



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	FL/A-23:198	SUBJECT PROPERTY:	174 MILL STREET N, FLAMBOROUGH
ZONE:	“R1-74” (Urban Residential (Single Detached))	ZONING BY-LAW:	Zoning By-law former Town of Flamborough 90-145-Z, as Amended 22-072

APPLICANTS: **Owner:** CHRISTINA FRANK, VICTORIA FRANK, & HILARY PYPER
Agent: JANSEN CONSULTING C/O AMY SCHAEFFER

The following variances are requested:

1. One door shall be provided for an attached garage greater than 5 metres in width instead of the two garage doors required for an attached garage greater than 5 metres in width.

PURPOSE & EFFECT: To facilitate the construction of a proposed 2 storey addition to an existing home, including attached garage.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 24, 2023
TIME:	10:25 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

FL/A-23:198

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding FL/A-23:198, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: August 8, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY SHOWING TOPOGRAPHY OF
PART OF
LOT 123
PLAN M-5
IN THE
CITY OF HAMILTON
SCALE 1 : 200

THE INTENDED PLOT SIZE OF THIS PLAN IS 740mm IN WIDTH BY 480mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200 (INCLUDING 15mm BEYOND EACH BORDER)
 MacKAY, MacKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS
 © 2022

KNOWN AS MUNICIPAL No. 174 MILL STREET NORTH

PART 2 - REPORT SUMMARY (TO BE READ IN CONJUNCTION WITH PART 1)
 LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING BOUNDARIES, EASEMENTS AND RIGHT OF WAYS - JULY 25, 2022


REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
 - NONE

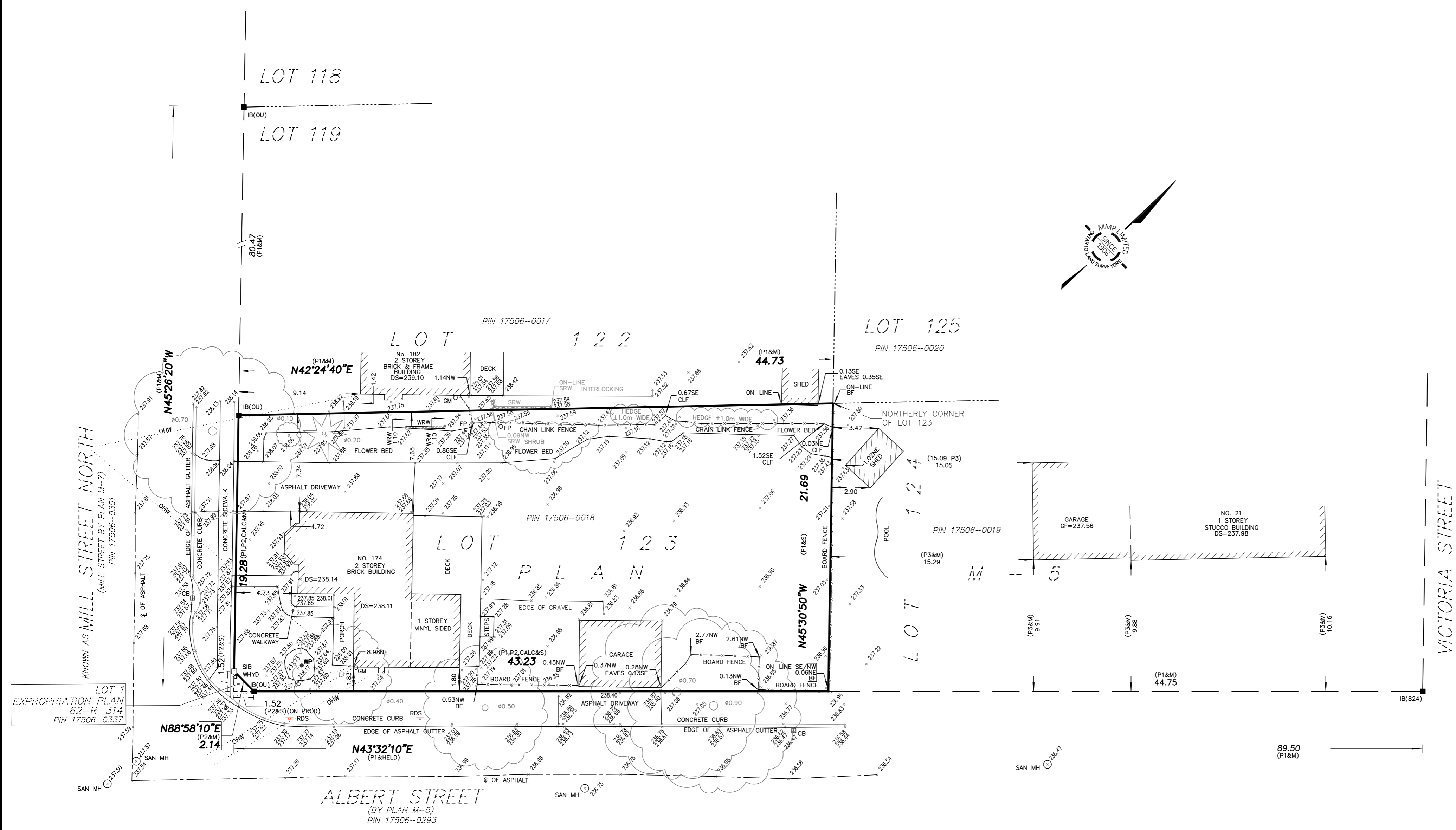
ADDITIONAL REMARKS:
 - REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES & UTILITIES
 - THE BOUNDARY CONFIRMED BY PLAN BA-495, INST. No. 62BA495

