

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
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APPLICATION NO.:	AN/A-23:206	SUBJECT PROPERTY:	66 LODOR LANE, ANCASTER
ZONE:	"ER" (Existing Residential)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended

APPLICANTS: **Owner:** DON FIRTH
 Agent: ERIC CANTON

The following variances are requested:

1. A minimum front yard setback of 49.7 metres whereas the by-law permits a minimum front yard setback of 12.74 metres.
2. A minimum rear yard setback of 7.65 metres whereas the by-law permits a minimum rear yard setback of 30.35 metres.
3. A maximum height of 10.6 metres whereas the by-law permits a maximum height of 9.5 metres.

PURPOSE & EFFECT: So as to permit the construction of a new Single Detached Dwelling on an irregular lot.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, September 7, 2023
TIME:	9:40 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton

	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment
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For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

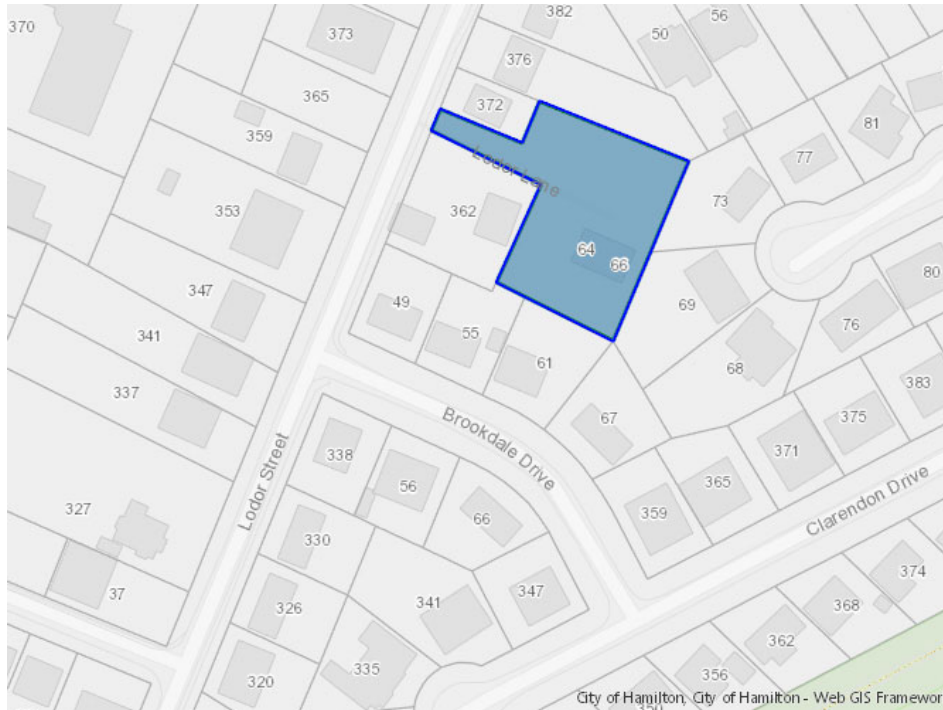
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding AN/A-23:206, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: August 22, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

- GENERAL:
1. ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
 2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES INCLUDING GAS MAINS, WATER MAINS, TELEVISION CABLES, HYDRO, TELEPHONE CABLES, ETC.
 3. ALL SURVEY INFORMATION ON THIS PLAN IS FOR INFORMATION PURPOSES ONLY.
 4. THE APPROVAL OF THIS PLAN DOES NOT GRANT THE OWNERS BORROWED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - SEWER AND WATER PERMIT
 - RELOCATION OF SERVICES
 - ROAD CUTS PERMITS
 - RELOCATION OF SERVICES
 - APPROACH APPROVAL PERMITS
 - ENCROACHMENT AGREEMENTS (IF REQ'D)
 - ENCROACHMENT AGREEMENTS (IF REQ'D)
 - 5. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SDO AT THE OWNERS EXPENSE TO THE SATISFACTION OF THE GEOMATICS AND CONDOIR MANAGEMENT DIVISION, PUBLIC WORKS DEPARTMENT.
 - 6. PROPOSED SEWAGE SHALL CONFORM TO THE CITY'S SIGN BY-LAW NO. 10-197.
 - 7. LIGHTING MUST BE PROVIDED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES OR STREETS.
 - 8. ALL FENCES SHALL COMPLY WITH CITY OF HAMILTON FENCE BY-LAW 10-142.
 - 9. THE SELECTION AND LOCATION OF TREES TO BE REMOVED OR MAINTAINED ARE CONSIDERED TO BE THE MINIMUM REQUIREMENT. CONDITIONS MAY REQUIRE ADDITIONAL MEASURES WHICH WILL BE IDENTIFIED BY THE ENGINEER DURING CONSTRUCTION.
 - 10. SEWER LATERALS WITHIN THE MUNICIPAL ROAD ALLOWANCE MAY BE REUSED IF IN GOOD WORKING CONDITION, MEET BY-LAW REQUIREMENTS AND ARE OF ADEQUATE CAPACITY TO MEET THE REQUIREMENTS OF THE SITE. THE OWNER OR THEIR CONTRACTOR IS RESPONSIBLE FOR HAVING THE LATERAL TO BE REUSED VISUALLY INSPECTED WHILE THE CITY OF HAMILTON SEWER INSPECTOR IS PRESENT. CONTACT PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT, GROWTH MANAGEMENT DIVISION, DEVELOPMENT ENGINEERING CONSTRUCTION SECTION AT (905) 444-4424 X7860 TO ARRANGE FOR AN INSPECTION.
 - 11. IF CONTAMINATED IS REQUIRED TO SUPPORT CONSTRUCTION ACTIVITIES, THE APPLICANT IS REMINDED THAT DOWNGRADE DISCHARGE MUST COMPLY WITH THE CITY OF HAMILTON SEWER USE PLAN STANDARDS AND TEMPORARY SEWER DISCHARGE PERMIT REQUIREMENTS. IT IS RECOMMENDED TO CONSULT WITH THE SUPERINTENDING OF ENVIRONMENTAL MONITORING AND ENFORCEMENT GROUP WITHIN HAMILTON WATER MAINS AS POSSIBLE IN THE APPROVAL PROCESS. GIVEN THAT ADDITIONAL REVIEW MAY BE REQUIRED BY HAMILTON WATER TO VERIFY THE WASTEWATER SYSTEM COULD ACCEPT THE QUANTITY AND/OR QUALITY OF THE DISCHARGE, EMAIL environmental@hamilton.ca TO BETTER UNDERSTAND WATER DISCHARGES TO CITY INFRASTRUCTURE.
 - 12. CAUTION: NOTWITHSTANDING CURRENT SURFACE CONDITIONS, THE PROPERTY HAS BEEN DETERMINED TO BE AN AREA OF ARCHAEOLOGICAL POTENTIAL. ALTHOUGH AN ARCHAEOLOGICAL ASSESSMENT IS NOT REQUIRED BY THE CITY OF HAMILTON, THE PROPOSED IS CAUTIONED THAT DURING DEVELOPMENT ACTIVITIES, SHOULD DEEPLY BURIED ARCHAEOLOGICAL MATERIALS BE FOUND ON THE PROPERTY THE OWNED MINISTRY OF HERITAGE, SPORT, TOURISM AND CULTURE INDUSTRIES (MHCI) SHOULD BE NOTIFIED IMMEDIATELY (416-212-8886). IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE PROPOSED SHOULD IMMEDIATELY CONTACT BOTH MHCI AND THE REGISTAR OR DEPUTY REGISTAR OF THE LEMTHERS REGULATION UNIT OF THE MINISTRY OF GOVERNMENT AND CONSUMER SERVICES (416-312-7499).
 - 13. THE OWNER IS RESPONSIBLE FOR THE REMOVAL OF ALL MUD AND DEBRIS THAT ARE TRACKED ONTO THE ROADWAYS FROM VEHICLES ENTERING OR LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL UPOON VISUAL AND/OR WRITTEN REQUEST BY THE CITY, IMMEDIATELY PROCEED WITH THE CLEAN UP OPERATION AT THEIR EXPENSE, SHOULD THE OWNER FAIL TO MAINTAIN THE ROAD AS DIRECTED, THE CITY WILL HAVE THE CLEANING CARRIED OUT AND DRAWN ON THE OWNERS SECURITY FOR COSTS AND/OR LAY CHARGES.
 - 14. EXISTING WALKWAY TO BE REMOVED AND RESTORED WITH TOPSOIL AND SOD.
 - 15. THERE MUST BE A MINIMUM 1% SEPARATION BETWEEN A SUMP PUMP DISCHARGE AND ANY DOWNSPOUT.
 - 16. ALL SUMP PUMPS MUST HAVE A BACKUP POWER TO ENSURE OPERATION DURING A POWER OUTAGE.
 - 17. THE OWNER AGREES TO PHYSICALLY AFFIX THE MUNICIPAL NUMBER (123) OR FULL ADDRESS (123 MCGREGOR CRESCENT) TO THE BUILDING OR ON A SIGN IN ACCORDANCE WITH THE CITY'S SIGN BY-LAW, IN A MANNER THAT IS VISIBLE FROM THE STREET.

- ROADWORKS:
1. RESTORATION OF ROAD OVER UTILITY CUTS IN HAMILTON TO BE AS PER STANDARD DRAWINGS RD-100.01 AND RD-100.02, WITH GRANULAR "A" BEDDING.
- GRADING:
1. LOT GRADING IS TO CONFORM TO THE LATEST REVISION OF THE CITY OF HAMILTON LOT GRADING POLICY.
 2. ALL ELEVATIONS ALONG AFFECTED PROPERTY LINES TO MATCH EXISTING ELEVATIONS AND ALL GRADING SHALL NOT ADVERSELY AFFECT SHEET FLOW FROM ADJACENT LANDS.
 3. ALL EXISTING FILL TO BE CLEAN AND ENVIRONMENTALLY SAFE CLAY, COMPACTED TO 95% S.P.D. USE OF VIBRATOR ON COMPACTOR WHILE COMPACTING IS NOT PERMITTED.
 4. ALL CURB STOPS AND VALVES MUST BE CERTIFIED TO BE IN WORKING ORDER AT THE TIME OF ISSUANCE OF THE FINAL LOT GRADING CERTIFICATE. FINAL LOT GRADING CERTIFICATES MUST INCLUDE A STATEMENT AFFIRMING THE DATE OF INSPECTION AND THAT THE WATER BOX IS AT GRADE AND FOUND TO BE FREE FROM DAMAGE OR DEFECT.
 5. ALL DISTURBED AREAS WITHIN THE ROAD ALLOWANCE SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
 6. ALL DISTURBED BOULEVARD AREAS ARE TO BE RESTORED WITH 150mm TOPSOIL AND NO. 1 MURKURY SOD IN ACCORDANCE WITH OPS 803 AND TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.

- SEWERS:
1. ALL SERVICES TO BE INSTALLED AS PER CITY OF HAMILTON CONSTRUCTION AND MATERIAL SPECIFICATIONS MANUAL (LATEST EDITION) AND MINISTRY OF THE ENVIRONMENT GUIDELINES (LATEST EDITION).
 2. MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICES/MAINS AND SEWER DRAINS IS REQUIRED. MINIMUM SEWER MAIN SHALL BE 2.3m MEASURED FROM THE CLOSEST PIPE EDGE TO CLOSEST PIPE EDGE. VERTICAL SEPARATION WHERE WATER SERVICES PASS OVER A SEWER DRAIN OR MANHOLE SHALL BE A MINIMUM OF 0.2m UNLESS GREATER SEPARATION IS REQUIRED TO PROVIDE FOR PROPER BEDDING AND STRUCTURAL SUPPORT. WATER SERVICES PASSING UNDER SEWER DRAINS OR MANHOLES, SEWER MAINS MUST HAVE A SEPARATION OF 50mm BETWEEN THE INVERT OF THE SEWER MAIN/DRAIN AND THE CROWN OF THE WATERSERVICE/MAIN.
 3. ALL WATER SERVICES TO BE INSTALLED WITH A MINIMUM OF 1.6% COVER, SEWER DRAINS TO BE INSTALLED WITH A MINIMUM COVER OF 2.0m AT THE PROPERTY LINE BELOW THE FINAL ROAD GRADE OR AT SUCH HIGHER ELEVATION ONLY AS MAY BE NECESSITATED BY THE LEVEL OF THE MAIN CANAL. ON PRIVATE PROPERTY THE MINIMUM COVER FOR SEWER DRAINS IS TO BE NO LESS THAN 1.2m.
 4. RESTORATION OF ROAD OVER UTILITY CUTS IN HAMILTON TO BE AS PER STANDARD DRAWINGS RD-100.01 AND RD-100.02, WITH GRANULAR "A" BEDDING.
 5. THE 0.4% SLOPE AND 300mm OF THE EXISTING SANITARY SEWER WAS TAKEN FROM THE CITY OF HAMILTON'S WATER AND WASTEWATER INTERACTIVE MAPPING WEBSITE. FIELD VERIFIED.
 6. ALL EXISTING UNLIDED SEWER DRAINS SERVICING A PROPERTY TO BE REDEVELOPED, IN WHOLE OR IN PART, MUST BE REMOVED FROM THE MUNICIPAL PROPERTY. ROAD ALLOWANCE ETC. WITH AN APPROPRIATE REPAIR TO THE MUNICIPAL SEWER MAIN TO WHICH THEY CONNECT, AND EITHER REMOVED FROM PRIVATE PROPERTY OR ABANDONED IN ACCORDANCE WITH CITY MINIMUM REQUIREMENTS. AS JUDGED AT EITHER END WITH MINIMUM 300mm CONCRETE.

- PRIVATE DRAINS:
1. 2. DENOTES SINGLE SANITARY PRIVATE DRAIN CONNECTION.
 2. PRIVATE DRAINS ARE TO BE LOCATED 1.5m ON THE RIGHT SIDE OF CENTERLINE OF LOT OR AS DETAILLED AND EXTENDED 5m BEYOND THE PROPERTY LINE.
 3. PROPOSED SANITARY AND STORM SEWERS SHALL BE EITHER: (A) PVC SDR 35 FOR 150mm DIAMETER AND SDR 35 FOR OTHER SIZES; (B) CLASS 3 CONCRETE (CSA A257-1 M92). RIBBED OR PROFILED UNDERSTREET PIPE IS NOT PERMITTED FOR SANITARY OR STORM SEWERS AND CATCH BASIN LEADS. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOUR OTHER THAN WHITE. WATER MARKING AT END OF SANITARY PRIVATE DRAIN SHALL BE PAINTED RED.
 4. COVER AND BEDDING MATERIAL FOR PRIVATE DRAINS SHALL BE GRANULAR "A" INSTALLED AS PER OPS 802.010 OR 802.013.
 5. TOP OF SANITARY PRIVATE DRAINS AT STREET LINE TO BE 2.3m (MIN) BELOW CENTRELNE ROAD ELEVATION AT THAT POINT OR AS DETAILLED.
 7. BUILDING DOWNWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE OUTDO LANDSCAPED AREAS VIA SPLASH PADS A MIN. OF 0.6m FROM THE BUILDING FACE.
 8. SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WEEPING TIES TO GRADE VIA CONCRETE SPLASH PADS A MIN OF 0.6m AWAY FROM THE FOUNDATION WALL. THE SUMP OUTLET PIPE SHALL EXCEED A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO GRADE.

- WATER SERVICES:
1. "W" DENOTES WATER SERVICE CONNECTION (32mm TYPE "K" SOFT COPPER) AS PER WM-207.010R AS DETAILLED.
 2. WATER SERVICES ARE TO BE LOCATED 1.0m TO THE LEFT SIDE OF CENTERLINE OF LOT OPPOSITE SANITARY PRIVATE DRAIN OR AS DETAILLED, WITH CURB STOP ADJACENT TO THE STREET LINE.
 3. GRANULAR BEDDING AND COVER SHALL BE GRANULAR "D" FOR BOTH BEDDING AND COVER FOR SMALL DIAMETER WATER SERVICES AS PER FORM 600 AND WM 200.01 (6. 50mm OR OVER).
 4. ALL CURB STOPS SHALL BE SET TO PROPOSED GRADES.
 5. WATER SERVICES TO BE INSTALLED WITH A MINIMUM COVER OF 1.6m.
 6. WATER SERVICE ABANDONMENT AND END:
 - 1. REMOVE CURB STOP. REMOVE CURB STOP.
 - 2. CUT AND CRIMP WATER SERVICE AT THE MAIN. CUT AND CRIMP WATER SERVICE AT THE MAIN.
 - 3. CLOSE MANHOLE.
 7. ALL WATER SYSTEM COMPONENTS ARE TO BE AS PER CITY OF HAMILTON STANDARDS OR ONTARIO PROVINCIAL STANDARD DRAWING (OPSD), WHERE CITY STANDARD EXISTS. IT SHALL TAKE PRECEDENCE OVER THE OTHER STANDARDS.
 8. INTERNAL WATER METER INSTALLATION TO BE AS PER WM-200.
 9. ALL EXISTING WATER METERS ON SYSTEMS TO BE ABANDONED MUST BE REMOVED AND SALVAGED BY THE CITY OF HAMILTON. THE SERVING CONTRACTOR SHOULD CONTACT THE WATER SERVICES AND INFRASTRUCTURE SECTION, PUBLIC WORKS DEPARTMENT AT 905-444-4424 TO ARRANGE FOR THE WORK, AND A NOTE TO THIS EFFECT SHOULD BE INCLUDED ON THE PLAN.
 10. INSPECTION AND TESTING OF WATER SERVICES AND WATERMANS TO BE TO THE SATISFACTION OF THE CITY OF HAMILTON AND IN ACCORDANCE WITH FORM 400 OF THE CONSTRUCTION AND MATERIAL SPECIFICATIONS MANUAL (LATEST EDITION) AND MCE GUIDELINES.

- CONSTRUCTION REQUIREMENTS:
1. ALL BEDDING AND BACKFILL MATERIAL, ROAD SURGRADINGS AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS ETC. SHALL BE COMPACTED TO A MIN. 95% S.P.D. UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFT.
 2. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO A MIN 98% S.P.D.

