COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	**GL/A-23:208**	**SUBJECT PROPERTY:**	205 THAMES WAY, GLANBROOK
ZONE:	"RM3-147-H" (Residential Multiple)	**ZONING BY-LAW:**	Zoning By-law former Township of Glanbrook 464, as Amended 04-160

APPLICANTS: **Owner:** 1536708 ONTARIO INC. C/O ANTHONY DICENZO
Agent: URBANSOLUTIONS C/O MATT JOHNSTON

The following variances are requested:

1. A minimum lot frontage for a corner lot with an end dwelling unit adjacent to a flanking street of 9.0 metre shall be provided instead of the 12.0 metre lot frontage required.

2. A minimum lot area of 165m2 shall be permitted for middle lots instead of the minimum 210m2 lot area required.

3. A minimum lot area of 206m2 shall be permitted for end lot which does not abut a flanking street instead of the minimum 270m2 lot area required.

4. A minimum lot area of 212m2 shall be permitted for a corner lot which abuts a flanking street instead of the minimum 360m2 required.

5. A maximum lot coverage of 47% shall be permitted instead of the maximum 35% lot coverage permitted.

6. A minimum front yard setback of 5.75m shall be permitted instead of the minimum 7.5m front yard setback required.

7. A minimum side yard setback for an end dwelling unit not abutting a flanking street of 1.5m shall be permitted instead of the minimum 2.0m setback required.

8. A minimum side yard setback for an end dwelling unit on a corner lot abutting a flanking street of

1.6m shall be permitted instead of the minimum 6.0m setback required.

9. A minimum rear yard setback of 6.0m shall be permitted instead of the minimum 7.5m rear yard setback required.

PURPOSE & EFFECT: To Facilitate site plan application DA-22-096.

Notes:

1. It is noted, that the intended use of street townhouses are permitted within the RM3-147-H Zone pursuant to section 11.12 "Common Elements Condominiums" of Glanbrook Zoning By-law 464 which states the following;

   Notwithstanding the regulations of the "RM3" Zone, townhouse dwelling units may be developed in accordance with the applicable regulations of the "RM2". For the purposes of this Zone, the private driveway(s) or condominium road(s) are deemed to be a street(s) and parking and landscaping are permitted within

2. Note that variances requested are applicable to each individual lot, unless otherwise specified.

3. Variances written as requested by the applicant.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	**Thursday, September 7, 2023**
TIME:	**10:40 a.m.**
PLACE:	**Via video link or call in (see attached sheet for details)**
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for

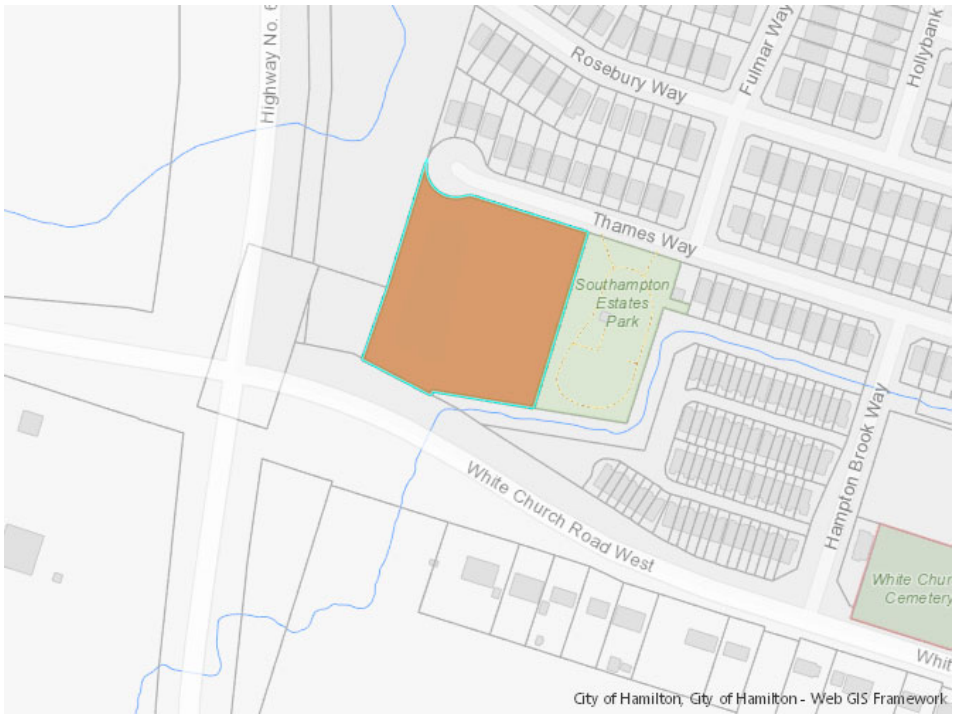
submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding GL/A-23:208, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5**.**

