

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-23:134	SUBJECT PROPERTY:	548 MARY STREET, HAMILTON
ZONE:	"D" (Urban Protected Residential – One- and Two-Family Dwellings and Etc.)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended 94-39

APPLICANTS: **Owner:** SYED KAMAL
 Agent: SYED ALI SHABIB

The following variances are requested:

1. A minimum lot width of 9.75 m shall be provided instead of the minimum required lot width of 12.0m;
2. The minimum landscaped area provided within the front yard shall be 42.15% instead of the minimum required front yard landscaped area of 50%.

PURPOSE & EFFECT: So as to permit the construction of a Single-Family Dwelling with a Secondary Dwelling Unit in the basement notwithstanding that:

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, September 7, 2023
TIME:	9:25 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:134, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: August 22, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

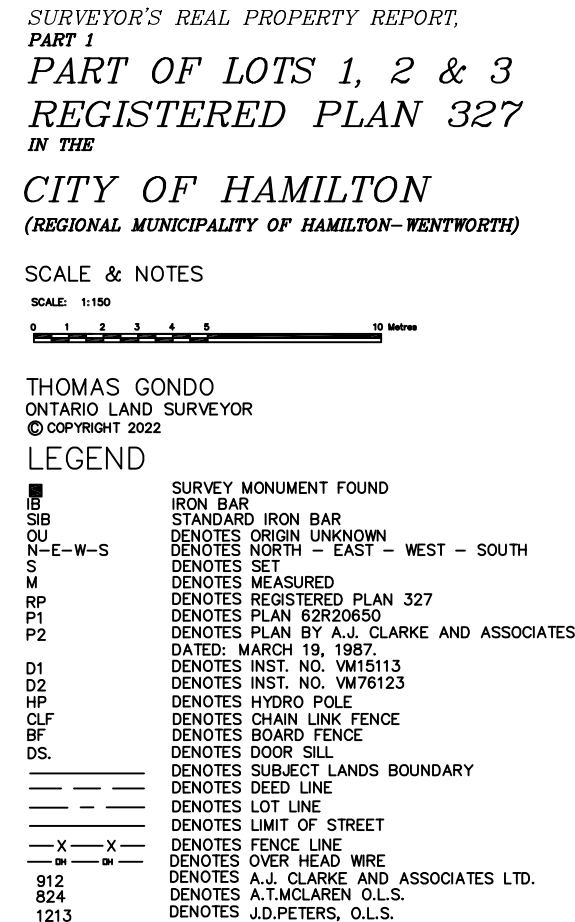
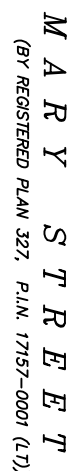
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY
LIMIT OF MARY STREET HAVING A BEARING OF N16°19'15"E
AS SHOWN ON PLAN 62R20650.

BENCH MARK
ELEVATIONS ARE GEODETIC AND ARE REFERED TO A COSINE BENCHMARK
No. 0011965U667 HAVING AN ELEVATION OF 81.966 Metres.

THIS PLAN WAS SIGNED WITH A SCANNED SIGNATURE AS A RESULT OF THE
EMERGENCY ORDER RELATED TO THE COVID-19 PANDEMIC

PART 2 – SURVEY REPORT

REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:

- THE SUBJECT PROPERTY IS SUBJECT TO A RIGHT OF WAY AS IN INST. NO. VM248438
- THERE WERE NO REGISTERED EASEMENTS LISTED ON THE PARCEL REGISTER FOUND AT THE LAND REGISTRY OFFICE

REGISTERED EASEMENTS AND/OR RIGHT OF WAYS;

- THERE WERE NO BOUNDARY FEATURES OBSERVED TO SUGGEST AN EASEMENT.

COMPLIANCE WITH MUNICIPAL BY-LAWS

- COMPLIANCE WITH MUNICIPAL BY-LAWS**
 - THE PLAN DOES NOT CERTIFY ZONING COMPLIANCE

OTHERS

- THE FENCES ARE NOT ALWAYS ON THE PROPERTY LINES
- THE FRAME HOUSE ON THE SUBJECT PROPERTY IS ENCRANCHING THE SOUTH LIMIT OF RIGHT OF WAY AS SHOWN ON THE PLAN

THIS SURVEY IS PREPARED EXCLUSIVELY FOR 1000012901 ONTARIO INC. AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHERS.

SURVEYOR'S CERTIFICATE

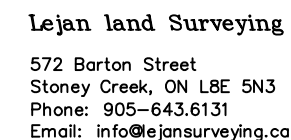
I CERTIFY THAT

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,
THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON NOVEMBER 07, 2022.

DATE: NOVEMBER 15, 2022.

D:\3S Vector\Jobs\Thomas.jpg

THOMAS GONDO
ONTARIO LAND SURVEYOR



DWN BY: AS

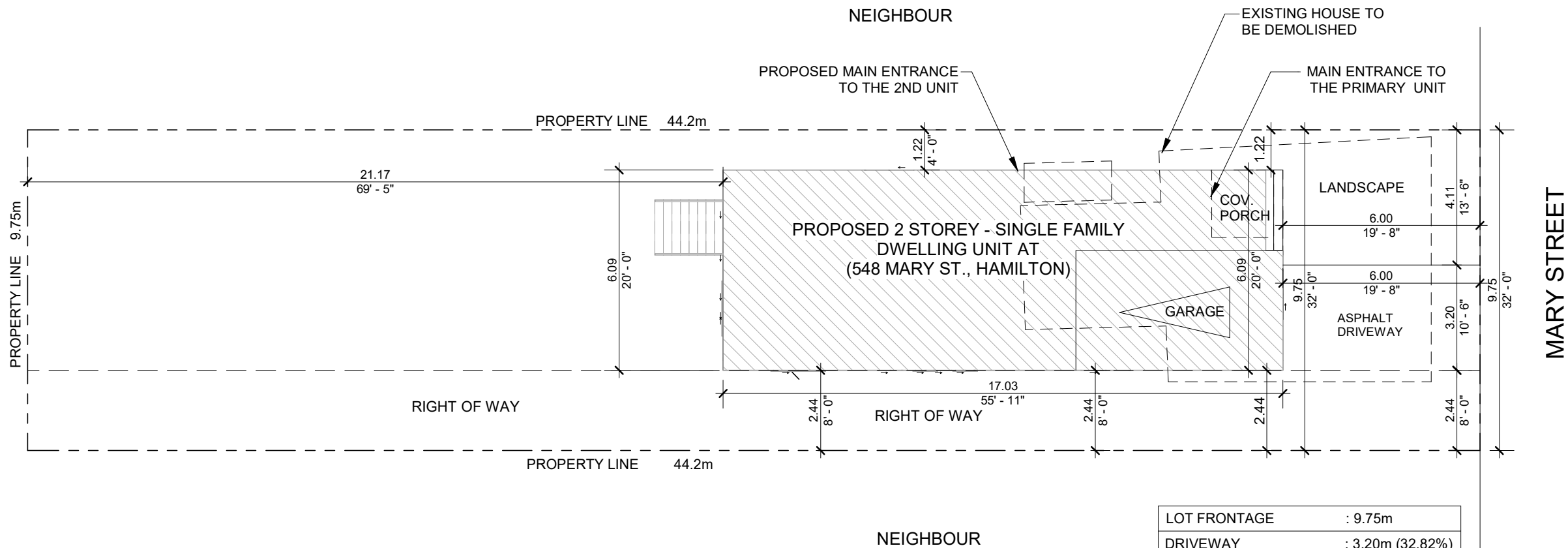
CHK BY: TG

JOB No. 22-8067

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-36778



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)



1 SITE PLAN
1 : 150

- LOT AREA -	
Description	Area
LOT AREA	430.95 m ²

- LOT COVERAGE -		
DESCRIPTION	Area	COVERAGE
COVERED AREA	105.71 m ²	25%
OPEN AREA	325.24 m ²	75%
LOT AREA	430.95 m ²	

LEVEL	PROPOSED GFA
1ST FLOOR LVL	832.00 ft ²
2ND FLOOR LVL	1099.69 ft ²
GRAND TOTAL GFA	1931.69 ft ²

- 2ND UNIT AREA -	
UNIT	AREA
2ND UNIT	746.64 ft ²

LOT FRONTAGE	: 9.75m
DRIVEWAY	: 3.20m (32.82%)
RIGHT OF WAY	: 2.44m (25.03%)
LANDSCAPE	: 4.11m (42.15%)

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN ONTARIO BUILDING CODE TO BE A DESIGNER.

SYED ALI SHABIB		119560
NAME	SIGNATURE	BCIN
DATE	NO	DESCRIPTION
19 DEC 2022	1	ISSUED FOR PERMIT

FOR GENERAL NOTES, REFER TO SPECIFICATIONS MANUAL. DO NOT SCALE DRAWING. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO START OF ANY WORK AND MUST NOTIFY THE ARCHITECT/DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFIRM TO ALL APPLICABLE CODES AND BY-LAWS. CONFIDENTIAL NOTICE: ALL DRAWINGS & INFORMATION DISCLOSED HEREIN ARE THE PROPERTY OF THE MAPLE DESIGN & BUILD INC. AND THEY CANNOT BE REPRODUCED OR SHARED WITHOUT WRITTEN CONSENT OF MAPLE DESIGN & BUILD INC.

