



NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	SC/A-23:100	SUBJECT PROPERTY:	63 THIRD ROAD E, STONEY CREEK
ZONE:	A1 (Agriculture)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: **Owner:** JASON & SABRINA BRUZZESE

The following variances are requested:

1. A maximum gross floor area of 290.0 square metres shall be permitted for all buildings accessory to a single detached dwelling instead of the requirement that all buildings accessory to a single detached dwelling shall not exceed a maximum gross floor area of 200 square metres.

PURPOSE & EFFECT: As to permit the construction a new Single Detached Dwelling with an accessory building.

Notes:

1. As per Section 4.8.1.2 of Hamilton Zoning By-law 05-200 the requested variance for the maximum accessory building height is not required.
2. Please be advised accessory buildings shall not be erected prior to the erection of the principle building or structure on the lot and no more than one dwelling shall be erected on a lot.
3. All mechanical equipment shall be in accordance with Section 4.9 of the Hamilton Zoning By-law 05-200.
4. Building permit 23-109955 was issued on July 4th, 2023 for the construction of the proposed single detached dwelling. At this time the permit has not yet been closed.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

SC/A-23:100

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 24, 2023
TIME:	10:40 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding SC/A-23:100, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

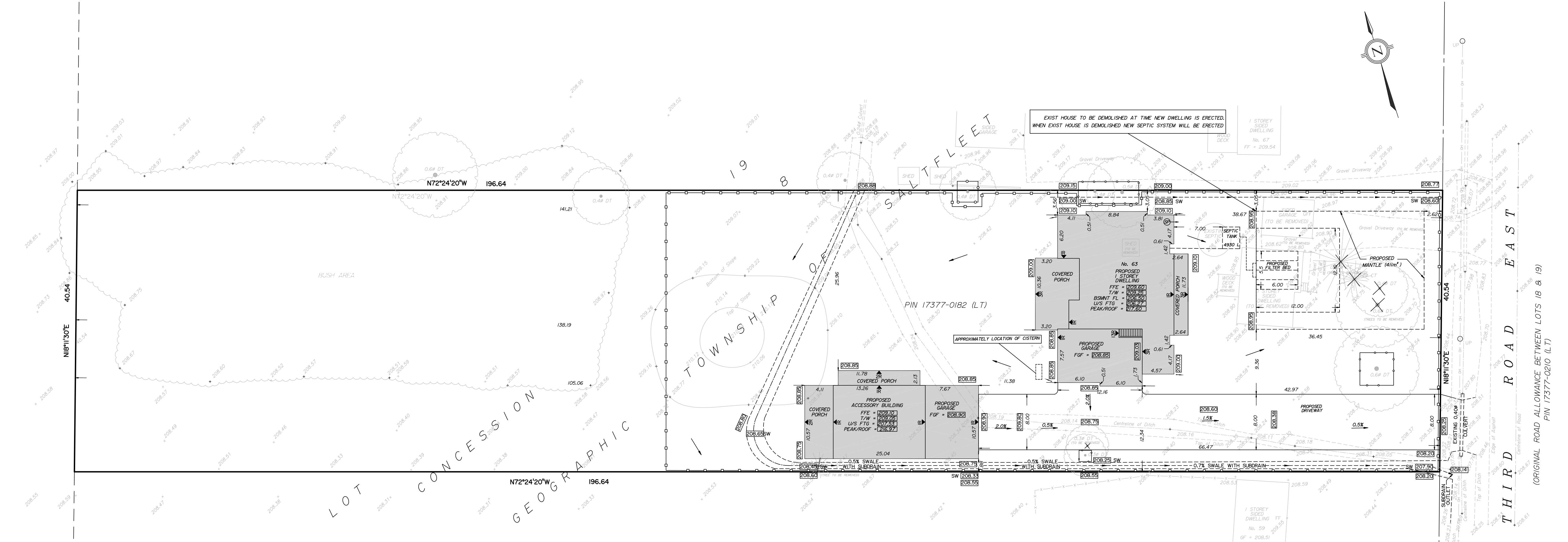
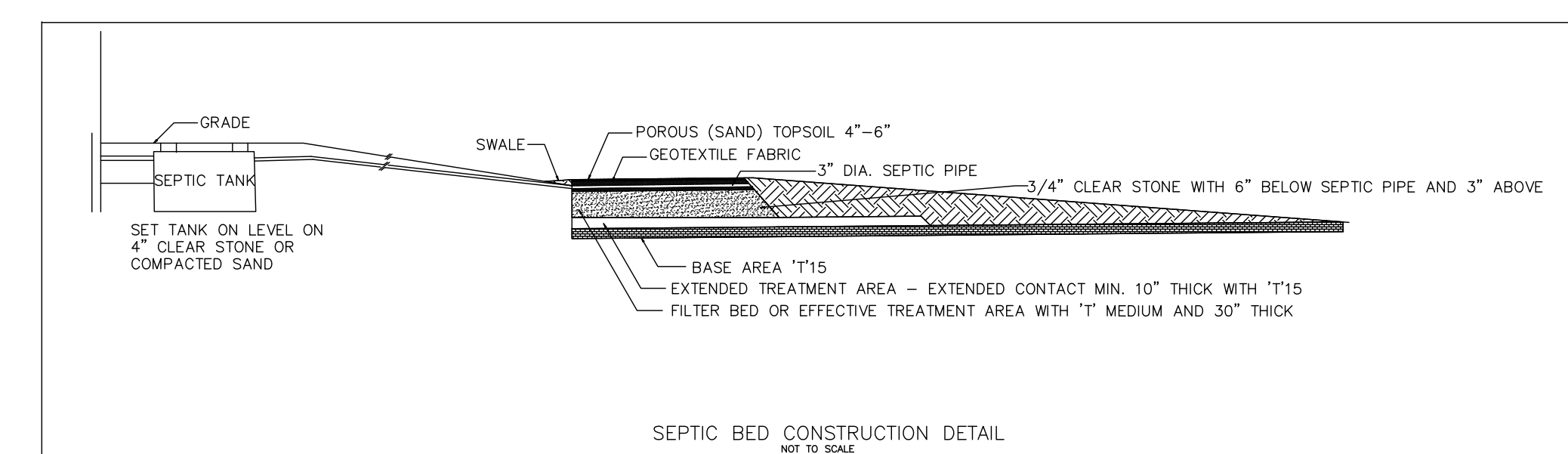
DATED: August 8, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

- GENERAL NOTES**
- THIS/ THESE PLANS IS/ ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED BY THE ENGINEER AND INDICATED ISSUED FOR CONSTRUCTION ON THE DRAWING.
 - THIS/ THESE PLANS IS/ ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BARICH GRENKIE SURVEYING LIMITED.
 - INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION DRAWINGS ARE FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ITS ACCURACY AND FOR SUFFICIENCY. THE CONTRACTOR SHALL ASSUME LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
 - ALL INFORMATION TAKEN FROM SURVEY BY BARICH GRENKIE SURVEYING LTD. DATED JANUARY 09, 2023.
 - THIS/ THESE PLANS IS/ ARE TO BE USED FOR SERVING AND GRADING ONLY. FOR BUILDING LOCATION REFER TO THE SITE PLAN.
 - MUNICIPAL APPROVAL OF THESE DRAWINGS IS FOR MATERIAL AND COMPLIANCE WITH CITY/TOWN STANDARDS AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION OF THE WORKS BY THE CITY/TOWN STAFF DOES NOT GUARANTEE THE LINE AND GRADE OF THE WORKS NOR RELIEVE THE CONTRACTOR OF CERTIFICATION OF ALL WORKS BY THE OWNER'S ENGINEER.
 - ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED WRITTEN APPROVAL HAS FIRST BEEN OBTAINED FROM THE CITY OF HAMILTON AND THE ENGINEER.
 - THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - SEWER PERMITS
 - APPROACH APPROVAL PERMITS
 - RELOCATION OF SERVICES
 - COMMITTEE OF ADJUSTMENT
 - ENCROACHMENT AGREEMENTS
 - PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:
 - CHECK AND VERIFY ALL DIMENSIONS AND EXISTING ELEVATIONS WHICH INCLUDE BUT ARE NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS, EXISTING INVERTS AND REPORT FINDINGS IN WRITING TO THE ENGINEER.
 - OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
 - VERIFY ALL FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MAY APPEAR ON THESE PLANS CORRELATE WITH THE FINAL ARCHITECTURAL DRAWINGS.
 - CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
 - NOTIFY THE ENGINEER OF THE PROPOSED CONSTRUCTION SCHEDULE FOR COORDINATION OF NECESSARY INSPECTIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER 48 HOURS PRIOR TO THE COMMENCING SITE WORKS TO ARRANGE FOR INSPECTION. THE ENGINEER SHALL DETERMINE THE EXTENT OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGROUND SERVICE INSTALLATION AS MANDATED BY THE ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2. GENERAL REVIEW FAILURE TO MAKE SUITABLE ARRANGEMENTS FOR INSPECTION WILL LEAD TO POST CONSTRUCTION TESTING AND INSPECTION AS DETERMINED BY THE ENGINEER, THE COSTS OF WHICH INCLUDING ANY DELAYS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR. FULL PAYMENT FOR UNINSPECTED WORKS MAY BE WITHHELD UNTIL THE COMPLETION OF THE POST CONSTRUCTION INSPECTION AND TESTING TO THE SATISFACTION OF THE ENGINEER.
 - INSPECTION BY THE OWNER'S ENGINEER IS FOR CERTIFICATION AND GENERAL CONFORMANCE PURPOSES AND DOES NOT CERTIFY LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THE INSTALLATION OF THE WORKS TO PROPER LINE, GRADE AND QUALITY TO MEET INDUSTRY STANDARDS.
 - ANY UTILITY RELOCATIONS AND RESTORATIONS DUE TO THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER AND SHALL BE COORDINATED BY THE CONTRACTOR.
 - ALL RESTORATIONS AND RECONSTRUCTIONS SHALL BE COMPLETED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY/TOWN STANDARDS.
 - SERVING CONTRACTOR TO MAINTAIN A "CONFINED TRENCH CONDITION" IN ALL SEWER AND WATERMAIN INSTALLATION TRENCHES.
 - THE SITE SERVING CONTRACTOR SHALL TERMINATE ALL SERVICES 1.0m FROM THE BUILDING FACE. NO BLASTING WILL BE PERMITTED.

- SILTATION AND EROSION CONTROL**
- SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED.
 - ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.
 - ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.



PROJECT No. 22-3076 DRAWING No. 22-3076 SGP

- GRADING NOTES**
- GENERAL GRADING
 - ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH 5000% SLOPES (MIN. 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
 - ALL RETAINING WALLS, MAINWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.ENG.
 - SHOULDER RETAINING WALLS WILL BE REQUIRED. THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
 - RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
 - TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (MIN) ABOVE FINISHED GRADE.
 - DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0% REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
 - IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
 - THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
 - DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VENTS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
 - ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
 - ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE. THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
 - SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33.0% GRADE (3:1 SLOPE).
 - WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED, PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET (WITH A MINIMUM 0.3m COVER OVER THE SUBDRAIN), OR OTHER MITIGATION MEASURES.
 - MINIMUM GRADE FOR WRAP-AROUND SWALE IN BACKYARDS SHALL BE 1.0% UNLESS OTHERWISE NOTED. THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED TO A STRAIGHT LINE.
 - GARAGE FLOOR ELEVATIONS TO BE SET 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
 - ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 98% S.P.D. (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 300mm.
- 2. BACKYARD GRADING**
- A DEFINITION "REQUIRED BACK YARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6.0m.
 - THE MAXIMUM 5.0% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE BACK OF THE LOT, PROVIDED THE TOTAL WIDTH OF THE SWALE DOES NOT EXCEED 1.0m ON EACH LOT.
 - WHERE THE 5.0% RESTRICTION ON BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. 3:1 SLOPES CAN REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
 - GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 - THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS, AND BACK YARDS, OUTSIDE THE AREAS DEFINED IN ITEM "A" ABOVE, PROVIDED THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (3:1 MAXIMUM).

- COMPACTION REQUIREMENTS**
- UNLESS OTHERWISE NOTED OR DIRECTED BY THE GEOTECHNICAL CONSULTANT, THE FOLLOWING SHALL APPLY:
- ALL BEDDING AND BACKFILL MATERIAL, ROAD SUB-GRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS, ETC., SHALL BE COMPACTED TO MIN. 98% SPD. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
 - ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO 98% SPD.
 - FOR ALL SEWERS AND WATERMANS IN FILL SECTIONS, THE COMPACTION SHALL BE CERTIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO LAYING OF PIPE.