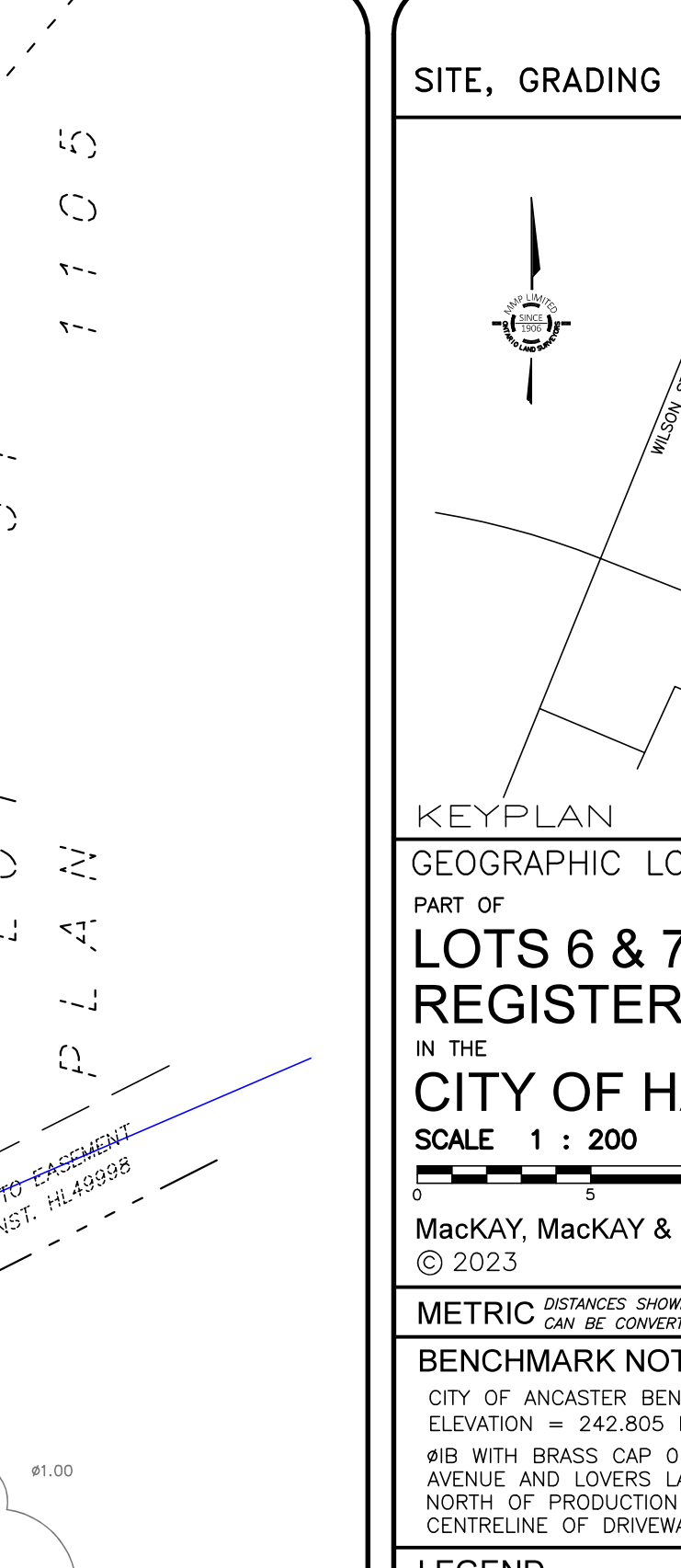
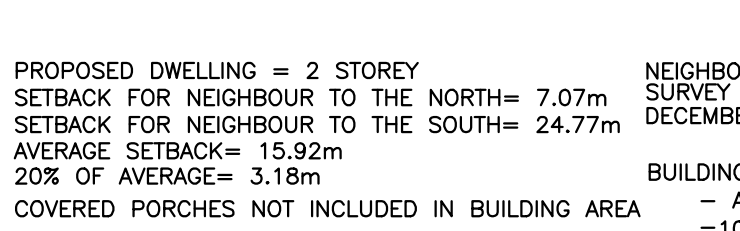
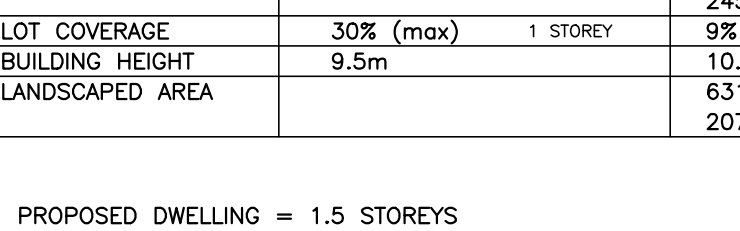
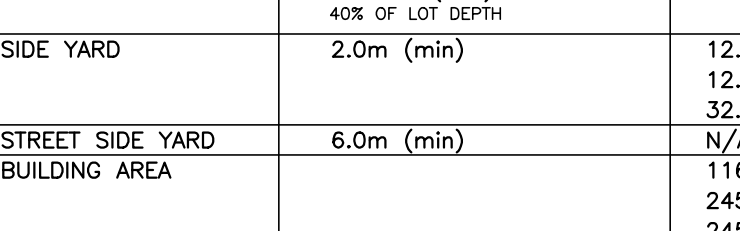
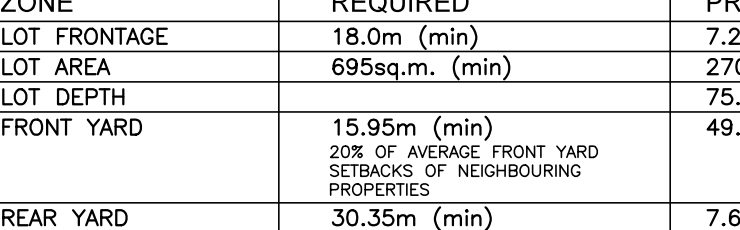
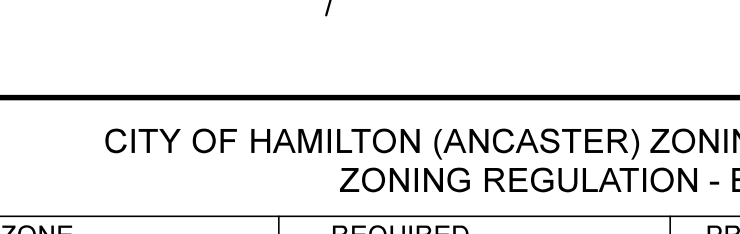
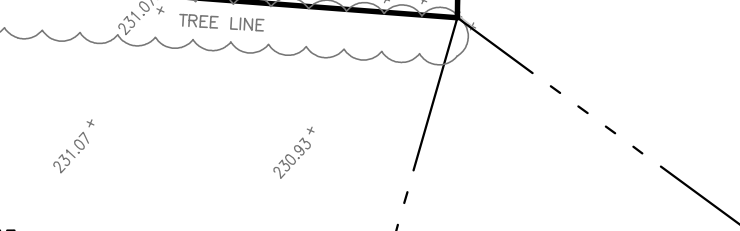
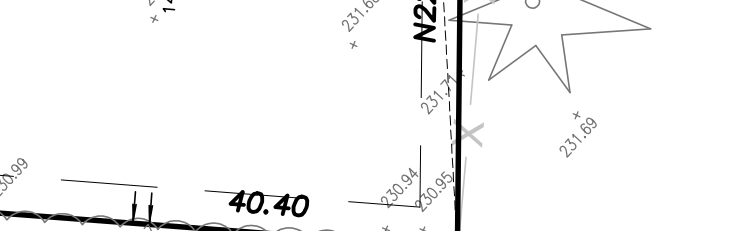
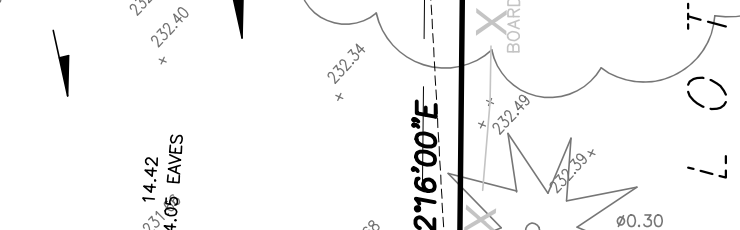
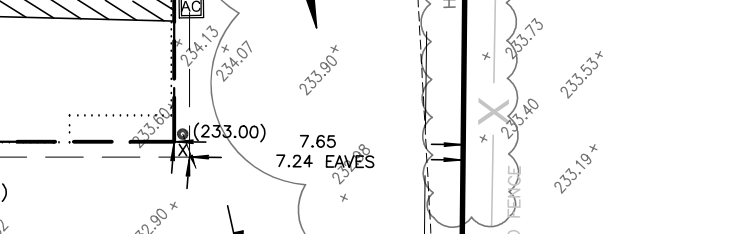
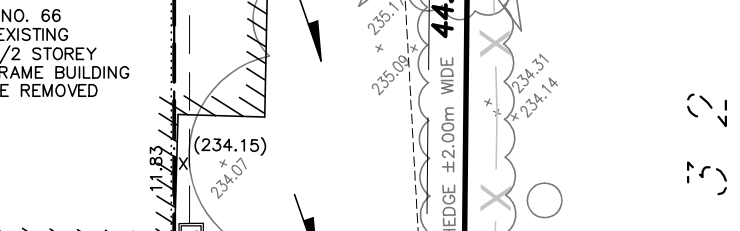
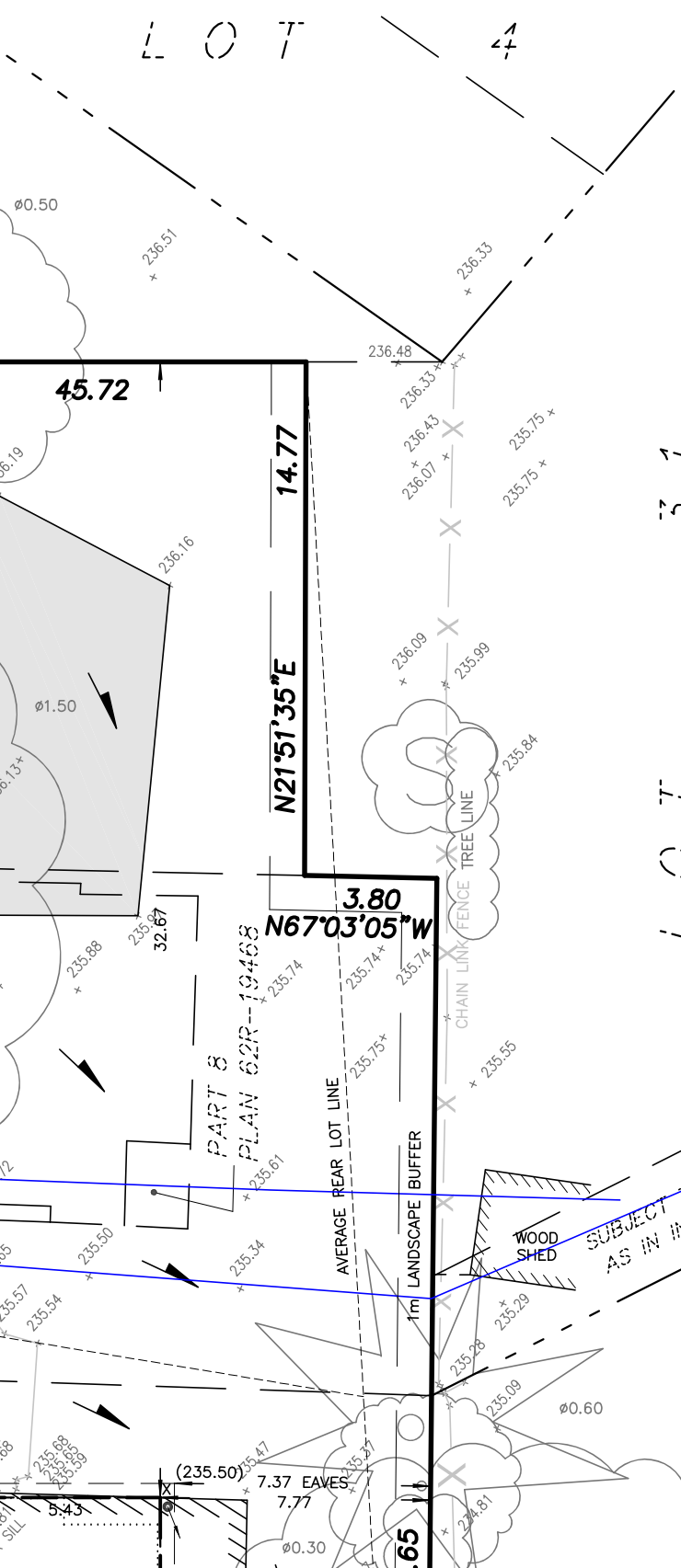
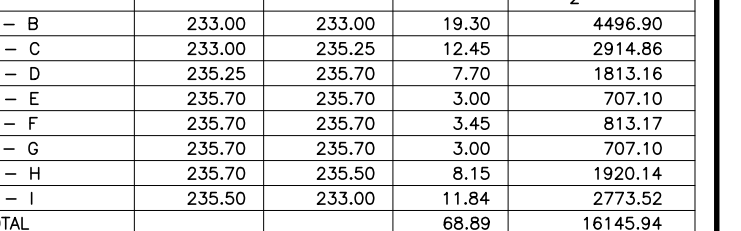
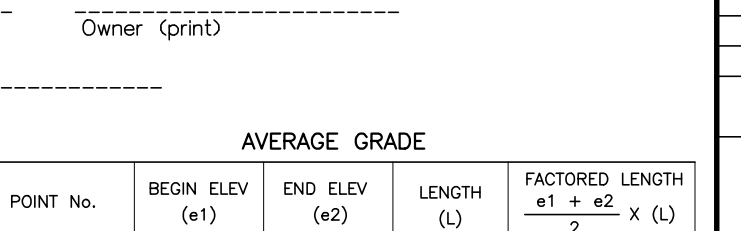
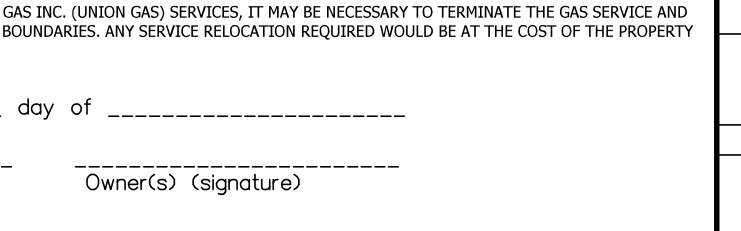
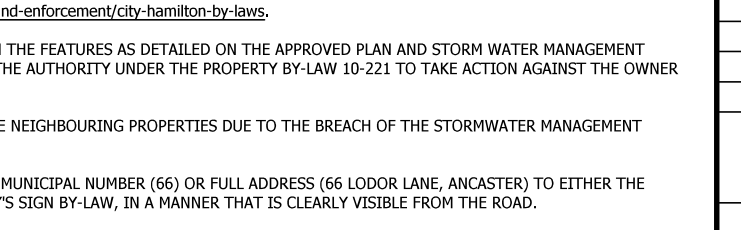
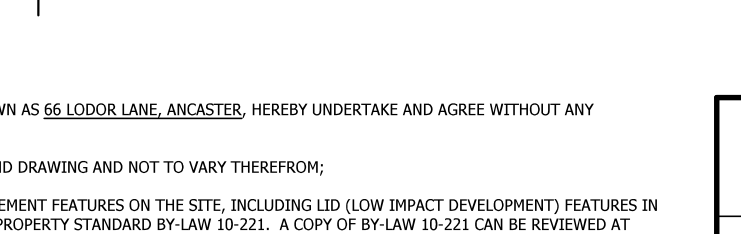
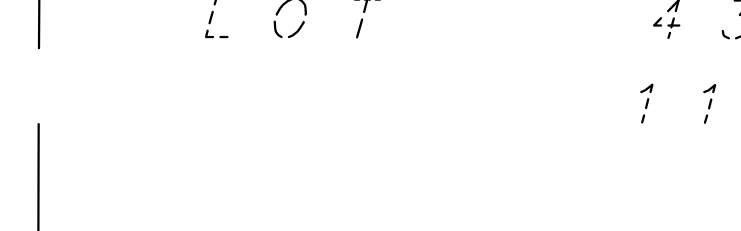
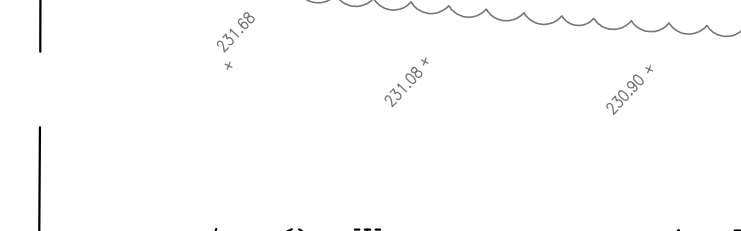
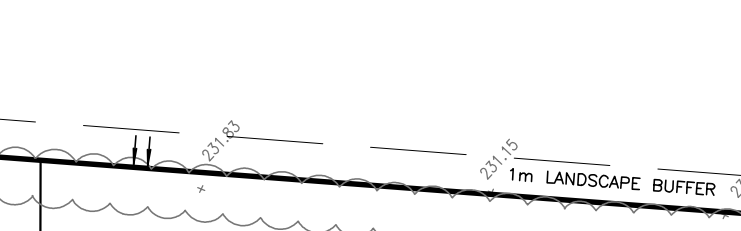
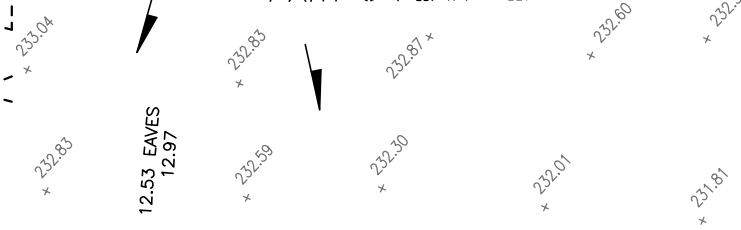
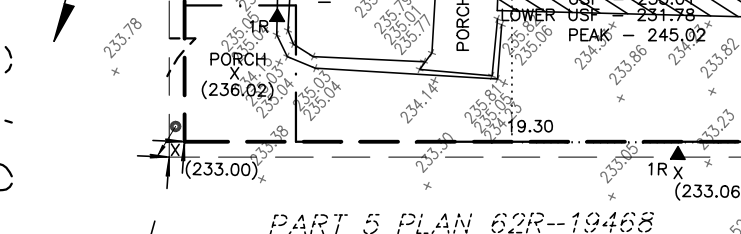
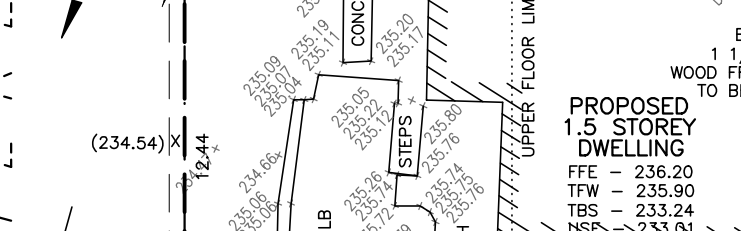
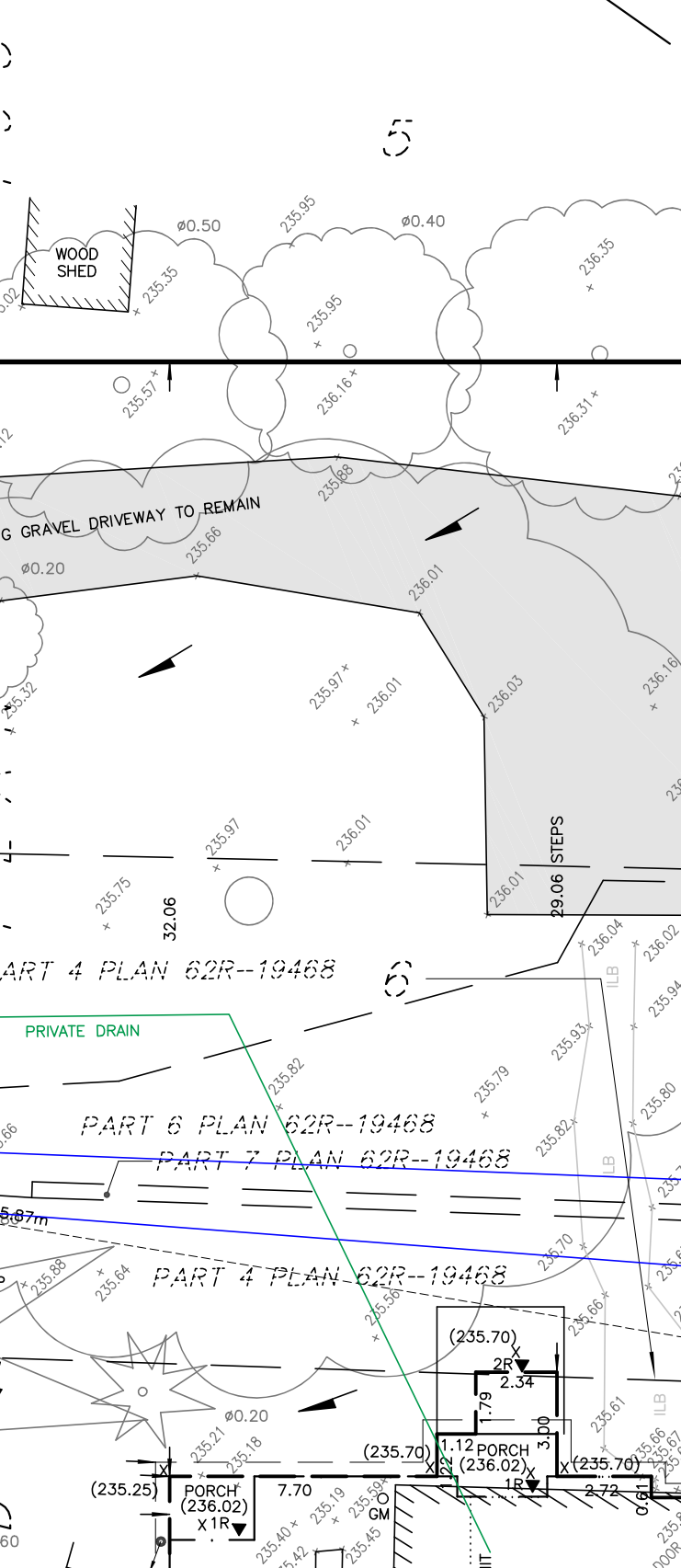
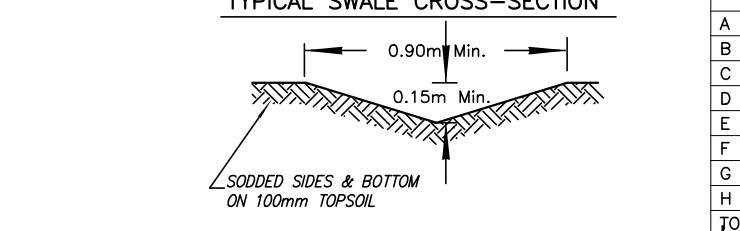
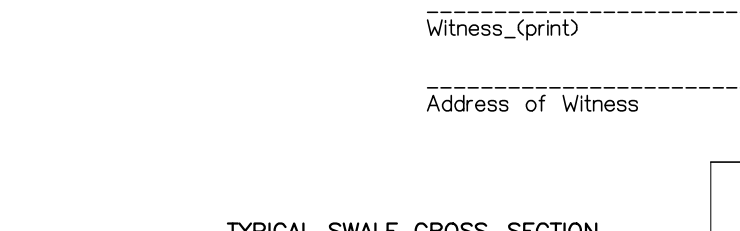
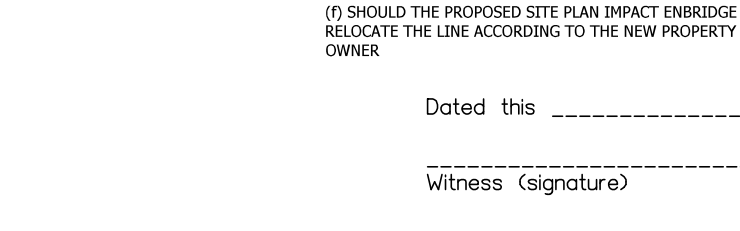
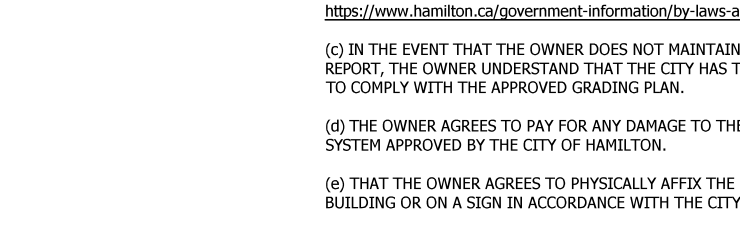
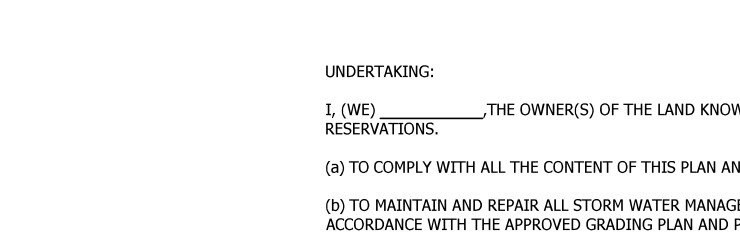
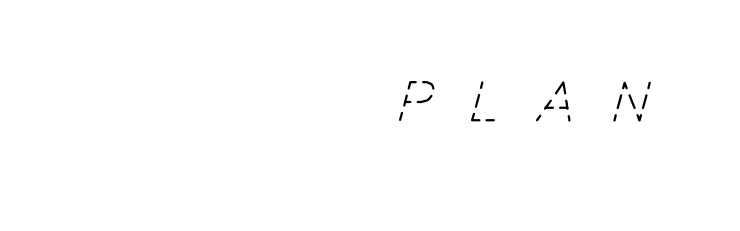
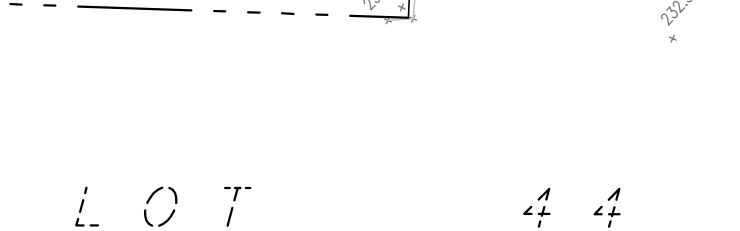
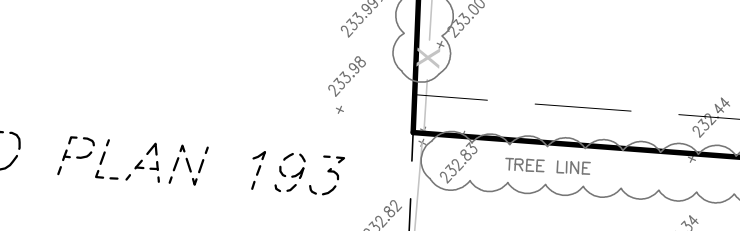
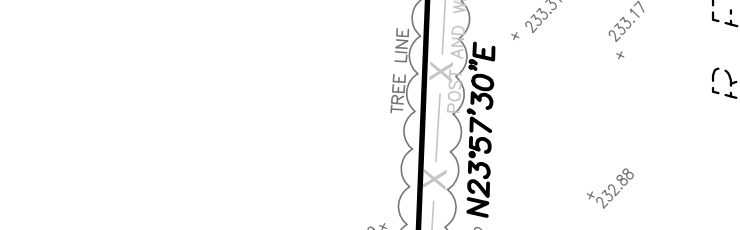
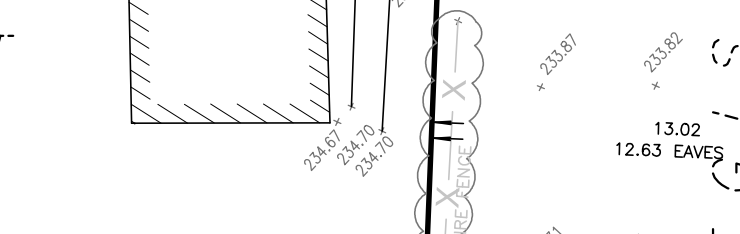
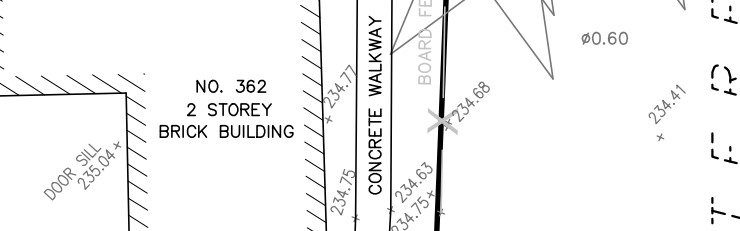
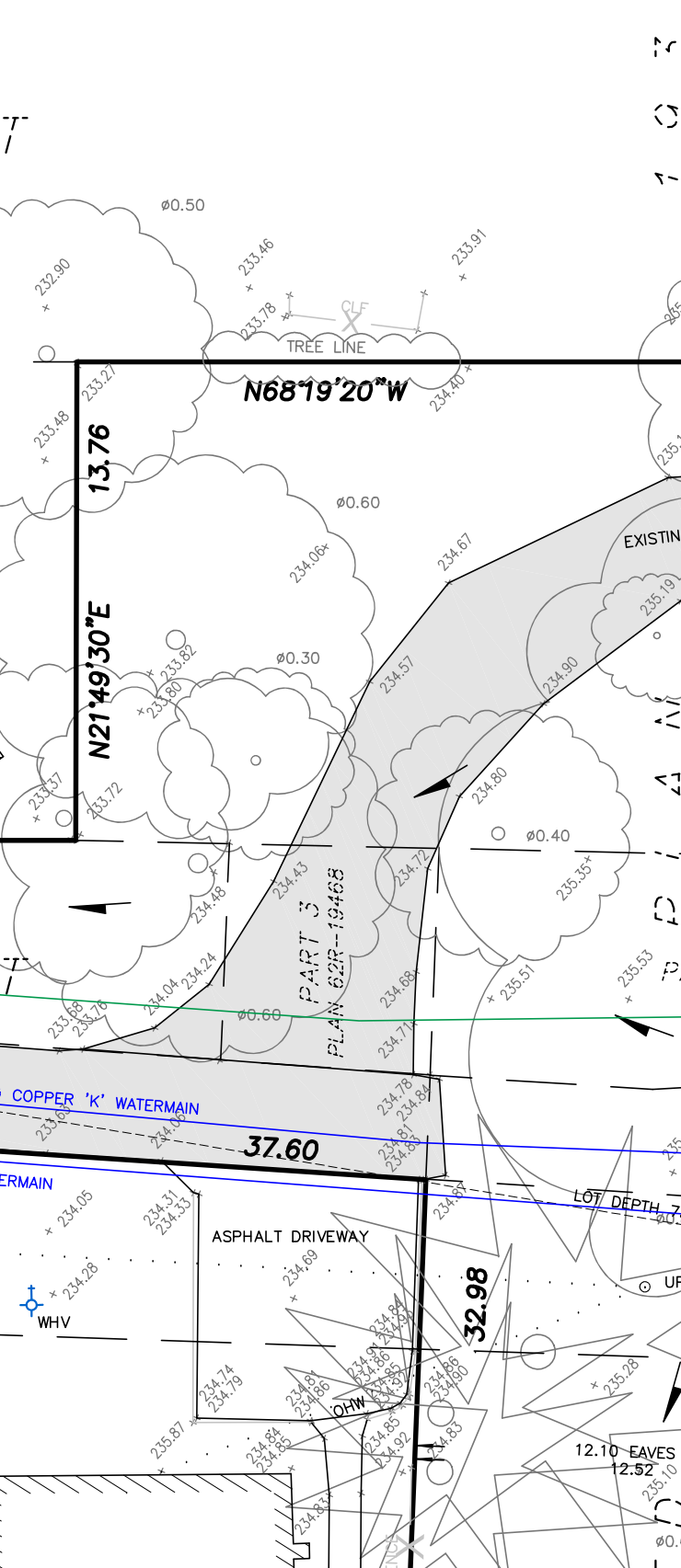
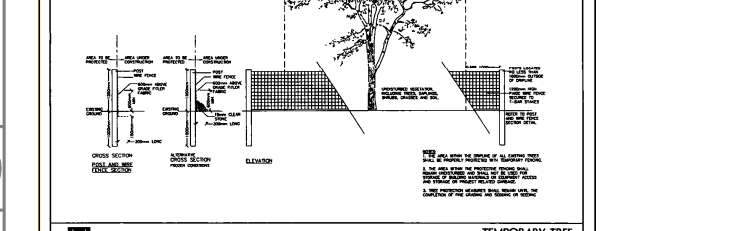
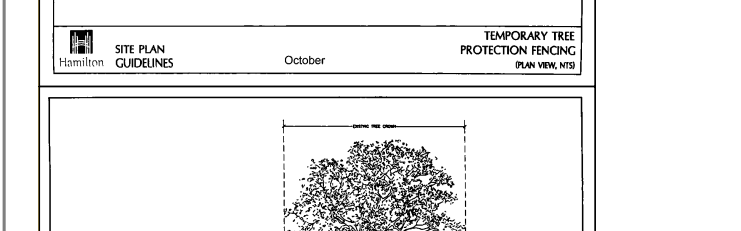
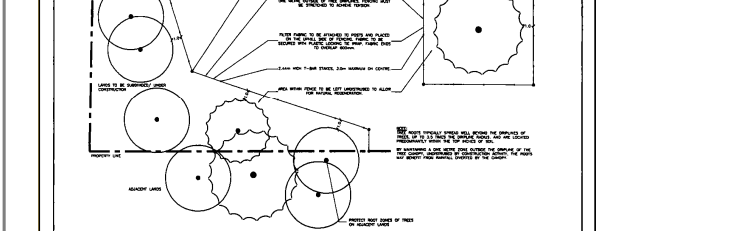
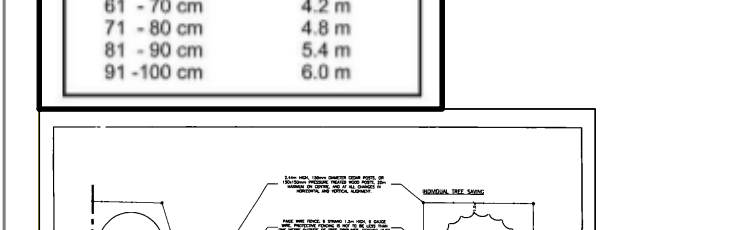
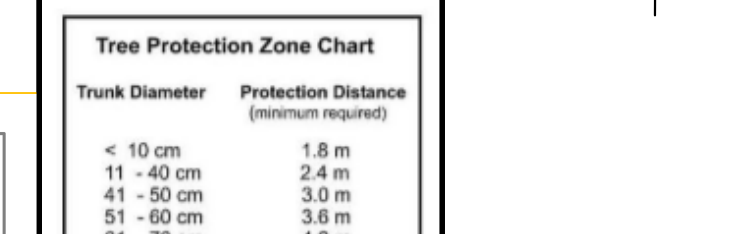
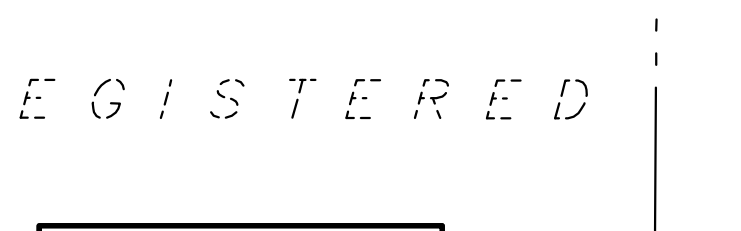
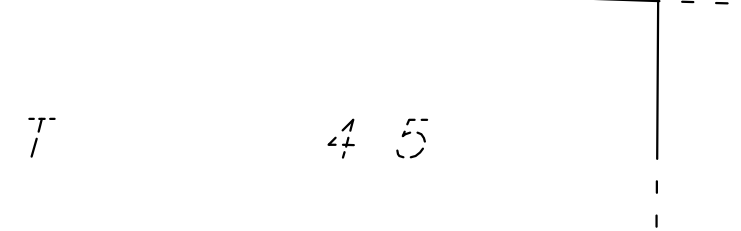
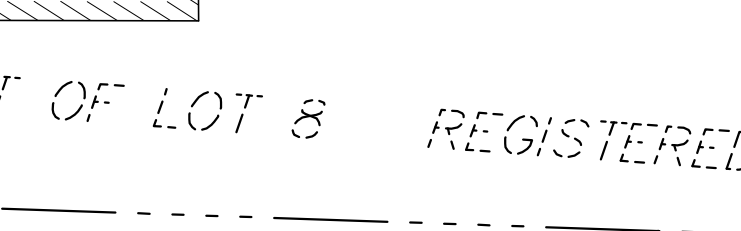
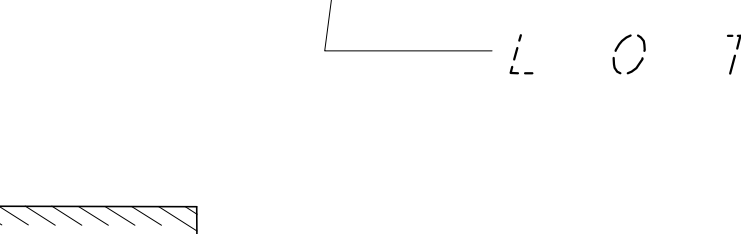
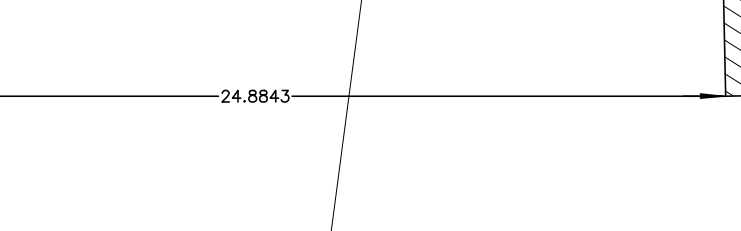
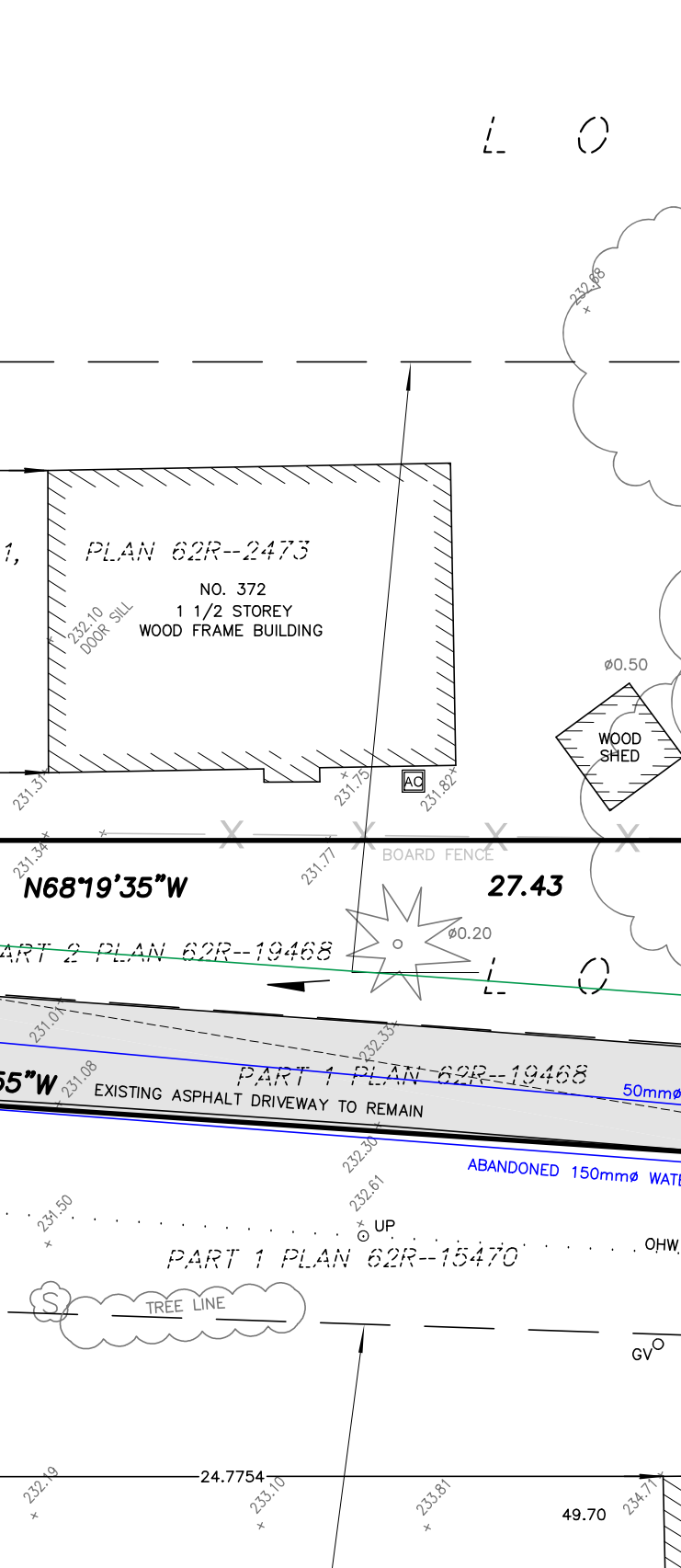
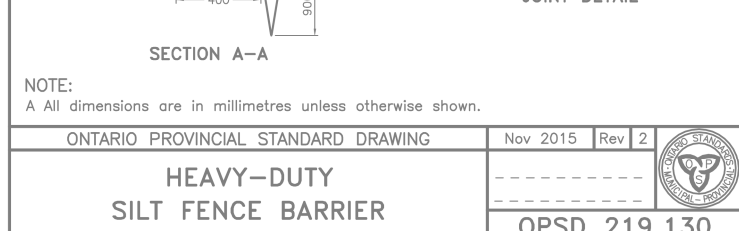
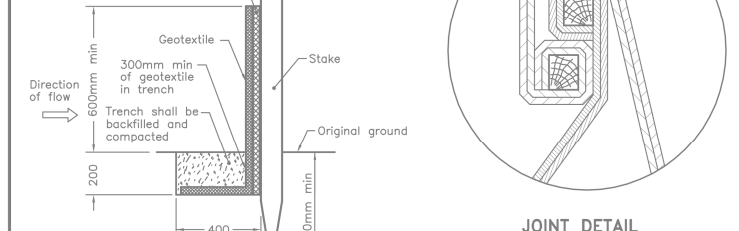