DESIGNER:
MAPLE DESIGN & BUILD Inc.
2211 SHEROBEE ROAD, MISSISSAUGA
Ph : 437 970 6850

PROJECT:
PROPOSED TWO DWELLING UNIT

LOCATION:
548 Mary St, Hamilton, ON
L8L 4X7

TITLE:
SITE PLAN

SCALE	1 : 150
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251
DRAWING NO.	

A001

EXTERNAL WALL ASSEMBLY	
<div><div>A1</div><div>FDN. WALL</div></div>	<div><div>IN</div><div>OUT</div><div>WATERPROOFING MEMBRANE</div><div>CONCRETE</div><div>2X4 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>1/2" GYPSUM BOARD</div></div>
<div><div>A1a</div><div>FDN. WALL</div></div>	<div><div>IN</div><div>OUT</div><div>WATERPROOFING MEMBRANE</div><div>CONCRETE</div><div>2X4 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>1/2" GYPSUM BOARD</div></div>
<div><div>A2</div><div>EXT. BRICK</div></div>	<div><div>IN</div><div>OUT</div><div>BRICK FINISH</div><div>1" AIR GAP</div><div>MOISTURE BARRIER</div><div>1/2" SHEATHING</div><div>2X6 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>1/2" GYPSUM BOARD</div></div>
<div><div>A2a</div><div>EXT. BRICK</div></div>	<div><div>IN</div><div>OUT</div><div>BRICK FINISH</div><div>1" AIR GAP</div><div>MOISTURE BARRIER</div><div>1/2" SHEATHING</div><div>2X4 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>1/2" GYPSUM BOARD</div></div>
<div><div>A3</div><div>EXT. SIDING</div></div>	<div><div>IN</div><div>OUT</div><div>SIDING</div><div>1" AIR GAP</div><div>MOISTURE BARRIER</div><div>1/2" SHEATHING</div><div>2X6 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>1/2" GYPSUM BOARD</div></div>

EXTERNAL WALL ASSEMBLY	
<div><div>A3a</div><div>EXT. SIDING</div></div>	<div><div>IN</div><div>OUT</div><div>SIDING</div><div>1" AIR GAP</div><div>MOISTURE BARRIER</div><div>1/2" SHEATHING</div><div>2X4 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>1/2" GYPSUM BOARD</div></div>
<div><div>A4</div><div>EXT. STUCCO</div></div>	<div><div>IN</div><div>OUT</div><div>STUCCO</div><div>1" AIR GAP</div><div>MOISTURE BARRIER</div><div>1/2" SHEATHING</div><div>2X6 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>1/2" GYPSUM BOARD</div></div>
<div><div>A4a</div><div>EXT. STUCCO</div></div>	<div><div>IN</div><div>OUT</div><div>STUCCO</div><div>1" AIR GAP</div><div>MOISTURE BARRIER</div><div>1/2" SHEATHING</div><div>2X4 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>1/2" GYPSUM BOARD</div></div>

EXTERNAL WALL (FIRE RATED)	
<div><div>AF1</div><div>45min. FRR (SB3 - W1b) (2X6)</div></div>	<div><div>IN</div><div>OUT</div><div>BRICK FINISH (NON COMBUSTIBLE)</div><div>1" AIR GAP</div><div>MOISTURE BARRIER</div><div>12.7mm TYPE X EXTERIOR GYPSUM SHEATHING</div><div>2X6 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>12.7mm TYPE X GYPSUM BD.</div></div>
<div><div>AF1a</div><div>45min. FRR (SB3 - W1b) (2X4)</div></div>	<div><div>IN</div><div>OUT</div><div>BRICK FINISH (NON COMBUSTIBLE)</div><div>1" AIR GAP</div><div>MOISTURE BARRIER</div><div>12.7mm TYPE X EXTERIOR GYPSUM SHEATHING</div><div>2X4 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>12.7mm TYPE X GYPSUM BD.</div></div>
<div><div>AF2</div><div>45min. FRR (SB3 - W1b) (2X6)</div></div>	<div><div>IN</div><div>OUT</div><div>SIDING (NON COMBUSTIBLE)</div><div>1" AIR GAP</div><div>MOISTURE BARRIER</div><div>12.7mm TYPE X EXTERIOR GYPSUM SHEATHING</div><div>2X6 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>12.7mm TYPE X GYPSUM BD.</div></div>
<div><div>AF2a</div><div>45min. FRR (SB3 - W1b) (2X4)</div></div>	<div><div>IN</div><div>OUT</div><div>SIDING (NON COMBUSTIBLE)</div><div>1" AIR GAP</div><div>MOISTURE BARRIER</div><div>12.7mm TYPE X EXTERIOR GYPSUM SHEATHING</div><div>2X4 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>12.7mm TYPE X GYPSUM BD.</div></div>
<div><div>AF3</div><div>1Hr. FRR (SB3 - W1a) (2X6)</div></div>	<div><div>IN</div><div>OUT</div><div>BRICK FINISH (NON COMBUSTIBLE)</div><div>1" AIR GAP</div><div>MOISTURE BARRIER</div><div>15.9mm TYPE X EXTERIOR GYPSUM SHEATHING</div><div>2X6 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>15.9mm TYPE X GYPSUM BD.</div></div>
<div><div>AF3a</div><div>1Hr. FRR (SB3 - W1a) (2X4)</div></div>	<div><div>IN</div><div>OUT</div><div>BRICK FINISH (NON COMBUSTIBLE)</div><div>1" AIR GAP</div><div>MOISTURE BARRIER</div><div>15.9mm TYPE X EXTERIOR GYPSUM SHEATHING</div><div>2X4 WOOD STUD @16" W/ INSULATION (ref. to EEDS)</div><div>VAPOUR BARRIER</div><div>15.9mm TYPE X GYPSUM BD.</div></div>

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN ONTARIO BUILDING CODE TO BE A DESIGNER.

SYED ALI SHABIB		119560
NAME	SIGNATURE	BCIN
DATE	NO	DESCRIPTION
19 DEC 2022	1	ISSUED FOR PERMIT
		SA

FOR GENERAL NOTES, REFER TO SPECIFICATIONS MANUAL. DO NOT SCALE DRAWING. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO START OF ANY WORK AND MUST NOTIFY THE ARCHITECT/DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFIRM TO ALL APPLICABLE CODES AND BY-LAWS. CONFIDENTIAL NOTICE: ALL DRAWINGS & INFORMATION DISCLOSED HEREIN ARE THE PROPERTY OF THE MAPLE DESIGN & BUILD INC. AND THEY CANNOT BE REPRODUCED OR SHARED WITHOUT WRITTEN CONSENT OF MAPLE DESIGN & BUILD INC.

DESIGNER:
MAPLE DESIGN & BUILD Inc.
2211 SHEROBEE ROAD, MISSISSAUGA
Ph : 437 970 6850

PROJECT:
PROPOSED TWO DWELLING UNIT

LOCATION:
548 Mary St, Hamilton, ON
L8L 4X7

TITLE:
WALL/ FLOOR ASSEMBLY 1

SCALE	1 : 25
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251
DRAWING NO.	

INTERNAL WALL ASSEMBLY	
B1 2X4 WOOD	<p>1/2" GYPSUM BOARD 2X4 WOOD STUD @ 16" 1/2" GYPSUM BOARD</p>
B2 2X4 METAL	<p>1/2" GYPSUM BOARD 2X3-5/8" METAL STUD @ 16" 1/2" GYPSUM BOARD</p>
B3 2X6 WOOD	<p>1/2" GYPSUM BOARD 2X6 WOOD STUD @16" 1/2" GYPSUM BOARD</p>

INTERNAL WALL (FIRE RATED)	
BF1 30min. FRR (SB3 - W1c) (2X4)	<p>1/2" GYPSUM BOARD 2X4 WOOD STUD @16" W/ 89mm ROXUL SAFE 'N' SOUND INSULATION 1/2" GYPSUM BOARD</p>
BF2 45min. FRR (SB3 - W1e) (2X4)	<p>12.7mm TYPE X GYPSUM BD. 2X4 WOOD STUD @ 16" 12.7mm TYPE X GYPSUM BD.</p>
BF3 1Hr. FRR (SB3 - W1a) (2X6)	<p>15.9mm TYPE X GYPSUM BD. 2X6 WOOD STUD @16" W/ 89mm ROXUL SAFE 'N' SOUND INSULATION 15.9mm TYPE X GYPSUM BD.</p>
BF3a 1Hr. FRR (SB3 - W1a) (2X4)	<p>15.9mm TYPE X GYPSUM BD. 2X4 WOOD STUD @16" W/ 89mm ROXUL SAFE 'N' SOUND INSULATION 15.9mm TYPE X GYPSUM BD.</p>
BF4 1Hr. FRR STC 50 (SB3 - W4a) (2X6)	<p>15.9mm TYPE X GYPSUM BD. 2X6 WOOD STUD @16" W/ 89mm ROXUL SAFE 'N' SOUND INSULATION RESILIENT METAL CHANNEL 15.9mm TYPE X GYPSUM BD. 15.9mm TYPE X GYPSUM BD.</p>
BF4a 1Hr. FRR STC 50 (SB3 - W4a) (2X4)	<p>15.9mm TYPE X GYPSUM BD. 2X4 WOOD STUD @16" W/ 89mm ROXUL SAFE 'N' SOUND INSULATION RESILIENT METAL CHANNEL 15.9mm TYPE X GYPSUM BD. 15.9mm TYPE X GYPSUM BD.</p>