MacKAY, MacKAY & PETERS LIMITED grants CHRISTINA FRANK ("The Client"), their solicitor and other related parties permission to use "Original Copies" of the Surveyor's Real Property Report in transactions involving "The Client"

METRIC DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 V-40590


 THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1028, SECTION 29(3)



- LEGEND**
- DENOTES A SURVEY MONUMENT FOUND
 - DENOTES A SURVEY MONUMENT PLANTED
 - SIB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - P1 DENOTES PLAN M-5
 - P2 DENOTES EXPROPRIATION PLAN 62-R-314
 - P3 DENOTES PLAN BY A.T. McLAREN LIMITED DATED APRIL 27, 1988
 - PIN DENOTES PROPERTY IDENTIFICATION NUMBER
 - (OU) DENOTES ORIGIN UNKNOWN
 - PROD DENOTES PRODUCTION
 - DS DENOTES DOOR SILL ELEVATION
 - GF DENOTES GARAGE FLOOR ELEVATION
 - Q DENOTES CENTRELINE
 - BF DENOTES BOARD FENCE
 - CLF DENOTES CHAIN LINK FENCE
 - GM DENOTES GAS METER
 - WP DENOTES DECORATIVE WATER PUMP
 - SRW DENOTES STONE RETAINING WALL
 - WRW DENOTES WOOD RETAINING WALL
 - CB DENOTES CATCH BASIN
 - SAN MH DENOTES SANITARY MANHOLE
 - STM MH DENOTES STORM MANHOLE
 - RDS DENOTES ROAD SIGN
 - WHYD DENOTES WATER FIRE HYDRANT
 - OHW DENOTES OVERHEAD WIRE
 - DENOTES DECIDUOUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES
 - ★ DENOTES CONIFEROUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES

ALL BUILDING TIES ARE TO FOUNDATION AND ARE PERPENDICULAR TO PROPERTY LINES UNLESS OTHERWISE NOTED
 A ROTATION OF 00°35'50" HAS BEEN APPLIED TO BEARINGS ON P2


BENCHMARK NOTE
 CITY OF HAMILTON BENCHMARK No. 0011965U128
 ELEVATION = 226.923 METRES (CGVD28:78 ADJUSTMENT)
 BELL TELEPHONE BUILDING ON NORTHEAST SIDE OF MILL STREET 30 METRES NORTHWEST OF MAIN STREET (HIGHWAY NO. 5) DIRECTLY OPPOSITE WATERDOWN ALLIANCE CHURCH TABLET IN SOUTHEAST CONCRETE FOUNDATION WALL 0.36 METRES FROM SOUTHWEST CORNER 0.51 METRES BELOW BRICK

BEARING REFERENCE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHWESTERLY LIMIT OF ALBERT STREET AS SHOWN ON PLAN M-5, HAVING A BEARING OF N43°32'10"E

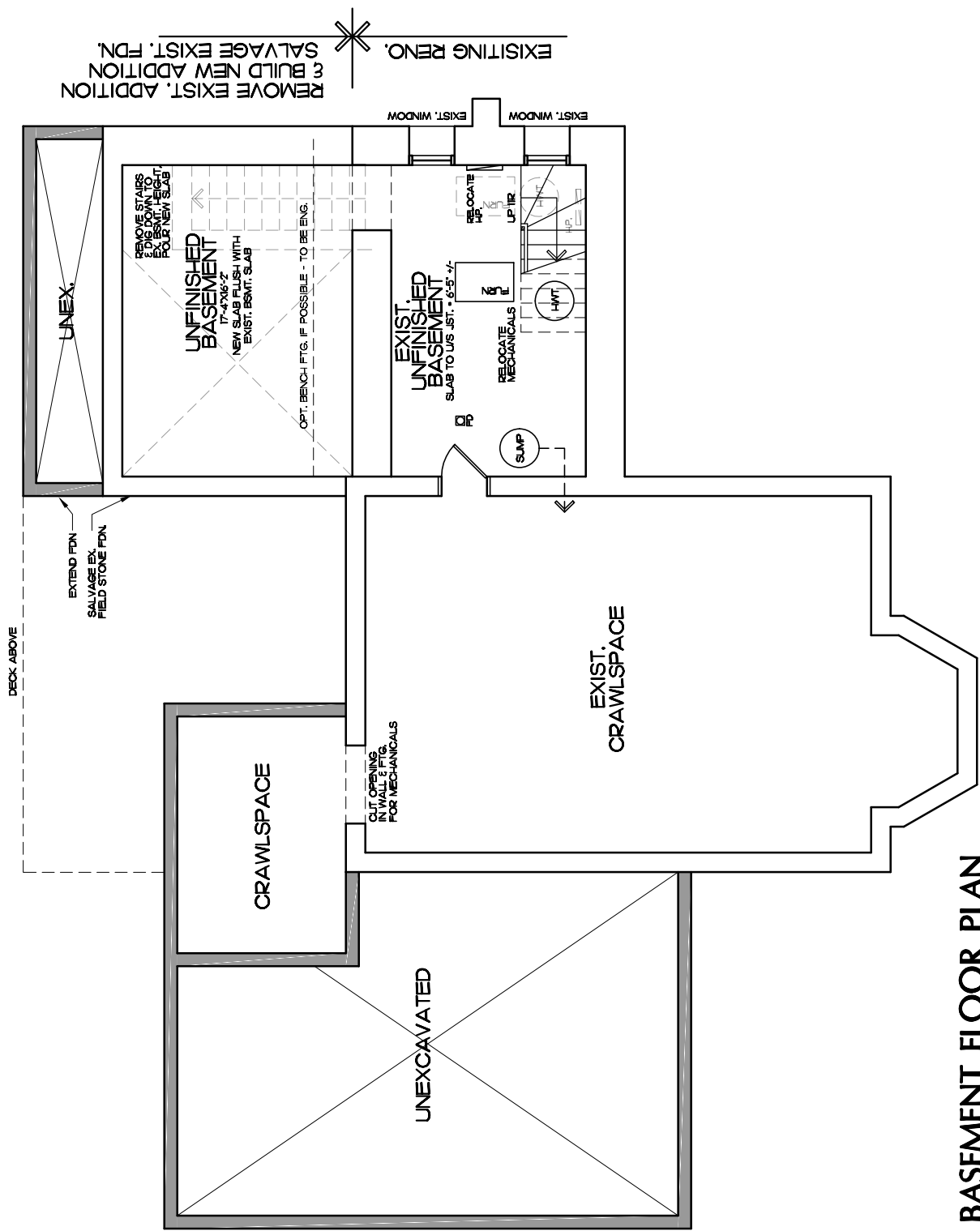
SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 7th DAY OF DECEMBER, 2022.