MUNICIPAL ADDRESS
63 THIRD ROAD EAST, STONEY CREEK, HAMILTON LEGAL DESCRIPTION
LOT 19, CONCESSION 8, GEOGRAPHIC TOWNSHIP OF SALT FLEET IN THE CITY OF HAMILTON
ZONING AGRICULTURAL (A1) ZONE

MAIN BUILDING

SITE STATISTICS	BYLAW	PROPOSED
LOT AREA	4050 m ²	7971.83 m ² (EX)
LOT WIDTH	30.0 m	40.54 m(EX)
BUILDING AREA	N/A	461.89 m ²

SETBACKS

FRONT YARD (EAST)	7.5 m	36.45 m
REAR YARD (WEST)	7.5 m	138.19 m
SIDE YARD (NORTH)	1.25 m	3.05 m
SIDE YARD (SOUTH)	1.25 m	12.34 m
HEIGHT (PEAK OF ROOF)	11 m	8.00 m

ACCESSORY BUILDING

BUILDING AREA	N/A	289.67 m ²
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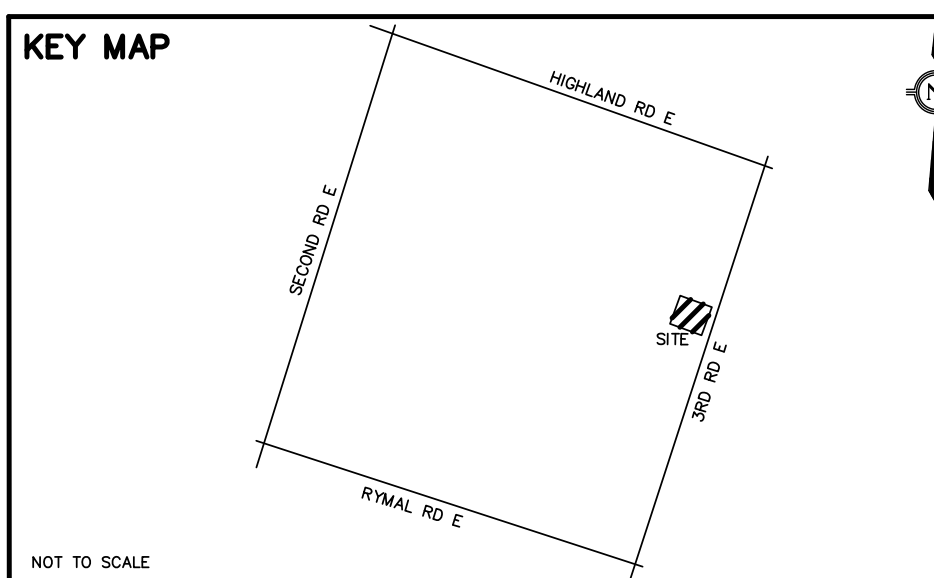
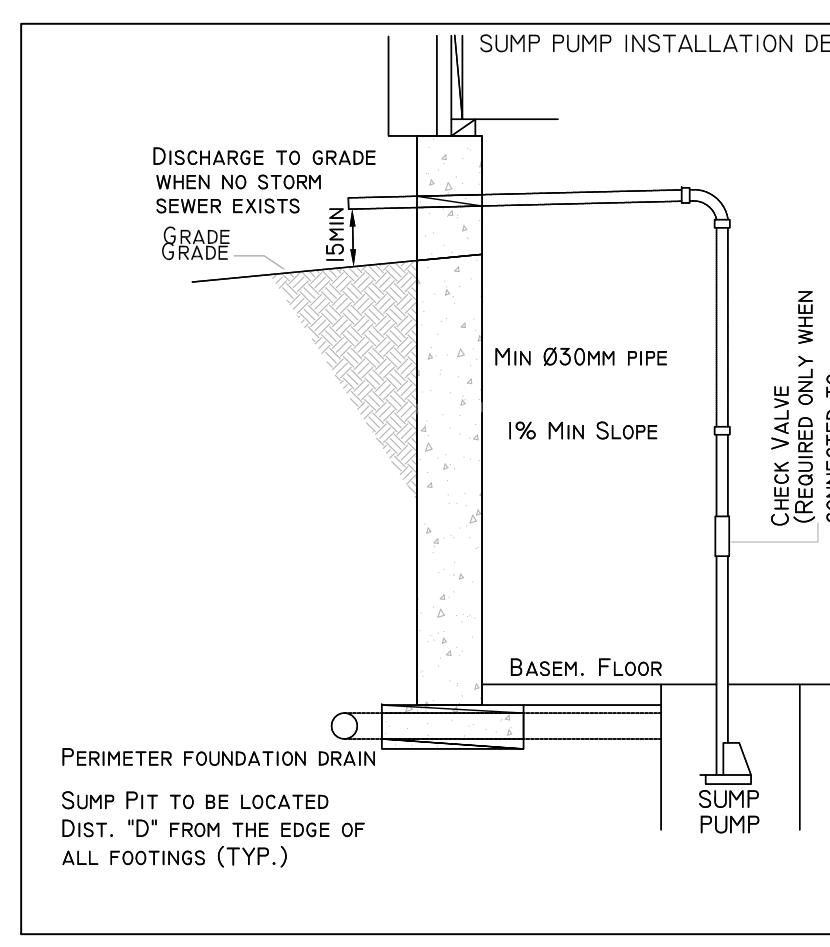
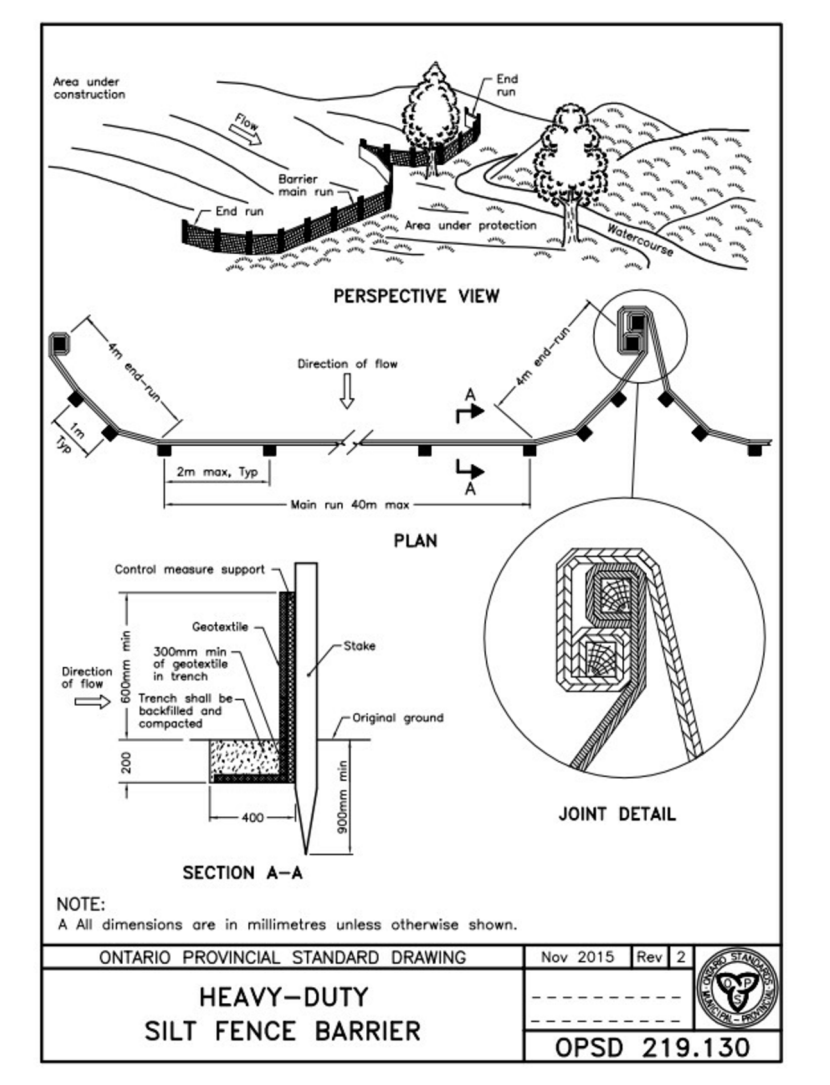
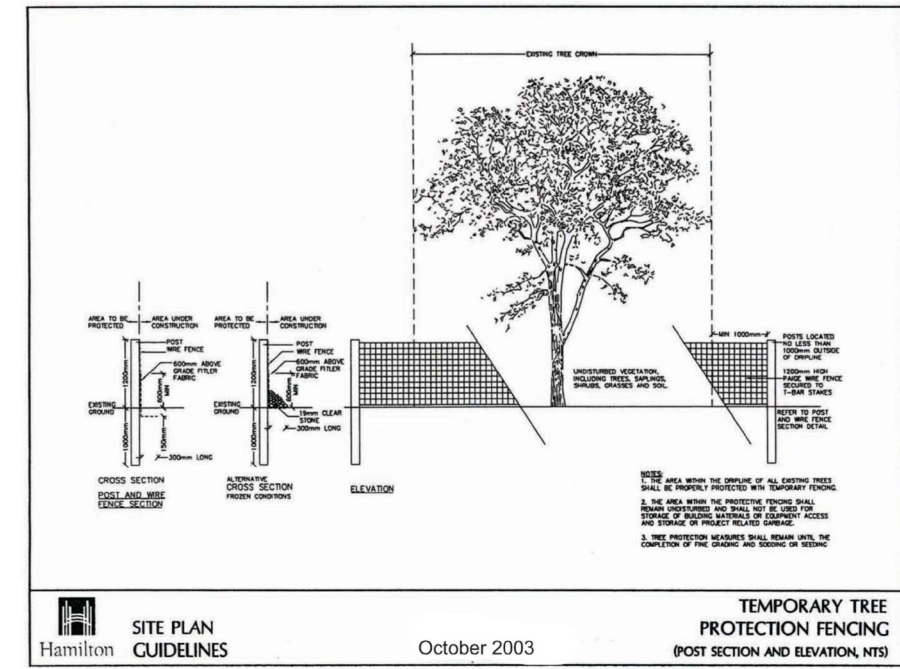
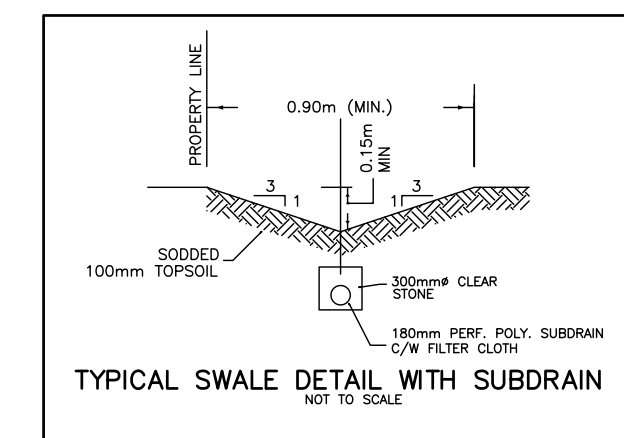
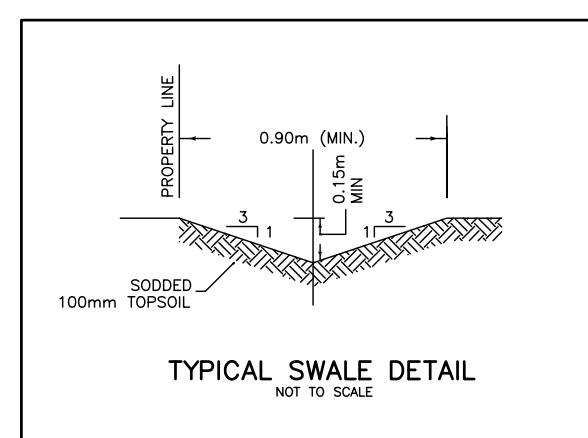
SETBACKS

FRONT YARD (EAST)	7.5 m	66.19 m
REAR YARD (WEST)	7.5 m	105.06 m
SIDE YARD (NORTH)	1.25 m	25.96 m
SIDE YARD (SOUTH)	1.25 m	1.88 m
HEIGHT (PEAK OF ROOF)	11 m	7.87 m

Table 1 - Tree Protection Zones

Trunk Diameter (DBH) ¹	Tree Protection Zone (TPZ) ² Minimum Protection Distances Required ³	Critical Root Zone (CRZ) ⁴ Distances Required
<10 cm	1.8 m	1.8 m
11-40 cm	2.4 m	4.0 m
41-50 cm	3.0 m	5.0 m
51-60 cm	3.6 m	6.0 m
61-70 cm	4.2 m	7.0 m
71-80 cm	4.8 m	8.0 m
81-90 cm	5.4 m	9.0 m
91-100+ cm	6.0 m	10.0 m

- Tree protection barriers for trees situated on the City road allowance where visibility must be maintained can be 1.2m high and consist of orange plastic web snow fencing on a wood frame of 2" x 4" s, supported on metal "T" bars, 2.0m c/c max. Where orange plastic web snow fencing creates a restriction to sightlines, page wire fencing shall be used.
- Where some excavate of fill has to be temporarily located near a tree protection barrier plywood must be used to ensure no material enters the Tree Protection Zone.
- All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.



NOT TO SCALE
ADDRESS: 63 THIRD ROAD EAST, STONEY CREEK
SITE AND GRADING PLAN OF PART OF LOT 19 CONCESSION 8, (GEOGRAPHIC TOWNSHIP OF SALT FLEET) IN THE CITY OF HAMILTON
BARICH GRENKIE SURVEYING LTD.
A DIVISION OF GEOMAPLE
© COPYRIGHT 2023

METRIC
DISTANCES AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- DT DENOTES DECIDUOUS TREE
 - CT DENOTES CONIFEROUS TREE
 - SV DENOTES SERVICE VALVE
 - SLB DENOTES SUBJECT LANDS BOUNDARY
 - DL DENOTES DEED LINE
 - LL DENOTES LOT LINE
 - FL DENOTES FENCE LINE
 - TR DENOTES TREE TO BE REMOVED
 - NE-SW DENOTES NORTH-EAST-SOUTH-WEST
 - EE DENOTES EXISTING ELEVATION
 - PEE DENOTES PROPOSED ELEVATION
 - PTP DENOTES PROPOSED TREE PROTECTION
 - DS DENOTES DOWN SPOUT WITH SPLASH PAD
 - SP DENOTES SUMP PUMP LOCATION

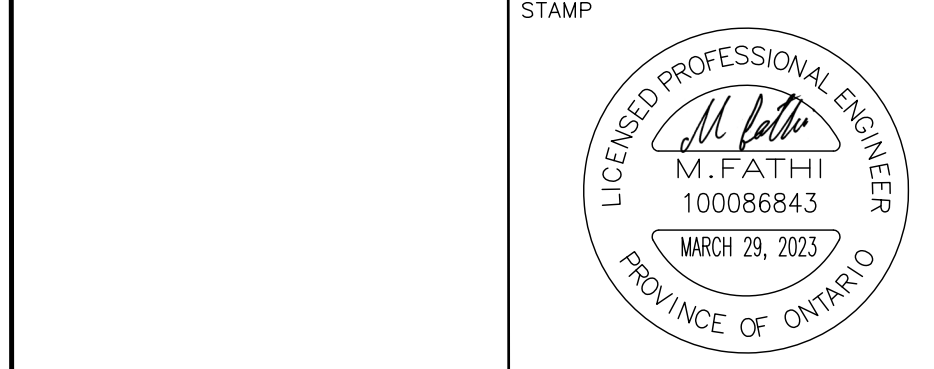
ELEVATION NOTE
ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928:1978) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK No. 0011975U230 HAVING AN ELEVATION OF 207.800 m.

NO.	DATE	BY	REVISIONS
4	03/29/2023	GF	AS PER CLIENT REQUEST
3	03/28/2023	GF	AS PER CITY COMMENTS
2	03/09/2023	GF	AS PER CLIENT REQUEST
1	02/28/2023	GF	AS PER CLIENT REQUEST
0	02/03/2023	GF	ISSUED FOR REVIEW

DESIGN	GF	CHK'D	DJ	DATE
DRAWN	GF	CHK'D	DJ	MARCH 29, 2023

Scale 1:300
5 0 5 10 15 20 METRES

APPROVALS



Barich Grenkie Surveying Ltd.
301 HWY No. 8 (2ND FLOOR), STONEY CREEK, ON (905) 662-6767
A DIVISION OF GEOMAPLE

DWN BY: GF
CHK BY: MF
JOB No. 22-3076

CLIENT
JASON BRUZZESE

PROJECT NAME
**PROPOSED DWELLING
63 THIRD ROAD EAST, STONEY CREEK**

TITLE
SITE AND GRADING PLAN

PROJECT No. 22-3076 DRAWING No. 22-3076 SGP

Door and Sill as per 9.10.13.15. Self-closing door shall be tight fitting & weather-stripped to provide an effective barrier against the passage of gas & exhaust fumes (where grade permits)

Provide double joists and L 3 1/2" x 3 1/2" x 1/4" above all basement exterior windows unless noted otherwise

Provide lighting of all entrances as per 9.34.2.1 of O.B.C.

