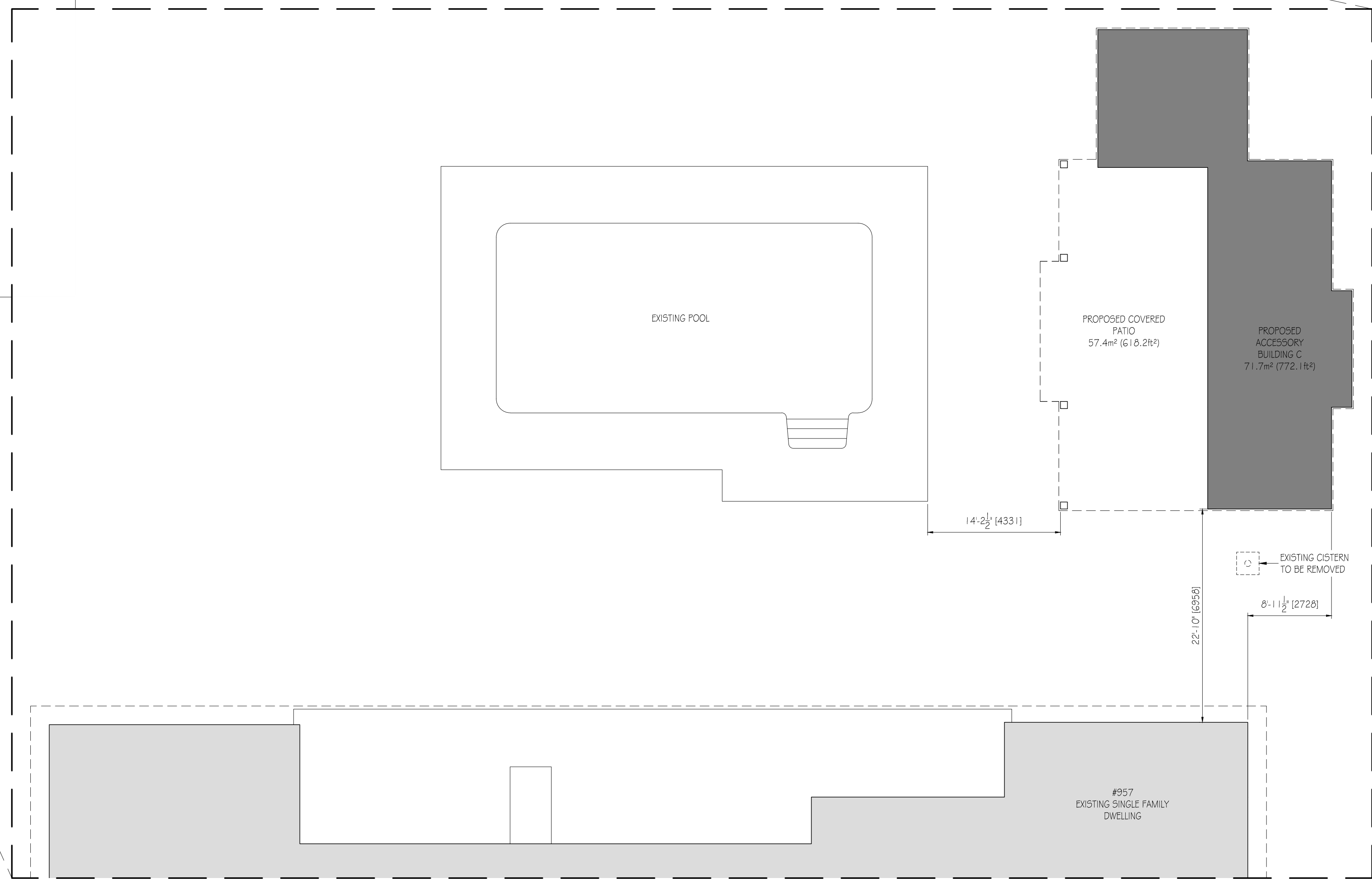
TRUE



CONSTRUCTION



KEY PLAN
SCALE: N.T.S.