DECEMBER 9, 2022
 DATE

 ASRAR SHERI
 ONTARIO LAND SURVEYOR
 FOR MACKAY, MACKAY & PETERS LIMITED

 MacKAY, MacKAY & Peters Limited LAND SURVEYORS & MAPPERS SINCE 1906	3380 South Service Road Unit 101 Burlington, ON L7N 3J5 (905) 639-1375 halton@mmplimited.com mmplimited.com	DRAWN BY: SP PARTY CHIEF: WY CHECKED BY: AB PROJECT No.: 22-227
	E:\(62) Hamilton-Wentworth\M-PLANS\M-0005\LOT 123\22-227\22-218.dwg	
	89.50 (P1&M) 44.75 (P1&M) 21.69 (P1&S) 43.23 (P1,P2,CALC&S) 19.28 (P1,P2,CALC&S) 2.14 (P2&M) 80.47 (P1&M)	
	89.50 (P1&M) 44.75 (P1&M) 21.69 (P1&S) 43.23 (P1,P2,CALC&S) 19.28 (P1,P2,CALC&S) 2.14 (P2&M) 80.47 (P1&M)	

NEW ADDITION EXISTING RENO.



REMOVE EXIST. ADDITION & BUILD NEW ADDITION & SALVAGE EXIST. FDN.

BASEMENT FLOOR PLAN

SCALE : 3/16" = 1'-0"