For walk-out and partial walk-out lots, step concrete foundation as required for proposed grades ensuring a maximum of 4'-0" of laterally unsupported wall

Built-up posts to be min. 5 1/2" x 5 1/2" and at least as wide as the supported member O.B.C. 9.17.4.1

All Footings to be minimum 4'-0" below finished grade at all times.

Where patio/terrace door threshold is greater than 2'-0" above finished grade, provide SG-7 guard or provide blocking to prevent door from opening more than 4".

Window sizes shown are approximate. Exact rough openings to be determined by window manufacturer's specifications

Doors and Windows must be resistant to forced entry.

Provide guards (SB-7 type guards for housing and small buildings) at porch where distance from grade to top of porch is 2'-0" or greater.

Roof Space to be vented to exterior by vent area of not less than 1/300 of insulated ceiling area

No openings through guards greater than 4" O.B.C. 9.8.8.5

Provide Built-up wood stud post equal to stud depth and width of beam, at both ends of steel/wood beams unless noted otherwise

All interior stud walls to be 2"x4" unless noted otherwise. All concrete foundations to be 8" unless noted otherwise

Window wells as per 9.7.1.4, and 9.14.6.3 (O.B.C.) typical where required.

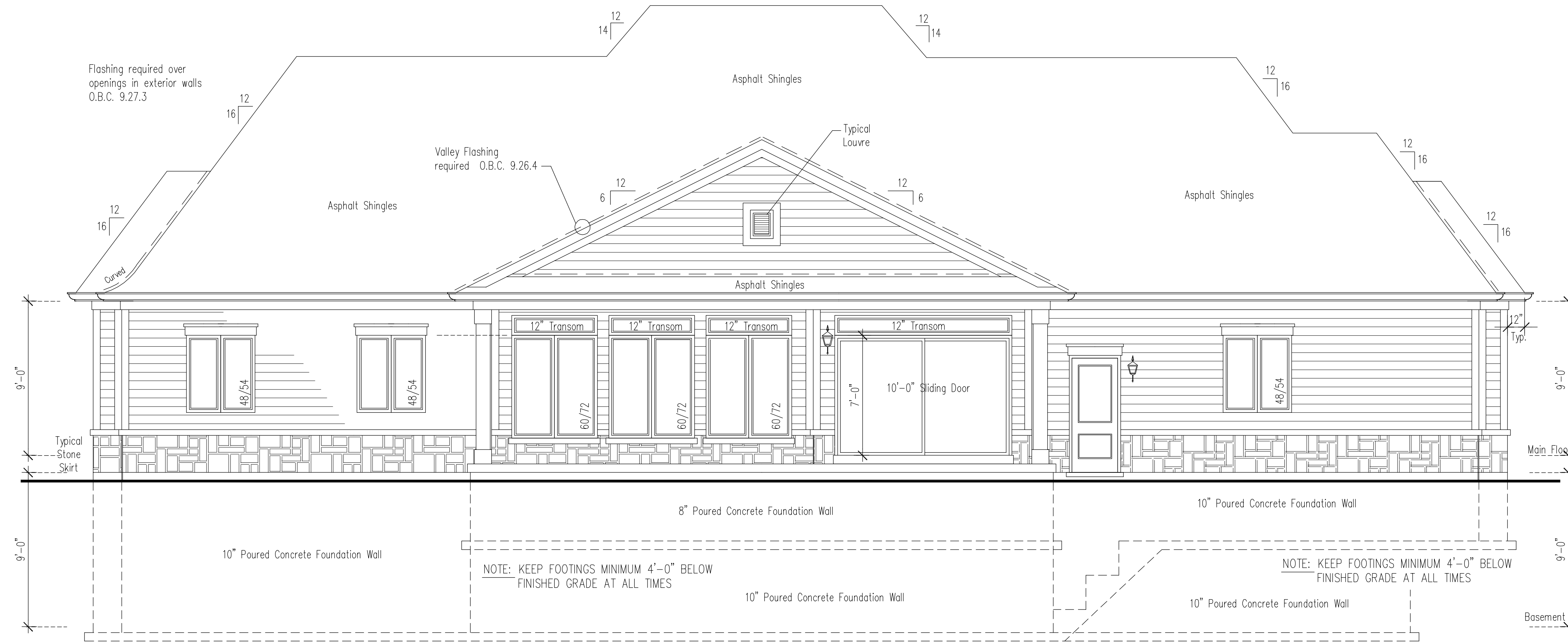
Provide minimum 2 rows of bracing where ceramic tile above. O.B.C. 9.30.6.4

All T.I. floor joists, parallel beams and trusses are to be supplied and designed by wood supplier and/or truss manufacturer

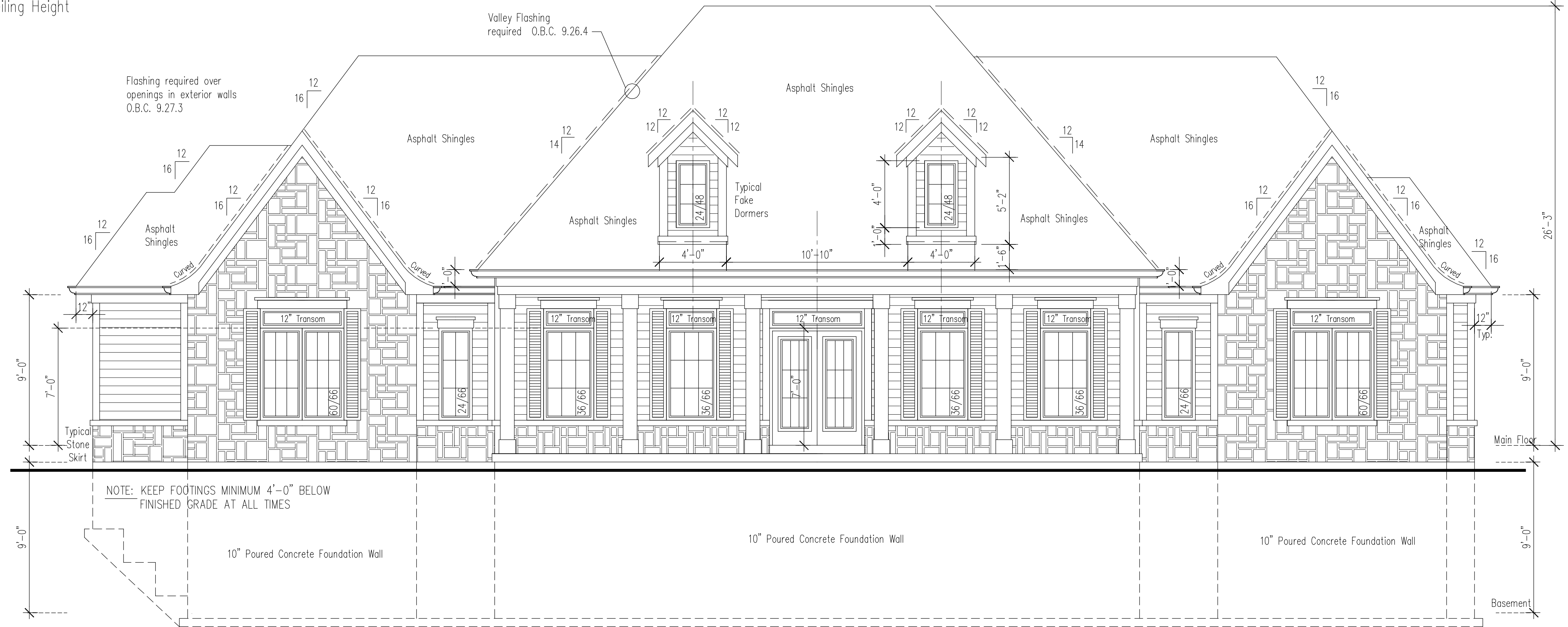
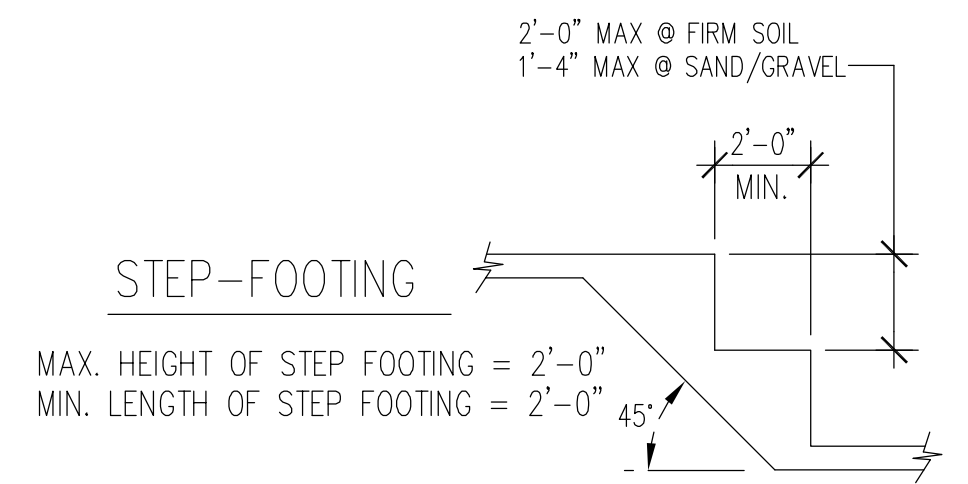
Provide double joist framing under all parallel walls above and around stairs

All stairs as per 9.8.3, handrails as per 9.8.7, and guards as per 9.8.8 (O.B.C.)

Construction between garage & dwelling units to be gasproof O.B.C. 9.10.9.16



Rear Elevation
 9'-0" Main Floor Ceiling Height
 9'-0" Basement Ceiling Height



Front Elevation
 9'-0" Main Floor Ceiling Height
 9'-0" Basement Ceiling Height

 Tel: (905) 304-8340 Fax: (905) 304-8360	Dwn by: ROB MARINIC Scale: 1/4" = 1'-0"	Title: Custom Bungalow	REGISTRATION INFORMATION The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. Name: ROB MARINIC B.O.B. 24456 Firm: PRESTIGE DESIGNS B.O.B. 29621 Signature:	Project: 63 Third Road East Hamilton, Ontario
	Date: November 2022 Proj. No.: Bruz2X	Description: Front Elevation Rear Elevation		
	Area: 3080 sq.ft.			

Door and Sill as per 9.10.13.15. Self-closing door shall be tight fitting & weather-stripped to provide an effective barrier against the passage of gas & exhaust fumes (where grade permits)

Provide double joists and L 3 1/2" x 3 1/2" x 1/4" above all basement exterior windows unless noted otherwise

Provide lighting of all entrances as per 9.34.2.1 of O.B.C.

For walk-out and partial walk-out lots, step concrete foundation as required for proposed grades ensuring a maximum of 4'-0" of laterally unsupported wall

Built-up joists to be min. 5 1/2" x 5 1/2" and at least as wide as the supported member O.B.C. 9.17.4.1

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Where patio/terrace door threshold is greater than 2'-0" above finished grade, provide SG-7 guard or provide blocking to prevent door from opening more than 4".

Window sizes shown are approximate. Exact rough openings to be determined by window manufacturer's specifications

Doors and Windows must be resistant to forced entry.

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Roof Space to be vented to exterior by vent area of not less than 1/300 of insulated ceiling area

No openings through guards greater than 4" O.B.C. 9.8.8.5

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All interior stud walls to be 2"x4" unless noted otherwise. All concrete foundations to be 8" unless noted otherwise

Window wells as per 9.7.1.4, and 9.14.6.3 (O.B.C.) typical where required.

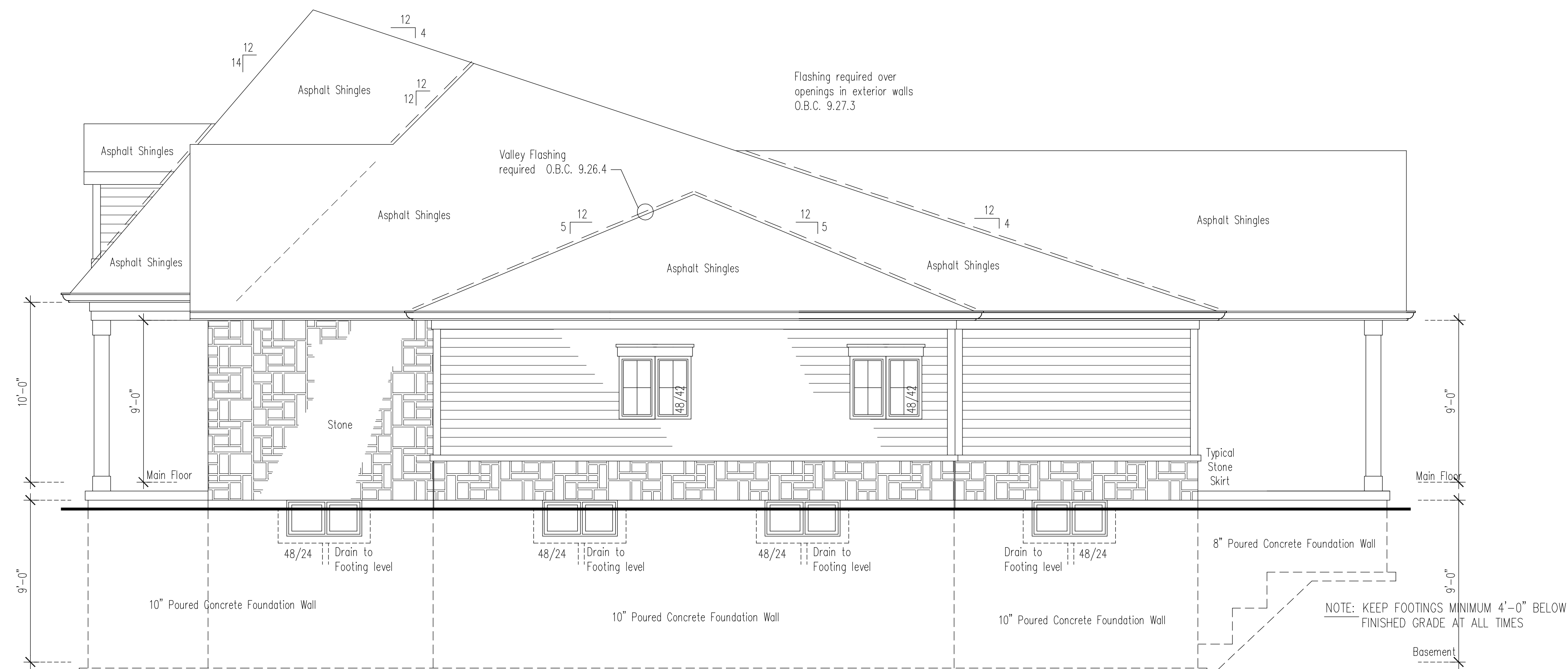
Provide minimum 2 rows of bracing where ceramic tile above. O.B.C. 9.30.6.4