1 SITE PLAN
2 SCALE: $\frac{1}{8}'' = 1'-0''$

CHARLES LINSEY & ASSOCIATES LIMITED
37 Main Street South, PO Box 1479, Watford, ON L0R 2H0
Tel: (905) 548-7407
Info@charleslinsey.com
www.charleslinsey.com

THIS DRAWING IS NOT TO BE USED AS PART OF A BUILDING PERMIT APPLICATION
THIS DRAWING IS FOR DISCUSSION PURPOSES ONLY

DRAWING LIST
1- GENERAL AND CONSTRUCTION NOTES, SCHEDULES AND SECTION
2- SITE PLAN
3- ELEVATIONS
4- FOUNDATION & FRAMING PLAN
5- PLUMBING & ROOF PLAN

LEGEND
----- DENOTES EXISTING ASSEMBLY/FRAMING
----- TO BE REMOVED
[Hatched Box] EXISTING ASSEMBLY TO REMAIN
[Dashed Box] NEW ASSEMBLY/FRAMING
SMA SMOKE ALARM, SEE CONST. NOTES FOR DETAILS
CO CARBON MONOXIDE ALARM
FD FLOOR DRAIN
EF EXHAUST FAN
DOR DOOR # ASSOCIATED SCHEDULE NUMBER
WND WINDOW # ASSOCIATED SCHEDULE NUMBER

REV	DESCRIPTION	DATE
A	FOR DISCUSSION	JAN 27/23
B	FOR DISCUSSION	APR 14/23
O	FOR MINOR VARIANCE APPLICATION	JUL 14/23
T	REVISED AS PER COMMENTS	JUL 27/23

client	HOME OWNER	
project	957 BROCK ROAD FLAMBOROUGH, ONTARIO PROJECT No. 22-176	
title	SITE PLAN	
drawn	L.C.	checked C.M.
date	JANUARY 2023	scale $\frac{1}{8}'' = 1'-0''$
revision number	1	drawing number 2



TRUE



CONSTRUCTION



37 Main Street South, Waterloo, ON L0R 2H0
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www.charleslinsey.com

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on this document.



CHARLES MacPHAIL
CHARLES LINSEY & ASSOCIATES LIMITED
BCRN# 26723
BCRN# 41963

- DRAWING LIST**
- GENERAL AND CONSTRUCTION NOTES, SCHEDULES AND SECTION
 - SITE PLAN
 - ELEVATIONS
 - FOUNDATION & FRAMING PLAN
 - PLUMBING & ROOF PLAN

LEGEND

- DENOTES EXISTING ASSEMBLY/FRAMING
- TO BE REMOVED
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- EF EXHAUST FAN
- DOOR # ASSOCIATED SCHEDULE NUMBER
- WINDOW # ASSOCIATED SCHEDULE NUMBER

- LINTEL SCHEDULE**
- L1 (2) - 2" x 6" S-P-F
 - L2 (2) - 2" x 6" S-P-F
 - L3 (2) - 2" x 10" S-P-F
 - L4 (2) - 2" x 12" S-P-F
 - L5 (3) - 2" x 6" S-P-F
 - L6 (3) - 2" x 6" S-P-F
 - L7 (3) - 2" x 10" S-P-F
 - L8 (3) - 2" x 12" S-P-F

ASSEMBLY SCHEDULE

- A1—FOUNDATION WALL
- CF CONCRETE FOUNDATION WALL
- A2—EXTERIOR EIFS WALL
- EIFS (INSTALLED AS PER MANUFACTURER'S SPECS)
- PLYWOOD SHEATHING
- 2x6 WOOD STUDS @ 16" o.c.
- R22 BATT INSULATION (WHERE NOTED)
- 6mil. FOLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- A3—INTERIOR PARTITION WALL
- 2x4 WOOD STUDS @ 16" o.c.
- 1/2" GYPSUM BOARD B/S
- A4—CONCRETE FLOOR
- 4" CONCRETE SLAB-ON-GRADE
- 2" RIGID INSULATION
- 4" COARSE CLEAN GRAVEL
- A5—ROOF
- 2 PLY MOD-BIT ROOF MEMBRANE
- 1/2" PLYWOOD SHEATHING PROTECTION BOARD
- TAPERED INSULATION
- 1/2" PLYWOOD SHEATHING
- 2x10 CEILING JOISTS @ 16" o.c. U.N.O.
- MEDIUM DENSITY SPRAY FOAM INSULATION (WHERE NOTED)
- 1/2" GYPSUM BOARD