DATE: _____

DESIGN DRAWINGS APPROVED BY: _____

PRINT: _____

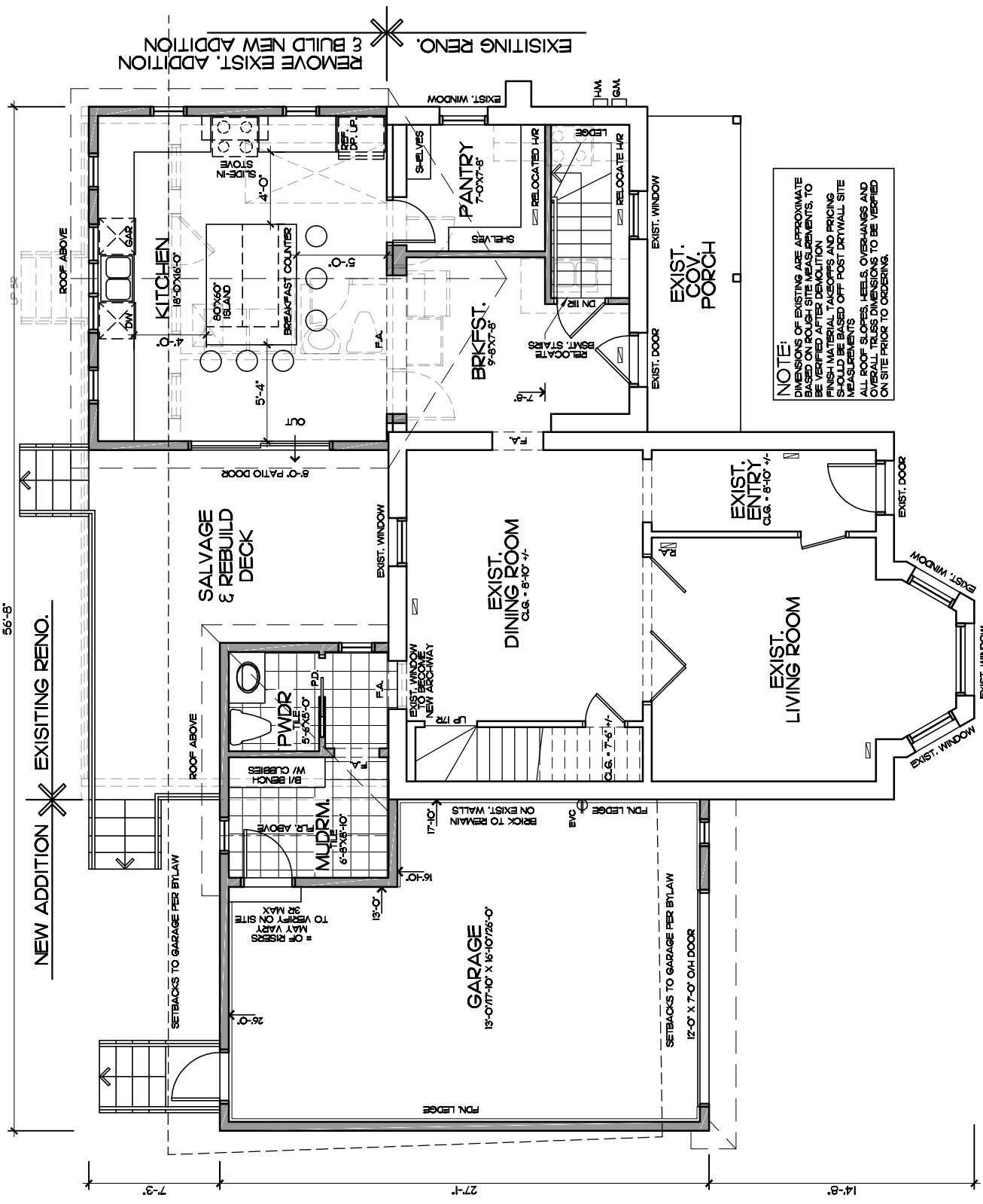
SIGN: _____



70 Main Street N., P.O. Box 38
 Campbellville, ON, L0P 1B0
 Ph. 905-854-9696
 Fax 905-854-9559
 Cell 905-815-3438
 EMAIL : jeffjansendesign@gmail.com

OWNERS INFORMATION :
 CHRISTINA FRANK
 174 MILL ST N
 WATERDOWN, ON

D01



NOTE:
 DIMENSIONS OF EXISTING ARE APPROXIMATE BASED ON ROUGH SITE MEASUREMENTS. TO BE VERIFIED AFTER DEMOLITION AND PRICING. MEASUREMENTS SHOULD BE BASED OFF POST DRYWALL SITE MEASUREMENTS.
 ALL ROOF SLOPES, HELLS, OVERHANGS AND OVERALL TRUSS DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO ORDERING.

LOT AREA - 548.84 M2 (PROP. SEVERANCE)
LOT COVERAGE ALLOWED • 25% = 137.21 M2
EXISTING LOT COVERAGE • 20% = 110 M2 (184.7 SF)
PROPOSED LOT COVERAGE • 11.2% = 61.3 M2 (659.8 SF)
TOTAL LOT COVERAGE • 31.2% = 171.3 M2 (1844.5 SF)