FLOOR/ CEILING ASSEMBLY	
C1 15min. FRR	<p>1/2" GYPSUM BOARD PART 11 COMPLIANCE ALTERNATIVE C152(b) FOR HOUSE</p>
C2 30min. FRR SB3 - F8b	<p>SUBFLOOR 15.5mm PLYWOOD/ OSB WOOD JOIST @16" RESILIENT METAL CHANNEL @ 610mm 1 LAYER OF 15.9mm TYPE X GYPSUM</p>
C3 45min. FRR SB3 - F4c	<p>SUBFLOOR 15.5mm PLYWOOD/ OSB WOOD JOIST @16" W/ INSULATION AS REQUIRED 2 LAYERS OF 15.9mm TYPE X GYPSUM</p>
C4 1Hr. FRR (STC 52) SB3 - F9c	<p>SUBFLOOR 15.5mm PLYWOOD/ OSB WOOD JOIST @16" W/ 89mm ROXUL SAFE 'N' SOUND INSULATION RESILIENT METAL CHANNEL @16" O.C 2 LAYERS OF 15.9mm TYPE X GYPSUM</p>

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN ONTARIO BUILDING CODE TO BE A DESIGNER.

SYED ALI SHABIB		119560
NAME	SIGNATURE	BCIN
DATE	NO	DESCRIPTION
19 DEC 2022	1	ISSUED FOR PERMIT
		SA

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DESIGNER:
MAPLE DESIGN & BUILD Inc.
 2211 SHEROBBEE ROAD, MISSISSAUGA
 Ph : 437 970 6850

PROJECT:
 PROPOSED TWO DWELLING UNIT

LOCATION:
 548 Mary St, Hamilton, ON
 L8L 4X7

TITLE:
WALL/ FLOOR ASSEMBLY 2

SCALE	1 : 25
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251

DRAWING NO.

GENERAL REQUIREMENTS

1- CONTRACTOR SHALL CROSS CHECK ALL STRUCTURAL DRAWINGS AND DIMENSIONS WITH ARCHITECTURAL DRAWING.
2- CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE.
3- CONTRACTOR SHALL CONSIDER AND PERFORM ALL SAFETY MEASURES TO PROTECT LABORS AND PUBLIC.
4- CONTRACTOR SHALL VERIFY ALL OPENING SIZES.
5- NOTES AND DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
6- CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY BEFORE PROGRESS, IN CASE OF ANY UNUSUAL CONSTRUCTION CONDITION THAT JEOPARDIZE SAFETY OF LABOR AND/OR PUBLIC, AT THE TIME AND/OR IN FUTURE.
7- IN CASE OF EXISTENCE OF DISCREPANCIES BETWEEN THE PROJECT SPECIFICATIONS AND THE GENERAL STRUCTURAL NOTES, THE MOST CONSERVATIVE OPTION WILL GOVERN, UNLESS ENGINEER REPLY OTHERWISE, AND THIS WILL NOT BE A BASIS FOR CONTRACTOR FAILURE OR ANY BACK CHARGE OR ADDITIONAL CLAIM.
8- PERMIT DRAWINGS ONLY COVER GENERAL SCOPE OF WORK AND DESIGN ENGINEER'S SITE SUPERVISION IS REQUIRED TO ADDRESS ALL STRUCTURAL ISSUES AS APPLICABLE TO THE PROJECT. SITE INSTRUCTION BY DESIGN ENGINEER SUPERSEDES DESIGN DRAWINGS.
9- READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ARCHITECTURAL/MECHANICAL AND ALL OTHER SPECIFICATIONS.
10- LOADS DURING CONSTRUCTION SHALL NOT EXCEED DESIGN LOADS AS SPECIFIED.
11- TYPICAL STRUCTURAL DETAILS SHOWN ON DRAWINGS SHALL GOVERN THE WORK. IF DETAILS DIFFER ON OTHER DRAWINGS, THE MOST STRINGIEST SHALL GOVERN.
12- FLOOR JOISTS, STUDS AND ALL OTHER STRUCTURAL MEMBERS OTHER THAN SPECIFIED, SHALL COMPLY WITH MANUFACTURE'S SPECIFICATIONS.
13- A PRE CONSTRUCTION MEETING SHALL BE ARRANGED BY CONSTRUCTOR TO REVIEW PLANS WITH DESIGN ENGINEER.
14- STRUCTURAL PLANS ARE GENERAL AND ONLY SHOW ADEQUATE MEMBER SIZES. CONSTRUCTION DETAILS INCLUDING BUT NOT LIMITED TO LOCATION OF BEAMS/COLUMNS TO AVOID CONFLICT WITH OTHER MEMBERS OR HOW TO SUPPORT LVL BEAM ON STEEL POSTS ARE RESPONSIBILITY OF BUILDER.

CONCRETE

1- ALL CONCRETE SHALL BE NORMAL WEIGHT.
2- MINIMUM 28 DAY STRENGTH OF CONCRETE SHALL BE:
LEAN CONCRETE: 15 MPA.
FOUNDATION: 25 MPA.
SLAB: 25 MPA.
WALLS: 25 MPA.
GARAGE SLABS: 32 MPA.
BEAM: 35 MPA.
3- MAX WATER CEMENT RATIO SHALL BE 0.45
4- SLUMP SHALL BE 80+/-20MM
5- PORTLAND CEMENT SHALL BE CONFORM TO CAN/CSA A23.1 & 23.3
6- ALL STAGES OF MIXING AND SHIPPING OF CONCRETE SHALL CONFORM TO CAN/CSA A23.1 OR A23.4 AS APPLICABLE.
7- FORM WORK SHALL CONFORM TO CAN/CSA A23.1 OR A23.4 AS APPLICABLE.
8- CONTRACTOR SHALL PROTECT CONCRETE DURING AND AFTER CASTING AGAINST HOT AND COLD WEATHER.

CONCRETE REINFORCEMENT:

1- PREPARING, BENDING AND PLACEMENT OF REBAR SHALL BE IN ACCORDANCE WITH CAN/CSA 23.3-04.
2- ALL REINFORCING BARS SHALL BE IN ACCORDANCE WITH CAN/CSI G30.18-M92 GRADE 400 (FY=400 MPA.) UNLESS OTHERWISE NOTED.
3- REBAR MINIMUM CONCRETE COVERAGE SHALL BE:

CAST AND PERMANENTLY AGAINST SOIL:	75MM
SLAB ON GRADE OR EXPOSED TO WEATHER WITH 15M AND SMALLER REBAR:	40MM
SLAB ON GRADE OR EXPOSED TO WEATHER WITH 20M AND LARGER REBAR:	50MM
INTERIOR CONCRETE WALLS, SLABS, AND JOISTS:	20MM
INTERIOR CONCRETE BEAM, COLUMNS PRIMARY REINFORCEMENT TIES, STIRRUPS, AND SPIRALS:	40MM

WOOD STRUCTURE:

1- WOOD DESIGN AND CONSTRUCTION SHALL CONFORM TO CAN/CSA-086-01 SPF N01/N02
2- ALL STEEL MADE WOOD CONNECTORS, BASE PLATES, AND FASTENERS SHALL BE CORROSION RESISTANT (GALVANIZED, ZINC COATED, STAINLESS STEEL, TREATED).
3- ALL WOOD CONNECTORS SHALL BE FROM APPROVED MANUFACTURERS AND SHALL BE USED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.
4- NO WOOD EMBEDMENT IN CONCRETE IS PERMITTED.
5- ENGINEERED LVL BEAMS SHALL BE 2.0E 3100 FB.
6- BEAMS GROUP (DOUBLED, TRIPLED,...) SHALL BE IN CONFORMANCE OF MANUFACTURER STANDARDS.
7- NO NOTCH OR HOLES IN JOIST AND BEAMS WITHOUT PRIOR APPROVAL OF ENGINEER IS PERMITTED.
8- MINIMUM SIZE OF ANCHOR BOLTS HOLDING WOOD STRUCTURE ON CONCRETE 16M (5/8") AND 1' EMBEDMENT.
9- MINIMUM DISTANCE BETWEEN ANCHOR BOLTS SHALL BE 1800 FOR INTERIORS AND 1200 FOR EXTERIORS.
10- ROOF WOOD TRUSSES TO BE DESIGNED, ENGINEERED, AND, SUPPLIED BY APPROVED MANUFACTURER.

STEEL STRUCTURE:

1- ALL STRUCTURAL STEEL MEMBERS SHALL BE DESIGNED, MADE, AND INSTALLED IN CONFORMANCE WITH CAN/CSA S16-09 AND CAN/CSA G40.20/G40.21
2- STRUCTURAL MEMBERS SHALL CONFORM:
W BEAMS: GRADE 350W
CHANNEL AND ANGLES: GRADE 300W
BARS AND PLATES: GRADE 300W
HSS, ROUND OR RECTANGULAR: GRADE 300W
BOLTS: ASTM A325
NUTS: ASTM A563
HARDENED STEEL WASHERS: ASTM F436
LOAD INDICATOR WASHERS: ASTM F959
ANCHOR BOLT/RODS: ASTM F1554
SHEAR STUDS: ASTM A307
THREADED RODS: ASTM A36
3- ALL STEEL WORK SHALL BE COMPLETED BY APPROVED STEEL FABRICATOR, CERTIFIED WELDER.
4- GROUT BENEATH BASE PLATES TO BE NON-SHRINK FLOWABLE.