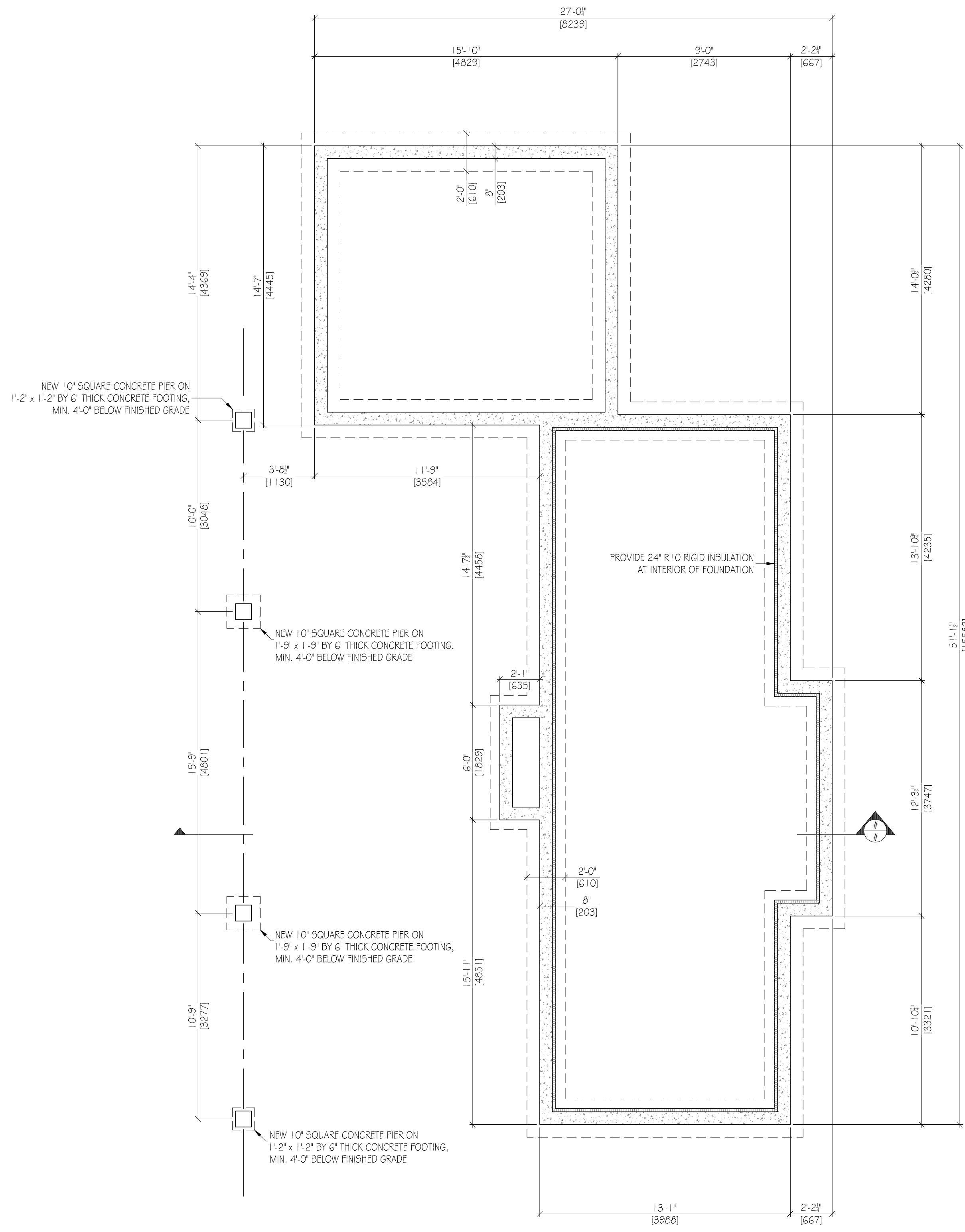
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client
HOME OWNER