MAIN FLOOR PLAN

SCALE : 3/16" = 1'-0"
 NOTE: HIGH CEILING THROUGHOUT GROUND FL. ADDITION

DATE: _____

DESIGN DRAWINGS APPROVED BY: _____

PRINT: _____

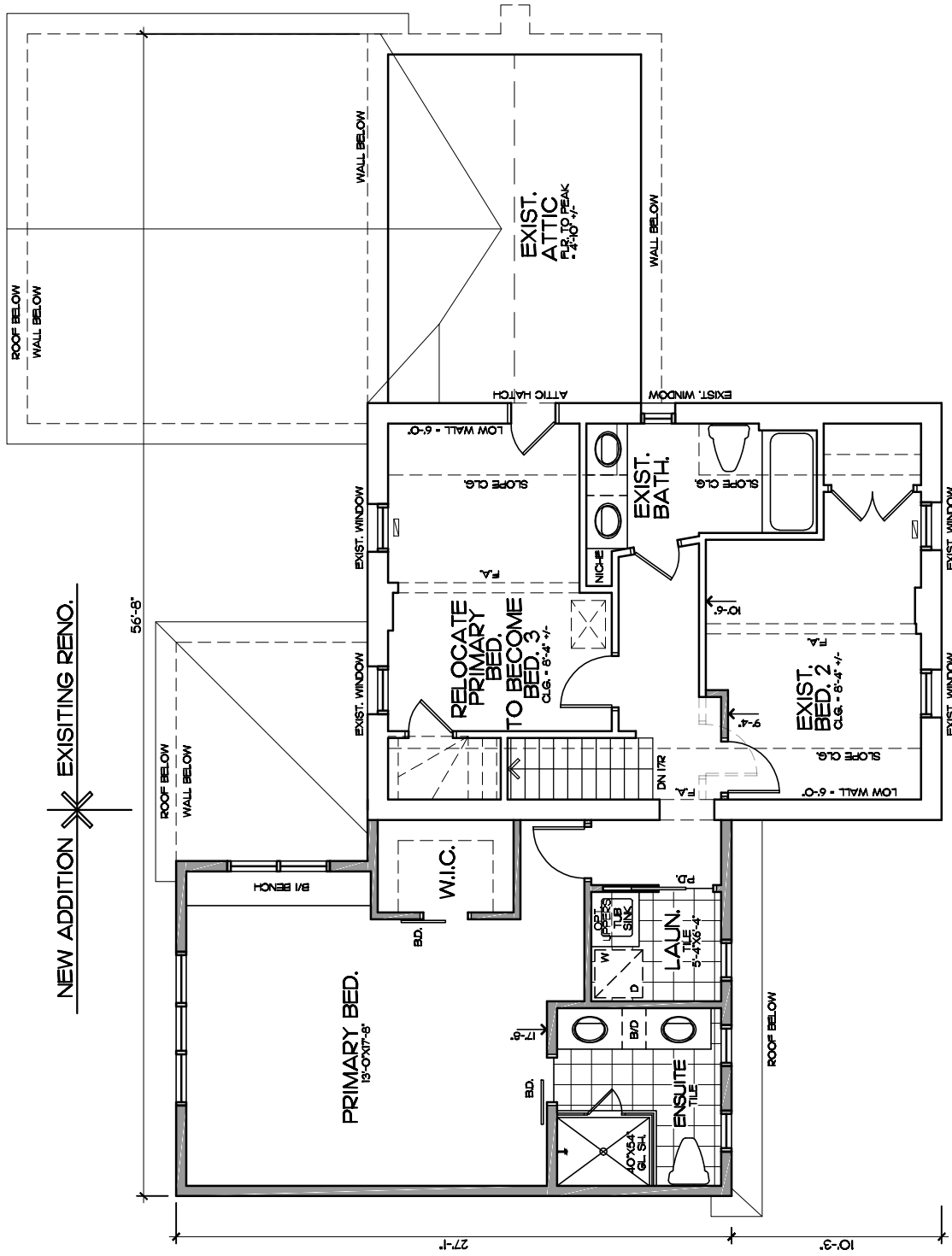
SIGN: _____



70 Main Street N., P.O. Box 38
 Campbellville, ON, L0P 1B0
 Ph. 905-854-9696
 Fax 905-854-9559
 Cell 905-815-3438
 EMAIL : jeffjansendesign@gmail.com

OWNERS INFORMATION :
 CHRISTINA FRANK
 174 MILL ST N
 WATERDOWN, ON

D02



NEW ADDITION ✕ EXISTING RENOV.

SEC. FLOOR PLAN

SCALE : 3/16" = 1'-0"
 ROOF, HANGING CEILING, THROUGHOUT SECOND FL. ADDITION

DATE: _____

DESIGN DRAWINGS APPROVED BY: _____

PRINT: _____

SIGN: _____

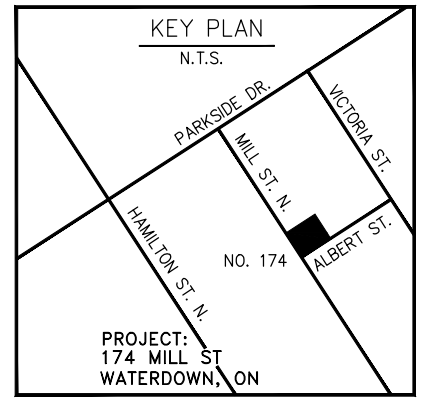
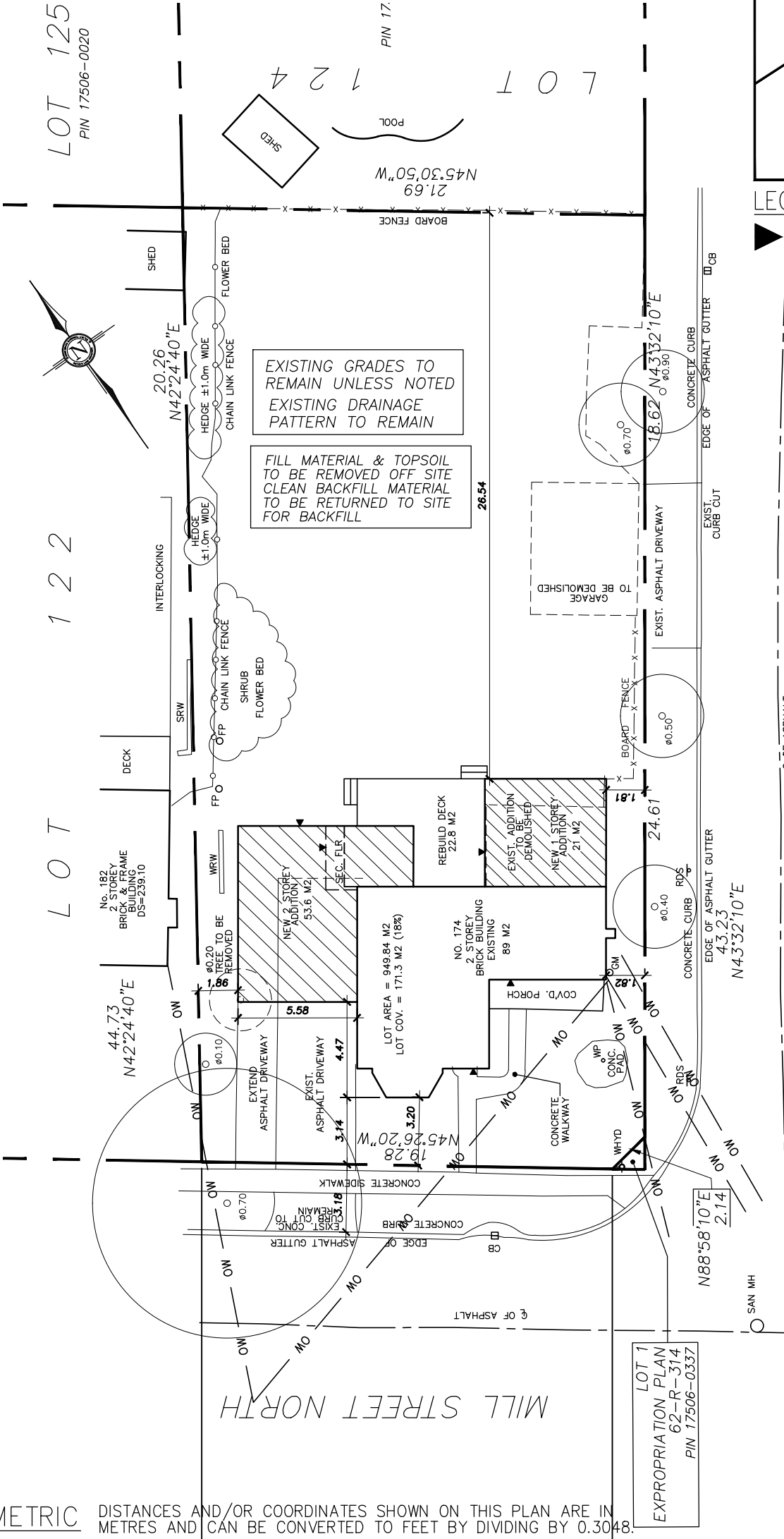