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: August 22, 2023

_____

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: **www.hamilton.ca/committeeofadjustment**

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

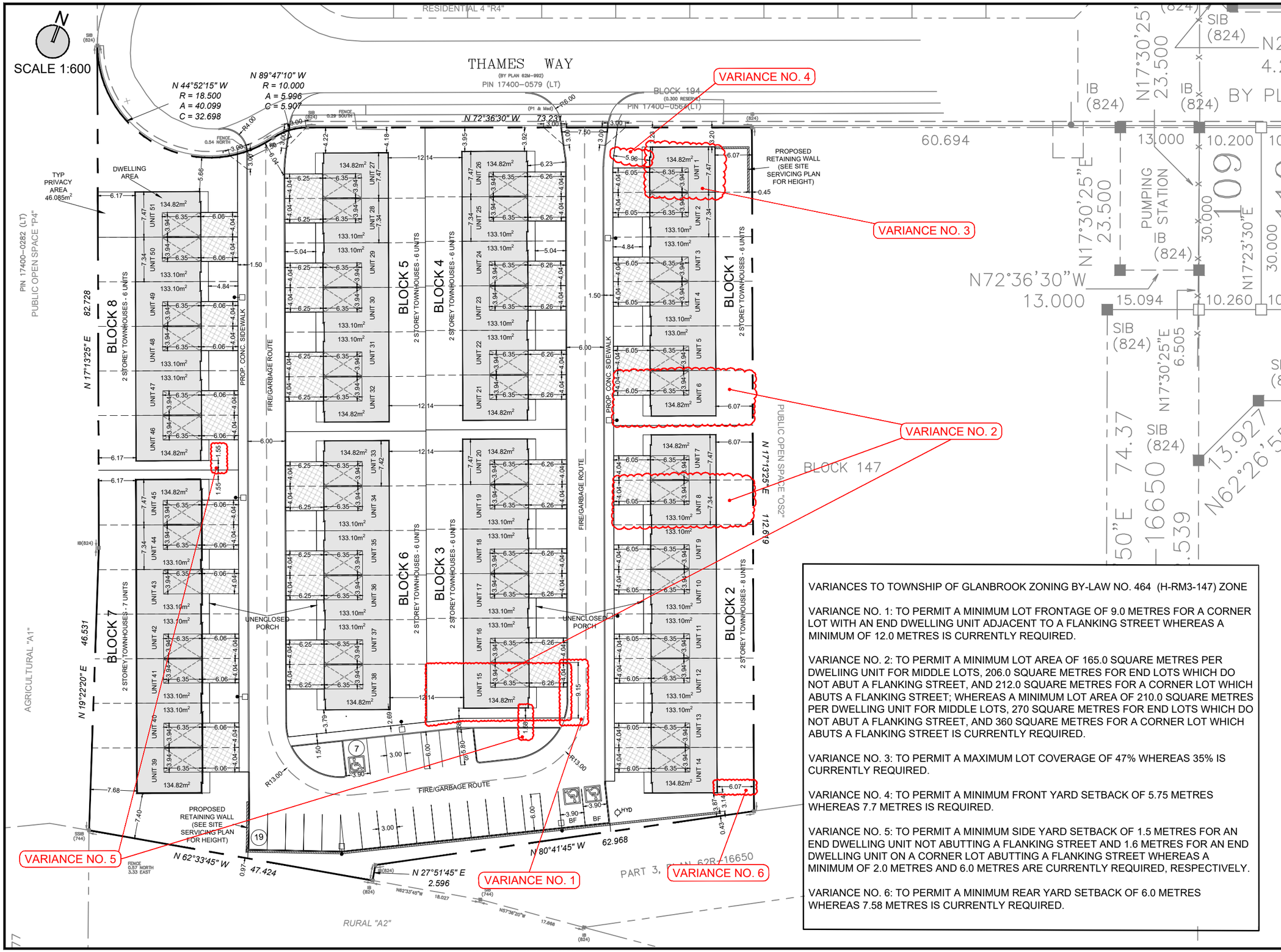
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