All TJI floor joists, parallel beams and trusses are to be supplied and designed by wood supplier and/or truss manufacturer

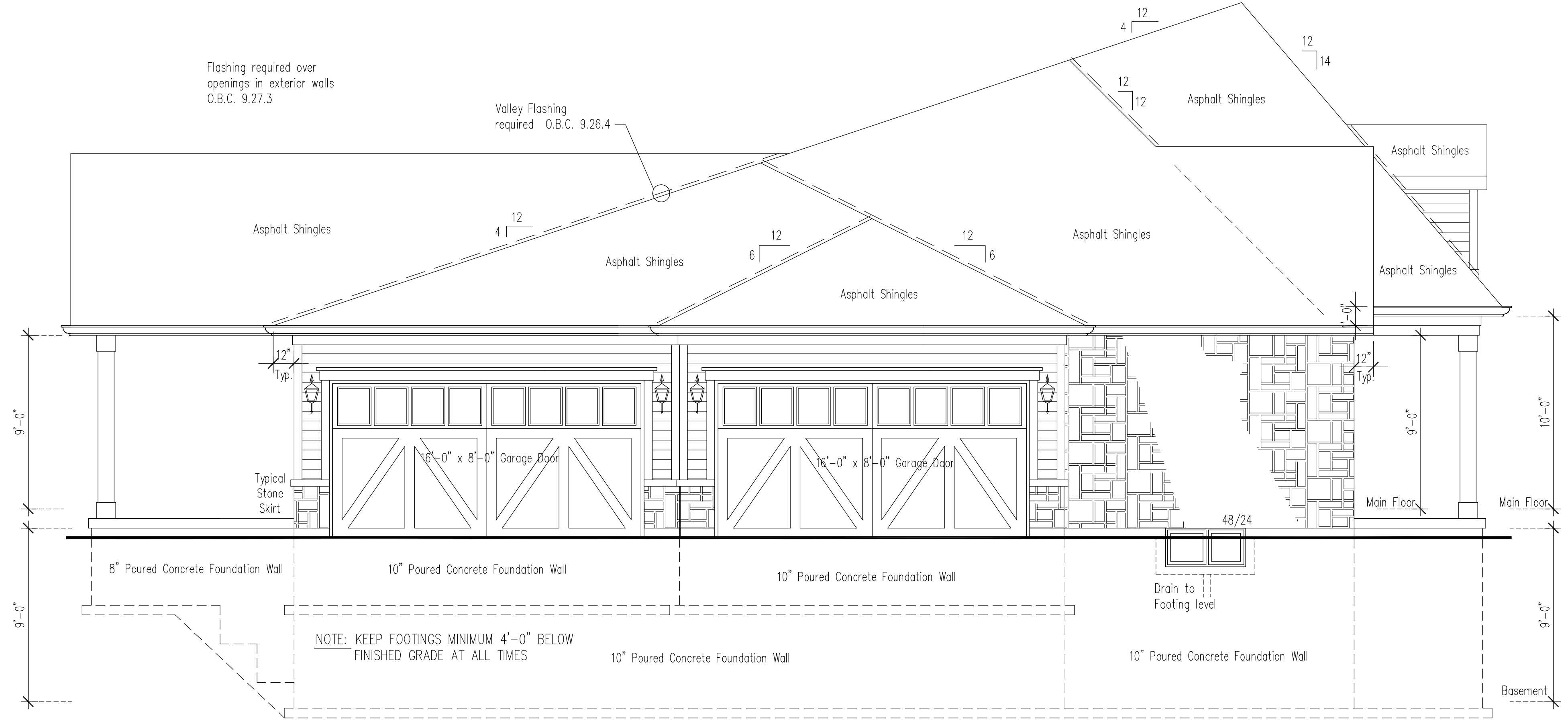
Provide double joist framing under all parallel walls above and around stairs

All stairs as per 9.8.3, handrails as per 9.8.7, and guards as per 9.8.8 (O.B.C.)

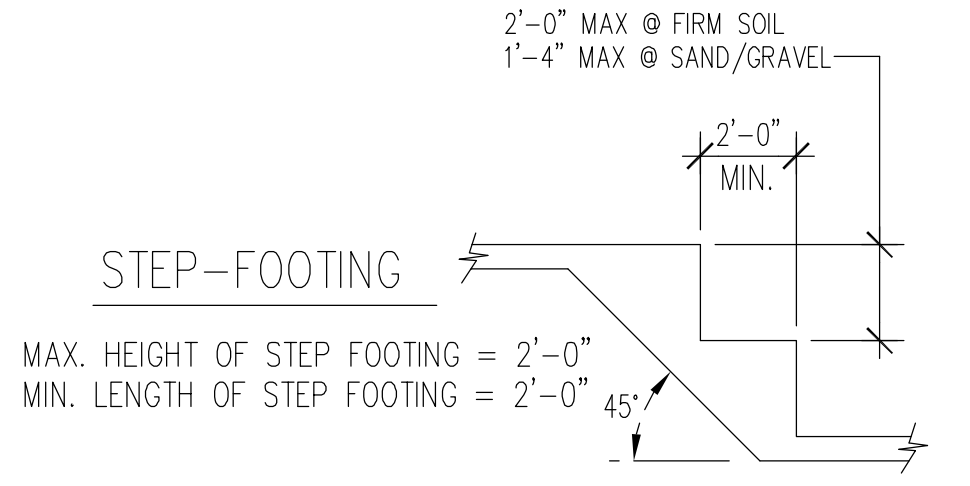
Construction between garage & dwelling units to be gasproof O.B.C. 9.10.9.16

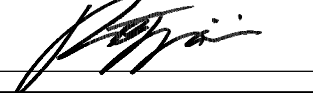


Right Side Elevation
 9'-0" Main Floor Ceiling Height
 9'-0" Basement Ceiling Height



Left Side Elevation
 9'-0" Main Floor Ceiling Height
 9'-0" Basement Ceiling Height



 <p>PRESTIGE DESIGNS Tel: (905) 304-8340 Fax: (905) 304-8360</p>	<p>Drawn by: ROB MARINIC</p> <p>Scale: 1/4" = 1'-0"</p> <p>Date: November 2022</p> <p>Proj. No.: Bruz2X</p> <p>Area: 3080 sq.ft.</p>	<p>Title: Custom Bungalow</p> <p>Description: Left Side Elevation Right Side Elevation</p>	<p>REGISTRATION INFORMATION</p> <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>Name: ROB MARINIC BON: 24456 Firm: PRESTIGE DESIGNS BON: 29621</p> <p>Signature: </p>	<p>Project: 63 Third Road East Hamilton, Ontario</p>	<p>A2 of 6</p>
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Door and Sill as per 9.10.13.15. Self-closing door shall be tight fitting & weather-stripped to provide an effective barrier against the passage of gas & exhaust fumes (where grade permits)

Provide double joists and L 3 1/2" x 3 1/2" x 1/4" above all basement exterior windows unless noted otherwise

Provide lighting of all entrances as per 9.34.2.1 of O.B.C.

For walk-out and partial walk-out lots, step concrete foundation as required for proposed grades ensuring a maximum of 4'-0" of laterally unsupported wall

Built-up posts to be min. 5 1/2" x 5 1/2" and at least as wide as the supported member O.B.C. 9.17.4.1

All Footings to be minimum 4'-0" below finished grade at all times.

Where patio/terrace door threshold is greater than 2'-0" above finished grade, provide SG-7 guard or provide blocking to prevent door from opening more than 4".

Window sizes shown are approximate. Exact rough openings to be determined by window manufacturer's specifications

Doors and Windows must be resistant to forced entry.

Provide guards (SB-7 type guards for housing and small buildings) at porch where distance from grade to top of porch is 2'-0" or greater.

Roof Space to be vented to exterior by vent area of not less than 1/300 of insulated ceiling area

No openings through guards greater than 4" O.B.C. 9.8.8.5

Provide Built-up wood stud post equal to stud depth and width of beam, at both ends of steel/wood beams unless noted otherwise

All interior stud walls to be 2"x4" unless noted otherwise. All concrete foundations to be 8" unless noted otherwise

Window wells as per 9.7.1.4. and 9.14.6.3 (O.B.C.) typical where required.

Provide minimum 2 rows of bridging where ceramic tile above. O.B.C. 9.30.6.4

Provide Built-up wood stud post equal to stud depth and width of beam, at both ends of steel/wood beams unless noted otherwise

All interior stud walls to be 2"x4" unless noted otherwise. All concrete foundations to be 8" unless noted otherwise

Window wells as per 9.7.1.4. and 9.14.6.3 (O.B.C.) typical where required.

Provide minimum 2 rows of bridging where ceramic tile above. O.B.C. 9.30.6.4

All T.I. floor joists, parallel beams and trusses are to be supplied and designed by wood supplier and/or truss manufacturer per 9.8.8 (O.B.C.)

Provide double joist framing under all parallel walls above and around stairs

All stairs as per 9.8.3, handrails as per 9.8.7, and guards as per 9.8.8 (O.B.C.)

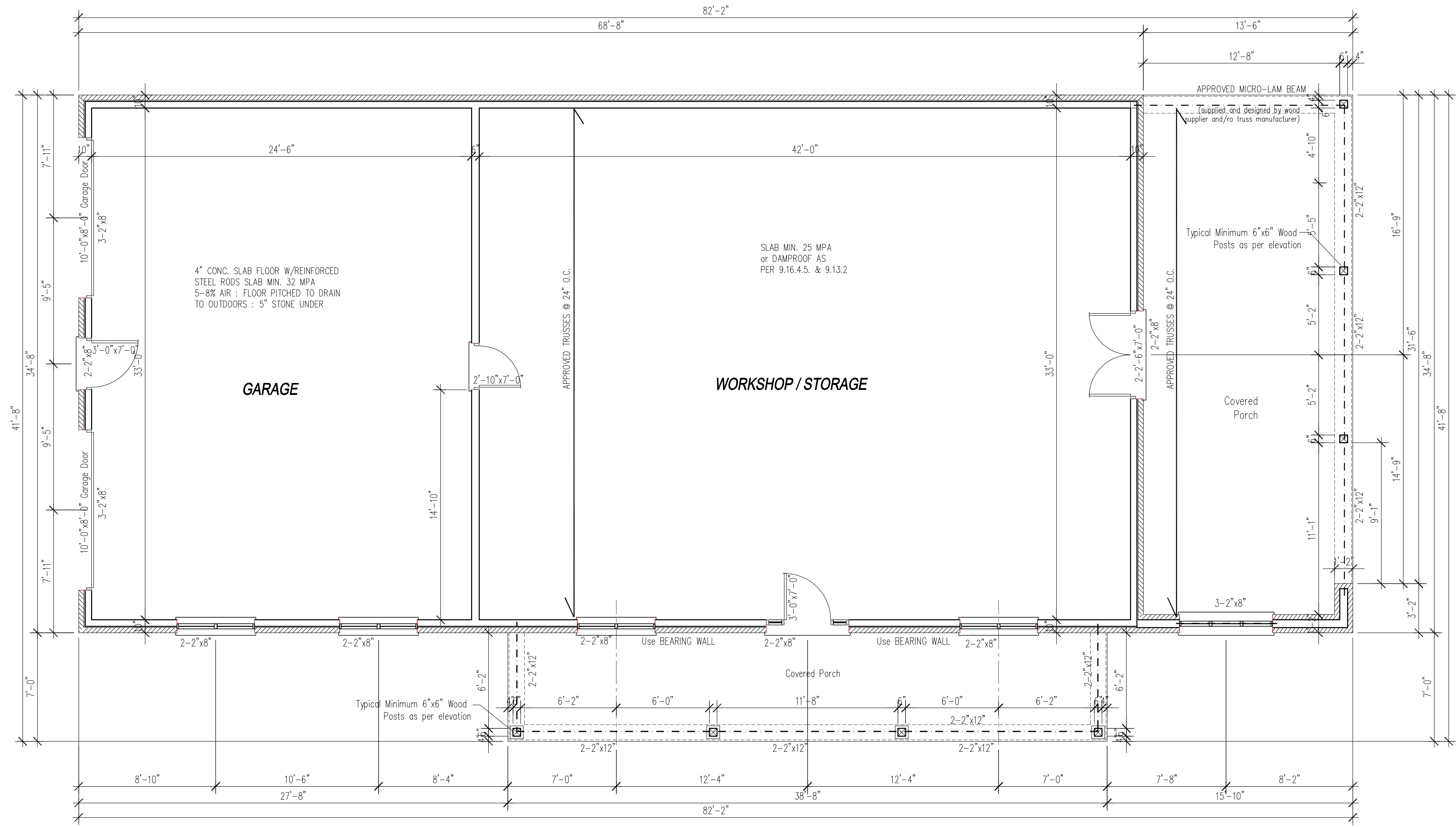
Construction between garage & dwelling units to be gasproof O.B.C. 9.10.9.16

Max. Span WOOD LINTEL SCHEDULE AS PER O.B.C.

LINTEL SIZE	ROOF and CEILING ONLY (0.6m)		ROOF and CEILING ONLY (4.9m)		ROOF, CEILING & 1 STOREY		ROOF, CEILING & 2 STOREYS	
	EXT. WALLS (1.5 kPa Snow Load)	INT. WALLS (0.5 kPa Snow Load)	EXT. WALLS (1.5 kPa Snow Load)	INT. WALLS (0.5 kPa Snow Load)	EXT. WALLS (1.5 kPa Snow Load)	INT. WALLS (0.5 kPa Snow Load)	EXT. WALLS (1.5 kPa Snow Load)	INT. WALLS (0.5 kPa Snow Load)
2 - 2" x 4"	7' - 3"	3' - 7"	3' - 0"	3' - 1"	2' - 5"	2' - 10"	2' - 1"	2' - 1"
2 - 2" x 6"	11' - 5"	9' - 8"	4' - 5"	4' - 6"	3' - 4"	4' - 1"	3' - 10"	3' - 5"
2 - 2" x 8"	15' - 1"	12' - 8"	6' - 7"	5' - 4"	5' - 5"	3' - 11"	5' - 0"	4' - 2"
2 - 2" x 10"	18' - 10"	16' - 5"	8' - 1"	6' - 7"	6' - 8"	4' - 7"	6' - 1"	4' - 2"
2 - 2" x 12"	21' - 10"	19' - 3"	9' - 4"	7' - 7"	7' - 9"	5' - 5"	6' - 11"	4' - 9"

Max. Span STEEL LINTEL SCHEDULE Masonry Veneer AS PER O.B.C.