70 Main Street N., P.O. Box 38
 Campbellville, ON, L0P 1B0
 Ph. 905-854-9696
 Fax 905-854-9559
 Cell 905-815-3438
 EMAIL : jeffjansendesign@gmail.com

OWNERS INFORMATION :
 CHRISTINA FRANK
 174 MILL ST N
 WATERDOWN, ON

D03

SITE PLAN OF LOT 123
 REGISTERED PLAN No. M-5
 CITY OF HAMILTON



LEGEND

▶ ENTRY POINTS INTO BUILDING

SAN MH

EDGE OF ASPHALT

ALBERT STREET

SAN MH

PROPOSED SITE PLAN
 SCALE = 1:250

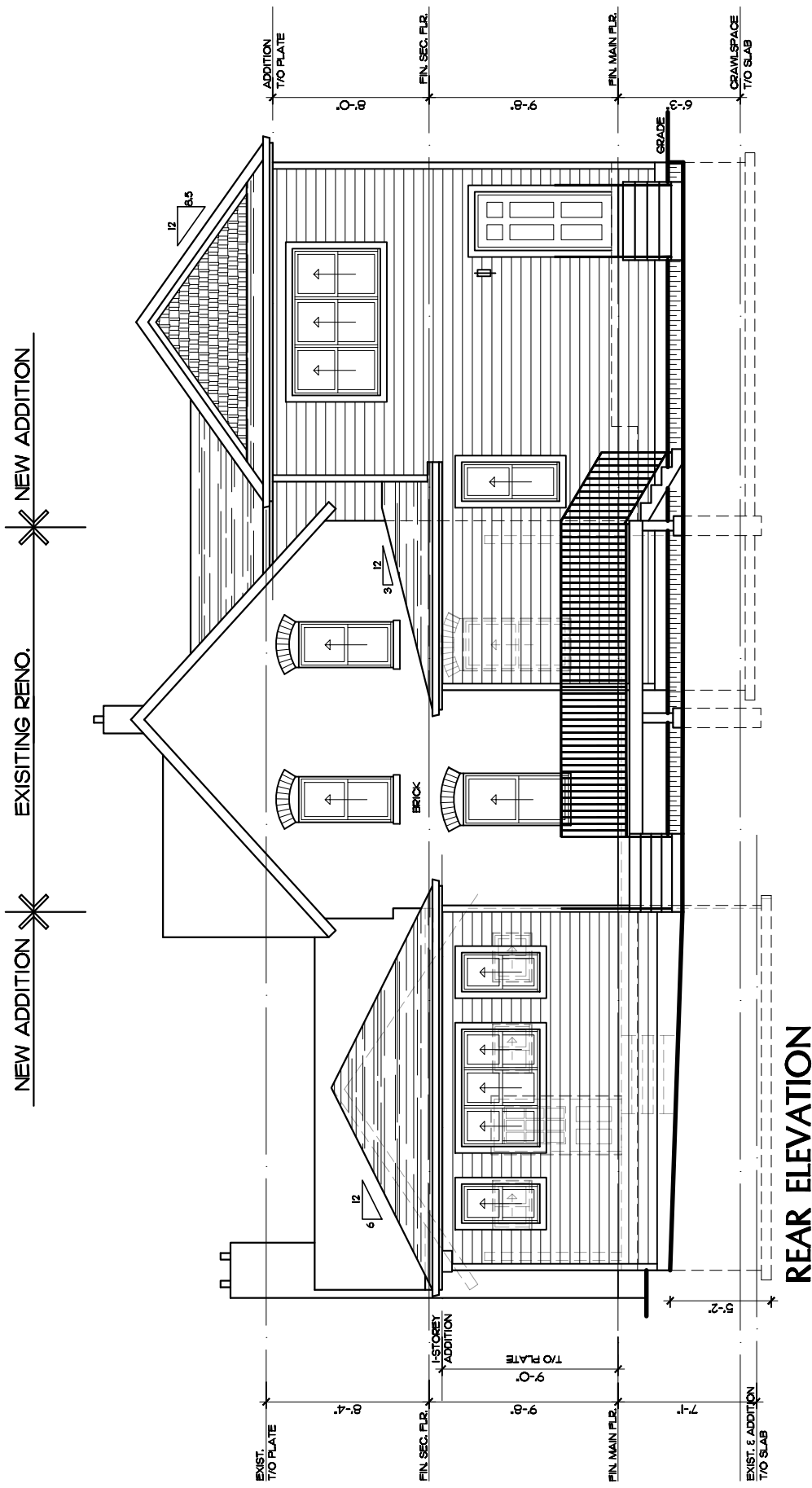
METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



70 Main Street N., P.O. Box 38
 Campbellville, ON, L0P 1B0
 Ph. 905-854-9696
 Fax 905-854-9559
 Cell 905-815-3438
 EMAIL : jeffjansendesign@gmail.com