DESIGN LOADS:

1- FLOOR LIVE LOADS: 1.9kPa (40 PSF)
2- FLOOR DEAD LOAD: 1kPa
3- ROOF LIVE LOAD: 1kPa

FOUNDATION:

1- FOUND ALL FOOTINGS ON NATURALLY CONSOLIDATED UNDISTURBED SOIL WITH MIN. SLS BEARING CAPACITY OF 100 KPa. IF THESE CONDITIONS DO NOT PREVAIL, CONTACT DESIGN ENGINEER BEFORE PROCEEDING WITH THE WORK.
2- BEFORE PLACING FOOTINGS ON SUBGRADE, A QUALIFIED GEOTECHNICAL SPECIALIST SHALL VERIFIED THAT THE PROPOSED SUBGRADE ALLOWABLE BEARING CAPACITY HAS ATTAINED.
3- FOUND EXTERIOR FOOTINGS AND OTHER FOOTINGS SUSCEPTIBLE TO DAMAGE FROM FROST ACTION A MIN. OF 4 FEET BELOW FINISHED GRADE IF NOT NOTED TO BE FOUNDED LOWER.
4- PROVIDE TEMPORARY FROST PROTECTION DURING CONSTRUCTION FOR ALL FOOTINGS WHICH ARE NOT FOUNDED A MIN. OF 4 FEET BELOW FINISHED GRADE.
5- FOUND NEW FOOTINGS WHICH ARE LOCATED ADJACENT TO EXISTING FOOTINGS, AT THE SAME ELEVATION AS THE EXISTING FOOTINGS, UNLESS NOTED OTHERWISE.
6- THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10.
7- DO NOT PLACE BACKFILL AGAINST FOUNDATION WALLS AND RETAINING WALLS UNTIL THE FLOOR CONSTRUCTION AT TOP AND BOTTOM OF WALLS HAVE BEEN CONSTRUCTED.
8- GROUND WATER LEVEL MUST BE INSPECTED DURING THE CONSTRUCTION. FOR FOOTINGS CLOSER THAN WIDTH OF THE FOOTING TO THE TOP OF THE GROUND WATER LEVEL, THE WIDTH AND THICKNESS MUST BE DOUBLE UNLESS OTHERWISE INSTRUCTED BY A GEOTECHNICAL ENGINEER .

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN ONTARIO BUILDING CODE TO BE A DESIGNER.

SYED ALI SHABIB		119560
NAME	SIGNATURE	BCIN
DATE	NO	DESCRIPTION
19 DEC 2022	1	ISSUED FOR PERMIT

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DESIGNER:
MAPLE DESIGN & BUILD Inc.
2211 SHEROBEE ROAD, MISSISSAUGA
Ph : 437 970 6850

PROJECT:

PROPOSED TWO DWELLING UNIT

LOCATION:
548 Mary St, Hamilton, ON
L8L 4X7

TITLE:
STRUCTURAL NOTES -1

SCALE	1 : 10
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251

DRAWING NO.

A004

AE - 01

2 OR 3 PLIES LVL

$\frac{1}{2}$ " DIA. 14 THROUGH NUT AND BOLT

U-PLATE $\frac{1}{2}$ " THICK) AS PER SITE CONDITION

10 X 8 X $\frac{1}{4}$ " BOTTOM PLATE

2- $1\frac{1}{2}$ " DIA. BOLTS (MIN. 6" EMBEDMENT IN WALL)

EXISTING FOUNDATION WALL

LVL TO FOUNDATION WALL DETAIL

NOTE: FOR LVL TO LVL BEAM USE SIMPSON STRONG TIE CONNECTOR WITH FACTORED CAPACITY 20KN

AE - 02

POST CAP, ATTACHMENT, FASTENER AS PER MANUFACTURE'S INSTRUCTION

30R4PLY BEAMS USE SIMPSON STRONG TIE POST CAP

SPF POST

WOODEN POST TO LVL DETAIL

AE - 03

Technical drawing of a retaining wall cross-section showing structural details and dimensions.

Dimensions and Components:

- 4" x 4" POST
- 2" x 4"
- 4'-0" MAX.
- 2"x4" PICKET W/ 2-3" NAILS EACH END, TYP.
- CONT-2"x4" TOP RAIL
- 4'-0" MAX.
- 2" x 4" WITH SIMPSON'S FB24 CONNECTOR AT BOTH ENDS
- 2" x 4" PICKET W/ 2-3" NAILS EACH END, TYP.
- 4' x 4" POST
- 2" x 4" PICKET W/ 2-3" NAILS EACH END, TYP.
- 2-1/2" Ø BOLTS THRU, 4' x 4" POST.
- 1/2" BENT-PIPE SADDLE, 4" WIDE
- 3/8" Ø THREADED ROD TO BE EMBEDDED IN CONC. B.U.K. WALL
- 1/2" BENT-PLATE SADDLE, 4" WIDE
- 3/8" Ø THREADED ROD TO BE EMBEDDED IN CONC. B.U.K. WALL
- CONC. RETAINING WALL
- EXIST. GRADE
- 1'-0" MAX.

AE - 03

Technical drawing showing a cross-section of a bulk wall assembly. The drawing includes the following components and dimensions:

- Vertical Members:** 4" x 4" POST (multiple).
- Horizontal Members:** 2" x 4" (multiple).
- Pickets:** 2"x4" PICKET W/ 2-3" NAILS EACH END, TYP.
- Top Edge:** CONT-2"x4" TOP.
- Fasteners:** 1/2" BENT-PLATE SADDLE, 4" WIDE; 2-1/2" Ø THRU-BOLTS, TYP.; 3/4" Ø THREADED ROD TO BE EMBEDDED IN CONC. BULK WALL.
- Dimensions:** 4'-0" MAX. (multiple).

WL1	UPTO 3'-6"	3-2"X6"
WL2	UPTO 5'-6"	3-2"X8"
WL3	UPTO 6'-6"	3-2"X10"
WL4	UPTO 7'-6"	3-2"X12"
STEEL LINTEL SCHEDULE FOR MASONRY VENEER		
L1	UPTO 4'-6"	3 $\frac{1}{2}$ " X 3 $\frac{1}{2}$ " X $\frac{1}{4}$ "
L2	UPTO 5'-6"	4" X 3 $\frac{1}{2}$ " X $\frac{5}{16}$ "
L3	UPTO 6'-6"	5" X 3 $\frac{1}{2}$ " X $\frac{5}{16}$ "
L4	UPTO 7'-6"	5" X 3 $\frac{1}{2}$ " X $\frac{3}{8}$ "
L5	UPTO 9'-10"	6" X 4" X $\frac{3}{8}$ "
L6	UPTO 11'-0"	7" X 4" X $\frac{3}{8}$ "
LVL INTEL SCHEDULE FOR MASONRY VENEER		
LVL1	UPTO 4'-6"	
LVL2	UPTO 6'-0"	
LVL3	UPTO 8'-0"	

LVLS SCHEDULE	
LVL1	1-1.75"X11 ⁷ / ₈ " MICROLLAM LVL2.0E
LVL2	2-1.75"X11 ⁷ / ₈ " MICROLLAM LVL2.0E
LVL3	3-1.75"X11 ⁷ / ₈ " MICROLLAM LVL2.0E
LVL4	4-1.75"X11 ⁷ / ₈ " MICROLLAM LVL2.0E

SYED ALI SHABIB		<i>Shabib</i>	119560
NAME		SIGNATURE	BCIN
DATE <i>dd/mm/yyyy</i>	NO	DESCRIPTION	BY
-	-	-	SA
19 DEC 2022	1	ISSUED FOR PERMIT	SA

DESIGNER:
**MAPLE DESIGN &
BUILD Inc.**
2211 SHEROBBE ROAD, MISSISSAUGA
Ph : 437 970 6850

PROPOSED TWO DWELLING
UNIT

548 Mary St, Hamilton, ON
L8L 4X7

STRUCTURAL NOTES - 2

DRAWING NO.