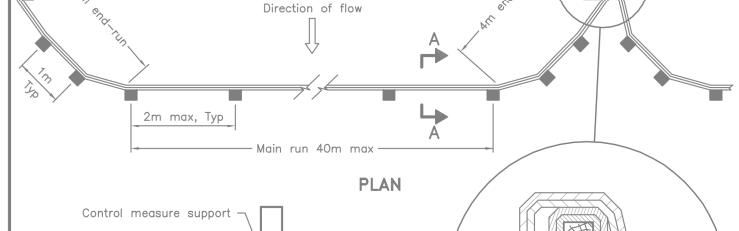
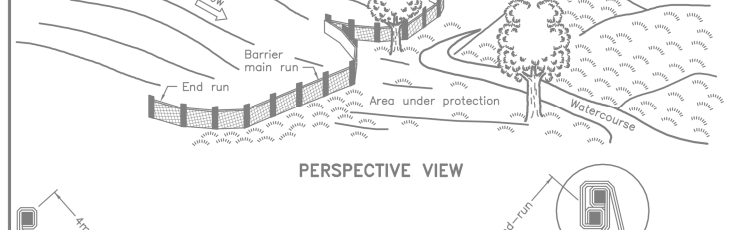
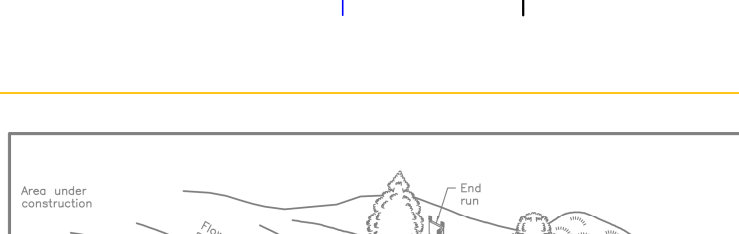
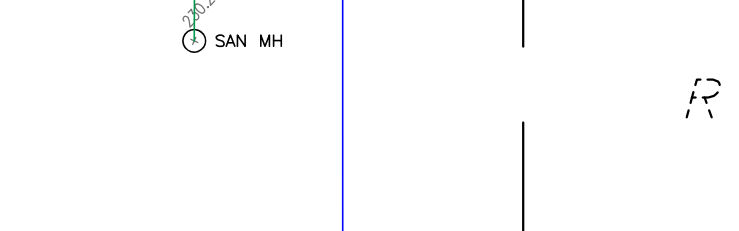
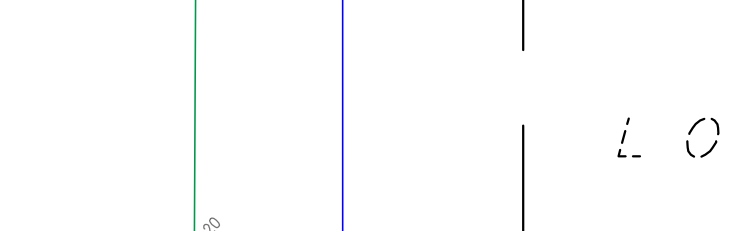
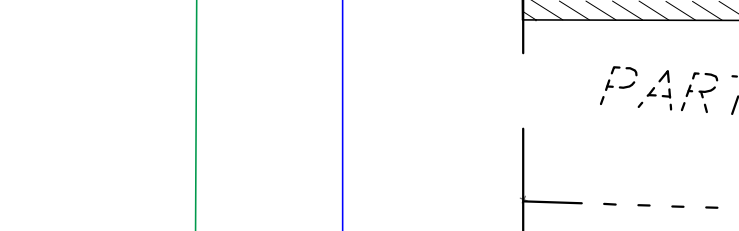
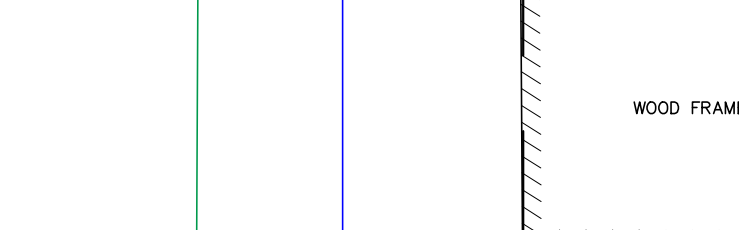
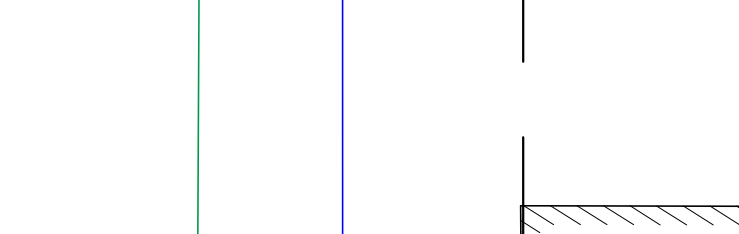
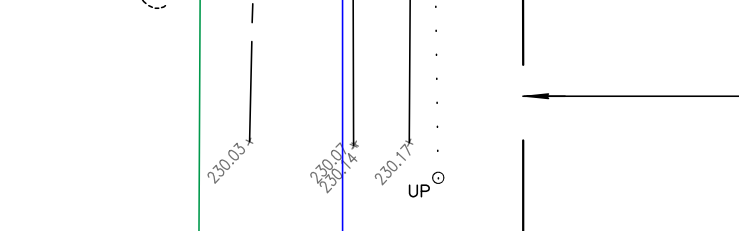
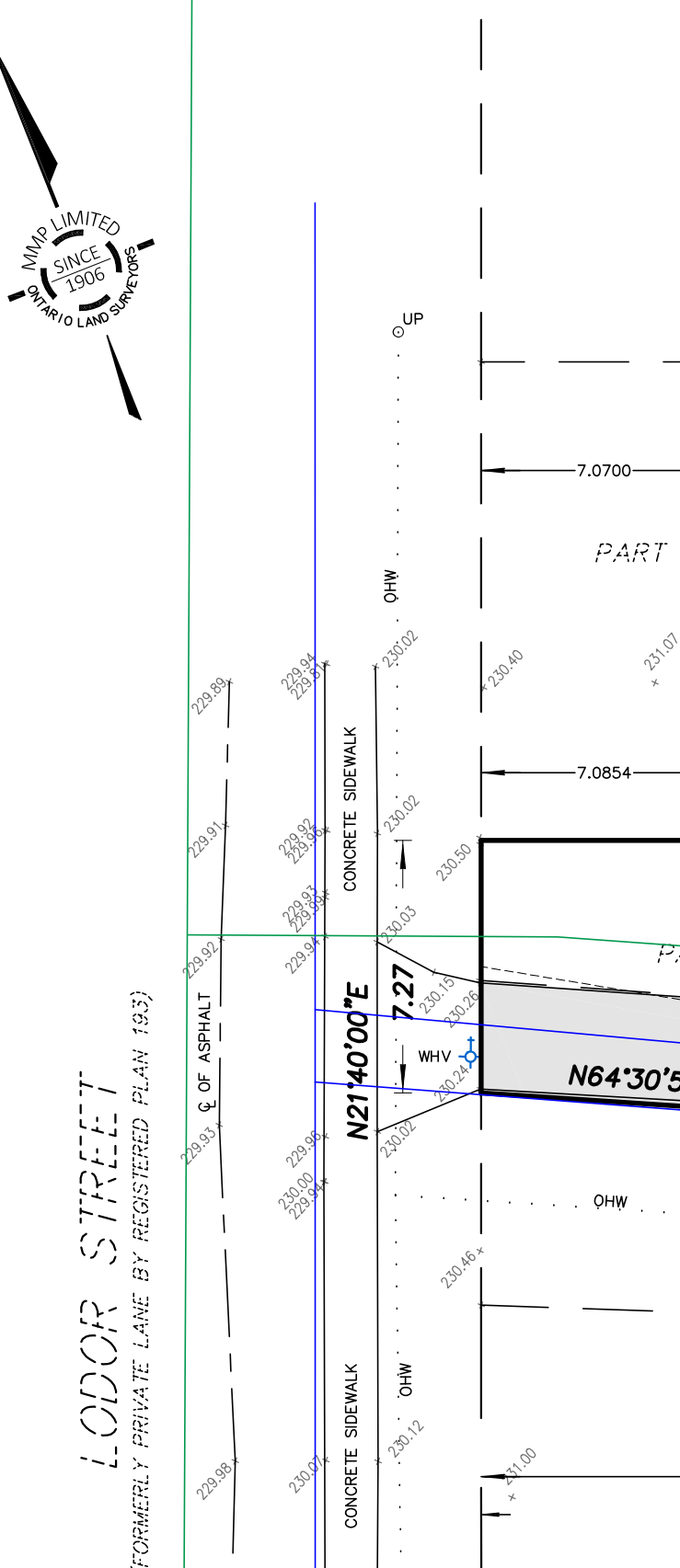
- GENERAL GRADING NOTES:
1. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATION WITH SLOPED SLOPES (MIN 3% TO 1V) AS SPECIFIED.
 2. SLOPE OF SWALES FOR BOTH BACK TO FRONT AND "SILT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 3.0% GRADE (3:1 SLOPES).
 3. WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, (WITH A MIN. 0.3m COVER OVER THE SUBDRAIN), OR OTHER MITIGATION MEASURES, MEASURES.
 4. MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
 5. UNLESS OTHERWISE NOTED, THE MINIMUM PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
 6. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm MIN. ABOVE FINISHED GRADE.
 7. SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7%. REVERSE SLOPES DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
 8. GARAGE FLOOR ELEVATION TO BE 80mm MINIMUM 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
 9. ALL FILL PLACED ON LOTS SHALL BE CONNECTED TO A MINIMUM OF 95% S.P.D. UNLESS OTHERWISE SPECIFIED.
 10. FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC. REFER TO TREE PROTECTION PLAN.
 11. LOT GRADING SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON ACCEPTANCE OF THE DEVELOPMENT BY THE CITY.
 12. THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
 13. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MIN OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE CURB WALLS.
 14. THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
 15. ALL OTCH AND BOULEVARD RE-GRADING MUST BE RE-INSTATED WITH NO. 1 MURKURY SOD AND A MINIMUM 150 MM TOPSOIL TO THE SATISFACTION OF THE CITY OF HAMILTON.