OWNERS INFORMATION :
 CHRISTINA FRANK
 174 MILL ST N
 WATERDOWN, ON

D04



REAR ELEVATION

DATE: _____

DESIGN DRAWINGS APPROVED BY: _____

PRINT: _____

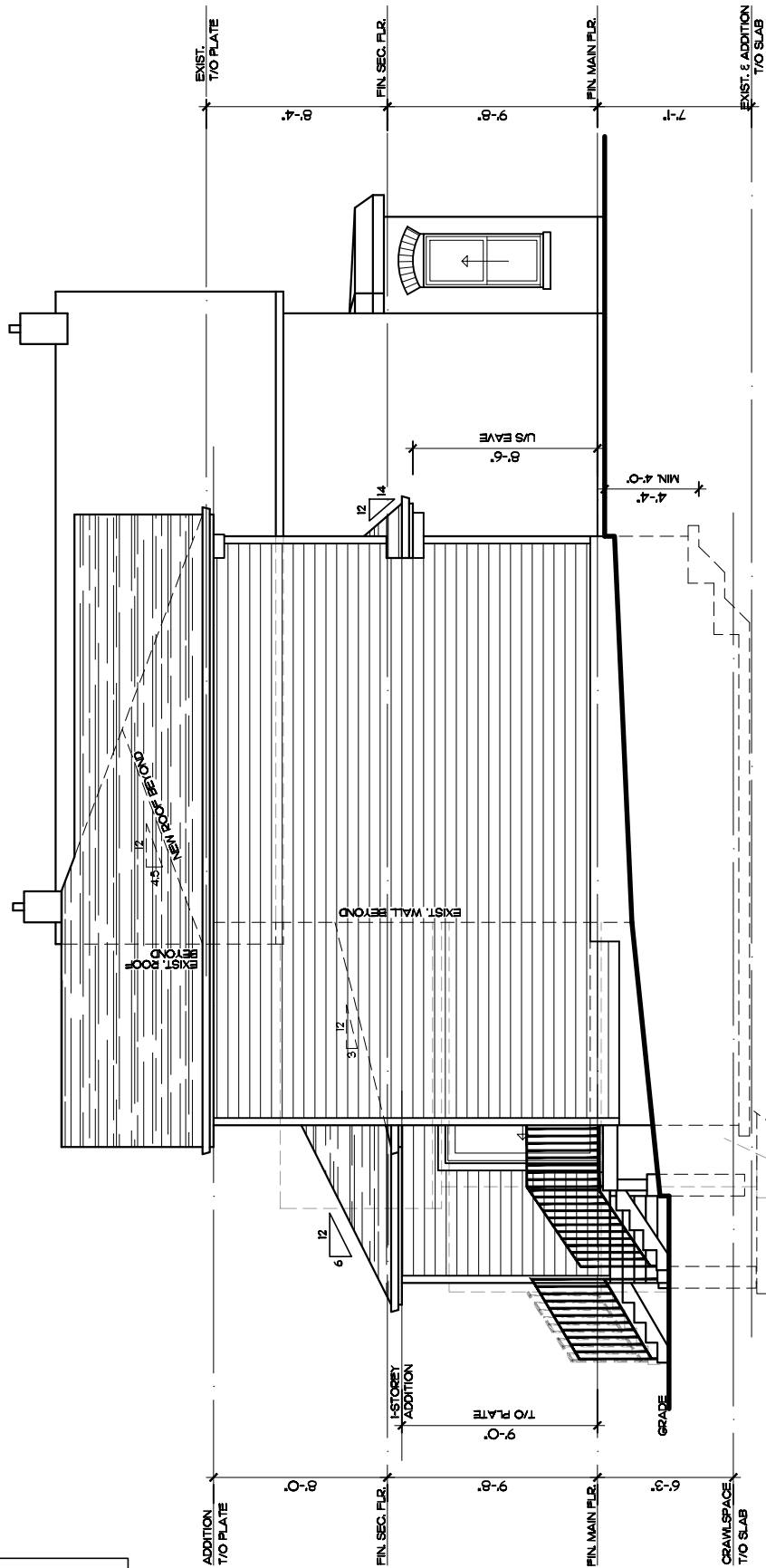
SIGN: _____



70 Main Street N., P.O. Box 38
 Campbellville, ON, L0P 1B0
 Ph. 905-854-9696
 Fax 905-854-9559
 Cell 905-815-3438
 EMAIL : jeffjansendesign@gmail.com

OWNERS INFORMATION :
 CHRISTINA FRANK
 174 MILL ST N
 WATERDOWN, ON

D07



LEFT ELEVATION

DATE: _____

DESIGN DRAWINGS APPROVED BY: _____

PRINT: _____

SIGN: _____



70 Main Street N., P.O. Box 38
 Campbellville, ON, L0P 1B0
 Ph. 905-854-9696
 Fax 905-854-9559
 Cell 905-815-3438
 EMAIL : jeffjansendesign@gmail.com

OWNERS INFORMATION :
 CHRISTINA FRANK
 174 MILL ST N
 WATERDOWN, ON

D08



Mailing Address:
71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Planning and Economic Development Department
Planning Division
71 Main Street West, 4th Floor, Hamilton, Ontario, L8P 4Y5
Phone: 905-546-2424, Ext. 1291
Fax: 905-540-5611

FILE: HP2023-027

July 10, 2023

Christina Frank & Hilary Pyper
174 Mill Street North
Waterdown, ON L0R 2H0

**Re: Heritage Permit Application HP2023-027:
Construction of Additions to 174 Mill Street North, Flamborough (Ward 15)
(Mill Street HCD, By-law No. 96-34-H)**

Please be advised that pursuant to By-law No. 05-364, as amended by By-law No. 07-322, which delegates the power to consent to alterations to designated property under the *Ontario Heritage Act* to the Director of Planning and Chief Planner, Heritage Permit Application HP2023-027 is approved for the designated property at 174 Mill Street North, Flamborough, located in the Mill Street Heritage Conservation District, in accordance with the submitted Heritage Permit Application for the following alterations:

- Construction of two new additions on the side (north) and rear (east) facades of the existing dwelling, including:
 - Removal of the existing one-storey gable-roofed rear addition to the east and construction of a new one-storey addition with a hip roof in the same location;
 - Construction of a new two-storey addition to the side (north) facade with a ground floor two-car garage fronting onto Mill Street North, set back from the front façade of the existing dwelling;
 - Conversion of one window on north elevation to a doorway to the new addition; and
 - Widening of driveway fronting onto Mill Street North.