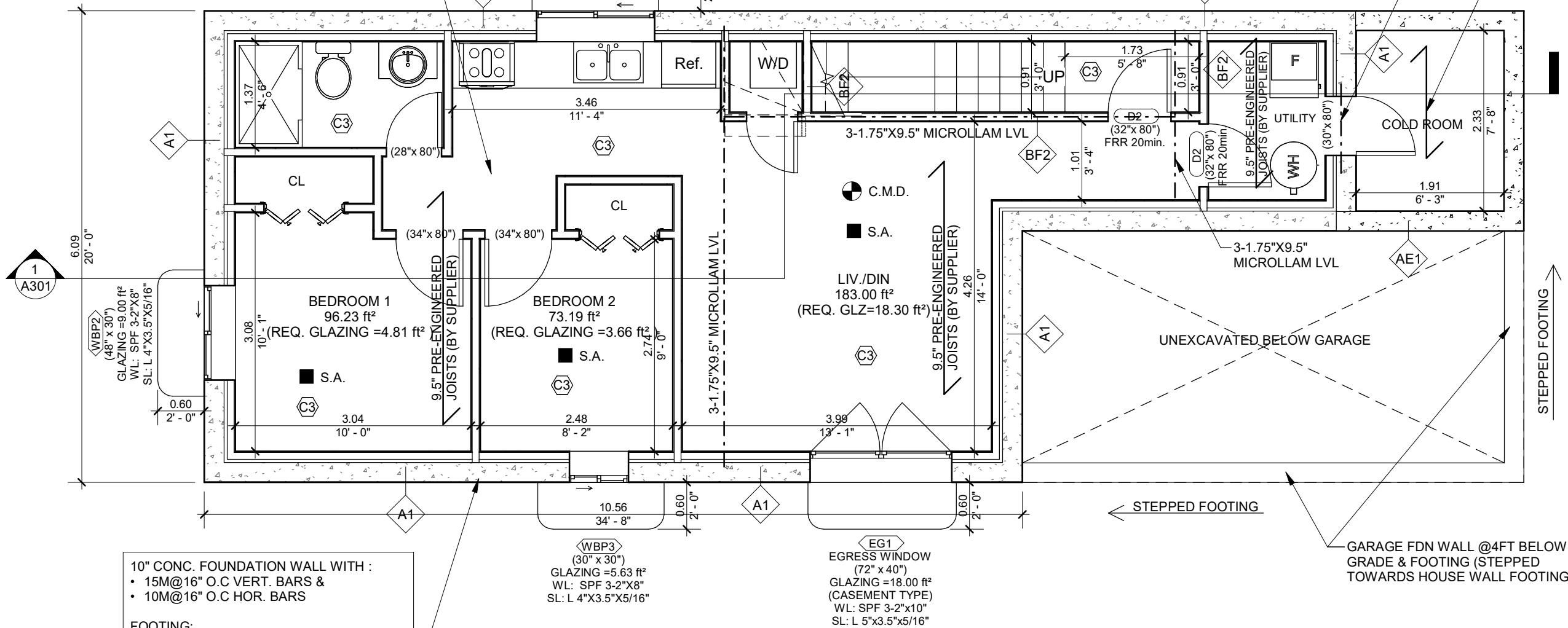
A005

BASEMENT SLAB:
6" REINFORCED CONCRETE SLAB
25MPA @28 DAYS 5%-8% AIR ENTRAINMENT
6"x6" W2.9/W2.9 WWF IN CENTER OF SLAB
MIN. 6" COMPACTED GRANULAR FILL ON
COMPACTED SUB GRADE

WBP1
(60" x 30")
GLAZING = 11.25 ft²
WL: SPF 3-2"x8"
SL: L 4"x3.5"x5/16"

ONE WAY CONCRETE
SLAB ABOVE (5" THK)

W200X46 STEEL BEAM



10" CONC. FOUNDATION WALL WITH :
• 15M@16" O.C VERT. BARS &
• 10M@16" O.C HOR. BARS

FOOTING:
20"(W) X 10"(D) WITH 3-15M CONT. BARS &
10M@48" O.C CROSS BARS

1 PROPOSED BASEMENT FLOOR PLAN
1 : 60

LEGEND	
	C.M.D. CARBON MONOXIDE DETECTOR
	S.A. SMOKE ALARM

THE UNDERSIGNED HAS REVIEWED AND
TAKEN RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATION AND MEETS
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BUILDING CODE TO BE A DESIGNER.

SYED ALI SHABIB		119560
NAME	SIGNATURE	BCIN
DATE	NO	DESCRIPTION
19 DEC 2022	1	ISSUED FOR PERMIT

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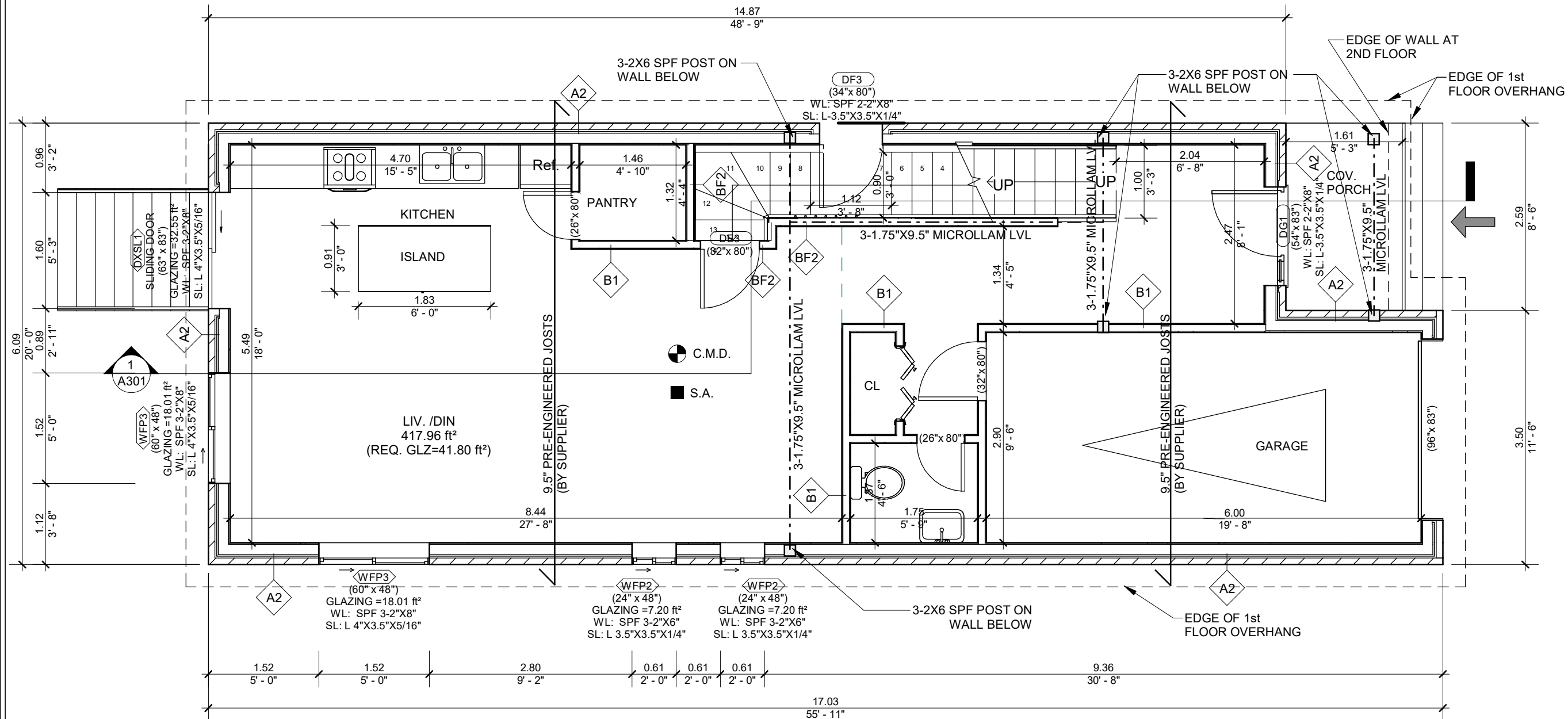
DESIGNER:
**MAPLE DESIGN &
BUILD Inc.**
2211 SHEROBBE ROAD, MISSISSAUGA
Ph : 437 970 6850

PROJECT:
**PROPOSED TWO DWELLING
UNIT**

LOCATION:
548 Mary St, Hamilton, ON
L8L 4X7

TITLE:
**PROPOSED
BASEMENT
FLOOR PLAN**

SCALE	1 : 60
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251
DRAWING NO.	



1 PROPOSED 1ST FLOOR PLAN
1 : 60

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DATE	NO	DESCRIPTION
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2211 SHEROBBE ROAD, MISSISSAUGA
Ph : 437 970 6850