- BACKYARD GRADING:
1. DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSOR OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6m.
 2. THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5%, EXCEPT AS SET OUT IN THE ITEMS BELOW.
 3. THE 5% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
 4. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARD AND BACK YARDS, OUTSIDE THE AREA DEFINED IN ITEM 1 ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MIN 3:1V).

- ROOFWATER LEADERS:
1. ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASED OR 0.6m FROM THE BUILDING FACE.

- TREE PRESERVATION:
1. WHEREVER POSSIBLE, THE CUTTING OF SURFACE ROOTS OF EXISTING TREES IS TO BE AVOIDED. WHEREVER POSSIBLE, THE CUTTING OF SURFACE ROOTS OF EXISTING TREES IS TO BE AVOIDED. HOWEVER, IF THESE CUTS ARE REQUIRED, THE CUTS SHOULD BE COMPLETED UNDER THE SUPERVISION OF A TREE MANAGEMENT PROFESSIONAL (L.E. CERTIFIED ARBORIST) SO THAT CUTS ARE MADE APPROPRIATELY.
 2. TREES ON THE PROPERTY MAY BE REGULATED UNDER THE TOWN OF ANCASTER BY-LAW (BY-LAW 2000-118). IF TREES ARE TO BE REMOVED, IT IS ADVISED THAT THE CITY'S MUNICIPAL LAW ENFORCEMENT SECTION IS CONTACTED TO DETERMINE IF PERMITS ARE REQUIRED FOR THE REMOVAL OF TREES.
 3. THE OWNER IS TO BE AWARE OF THE MIGRATORY BIRDS CONVENTION ACT, 1994 THAT PROTECTS BIRDS AND THEIR NESTS. THE MIGRATORY BIRDS CONVENTION ACT IS IMPLEMENTED BY ENVIRONMENT CANADA. IT IS ADVISED THAT EVERY EFFORT BE MADE TO AVOID THE REMOVAL OF VEGETATION FROM THE PERIOD OF MARCH 31st TO AUGUST 31st.
 4. THIS PROPERTY IS WITHIN THE TOWN OF ANCASTER, COVERED BY THE ANCASTER TREE BY-LAW WHICH WAS NOT REPEALED WHEN THE CITY OF HAMILTON TREE BY-LAW 15-125 WAS PASSED ON MAY 13, 2015. THE FORESTRY & HORTICULTURE SECTION WILL REQUEST THAT A PERMIT APPLICATION BE SUBMITTED FOR THE REMOVAL OF TREES (2+10cm D.B.H.) WHICH ARE LOCATED CLOSER THAN 7.5 METERS FROM THE OUTER EDGE OF AN OCCUPIED STRUCTURE. ALL PRIVATE TREE REMOVALS SHOULD BE DISCLOSED TO THE CITY OF HAMILTON'S FORESTRY CONSERVATION BY-LAW OFFICER, WHO CAN BE CONTACTED AT 905-546-2424 (EXTENSION 555), OR AT treemgmt@hamilton.ca. THE OUTCOME SHOULD THEN BE REPORTED BACK TO FORESTRY AND HORTICULTURE.

- SILTATION AND EROSION CONTROL:
1. SILTATION AND EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO WORKS COMMENCING ON THE SITE AND SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION AND UNTIL GROUND COVER IS ESTABLISHED AND THE SITE IS FULLY DEVELOPED.
 2. EROSION AND SEDIMENT CONTROLS MUST BE INSPECTED ON REGULAR BASIS AND AFTER EVERY RAIN FALL EVENT, AND MUST BE MAINTAINED AND REPAIRED IN A TIMELY MANNER TO PREVENT SEDIMENT TO LEAVE THE SITE.
 3. EXISTING AND PROPOSED CATCH BASINS TO BE PROTECTED WITH A SILTASC FOR THE DURATION OF THE CONSTRUCTION.
 4. IT IS REQUIRED TO STABILIZE ALL AREAS THAT WILL REMAIN DISTURBED FOR MORE THAN 30 DAYS.
 5. SILT FENCE AND CATCH BASIN PROTECTION ARE NOT TO BE REMOVED UNTIL COMPLETION OF CONSTRUCTION.
 6. SILTATION AND EROSION CONTROL MEASURES ILLUSTRATED ON THIS PLAN ARE CONSIDERED TO BE THE MINIMUM REQUIRED.
 7. ALL EROSION AND SILTATION CONTROL DEVICES SHOULD BE AS PER THE "GREATER GOLDEN HORSESHOE AREA CONSERVATION AUTHORITIES", "EROSION AND SEDIMENT CONTROL DEVICES FOR URBAN CONSTRUCTION".
 8. THE OWNER IS RESPONSIBLE FOR THE REMOVAL OF ALL MUD AND DEBRIS THAT ARE TRACKED ONTO THE ROADWAYS FROM VEHICLES ENTERING AND LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL UPOON VISUAL AND/OR WRITTEN REQUEST BY THE CITY, IMMEDIATELY PROCEED WITH THE CLEANING CARRIED OUT AND DRAWN ON THE SECURITY FOR COSTS AND/OR LAY CHARGES.



PROJECT GENERAL NOTES

Terms and Conditions

License Agreement and Copyright Notice: When you purchase a reproducible set from Virtual Creations Inc, the designer as licensor grants you, a license, the right to use these documents to construct ONE home. All of the plans referenced in this publication are protected under copyright laws and other laws. The designers retains titles and ownership of the original documents and all intellectual property rights in the plans. The construction drawings licensed to you may not be resold or used by any other person. When you purchase a reproducible set, you reserve the right to modify and reproduce the plan, but you are still limited to the construction of one house. Reproducible sets or the modified version of any plan may not be resold or used by any other person to construct a home.

Compliance with Codes: Virtual Creations Inc authorizes the use of this document, expressly conditioned upon your obligation and agreement to strictly comply with all local building codes, ordinances, regulations and requirements – including permits, and inspections at the time of construction and your assurance you will retain the trades necessary to assist in your needs. Due to differences in time and place and continuing changes in Building codes, the plan you requested may need to be modified to comply with the codes in your area. Some minor changes may be made by most professional builders. However, any significant changes including dimensional and structural changes, will require the review of Virtual Creations Inc. Virtual Creations Inc and its designers are not responsible or liable for any changes or modifications made without their express permission, and you accept full responsibility for the accuracy and integrity of any changes or modifications to the plans, and all uses of the plans.

Certification: Virtual Creations Inc can certify these documents for permit in Ontario under Part 9 and Part 4 of the OBC 2012 and do not require an Architect or Structural Engineer as we are qualified by the Ontario Ministry of Housing and Municipal Affairs. However other provinces MAY require an architect or engineer to review and "seal" a blueprint prior to construction. There may be a fee for this service. Please contact your local lumberyard, municipal building department or builders association.

Disclaimer: Substantial care has gone into the creation of our home designs. However, because we cannot provide personal or on-site consultation, supervision or have control over the construction and because of the great variance in local building codes and requirements prior to construction and to limit our liability for any damages due to any deficiencies, omissions or errors to the cost of plans purchased by you; We make no warranty, expressed or implied, including but not limited to any warranty of merchantability or of fitness for a particular purpose with respect to the use or content of these plans.