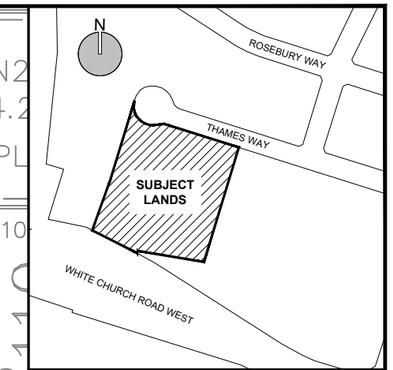
2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.





KEY MAP - N.T.S.

SCALE 1:600
METRES
0 5 10 20

LEGEND

SUBJECT LANDS

PROPOSED BUILDING

VARIANCES TO TOWNSHIP OF GLANBROOK ZONING BY-LAW NO. 464 (H-RM3-147) ZONE

VARIANCE NO. 1: TO PERMIT A MINIMUM LOT FRONTAGE OF 9.0 METRES FOR A CORNER LOT WITH AN END DWELLING UNIT ADJACENT TO A FLANKING STREET WHEREAS A MINIMUM OF 12.0 METRES IS CURRENTLY REQUIRED.

VARIANCE NO. 2: TO PERMIT A MINIMUM LOT AREA OF 165.0 SQUARE METRES PER DWELIING UNIT FOR MIDDLE LOTS, 206.0 SQUARE METRES FOR END LOTS WHICH DO NOT ABUT A FLANKING STREET, AND 212.0 SQUARE METRES FOR A CORNER LOT WHICH ABUTS A FLANKING STREET; WHEREAS A MINIMUM LOT AREA OF 210.0 SQUARE METRES PER DWELLING UNIT FOR MIDDLE LOTS, 270 SQUARE METRES FOR END LOTS WHICH DO NOT ABUT A FLANKING STREET, AND 360 SQUARE METRES FOR A CORNER LOT WHICH ABUTS A FLANKING STREET IS CURRENTLY REQUIRED.

VARIANCE NO. 3: TO PERMIT A MAXIMUM LOT COVERAGE OF 47% WHEREAS 35% IS CURRENTLY REQUIRED.

VARIANCE NO. 4: TO PERMIT A MINIMUM FRONT YARD SETBACK OF 5.75 METRES WHEREAS 7.7 METRES IS REQUIRED.

VARIANCE NO. 5: TO PERMIT A MINIMUM SIDE YARD SETBACK OF 1.5 METRES FOR AN END DWELLING UNIT NOT ABUTTING A FLANKING STREET AND 1.6 METRES FOR AN END DWELLING UNIT ON A CORNER LOT ABUTTING A FLANKING STREET WHEREAS A MINIMUM OF 2.0 METRES AND 6.0 METRES ARE CURRENTLY REQUIRED, RESPECTIVELY.

VARIANCE NO. 6: TO PERMIT A MINIMUM REAR YARD SETBACK OF 6.0 METRES WHEREAS 7.58 METRES IS CURRENTLY REQUIRED.