Vert. Leg	Horiz. Leg	Thickness	4" Stone
3 1/2"	3 1/2"	1/4"	7' - 9"
4"	3 1/2"	1/4"	8' - 1"
4 7/8"	3 1/2"	1/4"	8' - 9"
4 7/8"	3 1/2"	5/16"	10' - 1"
4 7/8"	3 1/2"	3/8"	11' - 5"
4 7/8"	3 1/2"	1/2"	12' - 11"
4 7/8"	3 1/2"	3/4"	13' - 3"
5 7/8"	3 1/2"	1/2"	13' - 5"
5 7/8"	3 1/2"	3/8"	13' - 7"
7 1/8"	4"	3/8"	14' - 1"
7 1/8"	4"	1/2"	15' - 1"



Main Floor Plan
9'-0" Main Floor Ceiling Height

<p>PRESTIGE DESIGNS Tel: (905) 304-8340 Fax: (905) 304-8360</p>	<p>Drawn by: ROB MARINIC</p> <p>Scale: 1/4" = 1'-0"</p> <p>Date: December 2022</p> <p>Proj No.: Bruz3X</p> <p>Area: 1500 sq.ft.</p>	<p>Title: Storage Shed</p> <p>Description: Main Floor Plan</p>	<p>REGISTRATION INFORMATION</p> <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>Name: ROB MARINIC BON: 24456 Firm: PRESTIGE DESIGNS BON: 29621</p> <p>Signature: _____</p>	<p>Project: 63 Third Road East Hamilton, Ontario</p>
	<p>Signature: _____</p>			<p>Project: 63 Third Road East Hamilton, Ontario</p>
	<p>Signature: _____</p>			<p>Project: 63 Third Road East Hamilton, Ontario</p>
	<p>Signature: _____</p>			<p>Project: 63 Third Road East Hamilton, Ontario</p>

- Notes:**
- It is the Contractor's responsibility to:
 - use figured dimensions in preference to scaling
 - verify and check all dimensions prior to and during construction
 - verify and check the dimensions of dwelling at the job site prior to ordering trusses
 - determine locations of services

- General Notes:**
- All construction shall conform to O.B.C. and local authority having jurisdiction
 - Do not scale drawings. Contractor shall verify all dimensions prior to commencing construction
 - All wood members to be construction spruce No. 2 unless noted otherwise
 - Install double joists under all parallel partitions
 - Bridge at 4'-6" o.c.
 - Air and vapour barrier to conform to section 9.25.3 and 9.25.4 of O.B.C.
 - Smoke alarms to be interconnected as per 9.10.19 of O.B.C.
 - Carbon monoxide detectors as per 9.33.4 of O.B.C.
 - Mechanical Ventilation to conform to section 9.32.3 of O.B.C.
 - Resistance to forced entry to conform to section 9.6.8 of the O.B.C.
 - Direct vent induced draft fireplace as per 9.22 of O.B.C.
 - Any deviation from approved plan must be approved by local building department
 - Sizes of all beams and lintels must be confirmed upon final truss layout
 - All brick veneer angle iron lintels to be anchored at 24" o.c. to prevent twisting
 - Step underside of foundation in accordance with approved lot grading plan
 - Keep underside of footing minimum 4'-0" below grade at all times.
 - All floors with ceramic tile to be reinforced as per 9.30.6 of O.B.C.
 - All lighting and electrical to comply with 9.34 of O.B.C.
 - Range hoods to be vented the exterior c/w non-combustible piping.
 - Attic Ventilation to comply w/ 9.32 of O.B.C.
 - Headroom under ducts and beams min. 6'-5"
 - Provide minimum R-22 in interior garage wall as per O.B.C.
 - Provide minimum R-31 insulation in floor space over garage and ensure walls and ceiling on garage side adjacent to living space are to be drywalled and sealed (gas-proofed)
 - Every floor containing bedrooms must have at least one window with an unobstructed opening with an openable portion not less than 0.35 sq.m. (3.8 sq.ft.) with no dimension less than 380 mm (15") and a sill height no more than 1 m (3'-3") above finished floor.
 - For masonry veneer installation, provide continuous flashing and weepholes every 31" o.c. maximum
 - Reserved
 - Reserved

- Basement Plan:**
- Minimum 26"x8" Continuous strip footing
 - Cold room / Cellar to include vent to exterior
 - Slab minimum 25 MPa or dampproof as per 9.13.2.7. in O.B.C.
 - Dimensioned cutouts of garage door to be 8" below top of garage floor slab
 - Allow for rain water leader and weeping tile hook-up
 - Bearing stud wall are 2"x4" (or 2"x6") @ 16" O.C. 2"x4" (2"x6") sill plate on dampproof material on 14"x6" (16"x6") concrete footing (where required)
 - Cold Room door to be insulated
 - All footings to rest on undisturbed soil, rock or compacted granular fill (9.15.3 O.B.C.) and sono/ pier type (9.15.2.3 O.B.C.). Builder to provide designer with soil bearing pressure.
 - Reserved

- Main Floor Plan**
- Porch to have 5" Concrete slab with reinforced steel rods
 - Minimum clear garage height is 6'-7"
 - Garage to have 4" Conc. slab floor with reinforced steel rods. Slab minimum 25 MPa 5-8% Air. Floor pitched to drain to outdoors. Min 4" slope and 5" granular base.
 - Door and sill as per 9.10.13.15 (O.B.C.) self-closing door shall be fitting and weather-stripped to provide effective barrier against passage of gas and exhaust fumes.
 - Minimum parking space is 9'-11" x 19'-8"
 - Steps at porch and garage vary according to grading plan
 - Reserved
- Second Floor Plan:**
- Minimum 3.4 sq.ft. attic access insulated and weather-stripped as per 9.19.2.1 (O.B.C.) (no dimension less than 21 1/2")
 - All Railings are minimum 3'-0" height
 - Roof space to be vented to exterior by vent area of not less than 1/300 insulated ceiling area

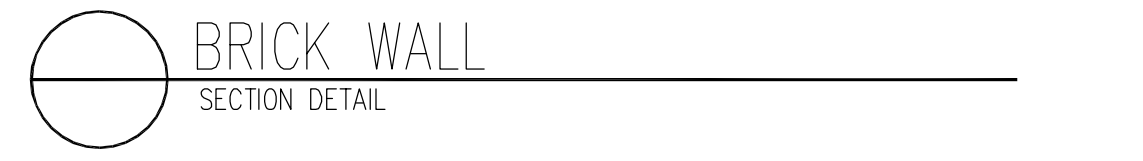
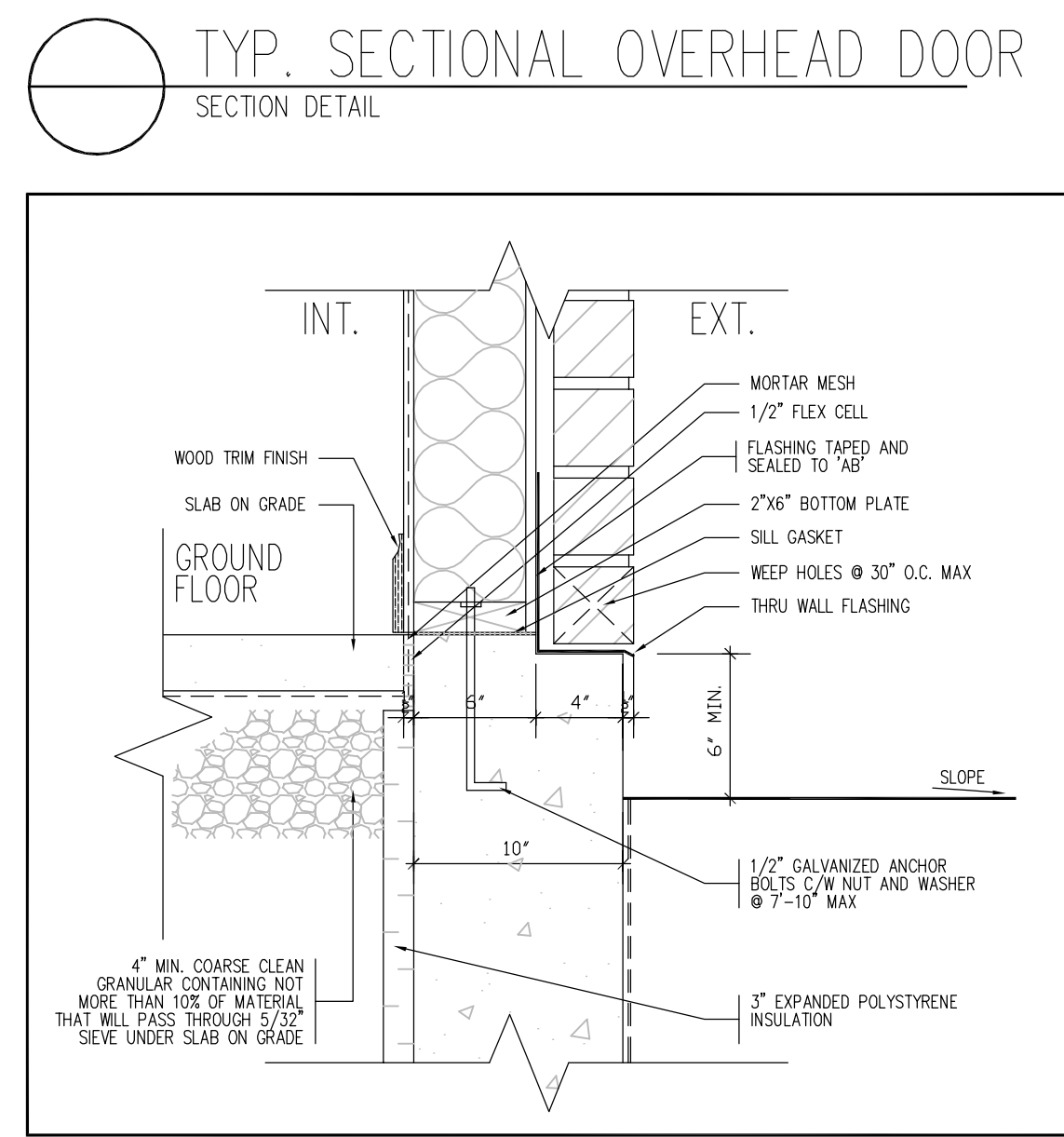
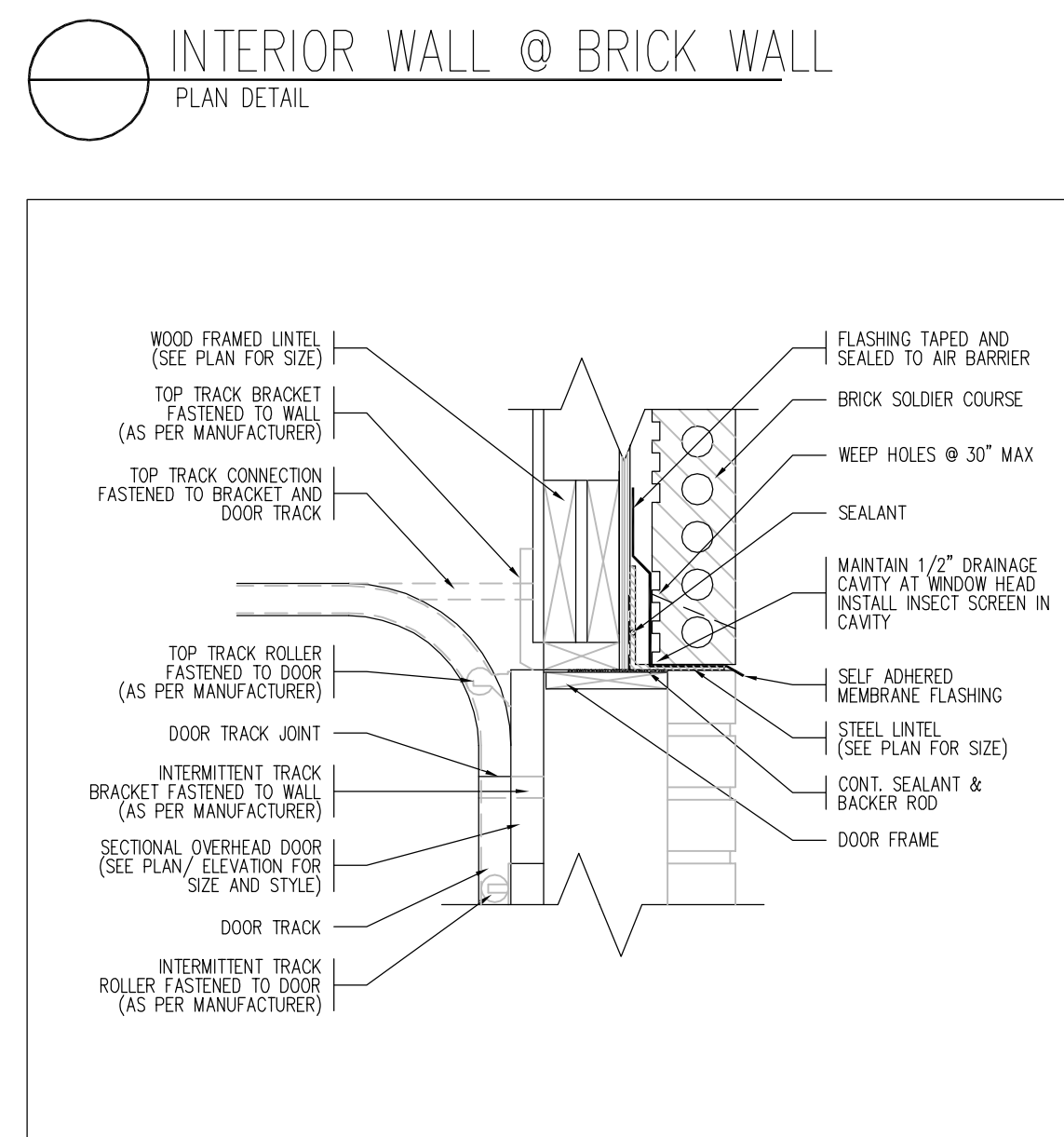
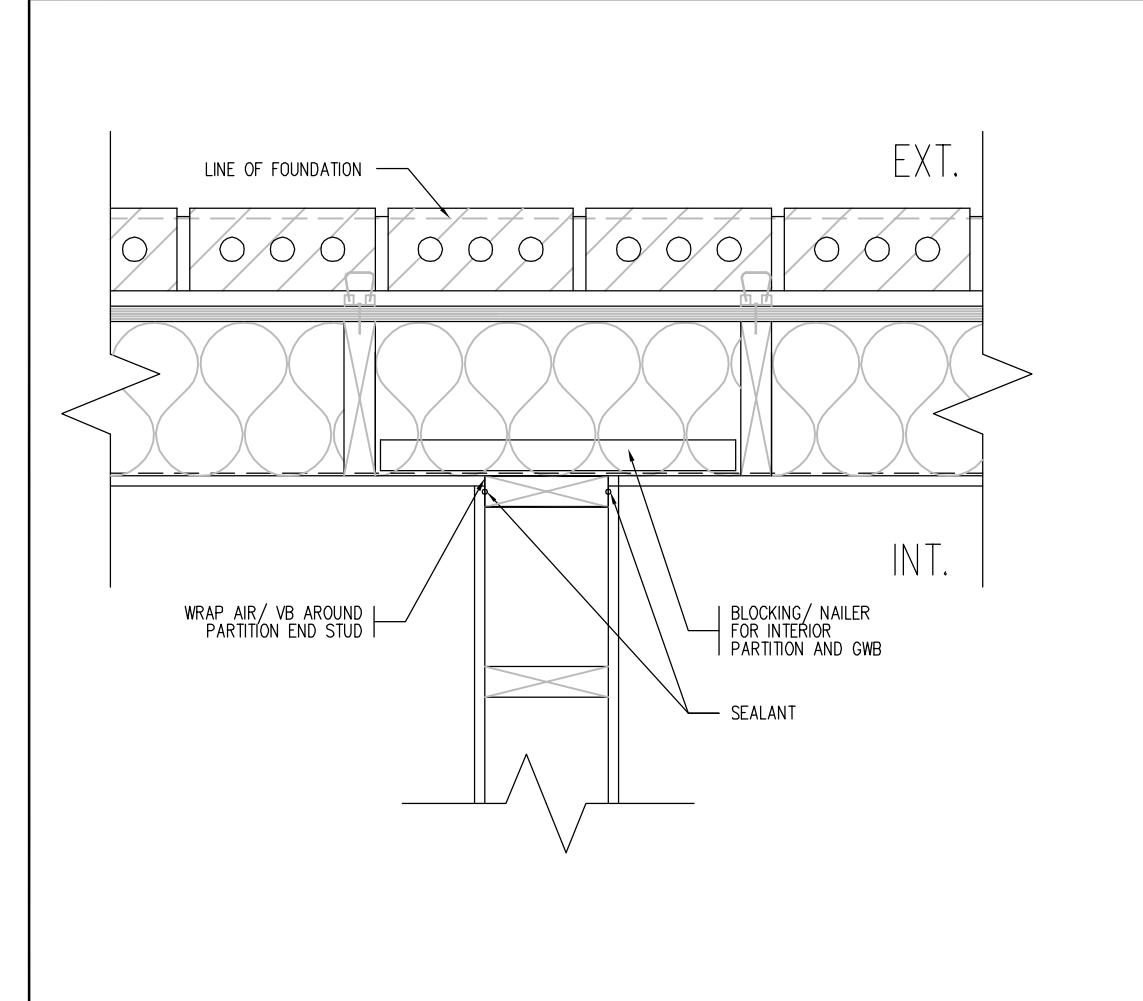
- Elevations:**
- Type 'B' gas vents must be installed with required clearance from combustible material
 - Roof leader shall be connected directly to storm sewer if required by local by-law
 - Where a hose bib is installed in a potable water system to supply a 1/2" or 3/4" garden hose, the hose bib shall contain integrated back siphonage preventer
 - See cross-sections for construction materials of dwelling
 - All siding to be as per 9.27 (O.B.C.)