Home Plans are Copyrighted

All documents created by Virtual Creations Inc are covered by copyright laws and other intellectual property laws of architects and home designers. These laws allow for significant damages or penalties per incident, plus legal fees, for copyright infringement involving any of the plans found in this publication or on our web site. Construction documents WITH A SIGNATURE may not be duplicated. If additional sets are required, they may be purchased at a nominal cost. If structural modifications are needed or if the plan needs or be redrawn, you must return to Virtual Creations Inc to complete the work and issue a new set of drawings at a reasonable fee. Construction documents WITHOUT A SIGNATURE may not be submitted for building permit or plans examination.Thank you in advance for your compliance with these laws

All parties involved with a renovation project should verify all dimension prior to commencing work. Virtual Creations Inc. makes a best effort to accurately measure the existing building, however, we can not determine wall thickness construction assembly, building square-ness, level and plumb-ness as well as general room to room accuracy at the time these drawings were prepared. Each trade, contractor and or builder should read these drawings as "intent based" documents and adjust accordingly.

PROJECT GENERAL NOTES

THESE ARE GENERAL NOTES AND NOT ALL INFORMATION MENTIONED HERE MAY APPLY TO THIS SPECIFIC PROJECT. THESE NOTES ARE MEANT TO BE GENERAL, FOR EXAMPLE IF THIS IS A NEW PROJECT THEN OBVIOUSLY THE VERIFY EXISTING FINISHES WOULD NOT APPLY.

ALL new and existing dimensions are approximate. Verify on site. Verify existing and all finished grades on site. Cold cellars to be vented to exterior. Cold cellar doors to be weather-stripped and exterior grade. Carbon Monoxide Detectors required for fuel appliances (OBC 9.33.4.2), as well as adjacent to each sleeping area. Smoke alarms shall be located as per 9.10.19.2. of the OBC. Smoke alarms shall be wired so that when the alarm sounds, all alarms sound as per 9.10.19.4. of the OBC. Fireplace to be installed as per manufacturer's specification and instructions. Verify fireplace and bump out dimensions from manufacturer

9.10.22.2. Vertical clearances above ranges. 9.10.22.3. Protection around ranges. See general notes

See Supplier Engineering Data for all Pre-Engineered steel beams, and wood headers, beams columns and wood I joists

9.5.2.3.(1) Stud wall reinforcement, If wood wall studs or sheet steel wall studs enclose the main bathroom in a dwelling unit, reinforcement shall be installed to permit the future installation of a grab bar on a wall adjacent to, a water closet in the location required by Clause 3.8.3.8.(1)(d), and a shower or bathtub in the location required by Clause 3.8.3.13.(1)(f). To be read in conjunction with pre-manufactured lumber specifications attached.

Roof Framing Information
ALL laminated veneer lumber (LVL) beams, built-up beams, girder trusses and metal hanger connections supporting roof framing to be designed and certified by roof truss manufacturer. Refer to roof truss shop drawings for all roof framing information unless otherwise noted on Architectural drawings.

9.26.18.2. Downspouts
Where downspouts are provided and are not connected to a sewer extensions shall be provided to carry rainwater away from the building in a manner that will prevent soil erosion.

9.19.2.1. Attic Access
Every attic or roof space shall be provided with an access hatch where the attic or roof space measures not less than, 100 sq.ft. in area, 1 000 mm in length or width. The hatch required shall be not less than 550 mm by 900 mm except that, where the hatch serves a single dwelling unit, the hatch may be reduced to 0.32 m2 in area with no dimensions less than 545mm. Hatchways to attic or roof spaces shall be fitted with doors or covers.

9.19.1.2. Roof Vent Requirements
The unobstructed vent area shall be not less than 1/300 of the insulated ceiling area. 9.26.5.1. Type "s" smooth surface roll roofing eaves protection for first 3'-0" of roof above an interior living area.

9.10.16.1. Attic Firestop is required at this location of the attic as the attic is greater than 65'-0" in length and or greater than 3230 sq. ft. in area. 9.10.16.3.(d) 1/2" sheet of OSB from underside of truss to underside of roof sheathing spanning from edge of roof to edge of roof at this specific location.

Cathedral Ceiling Note:
MINIMUM requirement for rooms with cathedral ceilings, slopes, ceiling heights, knee wall heights, cathedral ceiling (flat) width area ll noted in elevation. Truss manufacturer to notify Virtual Creations Inc. when the minimum cannot be met.

PROJECT GENERAL NOTES

REVISION LIST:

BACKGROUND: These drawings are a direct result of your (plans examiners) deficiency lists. Each time a deficiency is given we add the comment to our standard drawing set. Continually adding new items to the drawing set. What follows is a record of "why" something might be in our drawing sets.

2019.10.10 – City of Burlington – All exterior dimension on all floor plans will be in both metric and imperial
2019.11.15 – City of Burlington – R values noted on building sections
2019.12.11 – Town of Oakville – Town required detail drawings of interior and exterior guards on drawings.
2020.01.15 – City of Niagara Falls – Smoke alarms must be shown on the drawings along with mechanical fans.
2021.01.14 – OBC – 6mil Poly Vapour Barrier required below basement slab added.
2021.01.20 – OBC – Removed ½" flex cell joint from basement slab work as it is not OBC requirement
2021.03.11 – City of Burlington – all deck and porches dimensioned vertically in elevations drawings
2021.11.16 – City of Hamilton – ATFW shown on elevations and building sections means "Above Top Foundation Wall"
2021.11.16 – City of Hamilton – Note added explaining this page is a GENERAL NOTES and not all notes may apply

CONTRACT AND OBLIGATIONS:

By using these plans to construct the structure you the, READER of these drawings, I.E. The HOMEOWNER, BUILDER, GENERAL CONTRACTOR, SUB-CONTRACTOR, SUB-TRADE do here by agree to Virtual Creations Inc's Contract and Obligations.

SCAN ME

VIRTUAL CREATIONS INC.

(905) 481 1153

PROJECT: 66 Lodor Lane, Ancaster Ontario

PROJECT No: 2022-021

INC. BCIN No. 28844

BCIN No. 28844

ISSUED: May 15 2023

AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED A COMPREHENSIVE SET OF CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS AT THE TIME OF DESIGNING THAT ARE UNAVAILABLE OR INACCESSIBLE. WITH PROPER CO-ORDINATION AND VERIFICATION, THE DRAWINGS WILL BE AS CLOSE AS POSSIBLE TO THE EXISTING CONDITIONS. THE DRAWINGS WILL BE USED FOR THE CONSTRUCTION OF THE PROJECT. THE DRAWINGS WILL BE USED FOR THE CONSTRUCTION OF THE PROJECT. THE DRAWINGS WILL BE USED FOR THE CONSTRUCTION OF THE PROJECT.

Client Sign Off: _____

Date: _____

SMALL BUILDINGS

Classification : _____

Client: _____

Original Signature: _____

Kim Lalonde Design

WWW.VCINC.CA

ERIC CANTON BCIN#25135

CONTRACT

OBC 9.10.19.3 – Smoke Alarms

(Renovations Only)


Existing smoke alarms are acceptable, however, if the scope of work involves renovating existing bedrooms, changing room uses from a non-bedroom use to proposed bedroom use or an addition which includes a bedroom many requirements of 9.10.19.3 would apply including being interconnected, hardwired and with visual notification. If a smoke alarm is required it will be noted on drawings.

Electrical Safety Authority

Doing electrical work? A notification must be filed with the Electrical Safety Authority. Hiring someone to do electrical contractor.

It's the law.

For more information go to
www.esasafe.com or call 1-877-372-7233



NOTE TO TRUSS MANUFACTURE:

2019.11.27 – Manufactured Items and Materials

All materials like a truss, floor joist, beams, etc. CAN NOT be designed, put into production or purchased for installation based upon these drawings alone.

ALL dimensions need to be verified during construction and before the material is purchased, ordered or put into production. The manufacture, like the truss manufacturer, builder, contract or framer MUST review all relevant dimensions and inform Virtual Creations and the manufacture of any discrepancies. At the minimum the client must at least contact Virtual Creation to review the as build condition before purchasing, ordering or putting into production any and all materials.

FAILURE to verify these dimensions will absolve Virtual Creations of any responsibility of errors or discrepancies in our plans. By paying this invoice you agree to this requirement and condition.

DIMENSION NOTE:

2019.12.05 – There are different ways of dimension architectural floors, what follows is an explanation of the why interior walls are dimensioned as 4" or 6" vs other methods.

Some Architectural drawings chose to dimension the rough wood stud framing. However this would create a lot fractioned dimensions on the plans and would require the framer to account for the 1/2" drywall material in some conditions like bathroom tubs and stair wells.

Some Architectural drawings chose to dimension the finished wall thickness. However this would create a lot fractioned dimensions as well.

These Architectural set of drawings chose to dimension interior walls to a round 4" or 6" dimension. We feel this is the cleanest dimension as they do not have fractions, and at most produce a 1/4" error which isn't typically an issue. Further we full appreciate that we can not ask trades in the field to measure to 1/4" accuracies nor to we assume that as built construction could hold those tolerances.

Part 4 Loads used

20lb Dead Load
40lb Live Load (interior)
50lb Live Load (exterior)
32lb Snow Load
10lb Wind Load

Deflection limits

L/425 Floors (interior)
L/360 Floors (exterior)

Commitment to General Review

To plans examiner, please indicate here if a commitment to general review will be required for any item submitted here on this sheet

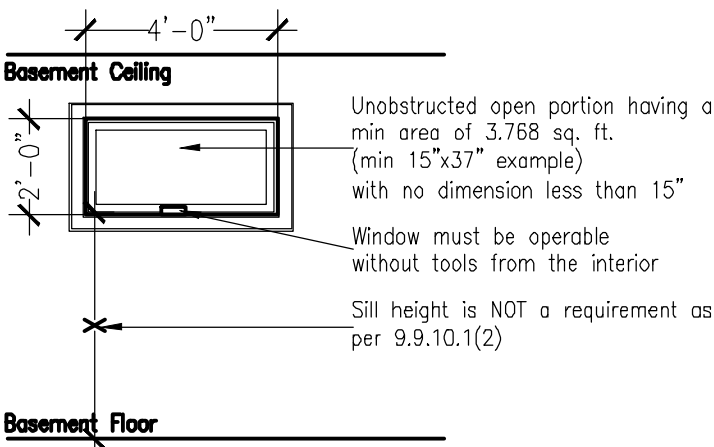
Yes

No

Notes: Engineering Drawings

These drawings shall be read in association with the engineering floor joist and specifications as well as the engineering truss layout and specification.

9.9.10.1 Egress from Bedrooms



Unobstructed open portion having a min area of 3,788 sq. ft. (min 15"x37" example) with no dimension less than 15"

Window must be operable without tools from the interior

Sill height is NOT a requirement as per 9.9.10.1(2)

Where this window opens into a window well a clearance of not less than 22" shall be provided in front of the window on the exterior.

One window in the basement must comply with these requirements as there is not a door on the same floor level as the bedroom which provides direct access to the exterior.

Foundation Floor Plan
SCALE 1/4" = 1'-0"

NOTE TO FRAMERS:

Framers **MUST** call Virtual Creations Inc. before starting framing.

Any questions, discrepancies, or errors must be discussed before starting the project.

Virtual Creations Inc. will always make themselves available to answer and address any questions Framers might have with our drawings in a very timely manner.

Failing to **CALL** Virtual Creations Inc before starting a project will absolve Virtual Creations Inc of liability of issues with the drawings

1.905.481.1153

Client Sign Off: _____ Date: _____

VIRTUAL CREATIONS INC.

(905) 481 1153

BCIN NO. 28844

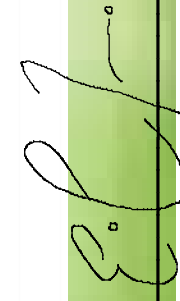
PROJECT No 2022-021

PROJECT: 66 Lodor Lane, Ancaster Ontario

SMALL BUILDINGS

Classification : _____

Client: _____ Kim Lalonde Design

Original Signature: 

www.vcinc.ca

ERIC CANTON BCIN#25135

ISSUED May 15 2023

AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED A COMPREHENSIVE SET OF CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS AT THE TIME OF DESIGNING THAT ARE UNAVAILABLE OR INACCESSIBLE. WITH PROPER COORDINATION WITH THE CLIENT, THE DESIGNER WILL MAKE THE NECESSARY VISUAL CHECKS TO DETERMINE THE LOCATION OF EXISTING STRUCTURES AND ELEMENTS SUCH AS ROOF, TRUSSES AND ENGINEERED FLOOR JOIST TO VIRTUAL CREATIONS INC. TO REVIEW PRIOR TO FABRICATION. DETERMINE LOCATIONS OF EXISTING SERVICES. INFORM VIRTUAL CREATIONS INC. OF ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS FOR REVIEW BEFORE COMMENCING CONSTRUCTION. ALL DESIGNS AND DRAWINGS ARE THE SOLE PROPERTY AND COPYRIGHT OF VIRTUAL CREATIONS INC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY VIRTUAL CREATIONS INC OR PURCHASED THROUGH VIRTUAL CREATIONS INC DIRECTLY.

CONTRACT

A1-00

OBC 9.10.19.3 – Smoke Alarms

(Renovations Only)

Existing smoke alarms are acceptable, however, if the scope of work involves renovating existing bedrooms, changing room uses from a non bedroom use to proposed bedroom use or an addition which includes a bedroom many requirements of 9.10.19.3 would apply including being interconnected, hardwired and with visual notification. IF a smoke alarm is required it will be noted on drawings

Electrical Safety Authority

Doing electrical work? A notification must be filed with the Electrical Safety Authority. Hiring someone to do electrical contractor.

It's the law.

For more information go to www.esosafe.com or call 1-877-372-7233



NOTE TO TRUSS MANUFACTURE:

2019.11.27 – Manufactured Items and Materials

All materials like a truss, floor joist, beams, etc. **CAN NOT** be designed, put into production or purchased for installation based upon these drawings alone.

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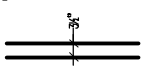
review all relevant dimensions and inform Virtual Creations and the manufacture of any discrepancies. At the minimum the client must at least contact Virtual Creation to review the as build condition before purchasing, ordering or putting into production any and all materials.

FAILURE to verify these dimensions will absolve Virtual Creations of any responsibility of errors or discrepancies in our plans. By paying this invoice you agree to this requirement and condition.

DIMENSION NOTE:

2019.12.05 – There are different ways of dimension architectural floors, what follows is an explanation of the why interior walls are dimensioned as 4" or 6" vs other methods.

Some Architectural drawings chose to dimension the rough wood stud framing. However this would create a lot fractioned dimensions on the plans and would require the framer



to account for the 1/2" drywall material in some conditions like bathroom tubs and stair wells.

Some Architectural drawings chose to dimension the finished wall thickness. However this would create a lot fractioned dimensions as well.



These Architectural set of drawings chose to dimension interior walls to a round 4" or 6" dimension. We feel this is the cleanest dimension as they do not have fractions, and at most produce a 1/4" error which isn't typically an issue. Further we full appreciate that we can not ask trades in the field to measure to 1/4" accuracies nor to we assume that as built construction could hold those tolerances.

Part 4 Loads used

- 20lb Dead Load
- 40lb Live Load (interior)
- 50lb Live Load (exterior)
- 32lb Snow Load
- 10lb Wind Load

Deflection limits

- L/425 Floors (interior)
- L/360 Floors (exterior)

Commitment to General Review

To plans examiner, please indicate here if a commitment to general review will be required for any item submitted here on this sheet

Yes

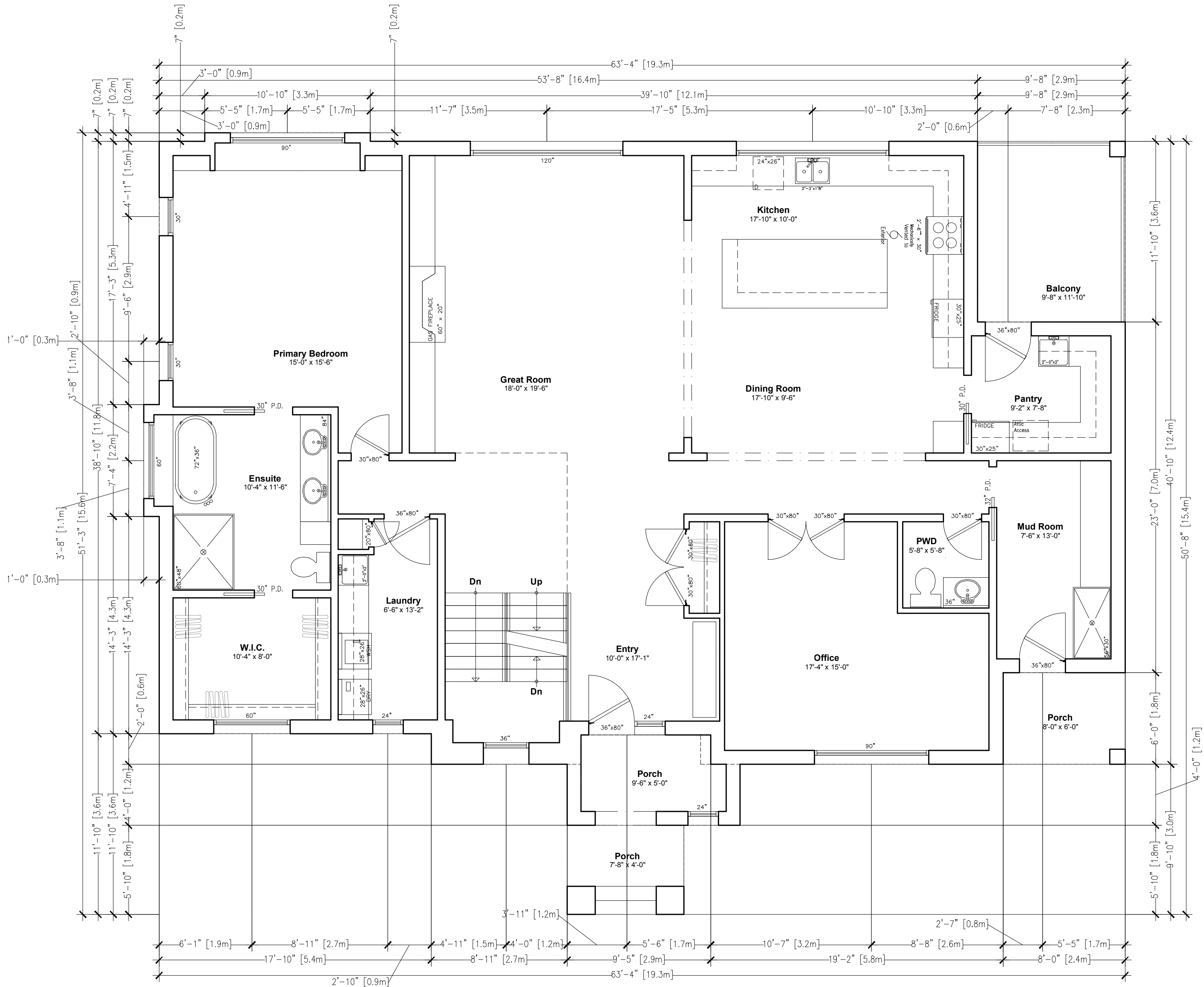
☐

No

☐

Notes: Engineering Drawings

These drawings shall be read in association with the engineering floor joist and specifications as well as the engineering truss layout and specification.



NOTE TO FRAMERS:

Framers **MUST** call Virtual Creations Inc. before starting framing.

Any questions, discrepancies, or errors must be discussed before starting the project.