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

NOTES:
ALL DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DESIGN BY: J. STANLEY	CHECKED BY: S. MCKAY
DRAWN BY: J. STANLEY	DATE: JULY 31, 2023

URBAN SOLUTIONS
PLANNING & LAND DEVELOPMENT
3 STUDEBAKER PLACE, SUITE 1
HAMILTON, ON L8L 0C8
905-546-1087 - urbansolutions.info

PROJECT:
SOUTHHAMPTON ESTATES
CITY OF HAMILTON
205 THAMES WAY

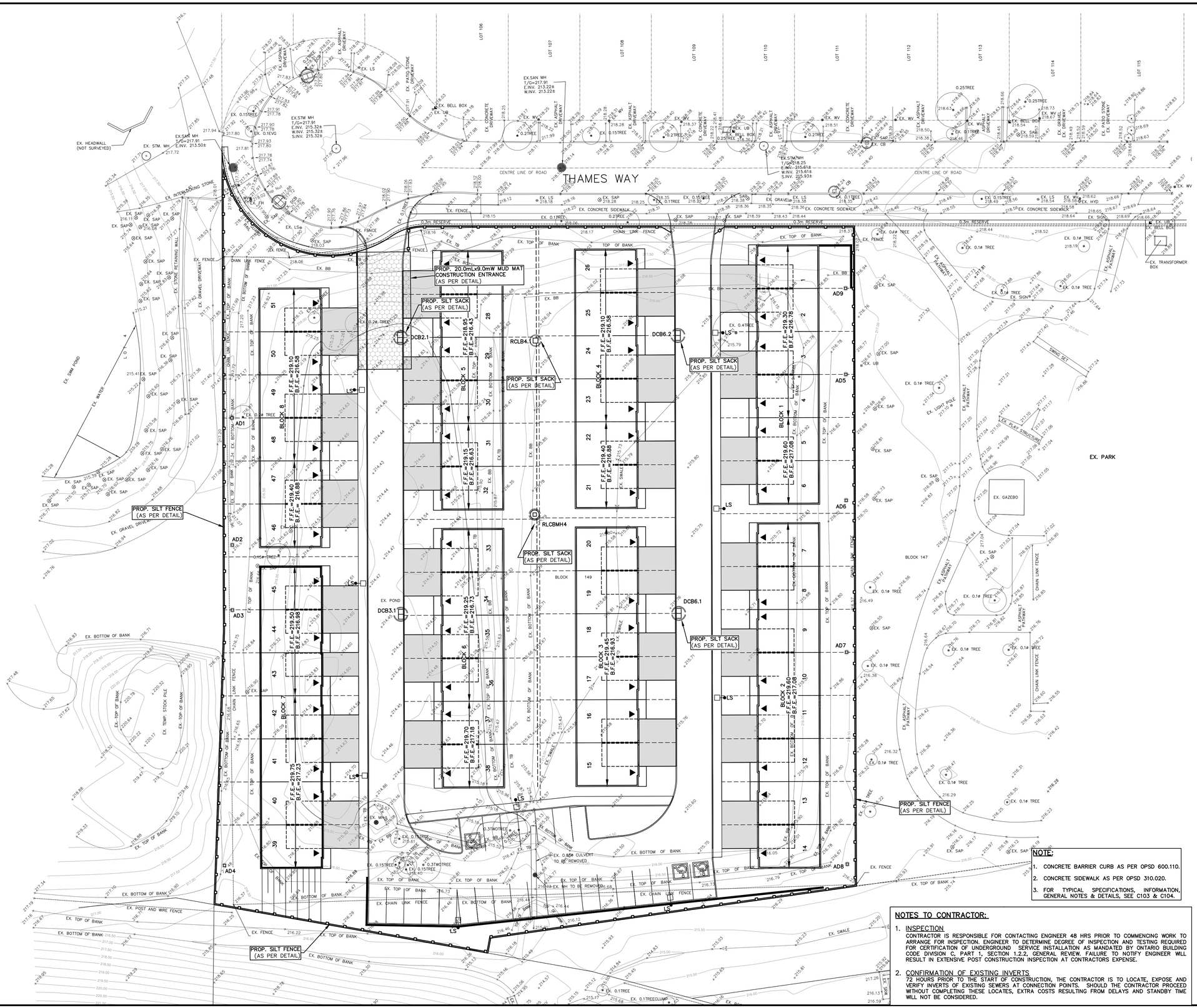
CLIENT:
1536708 ONTARIO INC.