PROJECT:
PROPOSED TWO DWELLING UNIT

LOCATION:
548 Mary St, Hamilton, ON
L8L 4X7

TITLE:
PROPOSED 1ST FLOOR PLAN

SCALE	1 : 60
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251

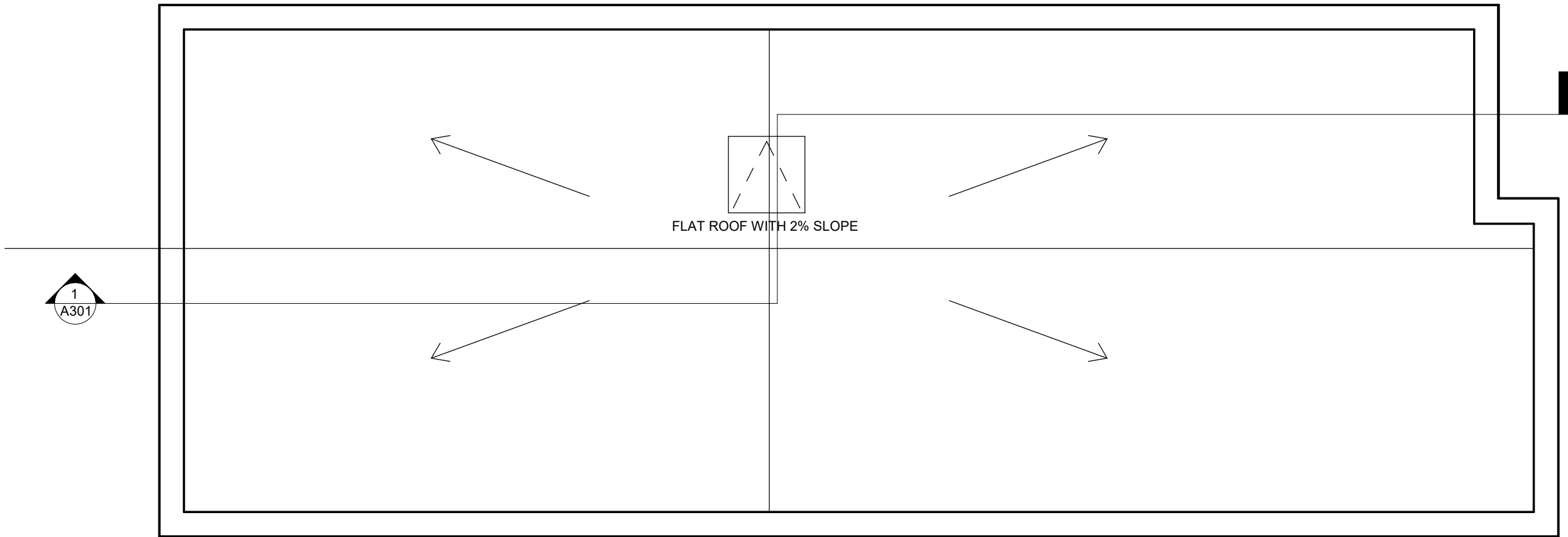
DRAWING NO.

A101




SCALE	1 : 60
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251
DRAWING NO.	

A102



1 PROPOSED ROOF
1 : 60

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SYED ALI SHABIB			119560
NAME		SIGNATURE	BCIN
DATE	NO	DESCRIPTION	BY
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PROJECT:

PROPOSED TWO DWELLING UNIT

LOCATION:
548 Mary St, Hamilton, ON
L8L 4X7

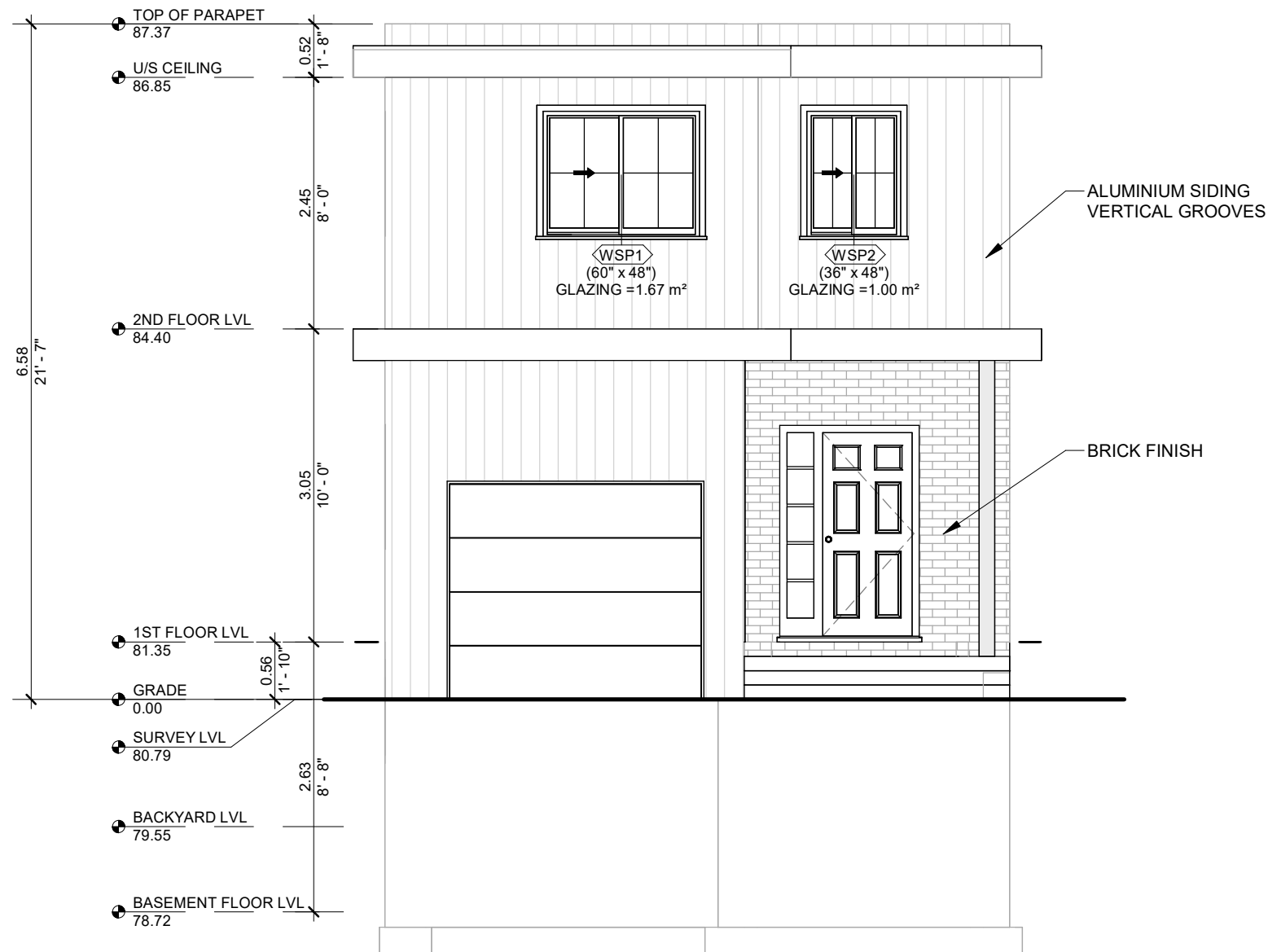
TITLE:

PROPOSED ROOF

SCALE	1 : 60
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251


DRAWING NO.

A103



1 FRONT ELEVATION
1 : 60

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN ONTARIO BUILDING CODE TO BE A DESIGNER.

SYED ALI SHABIB			119560
NAME	SIGNATURE		BCIN
DATE	NO	DESCRIPTION	BY
-	-	-	SA
19 DEC 2022	1	ISSUED FOR PERMIT	SA

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Ph : 437 970 6850

PROJECT:

PROPOSED TWO DWELLING UNIT

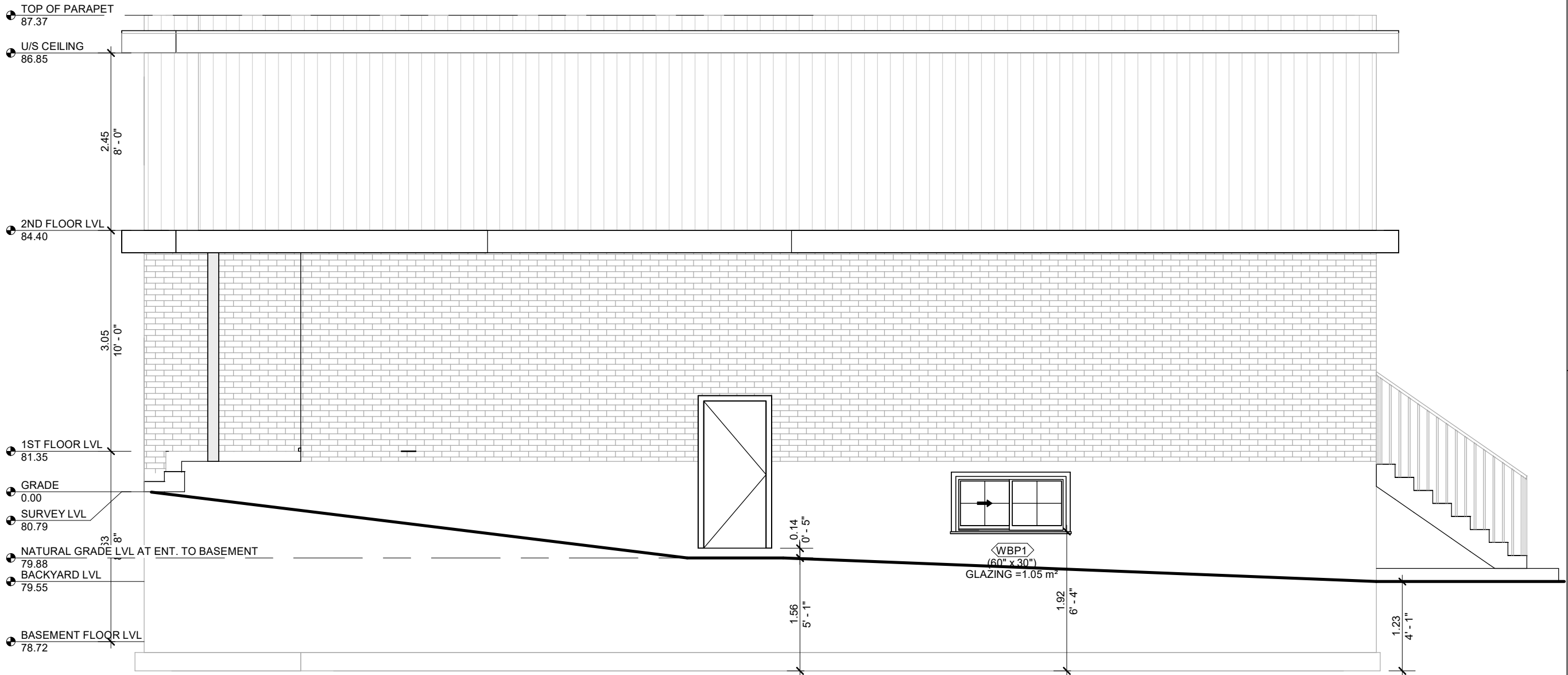
LOCATION:
548 Mary St, Hamilton, ON
L8L 4X7

TITLE:

FRONT ELEVATION


SCALE	1 : 60
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251
DRAWING NO.	