- Exterior Insulation and finish system – synthetic stucco as per manufacturers specifications. EFS as per 9.28 of O.B.C.
 - Provide lighting at all entrances as per 9.34.2.1 of O.B.C.
 - Reserved
- Concrete/Foundation Notes:**
- Contractor shall check all dimensions on working drawings and report any discrepancies to Prestige Designs before proceeding with the work. Any changes, alterations or revisions must be reported to Prestige Designs before proceeding with the work.
 - All work to be performed in accordance with the construction safety act 1980 & subsequent amendments
 - Remove all topsoil, organic and loose fill material from building area before commencing construction
 - Proof roll existing fill material. Remove any loose or softened areas beneath slab on grade before placing granular fill.
 - All footings shall bear on undisturbed soil or compacted fill with a minimum soil bearing capacity and 3000 psf of O.B.C.
 - Approved granular fill under footings and floor slabs shall be compacted in 8" layers to 98% standard proctor maximum dry density.
 - All exterior footings shall be a minimum 4'-0" below finished exterior grade to protect footings from frost action
 - All Concrete work to conform to CSA standard A23
 - Reinforcing steel shall be deformed hi-bond hard grade with a minimum yield strength of 58,000 p.s.i.
 - Basement windows over 1200mm (3'-11") wide, reinforce with 10M (No. 3) reinforcing rods extending 300mm (12") each side.
 - Bluminous dampproofing and continuous drainage layer on poured concrete walls
 - Concrete walls are 250mm (10") thick unless noted otherwise.
 - Top of all Foundation walls to be min 150mm (6") at exterior masonry or min 200mm (8") at exterior siding above final grade
 - Concrete for slabs on grade shall have a minimum 28 day compressive strength of 4,000 psi.
 - All concrete forms to be wet thoroughly before pouring concrete.
 - Do not add water to concrete. If higher slump concrete is desired, concrete supplier shall design and supply accordingly
 - Water curing of concrete is recommended
 - Use a minimum of 8" compacted layer of 3/4" clear stone under all ground-slabs.
 - Any necessary precautions shall be taken to ensure that existing footings are not disturbed or undermined in any way during excavation
 - The following minimum concrete covers for reinforcing steel shall be provided: Footings 3"; piers and walls 1 1/2" unless noted otherwise
 - Spacing of control joints in concrete slabs shall not exceed 20 feet o.c.
 - Reserved

- Roof Construction:**
- Minimum 3.4 sq.ft. attic access insulated and weather-stripped as per 9.19.2.1 (O.B.C.) (no dimension less than 21 1/2")
 - Provide eave protection from the edge of roof overhanging to not less than 900mm (2'-11") up to the roof slope to a min. 300mm (11 3/4") inside interface of exterior wall and composed of No.15 Asphalt saturated felt laid in 2 plies lapped 480mm (18 7/8") and cemented together with top cement (for pitches less than 8/12)
 - Starter strip No. 85: 4.2 kg/m (85 lb) roll roofing or roof shingles of same weight and quality as used on roof, laid with tabs facing up.
 - Hip and valley rafters to be 50mm (2") deeper than common rafters
 - Roof sheathing shall conform to 9.23.15 (O.B.C.)
 - Roof edge supports to be 38mmx38mm (2"x2") blocking minimum.
 - Wood trusses shall conform to 9.23.13.11 (O.B.C.)
 - Provide 38mmx89mm (2"x4") wall ties across joints or bottom truss chord min. 1220mm (4'-0") o.c. for roof slopes 4/12 or greater.
 - Flt Entry Roof/Terrace: Provide sloped roof to side scupper drain. Install glue down single ply non-slip membrane on 3/25" RGS plywood on sloped roof joists. Wrap membrane up and over parapet wall under pre-fab. alum cap. Install membrane under siding 12" min. fasten to sheathing & seal
- Trusses:**
- Truss Engineer is responsible for adequate design of truss to bearing plate connection which allows for horizontal movement at designated locations. Anchors to accept all horizontal loads, bottom chord of trusses to include a live load of 10 lbs/sq.ft.