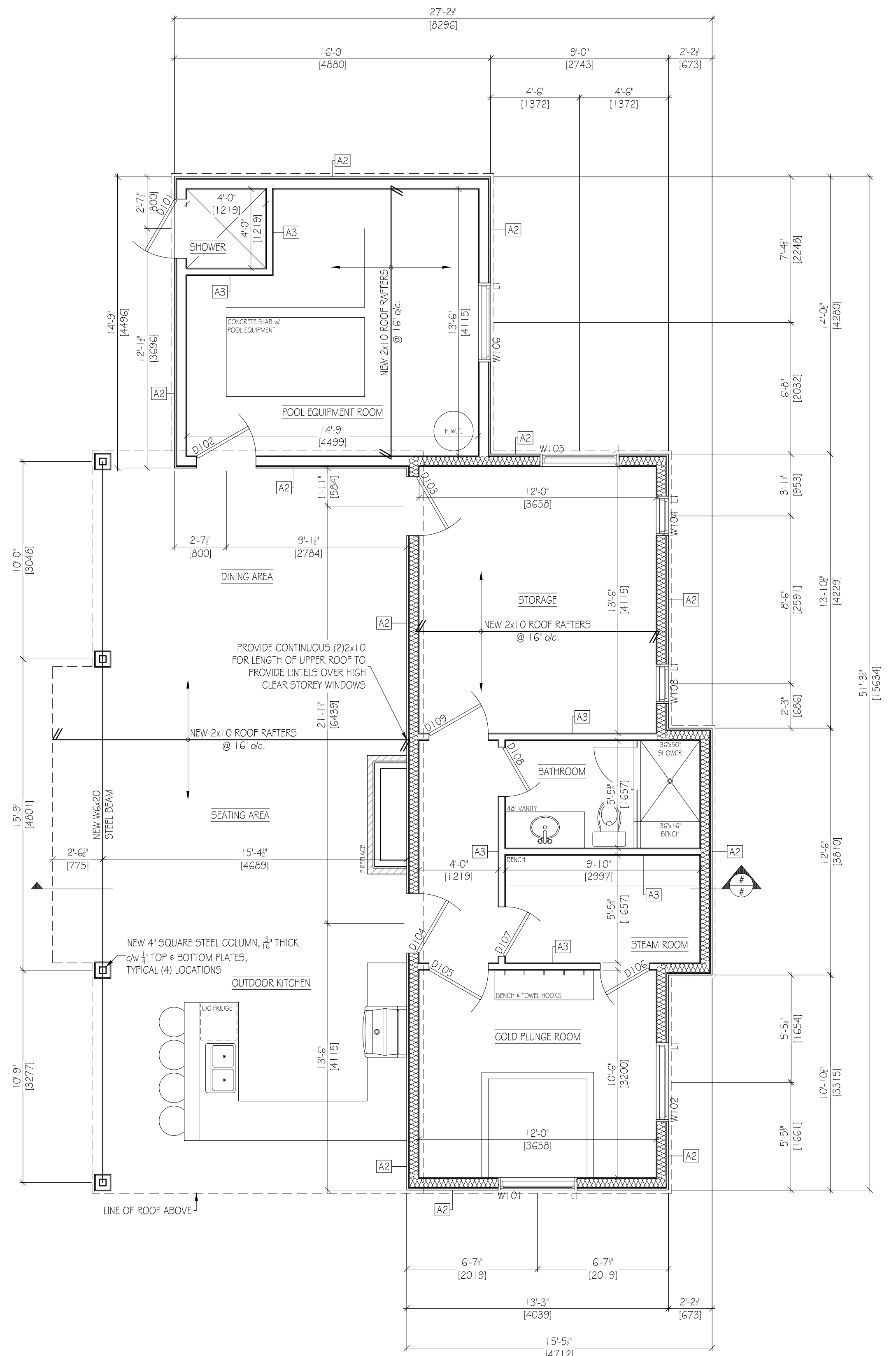
project
**957 BROCK ROAD
FLAMBOROUGH, ONTARIO**
PROJECT No. 22-176