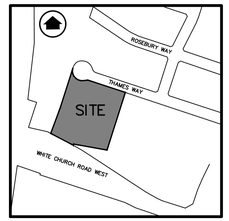
TITLE:
MINOR VARIANCE SKETCH

U/S FILE NUMBER:	SHEET NUMBER:
339-17	1

C:\Users\James Stanley\Urban Solutions\Active Projects - Documents\339-19 - South Hampton Towns - Final Phase\2 - Drawings\1 - UrbanSolutions\Minor Variance\2023\339-19-Minor Variance-2023-06-15.dwg

20029
EROSION & SEDIMENT CONTROL PLAN
S:\20029\current\20029_Grading and Servicing Plan.dwg





KEY MAP
N.T.S.

LEGEND:

- 209.00 — EXISTING GROUND ELEVATION
- EXISTING CATCHBASIN
- EXISTING STORM/SANITARY MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED SILTATION CONTROL FENCE
- PROPOSED CATCHBASIN SILT SACK
- PROPOSED MUD MAT

BENCH MARK NOTE:
MONUMENT 0011965U163

TOWNSHIP: HAMILTON–WENTWORTH CONCRETE CULVERT UNDER HIGHWAY NO. 6, 1.4KM SOUTH OF MAIN CORNERS, 0.2KM SOUTH OF WHITE CHURCH ROAD, 45.7M SOUTH OF ORIENTAL NURSERIES GARDEN CENTRE, 12.2M NORTH OF POWER POLE NO. 879, TABLET IN TOP OF CULVERT, 15CM FROM WEST END, 15CM FROM SOUTH EDGE, 3.0M EAST OF FENCE LINE, 2M BELOW ROAD LEVEL.

ELEVATION: 215.540 METRES CGVD–1928:1978

NO.	DATE	BY	REVISIONS
01	JUL 26/23	MC	REVISED PER CITY COMMENTS

NOTES TO CONTRACTOR:

1. CONTRACTORS AND SUBCONTRACTORS SHALL NOT SCALE FROM THIS DRAWING.
2. ANY INCONSISTENCIES AND OMISSIONS FOUND ON THE DRAWINGS MUST BE REPORTED TO THE ENGINEER FOR CLARIFICATION BEFORE COMMENCING THE WORK.
3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND ELEVATIONS AND REPORT ALL FINDINGS TO THE ENGINEER. ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS.
4. THE POSITIONS OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND OTHER UNDERGROUND AND OVER–GROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS. WHERE SHOWN ON THE DRAWING, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM THEMSELVES OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
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DESIGN	MC	CHK'D	SL
DRAWN	FG	CHK'D	SL

DATE: Jul. 25, 23

SCALE 1:300 (0 5 10 20 30)

APPROVALS

STAMP: LICENSED PROFESSIONAL ENGINEER — B.S. LLEWELLYN — 27100300 — Jul 27/2023 — PROVINCE OF ONTARIO

S. LLEWELLYN & ASSOCIATES LIMITED
CONSULTING ENGINEERS
Tel. (905) 631–6978
Website: www.sla.on.ca
email: info@sla.on.ca
3228 South Service Road, Suite #105 East Wing, Burlington, Ont., L7N 3H8

CLIENT
1536708 ONTARIO INC.
1070 STONE CHURCH ROAD EAST
HAMILTON, ON

PROJECT NAME
SOUTHAMPTON BLOCK 149
205 THAMES WAY
HAMILTON, ON
(DA–22–096)

TITLE
EROSION & SEDIMENT CONTROL PLAN

PROJECT No. 20029
DRAWING No. C100

NOTE:

1. CONCRETE BARRIER CURB AS PER OPSD 600.110.
2. CONCRETE SIDEWALK AS PER OPSD 310.020.
3. FOR TYPICAL SPECIFICATIONS, INFORMATION, GENERAL NOTES & DETAILS, SEE C103 & C104.