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1.905.481.1153

Date: _____

Client Sign Off: _____

PROJECT: 66 Lodor Lane, Ancaster Ontario

PROJECT No: 2022-021

VIRTUAL CREATIONS INC.
(905) 481 1153 BCIN NO. 28844

SMALL BUILDINGS

Classification : _____

Client: _____ Kim Lalonde Design

Client: _____ 28844

ERIC CANTON BCIN#25135

Original Signature:  **WWW.VCINC.CA**

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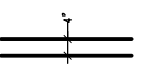


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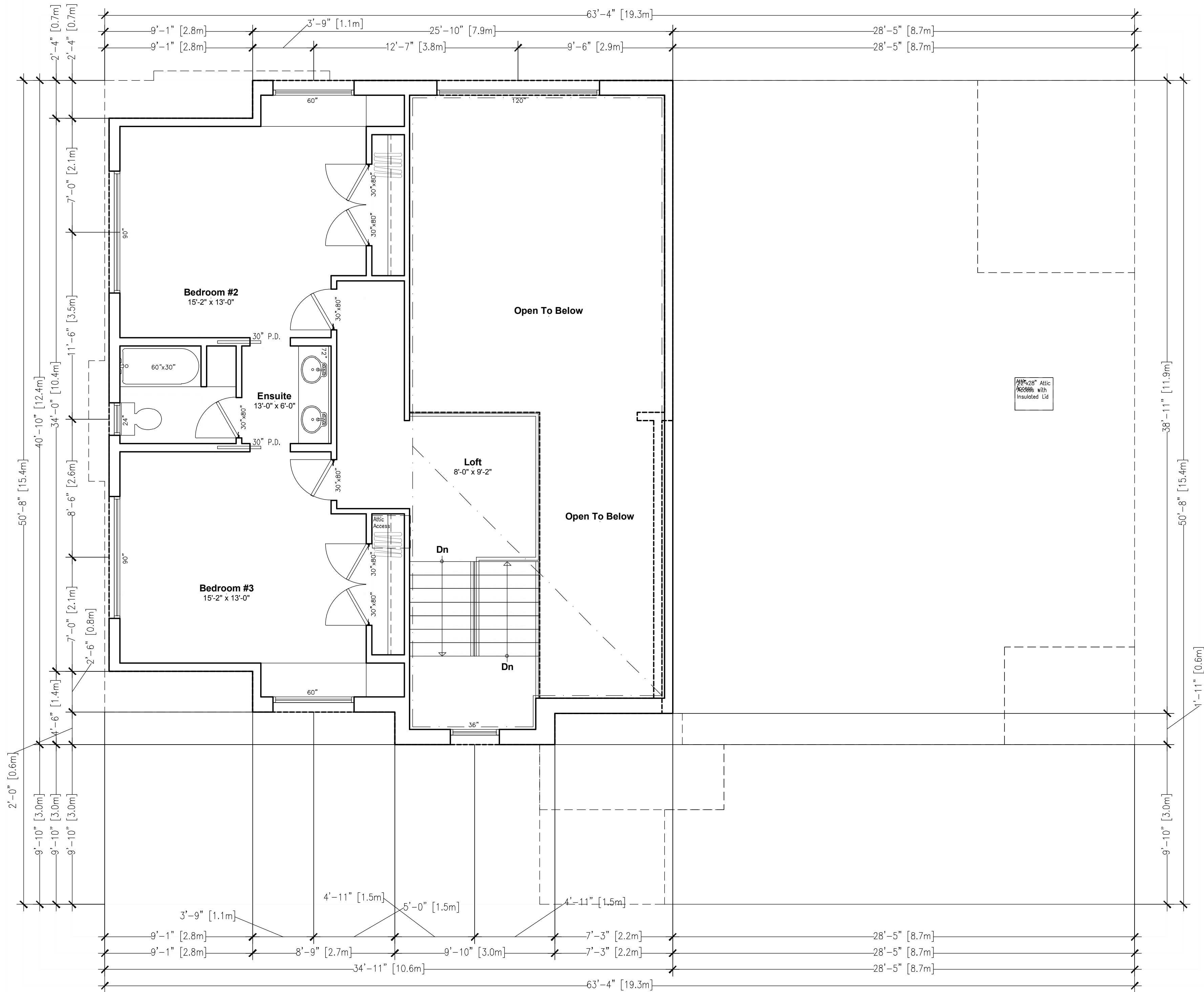
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1.905.481.1153



Second Floor Plan
SCALE 1/4" = 1'-0"

Client Sign Off: _____ Date: _____

PROJECT: 66 Lodor Lane, Ancaster Ontario

PROJECT No: 2022-021

VIRTUAL CREATIONS INC.
(905) 481 1153 BCIN No. 28844

Client: _____ Kim Lalonde Design
Classification : _____
Original Signature: *[Signature]*
WWW.VCINC.CA

ERIC CANTON BCIN#25135

ISSUED: May 15 2023

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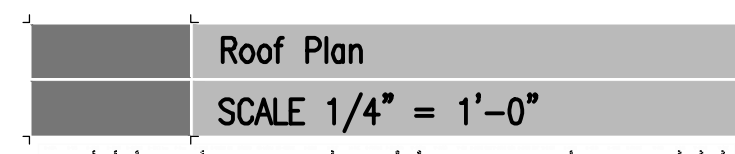
Any and all downspouts must direct water away from the building without causing soil erosion. But also not permit any water to leave the property or to flow onto public property which may cause flooding or freezing and present a condition which could cause a slip, fall or property damage.

9.26.18.2. Downspouts
Where downspouts are provided and are not connected to a sewer extensions shall be provided to carry rainwater away from the building in a manner that will prevent soil erosion.

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will prevent soil erosion.

9.19.1.2. Roof Venting requirements:
Total roof area = 138.3 OBC ratio = 150.0
Total OBC venting area requirements = 1 sq. ft.
50% of vent req. to be in soffit = 0 sq. ft.
Number of vents in roof space = 0
VCINC recommends = 1



Ceiling Finish Detail

Live dead load extent of ceiling finish

Cathedral slope of min. 12°

MN

Truss Manufacture to provide longest ceiling design as possible with minimum 12° incline or noted.

PROJECT:66 Lodor Lane, Ancaster Ontario\

PROJECT No:2022-021

VIRTUAL CREATIONS
ARCHITECTURAL CONSULTING SERVICES
(905) 481-1111

COLLEGE: May 15 2022



CONTRACT

ERIC CANTON BCIN#25135
70044

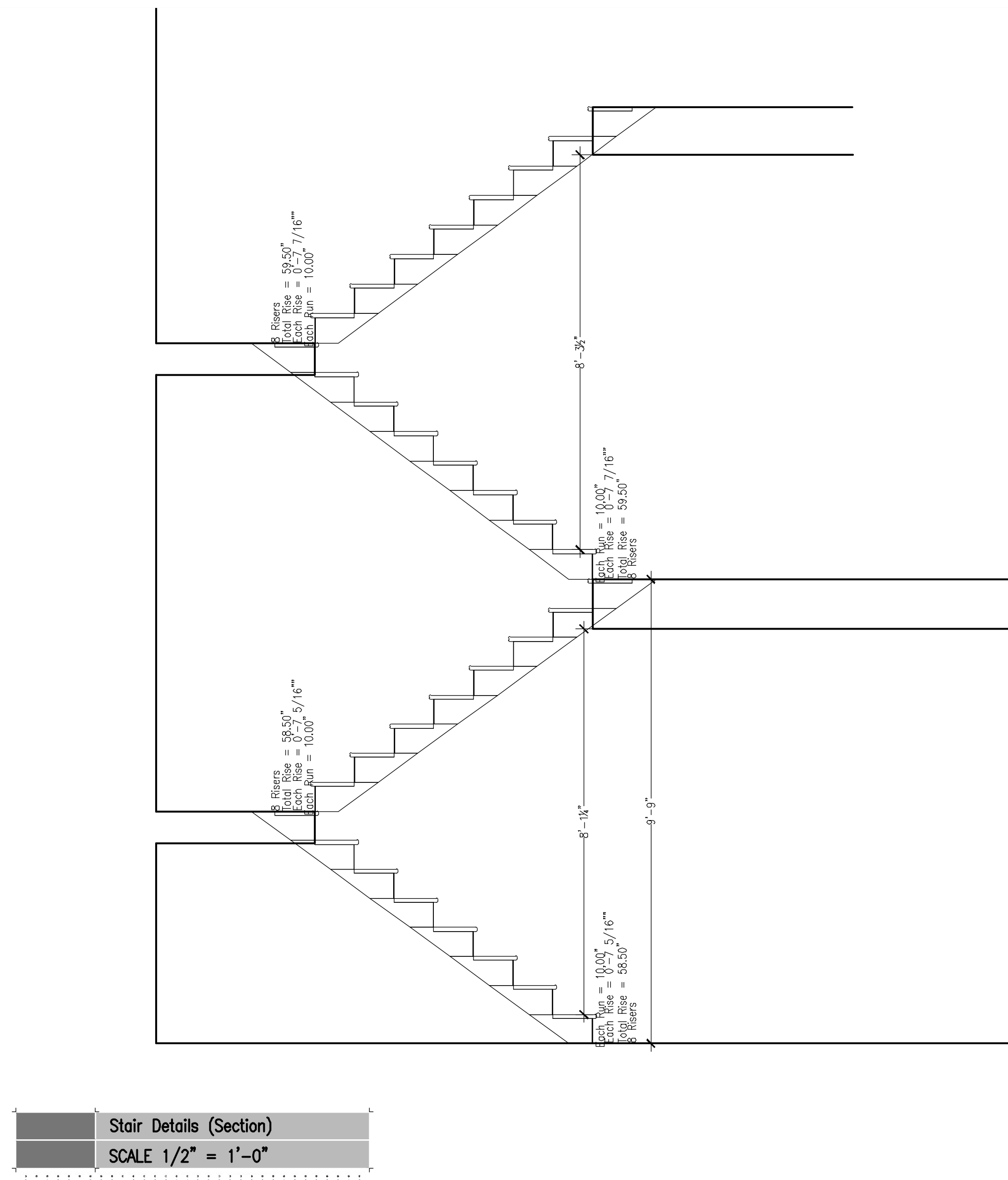
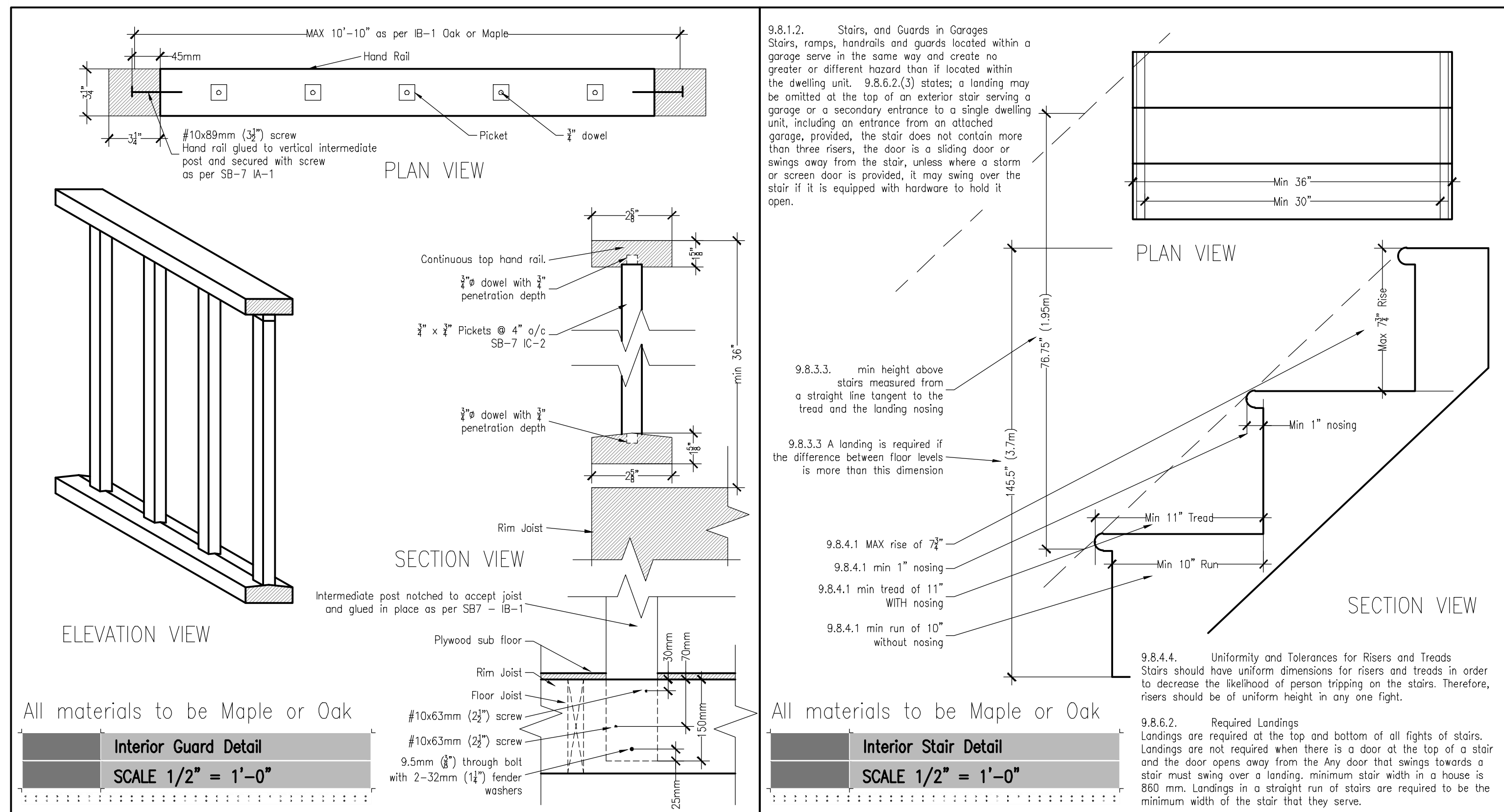
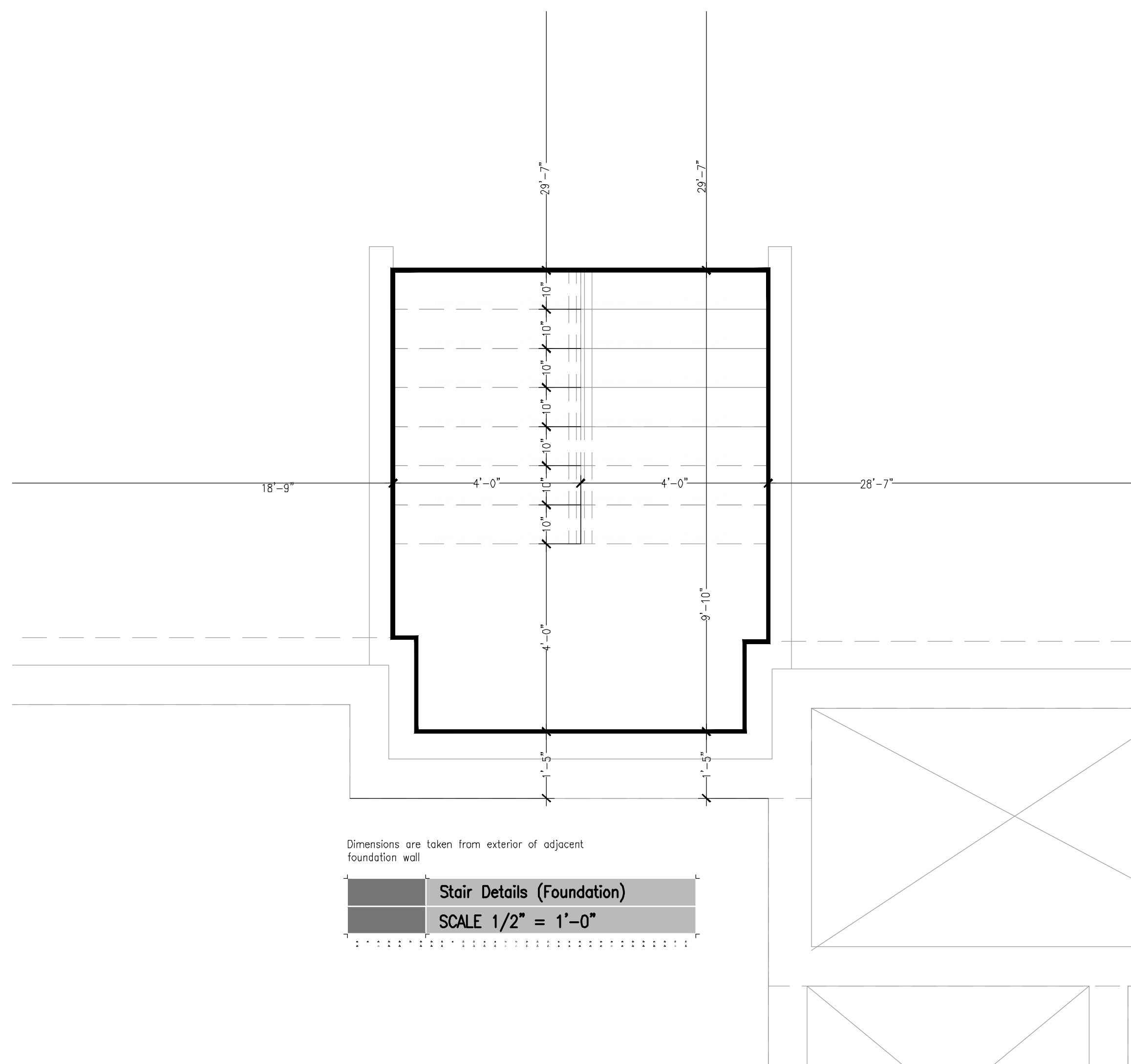
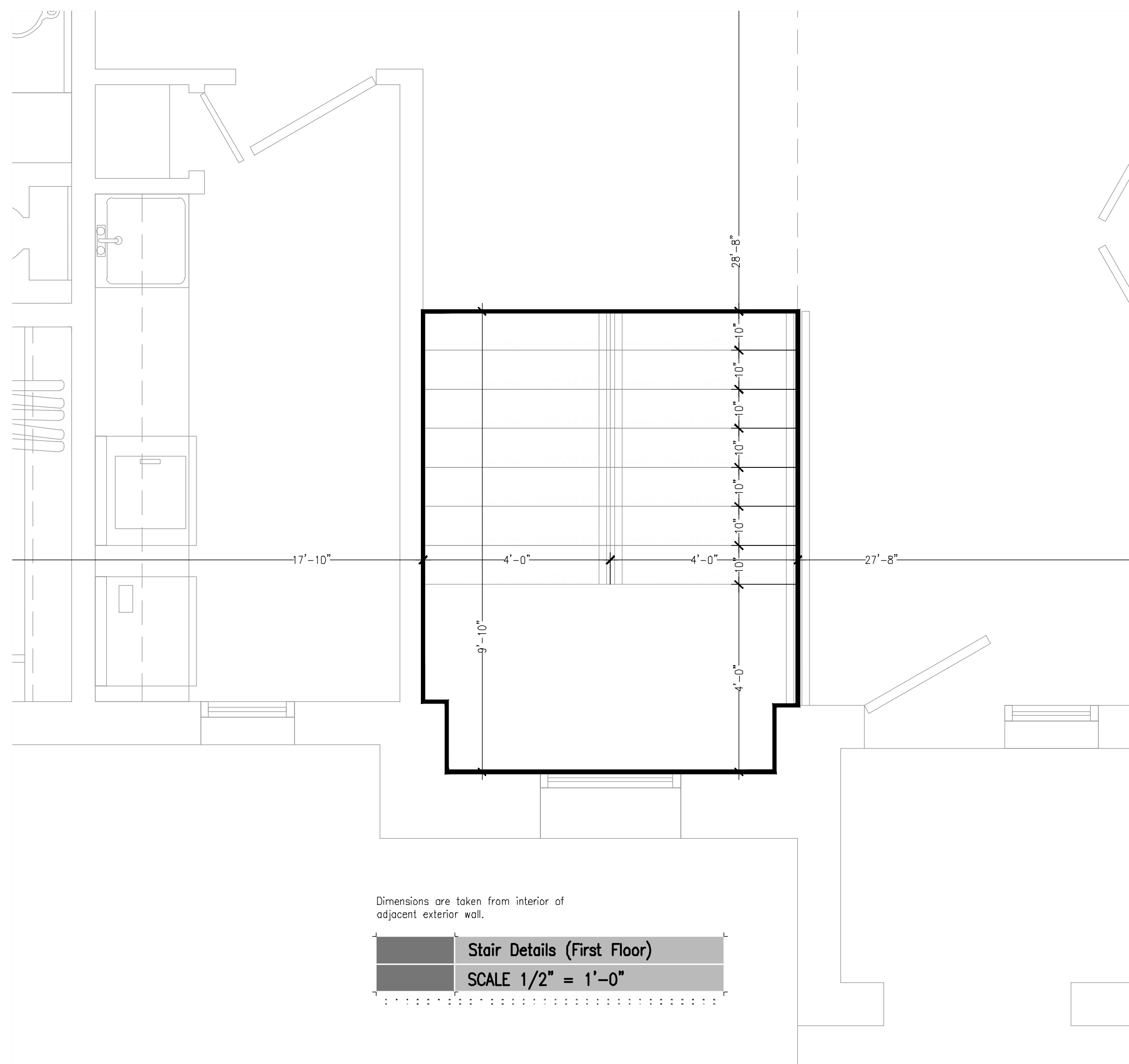
SMALL BUILDINGS