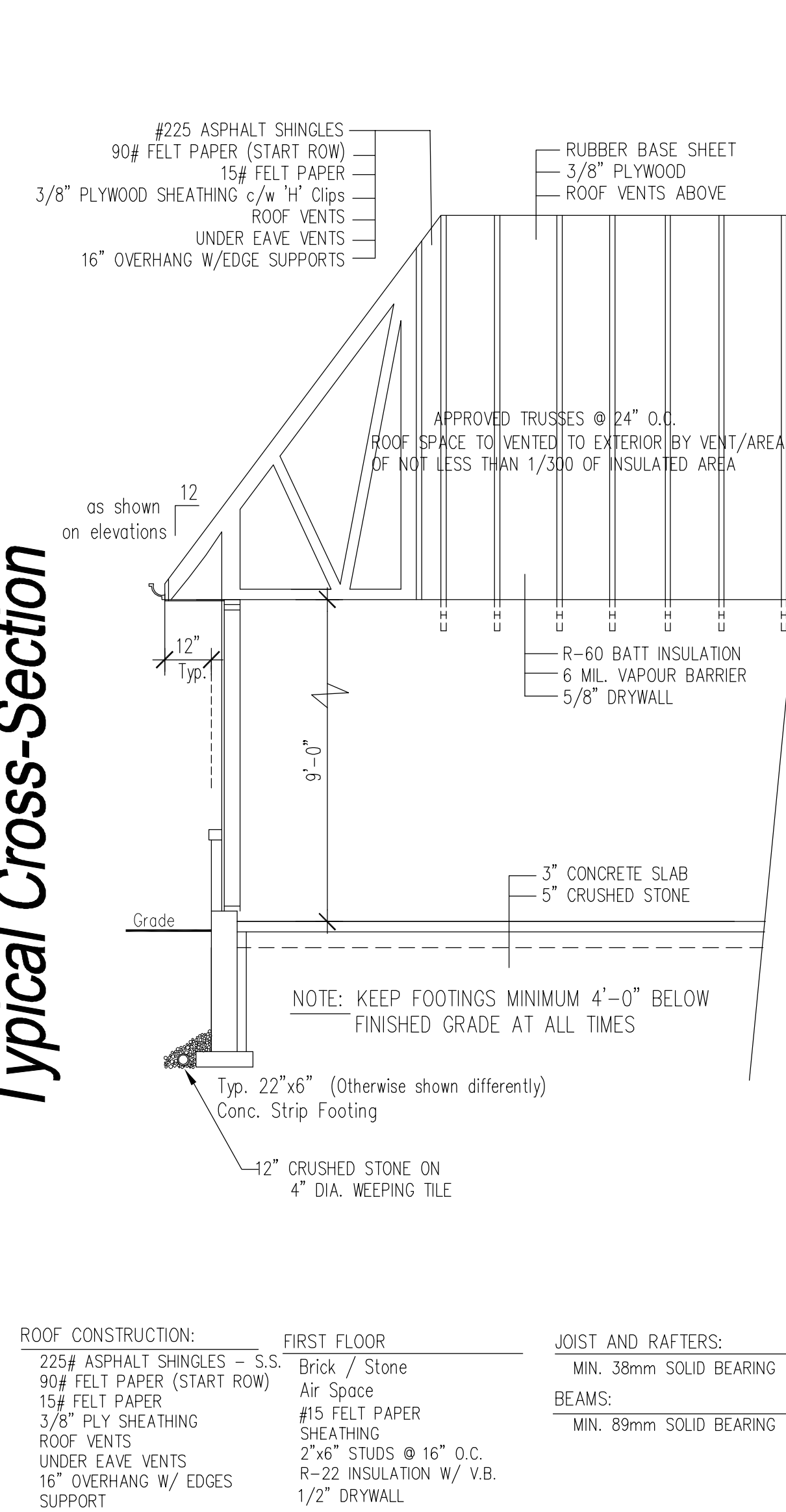
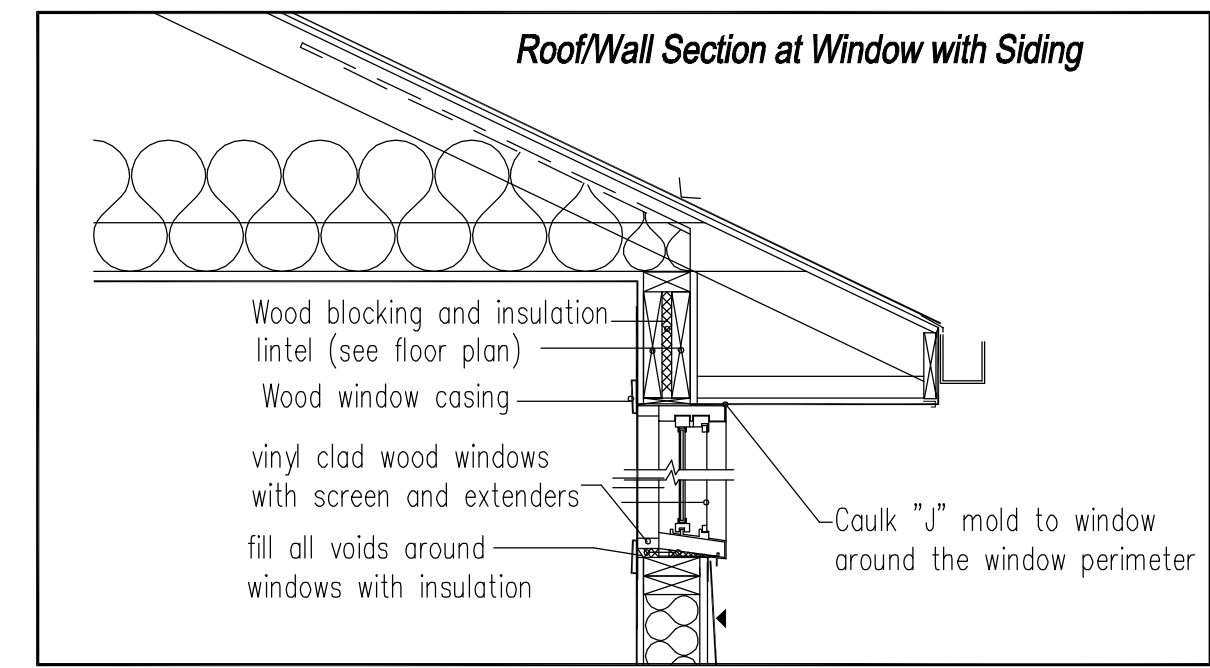
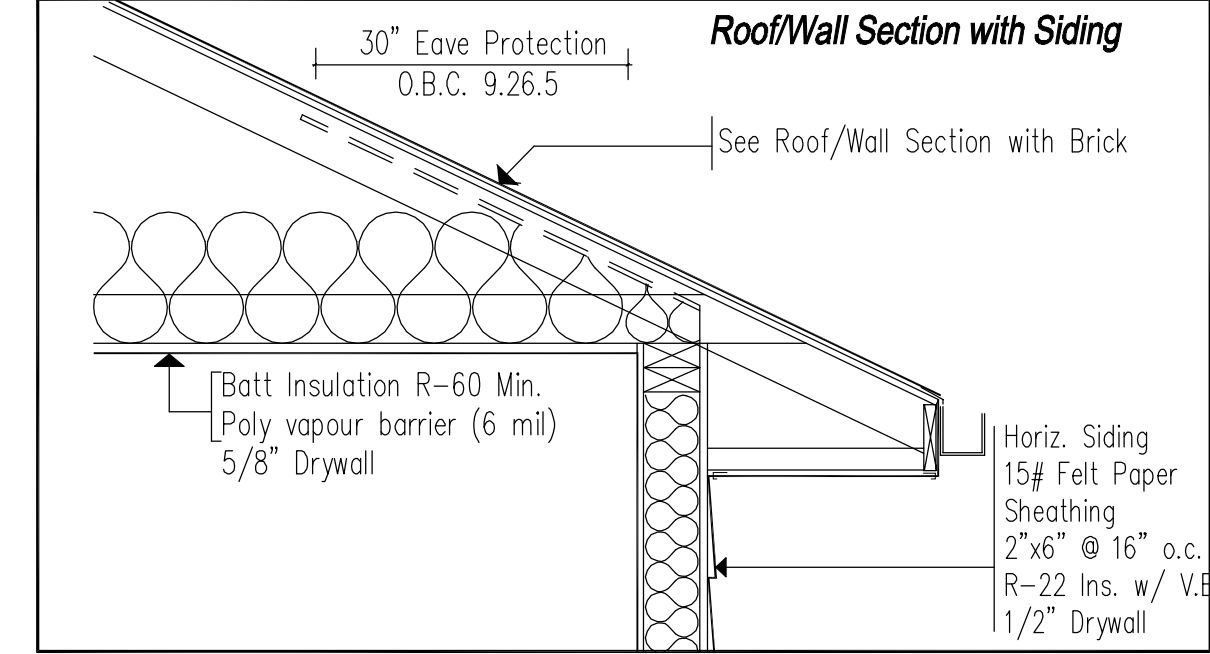
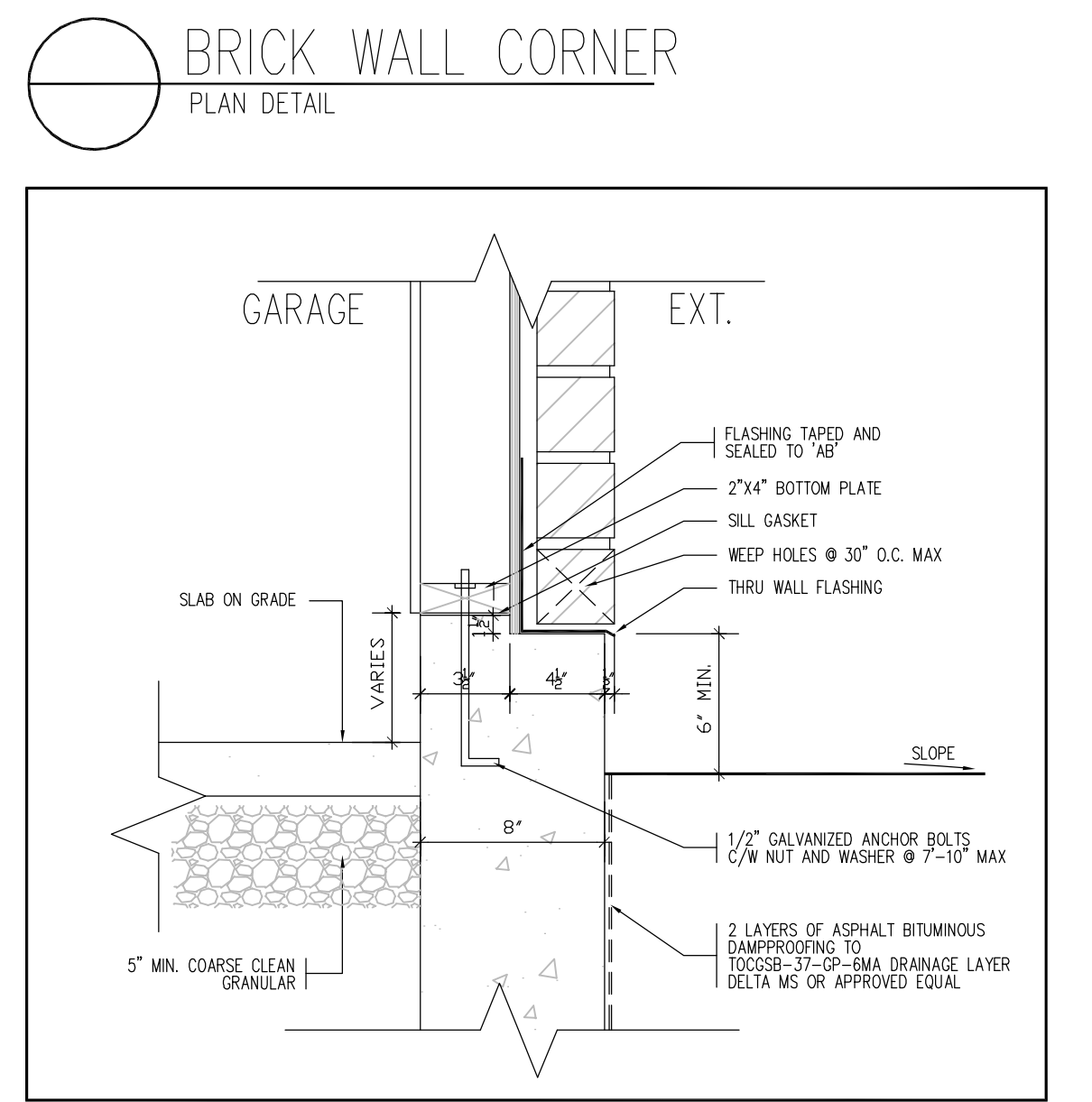
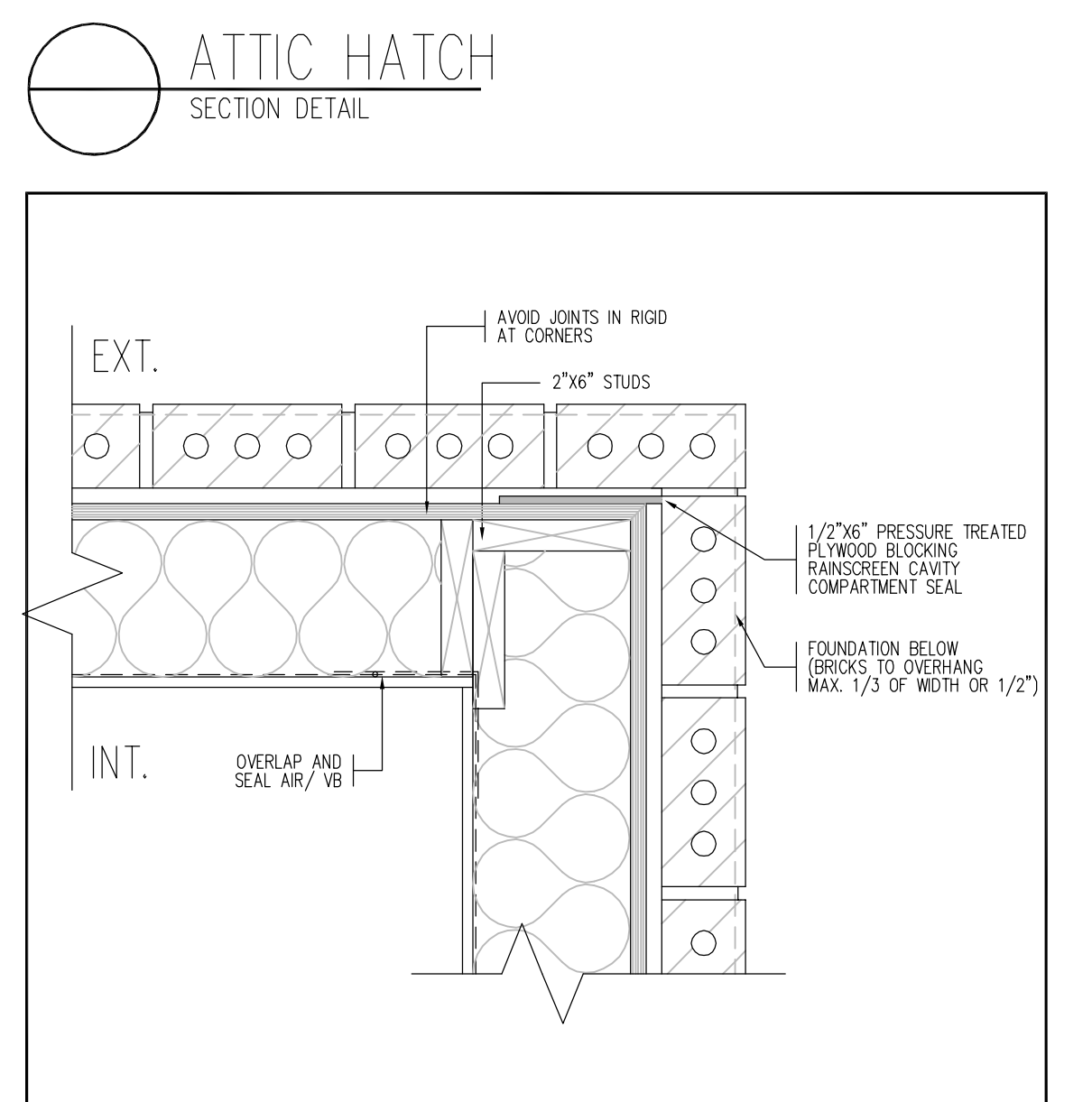
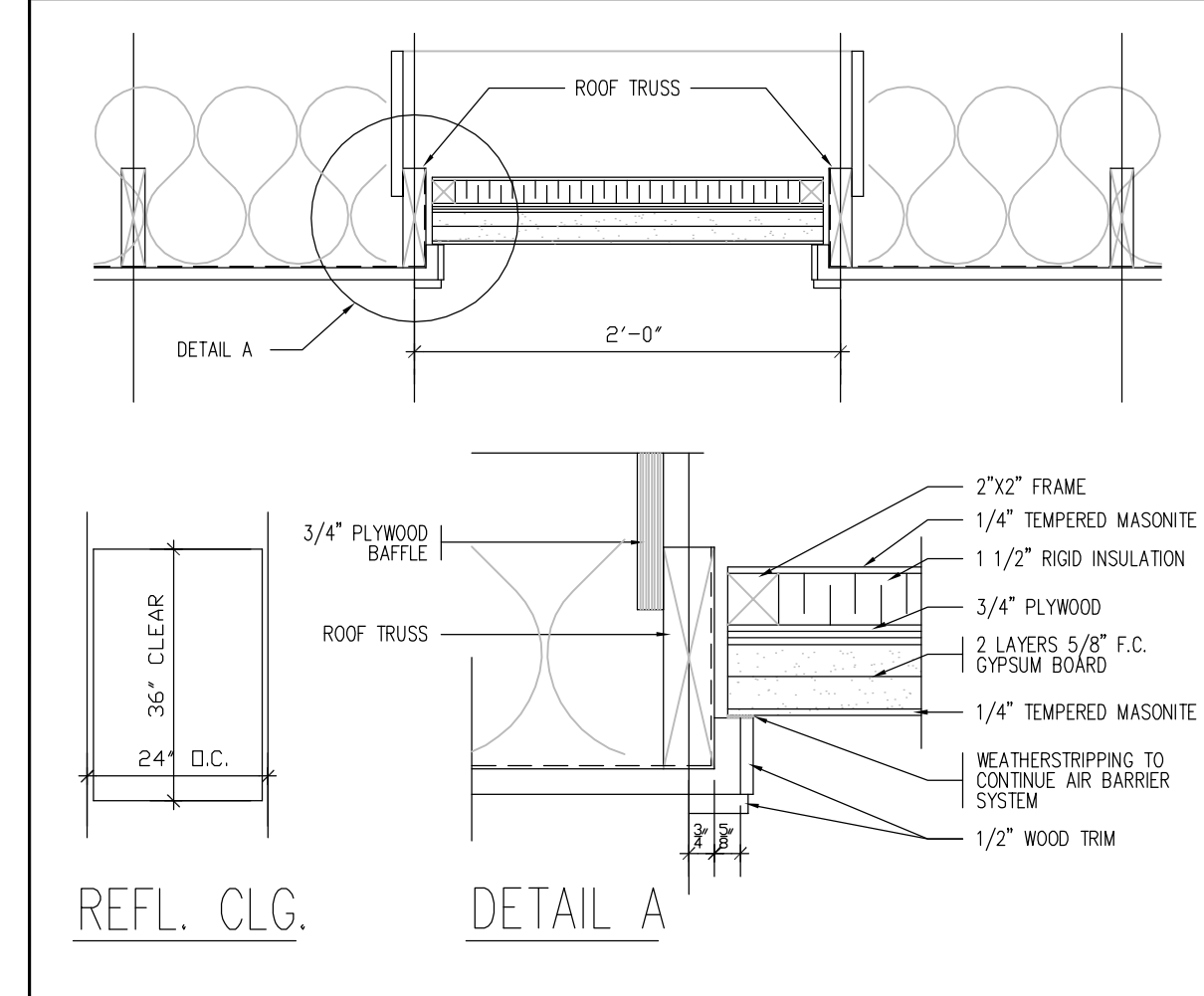
- Stairs and Balconies:**
- Interior stair dimensions:
 - Maximum Rise – 200 mm (7 7/8")
 - Minimum Run – 250 mm (10")
 - Minimum stair headroom – 1950mm (6'-8")
 - Minimum stair width – 860mm (2'-10")
 - Exterior stair dimensions:
 - Maximum Rise – 200 mm (7 7/8")
 - Minimum Run – 250 mm (10")
 - Minimum exterior stair headroom – 2050mm (6'-9")
 - Minimum stair width – 915mm (3'-0")
 - Exterior wood stairs to be supported on concrete base or apron min. 25mm (1") above finished grade.
 - Foundations required if exterior steps have more the 2 treads and 2 risers.
 - See Wood deck detail sheet
 - Handrail:
 - 800mm (31") above stair
 - min. 800mm (31") @ intermediate landings
 - 900mm (36") at main landings
 - landing to be the same width as stairs