FOUNDATION & FRAMING PLAN

drawn	L.C.	checked	C.M.
date	JANUARY 2023	scale	1/4" = 1'-0"
revision number	0	drawing number	4



1 FOUNDATION PLAN
4 SCALE: 1/4" = 1'-0"



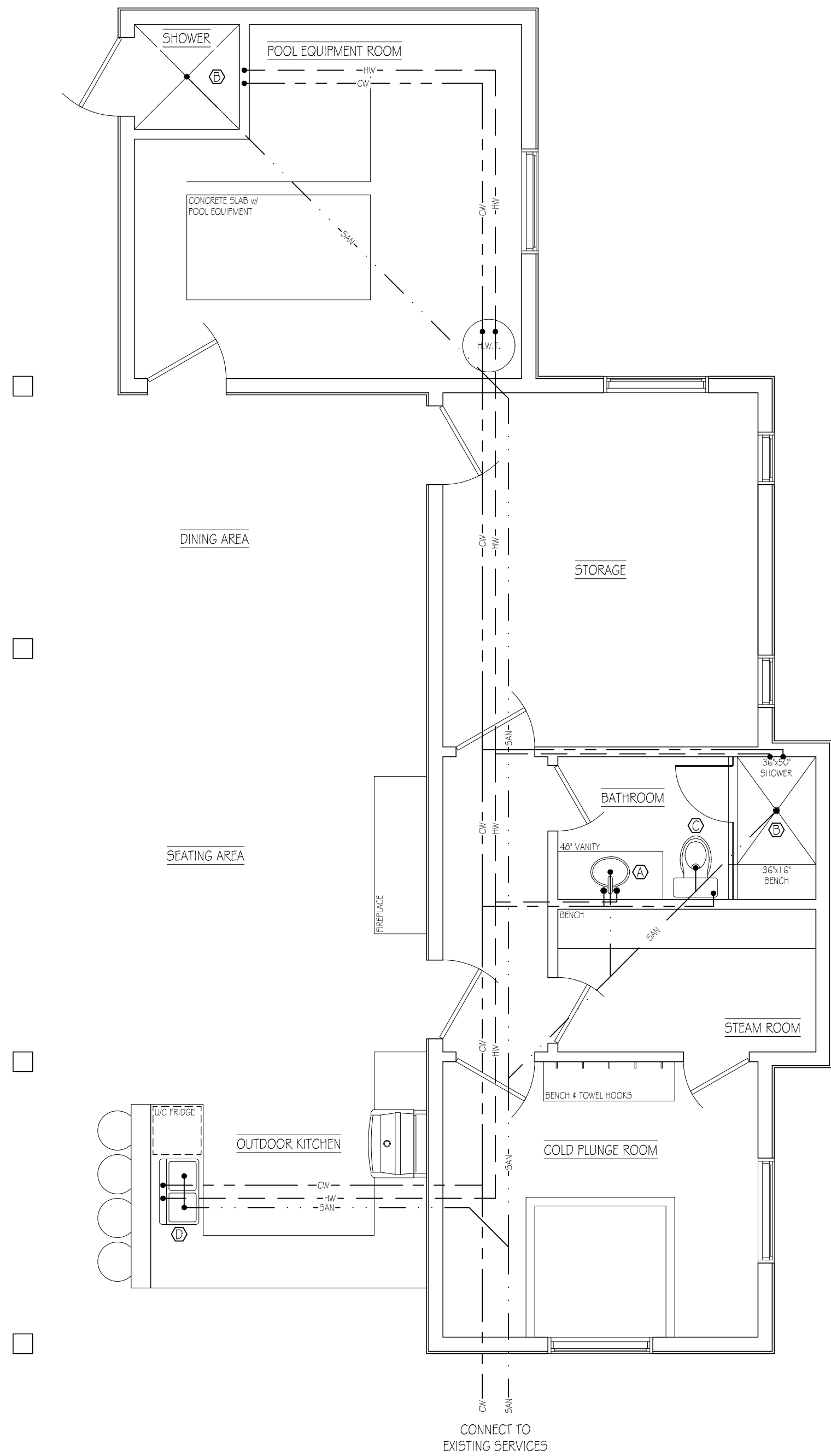
2 PROPOSED ROOF PLAN
4 SCALE: 1/4" = 1'-0"