Subject to the following conditions:

- a) That the final details of the windows, garage doors, siding and roofing material be submitted to the satisfaction and approval of the Director of Planning and Chief Planner, prior to installation;
- b) That the applicant submits and receive approval for any additional planning approvals required to implement their proposal (i.e. Minor Variance);

Re: Heritage Permit Application HP2023-027: Construction of Additions to 174 Mill Street North, Flamborough (Ward 15) (Mill Street HCD, By-law No. 96-34-H) - Page 2 of 2

- c) That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- d) That implementation of the alterations, in accordance with this approval, shall be completed no later than July 31, 2025. If the alterations are not completed by July 31, 2025, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted alterations. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

We wish you success with your project, and if you have any further questions, please feel free to contact Lisa Christie, Cultural Heritage Planner, at 905-546-2424 ext. 1291 or via email at Lisa.Christie@hamilton.ca.

Yours truly,



Steve Robichaud, MCIP RPP
Director of Planning and Chief Planner

cc: Lisa Christie, Cultural Heritage Planner
Chantal Costa, Plan Examination Secretary
Matt Gauthier, Legislative Coordinator
Councillor Ted McMeekin, Ward 15



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Registered Owners(s)			
Applicant(s)			
Agent or Solicitor			
			Phone:
			E-mail:

- 1.2 All correspondence should be sent to
 Purchaser
 Applicant
 Owner
 Agent/Solicitor
- 1.3 Sign should be sent to
 Purchaser
 Applicant
 Owner
 Agent/Solicitor
- 1.4 Request for digital copy of sign
 Yes* No
 If YES, provide email address where sign is to be sent
- 1.5 All correspondence may be sent by email
 Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	174 MILL ST. N., WATERDOWN, ON		
Assessment Roll Number	2518 303 360 32800 0000		
Former Municipality	FLAMBOROUGH		
Lot	123	Concession	
Registered Plan Number	M-5	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for: FRONT YARD SETBACK: LEGAL NON-COMPLIANT DWELLING SETBACK IS 3.20M.
 EXT. SIDE YARD SETBACK: WITHIN 20% OF THE AVERAGE FRONT YARD SETBACK OF NEAREST DWELLING
 FOR CORNER LOT → NEAREST DWELLING FRONT YARD = 9.9M.
 → SETBACK PROPOSED = 1.81M.
 GARAGE DOOR: VARIANCE FOR ONE SINGLE DOOR RATHER THAN 2 (WHICH IS REQUIRED WHEN GARAGE IS GREATER THAN 5M).
 Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

EXISTING HOUSE LEGAL NON-COMPLIANT + ADDITION AT REAR IS TO SEAMLESSLY CONNECT TO HOUSE TO KEEP LOOK OF HOUSE NICE FROM STREETVIEW + SO SPACE INSIDE IS USABLE.
 GARAGE ~~DOOR~~ JOINS INSIDE, SO ONE GARAGE DOOR IS BETTER FOR PARKING PURPOSES, 2 DOORS DON'T REALLY WORK FOR DESIGN.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

EXIST. DWELLING IS LEGAL NON-COMPLIANT. SIDEYARD GREATER THAN 20% OF ADJACENT DWELLING FRONT YARD SETBACKS AND FRONT YARD SETBACK LESS THAN PERMITTED.

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
19.28M	20.26M	979.84 M2	15.12M

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
DWELLING	3.2 M	27.75 M	1.81 M + 7.38 M	1897 1897
SHED/GARAGE DETACHED	/	12.60 M	0.28 M + 15.93 M	1982
↳ TO BE DEMOLISHED				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
REAR ADDITION	/	26.54 M	1.81 M	TBD
GARAGE ADDITION	7.61 M	28.95 M	1.86 M	TBD
DECK	/	26.54 M	7.6 M	TBD

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
DWELLING	161.8 M ²	151.3 M ²	2	7.7 M
SHED/DETACHED GARAGE	31 M ²	45 M ²	1	5 M

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
REAR ADDITION	7.6 M ²	7.6 M ²	1	5.2 M
GARAGE ADDITION	53.6 M ²	98 M ²	2	7.6 M
DECK	22 M ²	22 M ²	1	0.8 M

4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

lake or other water body
 other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

SINGLE DETACHED DWELLING

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

SINGLE DETACHED DWELLING

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2022

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE DETACHED DWELLING

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE DETACHED DWELLING

7.4 Length of time the existing uses of the subject property have continued:

ALWAYS

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) URBAN RESIDENTIAL

Please provide an explanation of how the application conforms with the Official Plan.

THIS LOT IS REMAINING AN URBAN RESIDENTIAL LOT AND WILL MATCH THE OTHER SINGLE FAMILY DWELLINGS IN THE AREA (LOOKS AND MASSING).

7.6 What is the existing zoning of the subject land? R1-7A

7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No N/A

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