A201



1 RIGHT ELEVATION
1 : 60

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN ONTARIO BUILDING CODE TO BE A DESIGNER.

SYED ALI SHABIB			119560
NAME	SIGNATURE		BCIN
DATE	NO	DESCRIPTION	BY
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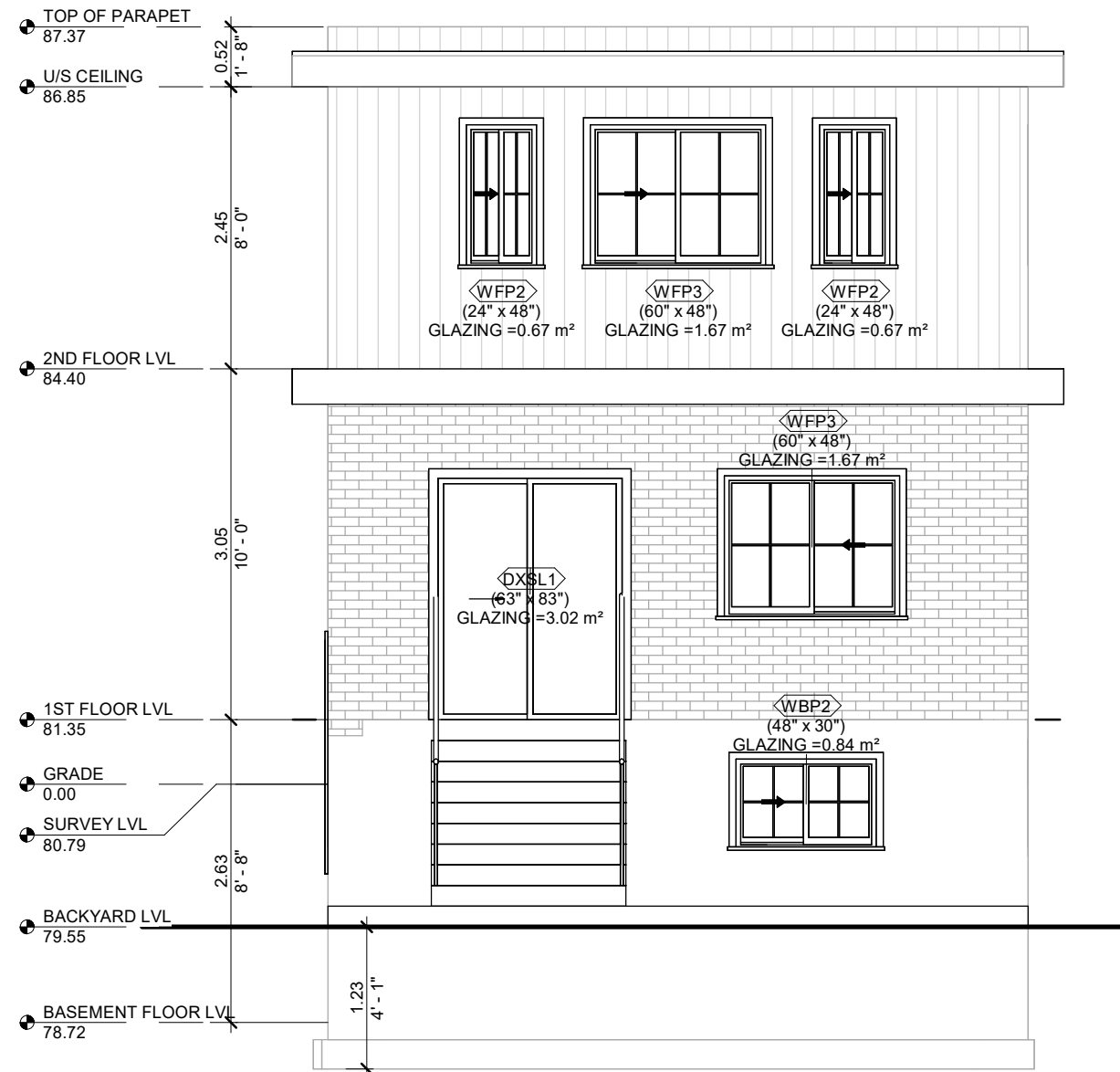
PROJECT:
PROPOSED TWO DWELLING UNIT

LOCATION:
548 Mary St, Hamilton, ON
L8L 4X7

TITLE:
RIGHT ELEVATION

SCALE	1 : 60
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251

DRAWING NO.
A202



1 REAR ELEVATION
1 : 60

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN ONTARIO BUILDING CODE TO BE A DESIGNER.

SYED ALI SHABIB		<i>Shahib</i>	119560
NAME	SIGNATURE		BCIN
DATE	NO	DESCRIPTION	BY
-	-	-	SA
19 DEC 2022	1	ISSUED FOR PERMIT	SA

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Ph : 437 970 6850

PROJECT:

PROPOSED TWO DWELLING UNIT

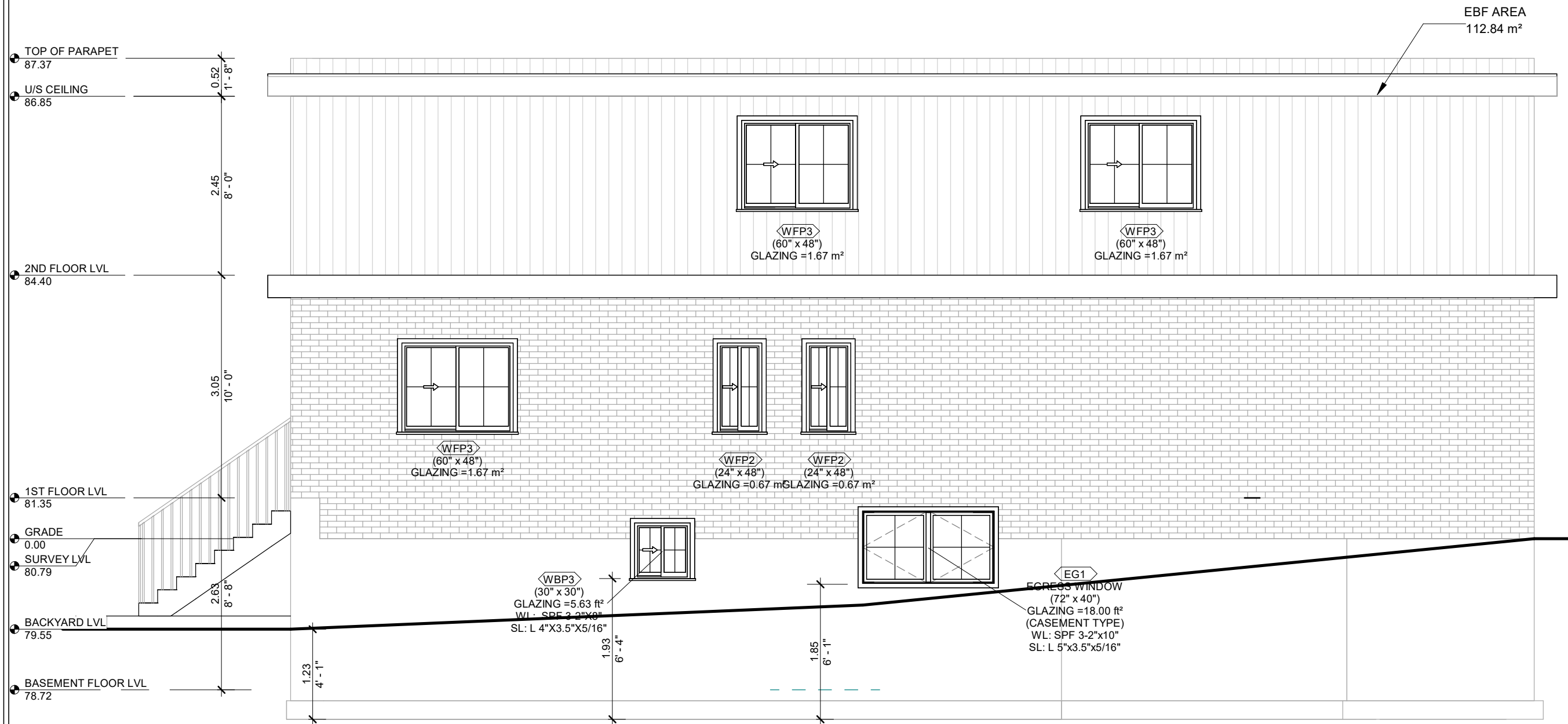
LOCATION:
548 Mary St, Hamilton, ON
L8L 4X7

TITLE:
REAR ELEVATION

SCALE	1 : 60
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251

DRAWING NO.