PLUMBING LEGEND

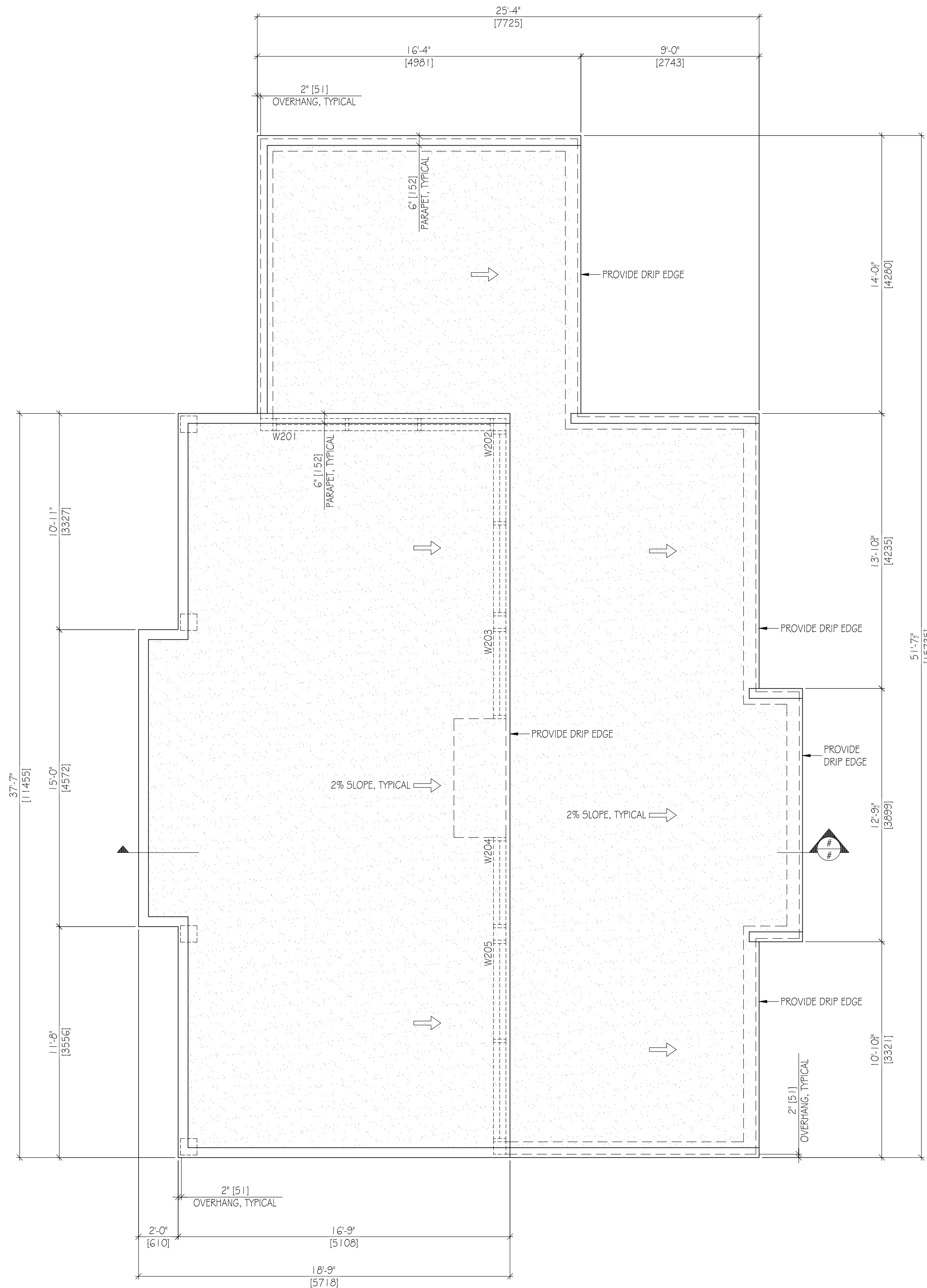
- CW - - - COLD WATER SUPPLY, SIZE AS NOTED
- HW - - - HOT WATER SUPPLY, SIZE AS NOTED
- SAN - - - SANITARY DRAIN LINE, SIZE AS NOTED
- ⊕ SINK (SINGLE) ROUGH-IN
1/2" HOT WATER LINE WITH SHUTOFF VALVE
1/2" COLD WATER LINE WITH SHUTOFF VALVE
1/2" TRAPPED SANITARY LINE
1/2" VENT PIPE
- ⊕ TUB/SHOWER ROUGH-IN
1/2" HOT WATER LINE WITH SHUTOFF VALVE
1/2" COLD WATER LINE WITH SHUTOFF VALVE
1/2" TRAPPED SANITARY LINE
1/2" VENT PIPE
- ⊕ TOILET ROUGH-IN
1/2" COLD WATER LINE WITH SHUTOFF VALVE
3" SANITARY LINE
2" VENT PIPE
- ⊕ SINK (DOUBLE) ROUGH-IN
1/2" HOT WATER LINE WITH SHUTOFF VALVE
1/2" COLD WATER LINE WITH SHUTOFF VALVE
1/2" TRAPPED SANITARY LINE
1/2" VENT PIPE