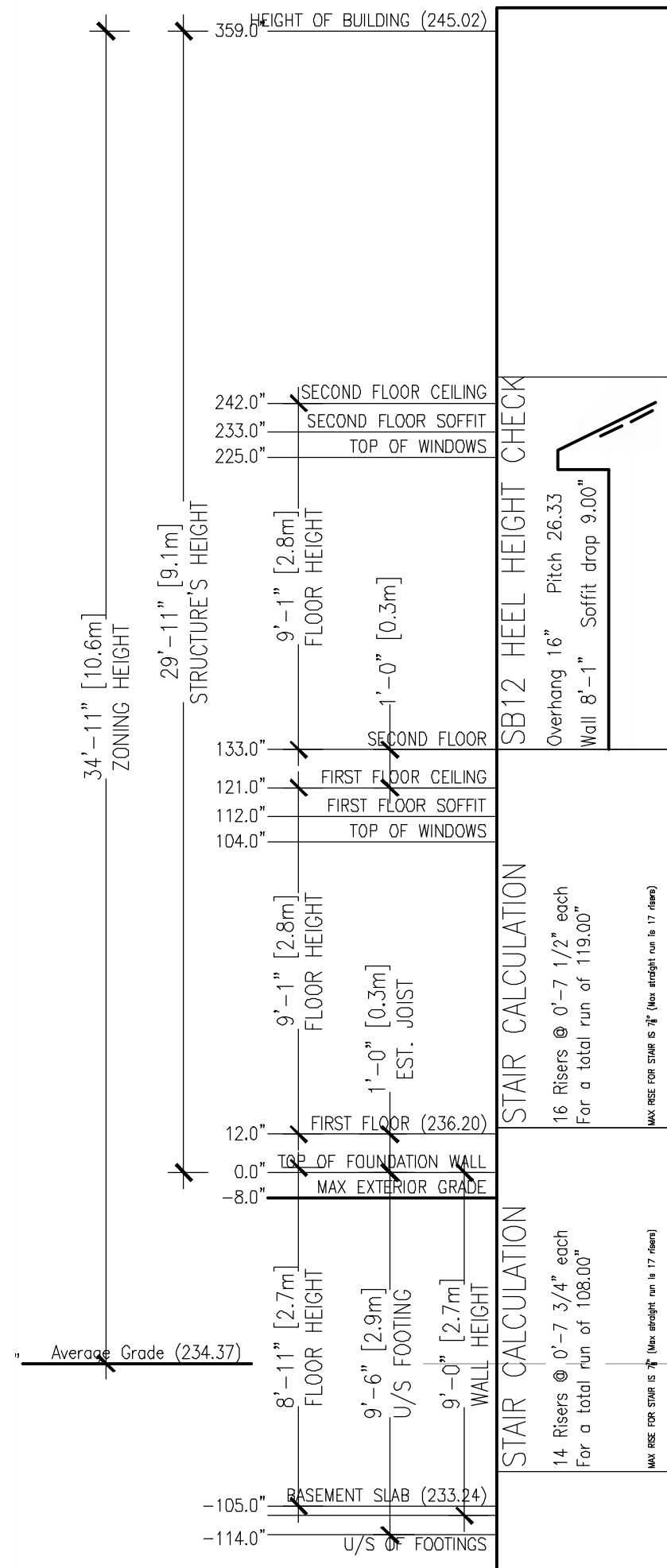
Classification : _____ Original Signature: _____

www.vcinc.ca

BE UNAVAILABLE OR INACCESSIBLE. WITH PROPER CO-ORDINATION
N. SUBMIT SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL
PANIES OR SUBSTITUTIONS FOR REVIEW BEFORE COMMENCING
Y.

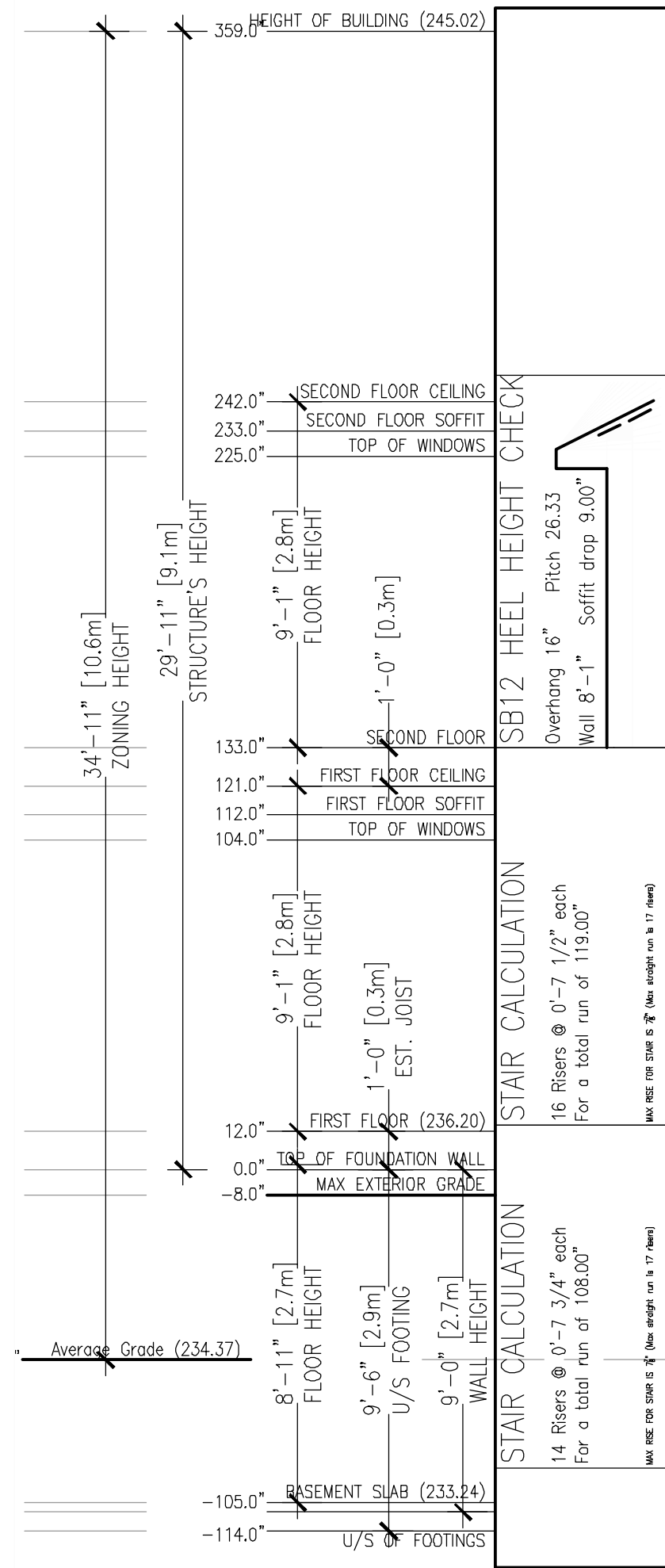
A1-04





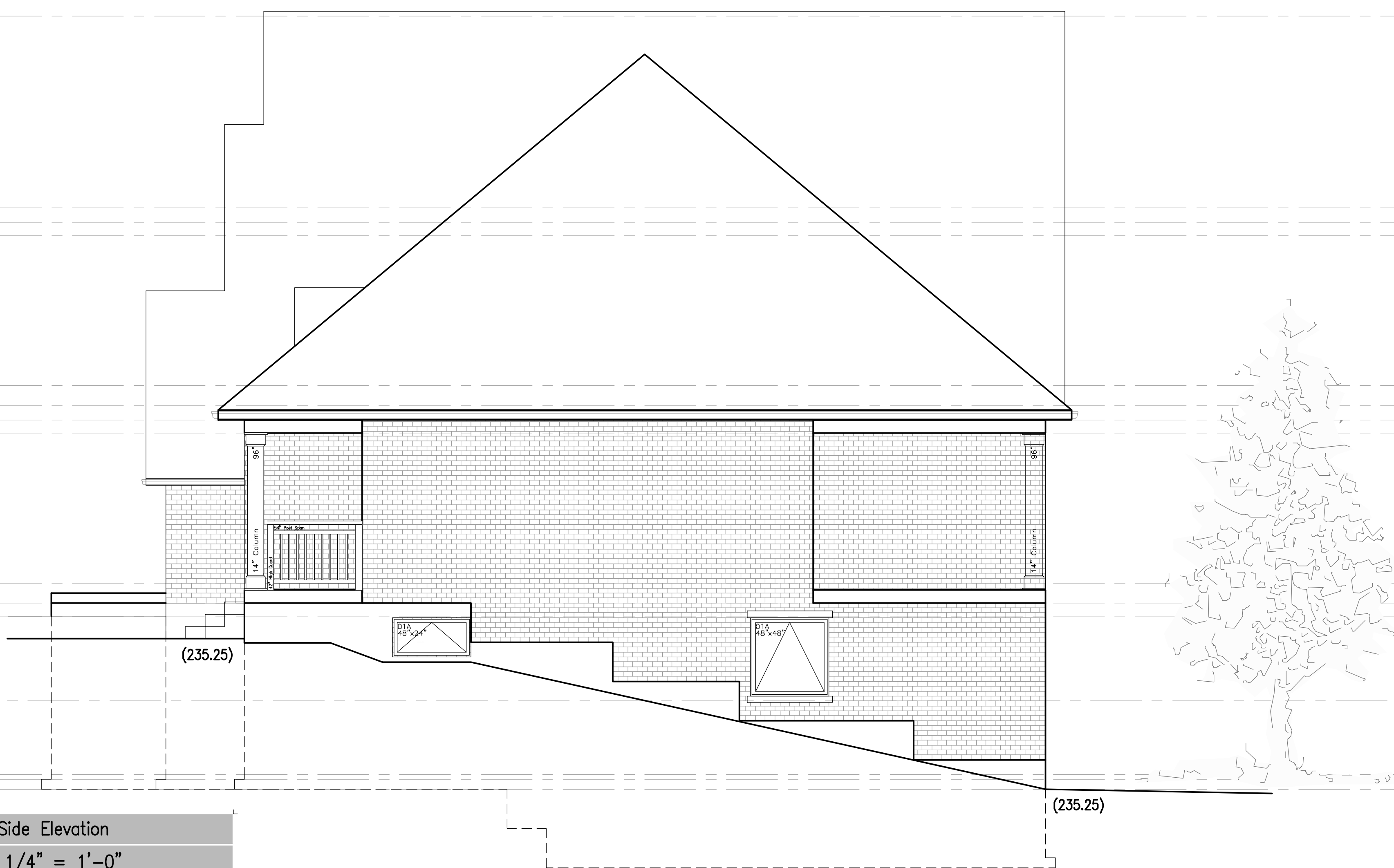
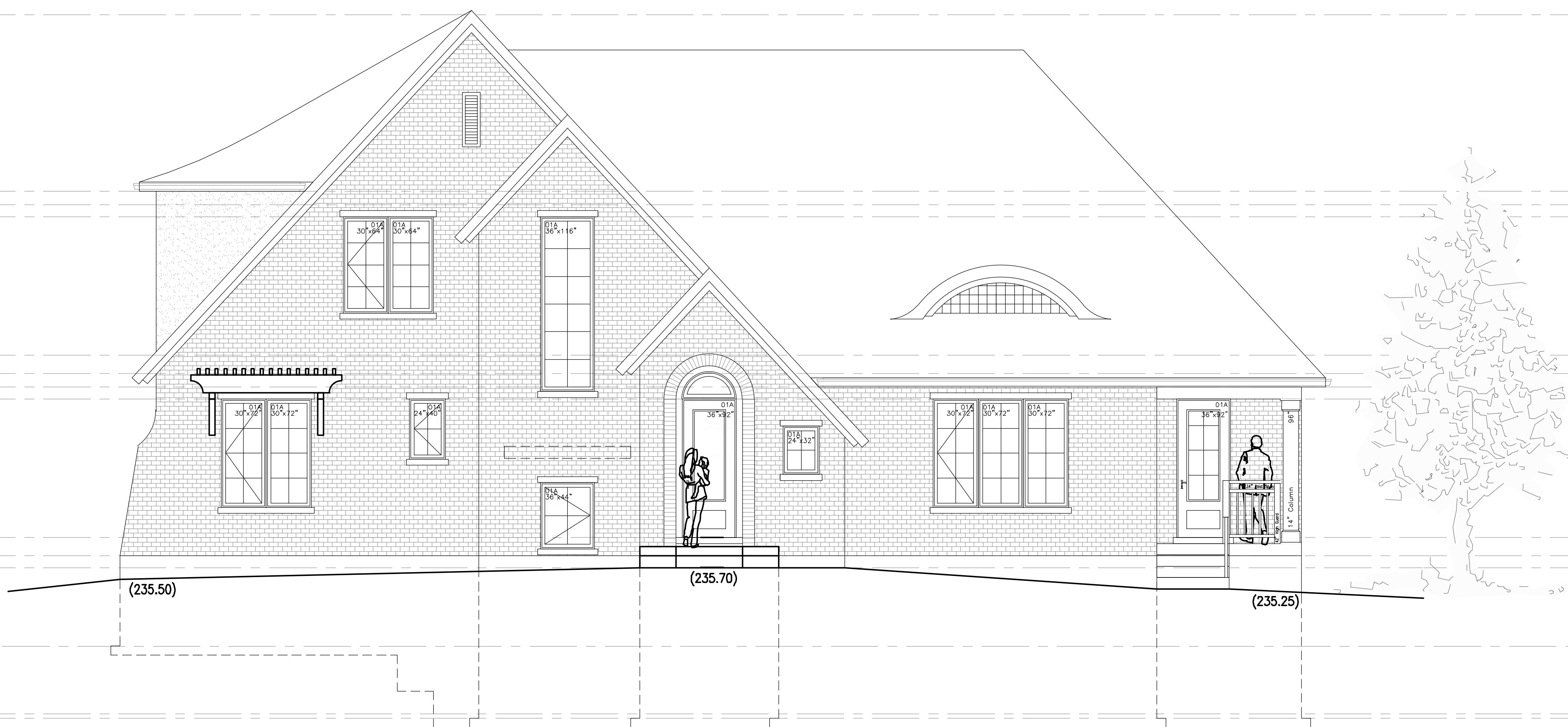
Front Elevation

SCALE 1/4" = 1'-0"



Right Side Elevation

SCALE 1/4" = 1'-0"





Hamilton

July 05, 2023

FILE: ALR
 FOLDER: 23-125741-00 ALR
 ATTENTION OF: Wilrik Banda
 TELEPHONE NO: (905) 546-2424
 EXTENSION: 6670

VIRTUAL CREATIONS INC.
 C/O ERIC CANTON
 205-17 KING STREET EAST
 DUNDAS ON L9H 3Z2

Re: APPLICABLE LAW REVIEW – ZONING BYLAW
Present Zoning: ER (Existing Residential Zone), Ancaster Zoning By-law 87-57
Address: 66 Lodor Lane, Ancaster, ON

An Applicable Law Review respecting zoning bylaw compliance has been completed and the following comments are provided.

COMMENTS:

1. This application is made in support of a site plan application, minor variance application and a building permit application that proposes the construction of a new, one and a half storey single detached family dwelling.
 2. The intended use of a detached dwelling is permitted within the current ER zoning.
 3. This is an irregular interior lot. For zoning purposes, the western lot line along Lodor Street is deemed to be the front lot line and the northern and southern lot lines leading from the front lot line are deemed the side yards. The remaining lot lines are deemed the rear lot lines.
 4. This property is listed in the City of Hamilton's Inventory Heritage Buildings as a property of cultural heritage value or interest. Please contact a Cultural Heritage Planner at culturalheritageplanning@hamilton.ca, or visit www.hamilton.ca/heritageplanning for further information..
3. The proposed development has been reviewed and compared to the standards of the "ER" Existing Residential zone in Ancaster Zoning By-law 87-57 as indicated in the following chart:

	Required by By-Law	Provided	Conforms
Section 10 – Existing Residential			
Permitted Uses [Section 10.1 of Ancaster Zoning By-law 87-57]	One detached dwelling on one lot and uses, buildings and structures accessory thereto.	Single detached dwelling	Conforms
Definitions [Section 10.2 of Ancaster Zoning By-law 87-57]	Notwithstanding Subsections 3.154, 3.155, 3.156, 3.157, 3.158, 3.159, the following definitions shall apply for the purposes of Existing Residential "ER"	Applicant to note	Applicant to note

	Required by By-Law			Provided	Conforms
	<p>Zone:</p> <p>“Lot Line, Flankage” means a lot line other than a front lot line that abuts a street.</p> <p>“Setback” means the distance between a lot line and the nearest part of any building or specified structure exclusive of any permitted yard projections on the lot.</p> <p>“Yard, Flankage” means a yard extending from the front yard to the rear yard of a lot along a lot line which abuts a street measured to the nearest part of a building on a lot.</p> <p>“Yard, Front” means a yard extending across the full width of a lot measured between the front lot line and the nearest part of a building on a lot.</p> <p>“Yard, Rear” means a yard extending across the full width of a lot measured between the rear lot line and the nearest part of a building on the lot.</p> <p>“Yard, Side” means a yard extending from the front yard to the rear yard measured between the side lot line and the nearest part of a building on a lot.</p>				
Lot Area [Section 10.3, Table 10.3.1 of Ancaster Zoning By-law 87-57]	Minimum 695 square metres			2,704.24 square metres as per site plan statistics	Conforms
Lot Frontage [Section 10.3, Table 10.3.2 of Ancaster Zoning by-law 87-57]	Minimum 18 metres			7.27 metres	Existing
Maximum Lot Coverage [Section 10.3, Table 10.3.3 of Ancaster Zoning By-law 87-57]		One Storey	Two Storey	9% as per site plan statistics	Conforms
	Lots with an area greater than 1,650 m ²	Maximum 30%	Maximum 20%		
Front Yard Setback [Section 10.3, Table 10.3.4 of Ancaster Zoning By-law 87-57]	<p>Lot between two interior lots or a lot between an interior lot and a corner lot that has two adjacent dwellings facing the same street :</p> <p>Within 20 percent of the average front yard setback of the two nearest principal dwellings on either side of the lot (1) (2)</p>			<p>$7.07\text{ m} + 24.7754\text{ m} = 31.85\text{ m} \div 2 = 15.93\text{ metres}$</p> <p>$20\% = 3.19\text{ metres}$</p> <p>Average front yard = 12.74 m – 19.12 m</p> <p>Provided = 49.7 metres as per site plan statistics</p>	Non-conforming
	(1) In no cases shall the front yard setback be less than 5.0 metres.			49.7 metres	Conforms