- Balcony Guards:
 - Required on balcony and porch if over 600mm (23 5/8") above finished grade.
 - Minimum guard height 1070mm (3'-6")
 - Guards to comply to OBC 9.8.8 (i)
 - Max. 100mm (4") space between vertical pickets with no horizontal members between 100mm(4") and 915mm(36") above balcony floor
- Flashing:**
 - Flashing is required under all jointed sills and overhangs of windows and doors in exterior walls if distance below eave is more than 1/4 roof overhang.
 - Flashing required at intersections of roofs and wall, valley and over parapet walls
 - Flashing between roof shingles and wall siding, 0.8mm (20GA) Galv. Metal 75mm (3") up behind sheathing and extend 75mm (3") horizontally
- Masonry Veneer Walls (9.20. O.B.C.)**
 - Min. 70mm (2 3/4") Thickness
 - up to 11m (36'-11") Max height
 - Ties to be corrosion resistant, corrugated 7.6mm (22GA), 22mm (7/8") wide spaced 400mm (16") o/c horizontal and 600mm (24") vertical nailed to studs through the sheathing
 - Provide 25mm (1") air space between veneer and wall sheathing
 - Drain bottom of space with weep holes at 800mm (2'-7") o/c in starter course min. 150mm (6") above finished grade, 10mm (3/8") dia. holes.
 - Provide 6 mil. polyethylene flashing under starter course under weep holes and 150mm (6") up the wall, under sheathing paper
 - Max. corbel over foundation wall 13mm (1/2")
- Wood Framing Notes:**
 - Steel beam and lintels shall have 3 1/2" minimum end bearing on masonry and 2 1/2" minimum bearing on steel unless indicated otherwise.
 - All beams cantilevered over a column or other support shall have a minimum of 2-3/8" thick stiffener plates each side of web unless indicated otherwise.
 - Column base plates and beam bearing plates shall be grouted with 1 1/2" non-shrink grout.
 - Shop drawings of structural steel shall be submitted to the designer for review before fabrication.
 - Welding of structural steel shall conform to the requirements of CSA standard W59 and shall be undertaken by a fabricator fully approved by the Canadian Welding Bureau to the requirements of CSA standard W47.
 - Bolted connections shall use A325 bolts, using bearing type connections.
 - Prefabricated wood trusses shall be designed in accordance with the details and design loads on the architectural drawings and/or O.B.C. requirements. Shop drawings of the roof trusses including layout of the trusses, bridging, bracing and bearing details (including hold-down clips) shall bear the stamp of registered professional engineer of the province of Ontario and shall be submitted to the builder and designer for review before fabrication.
 - All timber for wood trusses shall be kiln dried and well seasoned in order to prevent possible distortion or deformation of the trusses.
 - Nailing requirements (as per O.B.C.) shall be as follows:
 - vertical studs to bottom plates: 4-3" ardux nails
 - vertical studs to top plates: 4-3 1/2" ardux nails
 - roof trusses to plates: to be designed by truss engineer
 - wind bracing (per truss): to be designed by truss engineer
 - bridging (per truss): to be designed by truss engineer
 - lintels: 3 1/2" ardux nails at 12" o.c. horizontal and 4" o.c. vertical, staggered
 - wall sheathing 1 1/2" ardux nails at 8" o.c. to studs and plates
 - The general contractor shall take precautions to not overload the structure during construction.
 - All framing lumber to O.B.C. standards. Sizes of joints, lintels, etc. indicated on drawings specified on Plan No. 2 (unless otherwise noted)
 - Lateral support – (wall supporting joists) – anchor sill plates at 2400mm (7'-10") o.c. w/ 13mm (1/2") diameter anchor bolts embedded 100mm (4") into masonry or anchored every 4th joint not resting on a plate with 4.8mmx38mm (3/16" x 1 1/2") steel joist anchors. Not required if foundation wall supports solid masonry as per 9.20.10 O.B.C.
 - Lateral support – (walls parallel to joists) – bend 4.8mmx38mm (3/16" x 1 1/2") steel strap 75mm (3") into masonry and fix to 3 parallel joists or fix sill plate (anchored) to 3 rigidly connected floor joists at 2400mm (7'-10") o.c. maximum
 - All joists to have bridging over interior bearing walls and beams
 - Minimum sill plate 38mmx89mm (2"x4")
 - Sill plate anchors to be minimum 13mm (1/2") diameter bolts embedded min. 100mm (4") into foundation walls, maximum spacing 2400mm(7'-10") o.c. as per 9.23.7 O.B.C.
 - Header joists to be doubled if over 1200mm (3'-11") and not over 3200mm (10'-6")
 - Trimmer joists to be double if over 800 mm (2'-7") and not over 2000mm (6'-7")
 - Space floor joists at 300mm (12") o.c. for cantilevers
 - Space floor joists at 300mm (12") o.c. under kitchen appliances
 - Double joists under all parallel partitions
 - Beams or walls of sufficient strength under all parallel bearing partitions.
 - Min. 38mm (1 1/2") end bearing required for support for joists ceiling, roof joists and rafters.
 - Provide Eng. metal-joist hangers for support of wood beams and joists framing into sides of wood beams, trimmers and headers when required.
 - Wood stud (interior) partitions to be made up of 38mmx89mm (2"x4") spr. 400mm (16") o.c. (otherwise shown differently) single bottom and double top plates.



Max. Span WOOD LINTEL SCHEDULE AS PER O.B.C.

LINTEL SIZE	ROOF AND CEILING ONLY (0.6m)		ROOF AND CEILING ONLY (4.9m)		ROOF, CEILING & 1 STOREY		ROOF, CEILING & 2 STOREYS	
	EXT. WALLS (9.5 kPa Snow Load)	INTERIOR BRG. WALLS	EXT. WALLS (9.5 kPa Snow Load)	INTERIOR BRG. WALLS	EXT. WALLS (9.5 kPa Snow Load)	INTERIOR BRG. WALLS	EXT. WALLS (9.5 kPa Snow Load)	INTERIOR BRG. WALLS
2 - 2" x 4"	7' - 3"	6' - 1"	3' - 7"	3' - 0"	3' - 1"	2' - 5"	2' - 10"	2' - 1"
2 - 2" x 6"	11' - 5"	9' - 8"	5' - 5"	4' - 5"	3' - 4"	3' - 4"	4' - 1"	2' - 10"
2 - 2" x 8"	15' - 1"	12' - 8"	6' - 7"	5' - 4"	5' - 5"	3' - 11"	5' - 0"	3' - 5"
2 - 2" x 10"	18' - 10"	16' - 3"	8' - 1"	6' - 7"	6' - 8"	4' - 7"	6' - 1"	4' - 2"
2 - 2" x 12"	21' - 10"	19' - 3"	9' - 4"	7' - 7"	7' - 9"	5' - 5"	6' - 11"	4' - 9"



As per Table 2.1.1.2.A

Category	R-Value
Ceiling with Attic space	R60
Ceiling without Attic space	R31
Exposed Floor	R31
Walls above Grade Min.	R22
Basement Walls	R20ci

All other components to follow Energy Efficiency Design Summary Form.

Space Heating Equip. Min. AFUE: **96%**

HRV Min. Efficiency: **75%**

Domestic Hot Water Heater: **0.80**

PRESTIGE DESIGNS
Tel: (905) 304-8340 Fax: (905) 304-8380

Dwn by: **ROB MARINIC**
Scale: 1/4" = 1'-0"

Date: **December 2022**
Proj. No.: **Bruz3X**
Area: 1500 sq.ft.

Title: **Storage Shed**
Description: **Typical Notes/Details**

REGISTRATION INFORMATION
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
Name: **ROB MARINIC** BON: 24456
Firm: **PRESTIGE DESIGNS** BON: 29621

Project: **63 Third Road East Hamilton, Ontario**

Signature: _____

A4 of 4



89

87

79

67

3rd Rd E

3rd Rd E

100 ft



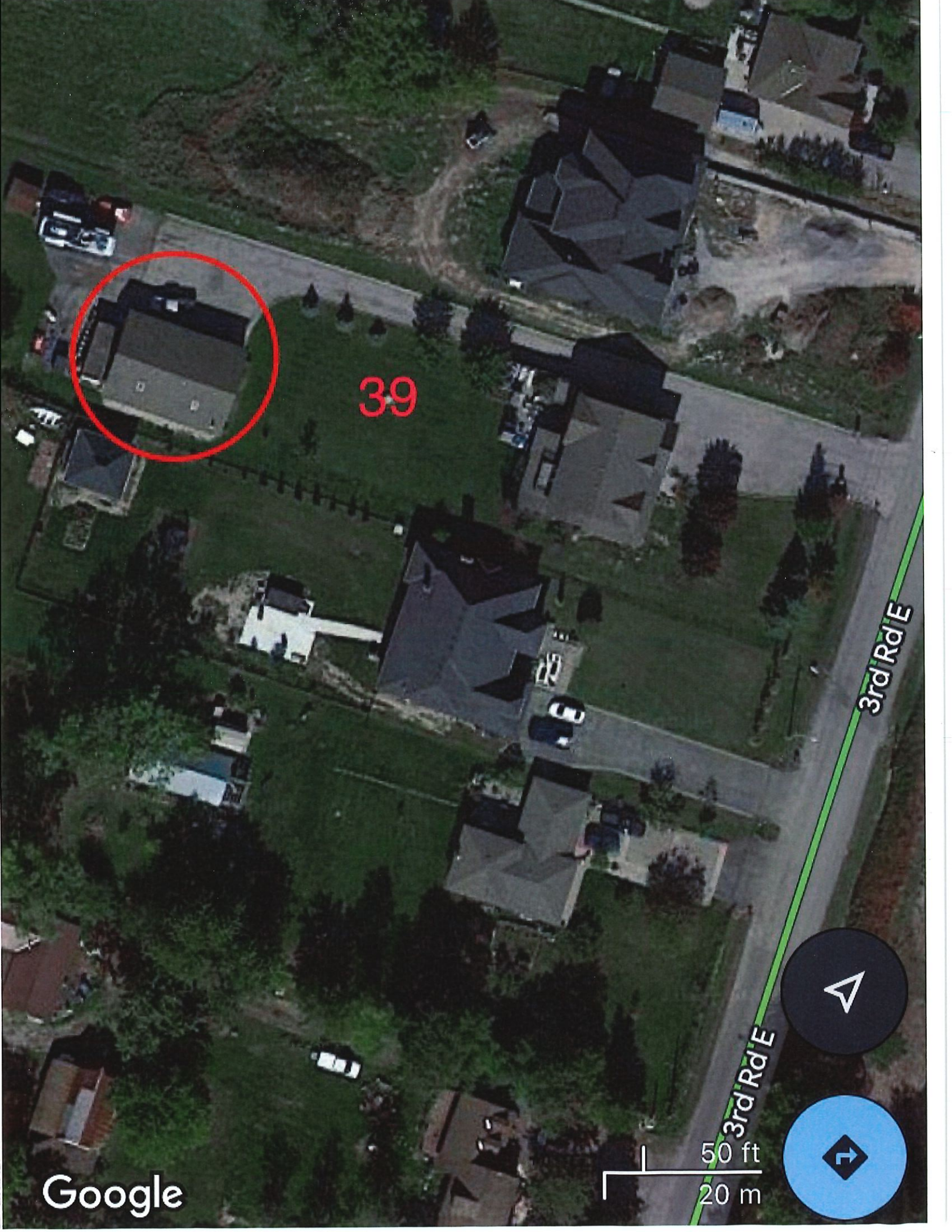
29



105



66



39

3rd Rd E

3rd Rd E

Google

50 ft
20 m





Planning and Economic Development Department
 Building Division
 71 Main Street West - 3rd Floor
 Hamilton, Ontario L8P 4Y5
 905-546-2720
 Email: building@hamilton.ca

For Inspections Please Call:
 905-546-2424 ext. 7777

Hamilton

BUILDING PERMIT

PERMIT NO. 23 109955 00 R9
63 THIRD RD E , STONEY CREEK
CON 8 PT LOT 19 SLT SC
 Part 9 - Residential - Single Family Dwelling
 Roll Number: 251800381059600000 Ward 09

This Permit is issued to:

(APPLICANT)
JASON BRUZZESE
 63 THIRD ROAD E
 STONEY CREEK , ON L8J 3J5
 Primary: (905) 865-9050

(OWNER)
JASON BRUZZESE
 63 THIRD ROAD E
 STONEY CREEK , ON L8J 3J5
 Primary: (905) 865-9050

(CONTRACTOR)
 TO BE DETERMINED

Description of Work:

To construct a 1-storey, 286m² single family dwelling. (Custom - 4 Bedroom)
 To construct a 23.9m² front covered porch and a 52.87m² rear covered porch for the single family dwelling.
 To install a 32mm water service line (cistern connection).

Notes and Conditions:

Please call for inspections at the construction stages indicated on the attached letter. Where a contractor is being used for this work, a contractor's licence is required from the Parking and By-Law Services Division.
 SB-12 Prescriptive Compliance Package "A1".
 Radon Gas Mitigation is required. Option 2 as detailed in the attached brochure has been selected.
 A separate permit is required to finish the basement.
 Sump pump is required to be installed and shall discharge to grade.
 Subject to Demolition Agreement (Instrument No. WE1683176).

Zoning Data: Front Yard 10m Rear Yard 10 m Side Yard 3 m Zoning A1

REVIEWED BY: Evan Inrig
 Zoning

Evan Inrig
 Building

NOTICE

PLANS AND DOCUMENTS

The Plans and documents, on the basis of which this Permit was issued, shall be kept on site.

REVOCACTION

This permit may be revoked if it was issued on the basis of mistaken or false information or in error, or where the construction has been substantially suspended or discontinued for a period in excess of one year. This permit will be deemed to have lapsed, and will be revoked if construction has not commenced within six months of the date of issue.

CONSTRUCTION

All construction proposed and authorized, hereto, shall, in all respects, conform with the plans submitted and reviewed, the provisions of the Building Code Act and the Ontario Building Code, as amended, the Bylaws of the City of Hamilton and any other applicable law. It is the responsibility of the permit holder to ensure that the work authorized by this permit is carried out in accordance with the requirements set out, hereto.

ISSUED BY: Evan Inrig
 FOR CHIEF BUILDING OFFICIAL

DATE ISSUED: July 4, 2023

CONSTRUCTION VALUE: \$1,000,000.00



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Registered Owners(s)			
Applicant(s)			Phone:
			E-mail:
Agent or Solicitor			Phone:
			E-mail:

1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	63 THIRD ROAD EAST. STONEY CREEK.		
Assessment Roll Number	00381059600		
Former Municipality	Stoney Creek.		
Lot 19	Concession	8	
Registered Plan Number	Lot(s)		
Reference Plan Number (s)	Part(s)		

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

New construction of 289.77m² accessory building.
6m. high.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Extra space required for personal workshop & storage.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
40.54 m	196.64 m	7971.78 m ²	7 m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SFD	19.94m	167.7m	20.85m/8.59m	2013
Garage	18.67m	170.56m	1m / 34.04m	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Accessory BLD.	66.47m	105.13	25.96 / 1.88m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
SFD	94m ²	/	1	5.2m
Garage	40.7m ²	/	1	3.5m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Accessory BLD.	289.77m ²	/	1	6m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

cistern

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) Septic system

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

single family dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

single family dwelling, farm land

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

August 26, 2022

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

single family dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

single family dwelling

7.4 Length of time the existing uses of the subject property have continued:

60 years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): AGRICULTURAL

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? A1

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No *N/A*

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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