PLUMBING NOTES

1. ALL PLUMBING MUST CONFORM TO THE PROVINCIAL BUILDING CODE, BASE BUILDING STANDARDS AND LOCAL BY-LAWS, AS APPLICABLE, TO THE SATISFACTION OF THE LOCAL AUTHORITY HAVING JURISDICTION.
2. CONTRACTOR TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF WORK. RETAIN ALL INSPECTION CERTIFICATES, SUBMIT TO OWNER.
3. CONTRACTOR TO VERIFY LOCATIONS AND RATINGS OF FIXTURES AND MECHANICAL AND TO CO-OPERATE WITH OTHER TRADES FOR TIMELY COMPLETION OF THE PROJECT.
4. CONTRACTOR TO VERIFY MEASUREMENTS IN THE FIELD PRIOR TO EXECUTION OF WORK, AND BRING ANY DISCREPANCIES TO THE DESIGNER FOR RESOLUTION.
5. CONTRACTOR TO VISIT THE SITE TO DETERMINE EXISTING CONDITIONS, FAILURE TO DO SO SHALL NOT RELIEVE CONTRACTOR OF FULL RESPONSIBILITY FOR THE EFFECTS OF SUCH CONDITIONS ON THE WORK.
6. VERIFY ALL PLUMBING FIXTURES AND LOCATIONS WITH OWNER PRIOR TO CONSTRUCTION/INSTALLATION.
7. ALL FIXTURE ROUGH INS TO HAVE HOT WATER SUPPLY LOCATED ON LEFT SIDE.
8. VENTING SHALL BE PROVIDED AND INSTALLED AS PER OBC REQUIREMENTS.
9. PLUMBING FITTINGS SHALL BE ANCON OR APPROVED EQUAL.
10. INSTALL ANCON (SHOCK-GARD), OR EQUAL, SHOCK ABSORBERS ON ALL NEW HOT AND COLD WATER LINES SERVICING GROUPS OR INDIVIDUAL FIXTURES.
11. INSULATE COLD AND HOT WATER PIPING WITH 1" THICK INSULATION, AND STORM AND SANITARY PREMULDED GLASS-FIBRE INSULATION WITH VAPOUR PIPING WITH 1/2" THICK BARRIER JACKET. SEAL ALL JOINTS VAPOUR TIGHT. INSULATE CONTINUOUSLY THROUGH SLEEVES. DO NOT USE STAPLES.
12. PLUMBING CONTRACTOR WILL INSTALL TEMPORARY CAPS OR CLOSURES ON THE ENDS OF ALL PIPES, CONDUITS ETC. TO PREVENT THE ENTRY OF DEBRIS. ALL HOT AND COLD WATER LINES TO BE INSULATED. CONTRACTOR TO PRESSURE TEST ALL SYSTEMS THAT WILL BE UNDER POSITIVE OR NEGATIVE PRESSURE.
13. PLUMBING CONTRACTOR SHALL INSTALL CLEANOUTS AT INTERVALS NOT TO EXCEED 15 m ALONG STRAIGHT RUNS. IF THERE IS MORE THAN (1) CHANGE IN DIRECTION IN A RUN, CLEANOUTS ARE TO BE INSTALLED AT EVERY 12 m MAXIMUM. FIRST CLEANOUT TO BE INSTALLED AS CLOSE TO POINT OF DRAIN EXITING BUILDING AS POSSIBLE.
14. PLUMBING CONTRACTOR TO CONFIRM ALL CLEANOUT LOCATIONS ON SITE PRIOR TO INSTALLATION.
15. INSTALL POLISHED CHROME ESCUTCHEON PLATES ON ALL PIPES WHERE THEY PASS THROUGH WALLS OR CEILINGS IN FINISHED AREAS.
16. PROVIDE ACCESS DOORS FOR ALL CONCEALED VALVES. ACCESS DOORS TO MATCH WALL AND/OR CEILING SURFACES/COLOURS.
17. PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE FINAL HOOK-UP OF ALL PLUMBING SERVICES TO ALL FIXTURES.