	Required by By-Law	Provided	Conforms
	(2) In cases where the average front yard setback of the nearest principal dwelling(s) is less than 5.0 metres, the front yard setback shall not be less than 5.0 metres and greater than 6.0 metres.	Not applicable	N/A
Side Yard Setback [Section 10.3, Table 10.3.5 of Ancaster Zoning By-law 87-57]	Lots with a frontage less than or equal to 23 metres. - 2.0 metres for an interior side yard (1) (2) - 6.0 metres for a flankage yard (1) (2)	Side yards are unobstructed, access driveway only.	Conforms
	Lots with a frontage greater than 23 metres - 10 percent of the lot frontage to a maximum setback of 5.0 metres for an interior side yard (1) (2) - 6.0 metres for a flankage yard (1) (2)	Not applicable	N/A
	(1) A minimum of one metre within the side yard shall be unobstructed and shall not contain structures, walkways, sidewalks, hard surfaced material, and landscaping other than sod.	At least 1.0 metre is unobstructed	Conforms
	(2) Notwithstanding (1), a fence or gate shall be permitted to traverse the minimum one metre within the side yard described in (1).	Not applicable	N/A
Rear Yard Setback [Section 10.3, Table 10.3.6 of Ancaster Zoning By-law 87-57]	Lots with a depth greater than 50 metres 40 percent (1) (2)	40% of 75.87 metres = 30.35 metres Provided = 7.65 metres	Non-conforming
	(1) A minimum of one metre within the rear yard shall be unobstructed and shall not contain structures, walkways, sidewalks, hard surfaced material, and landscaping other than sod.	1.0 metre appears to be unobstructed.	Conforms
	(2) Notwithstanding (1), a fence or gate shall be permitted to traverse the minimum one metre within the side yard described in (1).	Not applicable	N/A
Maximum Height [Section 10.3, Table 10.3.7 of Ancaster Zoning By-law 87-57]	One – Storey Maximum 7.5 metres Two – storeys Maximum 9.5 metres (1) (1) Section 7.11(a) shall not apply	10.6 metres	Non-conforming
Garage or Carport [Section 10.3.1 of Ancaster Zoning By-law 87-57]	An attached or detached garage or carport shall be permitted to project a maximum of 2.0 metres beyond the front façade of a dwelling, and a maximum of 2.0 metres beyond the side façade of a dwelling situated on a corner lot. In no	Not applicable	N/A

	Required by By-Law	Provided	Conforms
	case shall an attached or detached garage or carport be located within a front yard or flankage yard.		
Balconies, decks, enclosed and unenclosed porches [Section 10.3.2 of Ancaster Zoning By-law 87-57]	Notwithstanding Subsection 7.12 (c) and (d), balconies, decks, and enclosed and unenclosed porches shall not be permitted above the first storey within any side yard.	Not applicable, yards surrounding the dwelling are considered the rear yard.	N/A
Additional Requirements [Section 10.3.3 of Ancaster Zoning By-law 87-57]	Subsection 7.13 (c) shall not apply to any lot within an Existing Residential "ER" Zone.	Not applicable, this is an interior lot.	N/A
Additional Requirements [Section 10.3.4 of Ancaster Zoning By-law 87-57]	Schedule "C" shall not apply to any lot within an Existing Residential "ER" Zone.	Not applicable	N/A
Additional Requirements [Section 10.3.5 of Ancaster Zoning By-law 87-57]	Notwithstanding Subsection 7.15 and any other provisions of this By-law, any lot within the Existing Residential "ER" Zone of this By-law and the location thereon of any building or structure, existing on the effective date of this By-law, shall be deemed to comply with the regulations for any required setbacks, front yard, side yard, flankage yard, rear yard, lot frontage, lot area and building height and are permitted by this By-law.	Not applicable. Existing dwelling to be demolished.	N/A
Parking Regulations [Section 10.3.6 of Ancaster Zoning By-law 87-57]	(i) Notwithstanding Subsection 7.14 (a) (xii), each parking space shall have a minimum width of 3.0 metres and a minimum length of 5.8 metres, exclusive of any land required for access or driveways.	Not shown	Unable to determine compliance
	(ii) In addition to clause 10.3.6 (i), for parking spaces located within private residential garages, the parking space shall have a minimum width of 3.5 metres and a minimum length of 6.0 metres, exclusive of any land used for access, manoeuvring, driveways or a similar purpose. A single step, hose bibs, electrical devices and/or ductwork and closet enclosures may project not more than 0.3 metres into the required width or length of a parking space.	Not applicable	N/A
Accessory Buildings [Section 10.3.7 of Ancaster Zoning By-law 87-57]	The provisions of Subsection 7.18 (a) shall apply.	Not applicable	N/A
Secondary Dwelling Units [Section 10.3.8 of Ancaster Zoning By-law 87-57]	The provisions of Subsection 9.14 shall apply	Not applicable	N/A

	Required by By-Law	Provided	Conforms																																			
Section 9 – General Provisions for Residential Zones																																						
Mechanical and Unitary Equipment [Section 9.3 of Ancaster Zoning By-law 87-57] Air conditioners and pumps (including heat pumps and swimming pool pumps) and other similar mechanical equipment shall be located only in accordance with the following regulations:	a) Within a required front yard, provided such equipment shall have a minimum setback of 3.0 metres from the street line, a minimum setback of 0.6 metres from a side lot line and is screened from the street by an enclosure or landscaping; and,	Not shown	Unable to determine compliance																																			
	b) Within a required side yard or required rear yard provided such equipment has a minimum setback of 0.6 metres from the side lot line or rear lot line.	Not shown	Unable to determine compliance																																			
Minimum Lot Requirements [Section 9.4 of Ancaster Zoning By-law 87-57]	(a) The average lot width shall be not less than the relevant minimum lot frontage.	Average lot width exceeds the relevant minimum frontage.	Conforms																																			
	(b) When subsection 3.79(c) is used to establish lot frontage, the front lot line so determined shall be not less than 75% of the relevant minimum lot frontage requirement.	Not applicable	N/A																																			
Basement or Cellar [Section 9.6 of Ancaster Zoning By-law 87-57]	No basement or cellar may be used for calculating the minimum floor area of any dwelling or dwelling Unit and no basement or cellar may be used as a complete dwelling unit except in an apartment building.	Not applicable	N/A																																			
Private Garage [Section 9.8 of Ancaster Zoning By-law 87-57]	The floor elevation of a private garage shall be a minimum of 30 centimetres above the centre line of the street adjacent to the garage. a) Subsection 9.8 shall not apply to any lot located in an Existing Residential “ER” Zone.	Not applicable	N/A																																			
Decks [Section 9.10 of Ancaster Zoning By-law 87-57] NOTE: A roofed-over deck at the rear of a dwelling is considered part of the principal building but is not included in the calculation of lot coverage for the dwelling.	<table border="1"> <thead> <tr> <th rowspan="2">Regulation</th><th colspan="3">Deck Requirements</th></tr> <tr> <th>Over 60 cm to 1.2 m High</th><th>Over 1.2 m High Up to 15m²</th><th>Over 15m²</th></tr> </thead> <tbody> <tr> <td>Maximum Deck Area (i)</td><td>No Maximum</td><td>15m²</td><td>40m²</td></tr> <tr> <td>Permitted in Front Yard</td><td>No</td><td>No</td><td>No</td></tr> <tr> <td>Permitted in Rear Yard</td><td>Yes</td><td>Yes</td><td>Yes</td></tr> <tr> <td>Permitted in Side Yard</td><td>Yes</td><td>Yes</td><td>Yes</td></tr> <tr> <td>Setback from a Street Line</td><td>3m</td><td>4.5m</td><td>6m</td></tr> <tr> <td>Setback from a Rear Lot Line</td><td>1.8m</td><td>4.5m</td><td>6m (ii)</td></tr> <tr> <td>Setback from a Side Lot Line</td><td>45 cm (iii)</td><td>As per the relevant principal dwelling setback</td><td>As per the relevant principal dwelling Setback</td></tr> </tbody> </table> (i) Total combined area of all platforms over 1.2 m high. (ii) Represents the existing zoning standards, which are not changing. (iii) Where a side lot line extends from a common wall dividing attached dwelling units the setback shall not apply.	Regulation	Deck Requirements			Over 60 cm to 1.2 m High	Over 1.2 m High Up to 15m ²	Over 15m ²	Maximum Deck Area (i)	No Maximum	15m ²	40m ²	Permitted in Front Yard	No	No	No	Permitted in Rear Yard	Yes	Yes	Yes	Permitted in Side Yard	Yes	Yes	Yes	Setback from a Street Line	3m	4.5m	6m	Setback from a Rear Lot Line	1.8m	4.5m	6m (ii)	Setback from a Side Lot Line	45 cm (iii)	As per the relevant principal dwelling setback	As per the relevant principal dwelling Setback	Not applicable	N/A
Regulation	Deck Requirements																																					
	Over 60 cm to 1.2 m High	Over 1.2 m High Up to 15m ²	Over 15m ²																																			
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Permitted in Front Yard	No	No	No																																			
Permitted in Rear Yard	Yes	Yes	Yes																																			
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Setback from a Side Lot Line	45 cm (iii)	As per the relevant principal dwelling setback	As per the relevant principal dwelling Setback																																			

	Required by By-Law	Provided	Conforms
	(b) The area of decks shall be calculated by the chart in Subsection 9.10 (a) only and shall not be included in the calculation of lot coverage for the dwelling.	Not applicable	N/A
Section 7 – General Provisions			
Maximum Building Height [Section 7.11 of Ancaster Zoning By-law 87-57]	No person shall erect in any Zone: (a) a building, dwelling or structure that exceeds a height of 10.5 metres; or	10.6 metres based on average grade as per elevation A2-00	Non-conforming
	(b) an accessory building that exceeds a height of 4.5 metres; but (a) and (b) above does not apply to non-residential buildings and structures permitted in Subsection 8.1 (a) except buildings accessory to dwellings.	Not applicable	N/A
Yard Encroachments [Section 7.12 of Ancaster Zoning By-law 87-57] Subject to any other applicable provisions of this By-law, all minimum yards shall be open and unobstructed from the ground upwards, except that the following are permitted.	(a) sills, cornices, chimneys, bay windows or pilasters that project into any minimum yard at a distance of not more than 60 centimetres; and	Not applicable	N/A
	(b) eaves or gutters that project into any minimum side yard a distance of not more than 60 centimetres, or into any minimum front or minimum rear yard a distance of not more than 1.5 metres; and	Not applicable, dwelling located in yard with rear yard setbacks only.	N/A
	(c) balconies or open stairways that project into any minimum front or minimum rear yard a distance of not more than 1.5 metres, or into any minimum side yard a distance of not more than 45 centimetres; and	Not applicable	N/A
	(d) unenclosed porches that project into any minimum front yard a distance of not more than 1.5 metres, or into any minimum side yard a distance of not more than 45 centimetres and; Note: A roofed-over porch is to be treated as an encroachment.	Not applicable. Unenclosed porches located in the rear yard.	N/A
	(e) accessory buildings, subject to Subsection 7.18; and	Not applicable	N/A
	(f) fire escapes that project into any minimum side or minimum rear yard a distance of not more than one metre; and	Not applicable	N/A
	(g) signs in accordance with the Sign By-law of the Town; and	Applicant to note	Applicant to note
	(h) fences, trellises, free-standing walls, flag poles, antennae (except satellite dish receivers), light standards and similar accessory structures and appurtenances, and hedges, trees and shrubs.	Applicant to note	Applicant to note
Special Setbacks [Section 7.13 (a) of Ancaster Zoning By-law]	On any corner lot in any Zone, no obstruction, whether permanent or temporary, that blocks vision between a	Not applicable	N/A

	Required by By-Law	Provided	Conforms
87-57)	height of 75 centimetres and 2.4 metres above the centre line grade of the street, is permitted within a daylighting triangle of 10 metres, except that the daylighting triangle may be reduced to 6 metres in the "VA" and "C3" Zones		
Parking and Loading General Provisions [Section 7.14 (a) of Ancaster Zoning By-law 87-57]	Permanently maintained off-street parking and loading facilities shall be provided for every building or structure erected for, altered for, or converted to, any use permitted in any Zone, and the required facilities shall be provided at the time of construction, alteration or conversion. (i) The number of required parking spaces shall be as set out in 7.14 (b). Every building requiring frequent deliveries shall have, in addition to the required parking spaces, one or more loading spaces sufficient for its requirements and located to avoid interfering with any fire route, and each loading space shall be used for no other purpose and shall be of adequate size to facilitate its use.	Parking located on the lot.	Conforms
	(ii) The parking facilities shall be located on the same lot as the principal use except as provided in clause (vi) of this subsection.	Parking located on the lot.	Conforms
	(iv) The parking facilities shall have adequate access from a street to permit unobstructed ingress and egress of motor vehicles. Despite the foregoing, a parking space is permitted on a private driveway appurtenant to a detached, semi-detached, or street or block townhouse dwelling.	Unobstructed ingress and egress via a private driveway.	Conforms
	(v) Each required parking or loading space shall be permanently accessible.	Permanently accessible	Conforms
	(x) In any Residential Zone, at-grade parking areas shall occupy not more than 35 percent of the total lot area.	Percentage not provide but appears to conform	Appears to conform
	(xii) Where required in a parking area or parking structure, each parking space shall have a minimum width of 2.6 metres and a minimum length of 5.5 metres, exclusive of any land required for access or driveways.	Parking spaces not dimensioned	Unable to determine compliance
	(xiii) All parking areas required for the accommodation of more than two vehicles shall be constructed with a stable surface of concrete or asphalt, shall have adequate drainage and shall be permanently maintained. "In the Hamlet Commercial "HC" Zone, a stable surface of concrete or asphalt shall be required for the accommodation of 6 or more	2 spaces required. Driveway and parking area consist of gravel.	Conforms

	Required by By-Law	Provided	Conforms
	vehicles, exclusive of the parking spaces required for any residential use.”		
Minimum Required Parking Spaces [Section 7.14 (b) of Ancaster Zoning By-law 87-57]	(i) Residential Uses Detached dwelling requires 2 spaces	Not shown	Unable to determine compliance
Accessory Buildings [Section 7.18 (a) of Ancaster Zoning By-law 87-57]	The following regulations apply to any building accessory to a dwelling in any Residential Zone or any “D” Zone, and any lot used for residential purposes in the “VA” Zone: (i) Accessory buildings shall not be located in any front yard.	Not applicable	N/A
	(ii) Accessory buildings excluding totally inground swimming pools shall not be located in any minimum side yard. (A) Notwithstanding Subsection 7.18 (a) (ii), accessory buildings excluding totally inground swimming pools shall not be located less than 1.5 metres from any side lot line for any lot located in an Existing Residential “ER” Zone.	Not applicable	N/A
	(iii) Accessory buildings shall not be located less than 75 centimetres from any lot line, however; (A) on a corner lot, accessory buildings, excluding totally inground swimming pools, shall not be located less than 7.5 metres from the flanking street line; and (B) on a corner lot which has three street lines, or on a through lot, accessory buildings, excluding totally inground swimming pools, shall not be located less than 7.5 metres from the rear lot line.	Not applicable	N/A
	(iv) The maximum ground floor area for any accessory building shall be 40 square metres and the maximum height shall be 4.5 metres.	Not applicable	N/A
	(v) The maximum lot coverage for accessory buildings, excluding unenclosed inground swimming pools, shall be 90 square metres provided that the coverage of all buildings on the lot does not exceed the “Maximum Lot Coverage” permitted in the relevant Zone.	Not applicable	N/A
	(vi) Accessory buildings in excess of 12 square metres ground floor area shall not be located in any minimum rear yard.	Not applicable	N/A

	Required by By-Law	Provided	Conforms
	(A) Notwithstanding Subsection 7.18 (a) (vi), accessory buildings in excess of 12 square metres ground floor area shall not be less than 7.5 metres from the rear lot line for any lot located in an Existing Residential "ER" Zone.		
	(vii) No accessory building shall be erected prior to the erection of a dwelling on the same lot except for non-habitable use in connection with the immediate construction of such dwelling.	Not applicable	N/A
	(viii) In no case shall any eave or gutter extend more than 30 centimetres into a required minimum setback area.	Not applicable	N/A

4. Construction of the proposed one and a half storey single detached family dwelling is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setback and construction types.

5. All new signs proposed for this development must comply with the regulations contained within the Sign By-law 10-197.

6. All new fences proposed for this development must comply with the regulations contained within the Fence By-law 10-142.

7. The designer shall ensure that the fire access route conforms to the Ontario Building Code.

8. Any proposed mechanical structures such as transformers shall conform to Section 9.3 of Ancaster Zoning By-law 87-57. No details shown on the submitted site plan from which to confirm compliance.

9. This review is based on the plans submitted with the application.

Yours truly



for the Manager of Zoning and Committee of Adjustment

ACKNOWLEDGEMENT CLAUSE (FOR ZONING COMPLIANCE REVIEW APPLICATIONS IN SUPPORT OF A ZONING BY-LAW AMENDMENT, SITE PLAN, OR MINOR VARIANCE APPLICATION)

I/We hereby acknowledge and understand the above noted comments and further acknowledge that the supporting documentation submitted with this Zoning Compliance Review application has not been changed or modified between the date of this letter and the date of application for the subsequent Zoning By-law Amendment, Site Plan, or Minor Variance application.

If the supporting documentation has been changed or modified, a new application for Zoning Compliance Review may be required prior to acceptance of a formal application for Zoning By-law Amendment, Site Plan, or Minor Variance application.

_____	_____	_____
Owner	Owner Signature	Date

_____	_____	_____
Applicant (I have the authority to bind the Owner)	Applicant Signature	Date

_____	_____	_____
Agent (I have the authority to bind the Owner)	Agent Signature	Date



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

Registered Owners(s)			
Applicant(s)			
Agent or Solicitor			Phone:
			E-mail:

1.2 All correspondence should be sent to ☐ Purchaser ☐ Owner
☒ Applicant ☐ Agent/Solicitor

1.3 Sign should be sent to ☐ Purchaser ☐ Owner
☒ Applicant ☐ Agent/Solicitor

1.4 Request for digital copy of sign ☐ Yes* ☒ No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email ☒ Yes* ☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service.
This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	66 Lodor lane		
Assessment Roll Number			
Former Municipality	Ancaster		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Please see the Applicable law review for the list of non-conforming items

FRONT YARD, REAR YARD, HEIGHT

☐ Second Dwelling Unit

☒ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Very unusual lot shape

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
7.27	75.87	2704.24	20

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Existing house	58	7.5	13/32	01/01/1900

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Proposed House	49.7	7.65	Side yards are unobstructed, access driveway only.	01/01/2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Existing house to be demo	121	121	1	10

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single family house	222	344	2	10.6

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
- _____

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage
☐ system privately owned and operated individual
☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☒ municipal road, seasonally maintained
☐ municipal road, maintained all year
- ☐ right of way
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
single detached dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
single detached dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands: 1992

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:
100

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) NEIGHBOURHOODS

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? ER

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

☐ Yes ☒ No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☐ Yes

☐ No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
- ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study