A203



1 LEFT ELEVATION
1 : 60

UPO CALCULATIONS	
LIMITING DISTANCE (m)	2.44
PERMITTED OPENING %	8%
EBF AREA (m2)	112.84 m²
PROPOSED OPENING AREA (m2)	7.40 m²
PROPOSED OPENING (%)	6.56%

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SYED ALI SHABIB		Signature	119560
NAME	SIGNATURE		BCIN
DATE	NO	DESCRIPTION	BY
-	-	-	SA
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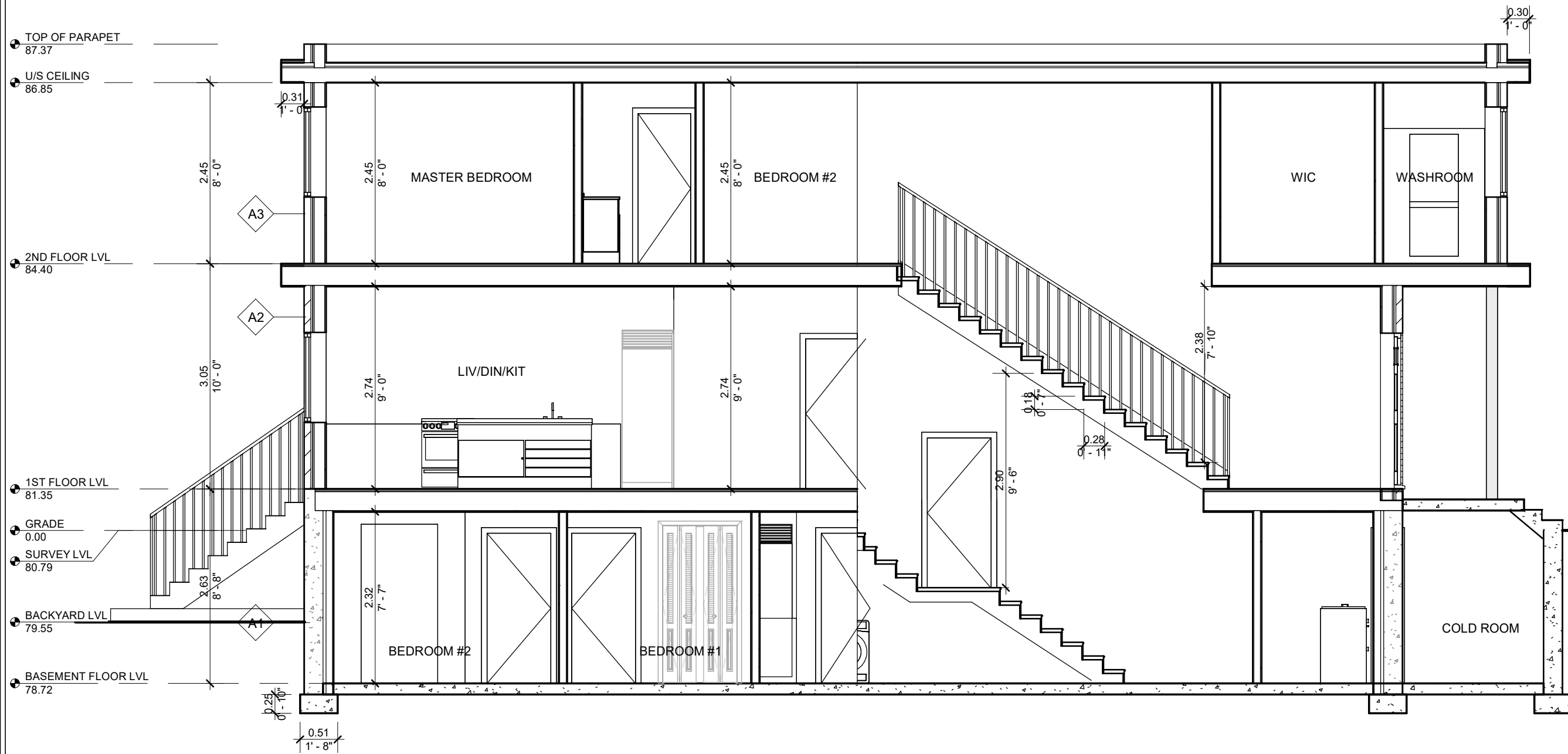
DESIGNER:
MAPLE DESIGN & BUILD Inc.
2211 SHEROBBE ROAD, MISSISSAUGA
Ph : 437 970 6850

PROJECT:
PROPOSED TWO DWELLING UNIT

LOCATION:
548 Mary St, Hamilton, ON
L8L 4X7

TITLE:
LEFT ELEVATION

SCALE	1 : 60
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251
DRAWING NO.	



1 SECTION A
1 : 60

THE UNDERSIGNED HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN ONTARIO BUILDING CODE TO BE A DESIGNER.

SYED ALI SHABIB		<i>Shahib</i>	119560
NAME	SIGNATURE		BCIN
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2211 SHEROEBEE ROAD, MISSISSAUGA
Ph : 437 970 6850

PROJECT:

PROPOSED TWO DWELLING UNIT

LOCATION:
548 Mary St, Hamilton, ON
L8L 4X7

TITLE:

SECTION A

SCALE	1 : 60
DRAWN	HZ
CHECKED	SA
DATE	19 DEC 2022
PROJECT NO.	09251

DRAWING NO.

A301



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Registered Owners(s)			
Applicant(s)			
Agent or Solicitor			Phone:
			E-mail:

1.2 All correspondence should be sent to ☐ Purchaser ☒ Owner
☒ Applicant ☐ Agent/Solicitor

1.3 Sign should be sent to ☐ Purchaser ☒ Owner
☒ Applicant ☐ AgentSolicitor

1.4 Request for digital copy of sign ☒ Yes* ☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email ☒ Yes* ☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service.
This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	548 Mary St., Hamilton		
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☒ Yes ☐ No

If YES, describe the easement or covenant and its effect:

There is an 8' wide Right of Way going through the Lot on the Left side yard

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Variance (1) Request for construction of a New Dwelling unit with a 2nd unit in basement after demolishing the existing dwelling unit on a Lot having a width of 9.75m which is less than the required width of 12m(By-law Section 10.(4)(i)) The Lot frontage of the property was already that size prior to the passing of the by-law
Variance (2) Required Front yard landscape is 50% while proposed landscape is 42.15%. This is due to the fact that there is an existing ROW which will remain as-is thus effective frontage gets reduced in turn affects the area of the landscaping.

3.2 ☐ Second Dwelling Unit ☒ Reconstruction of Existing Dwelling

Why it is not possible to comply with the provisions of the By-law?

Variance (1) Minimum required Lot width for a dwelling unit is 12m and the existing Lot width is 9.75m

Variance (2) The proposed landscape(42.15%) is less than the required 50% because of the presence of 8ft wide ROW (25.03%) . If we add the area of the ROW then the total landscaping had been 67.18%

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes ☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
9.75	44.2	430.95m2	8.2m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling Unit	1.44m	30.22m	2.01m & 0.19m	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
New Dwelling Unit	6.00m	21.17m	2.44m & 1.22m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Family dwelling unit	75.57m2	75.57m2	One	

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling Unit with 2nd unit in Basement	105.71m2	179.53m2	2	6.58m

- 4.4 Type of water supply: (check appropriate box)

☒ publicly owned and operated piped water system

☐ lake or other water body

☐ privately owned and operated individual well

☐ other means (specify)
- 4.5 Type of storm drainage: (check appropriate boxes)

☒ publicly owned and operated storm sewers

☐ ditches

☐ swales

☐ other means (specify)

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- ☒ publicly owned and operated sanitary sewage
- ☐ system privately owned and operated individual
- ☐ septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
- ☐ provincial highway ☐ right of way
- ☐ municipal road, seasonally maintained ☐ other public road
- ☒ municipal road, maintained all year
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
- Two story Detached dwelling with 1st unit above grade and 2nd unit in basement
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
- Detached dwelling unit

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands: July 4, 2022
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
- Single Detached Dwelling unit
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
- Single Detached Dwelling unit
- 7.4 Length of time the existing uses of the subject property have continued:
- From aquisition till date
- 7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

The existing Lot size is not being altered which was there prior to passing of the by-law. The new proposed house will enhance the aesthetics of the neighbourhood and will add to the community development. It will not have any impact on the Municipal services as the required municipal infrastructure is already available. Thus we propose to build the new dwelling on the same Lot.

- 7.6 What is the existing zoning of the subject land? Zone D under former Hamilton Zoning By-Law
- 7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)
- ☐ Yes ☒ No
- If yes, please provide the file number: Zone D under former Hamilton Zoning By-Law

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

7.10 If a site specific Zoning By-law Amendment has been received for the subject property, has the two year anniversary of the by-law being passed expired?

☐ Yes

☐ No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☐ Application Fee
- ☐ Site Sketch
- ☐ Complete Application form
- ☐ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
- ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study