18. SUBMIT A 'CERTIFICATE OF GUARANTEE' OF WORKMANSHIP AND MATERIALS FOR ONE YEAR FROM THE DATE OF ACCEPTANCE.



1 PLUMBING PLAN
5 SCALE: 1/4" = 1'-0"



2 ROOF PLAN
5 SCALE: 1/4" = 1'-0"



TRUE
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REV	DESCRIPTION	DATE
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0	FOR BUILDING PERMIT APPLICATION	MAY 24/23

client	HOME OWNER	
project	957 BROCK ROAD FLAMBOROUGH, ONTARIO PROJECT No. 22-176	
title	PLUMBING & ROOF PLAN	
drawn	L.C.	checked C.M.
date	JANUARY 2023	scale 1/4" = 1'-0"
revision number	0	drawing number 5



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)		
Agent or Solicitor		

1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent lisa@charleslinsey.com

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	957 Brock Road		
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

To increase the maximum lot coverage for accessory buildings.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The existing accessory buildings on the property exceed the current minimum lot coverage.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
398.0m	555.4m	267,678.4 m ²	6.6m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling	394.9m	123.3m	232.6 & 243.0m	01/11/2005
Accessory Building A	50.3m	474.6m	152.9m & 222.1m	01/01/1950
Accessory Building B	48.9m	497.4m	216.6m & 174.3m	01/01/1980

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Accessory Building C	408.2m	130.9m	275.2m & 227.7m	09/01/2023

4.3 Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling	408.0m ²	408.0m ²	1	6.0m
Accessory Building A	355.8m ²	594.0m ²	2	10.5m
Accessory Building B	63.4m ²	63.4m ²	1	5.3m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Accessory Building C	129.2m ²	129.2m ²	1	4.0m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Residential - Single Detached Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Residential - Single Detached Dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

July 2016

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Residential - Single Detached Dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Residential - Single Detached Dwelling

7.4 Length of time the existing uses of the subject property have continued:

Always

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? A2 _____

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: A2 _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-