NOTES TO CONTRACTOR:

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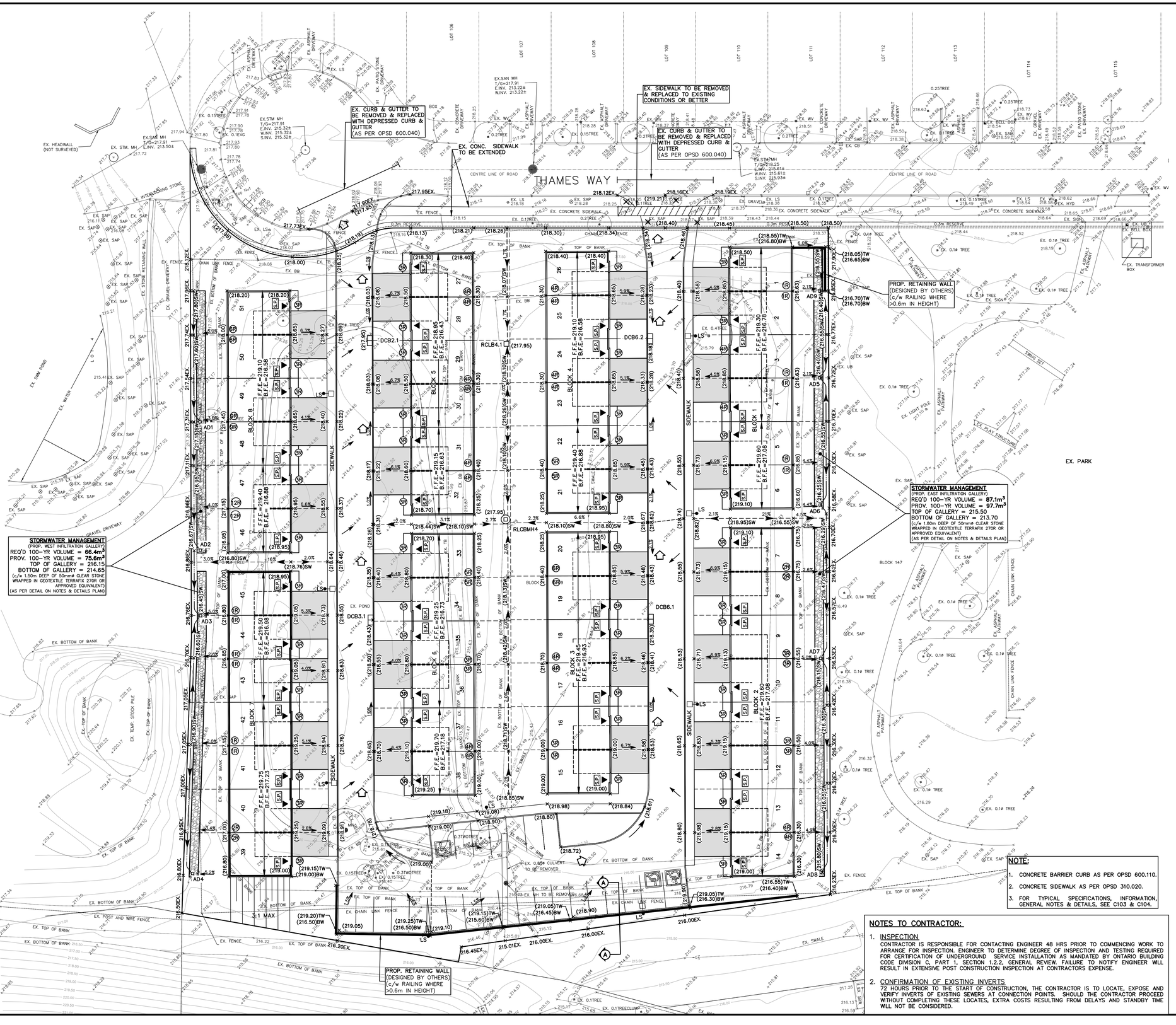
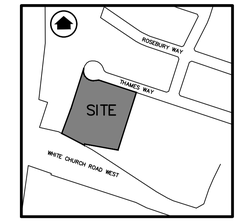
CONTRACTOR IS RESPONSIBLE FOR CONTACTING ENGINEER 48 HRS PRIOR TO COMMENCING WORK TO ARRANGE FOR INSPECTION. ENGINEER TO DETERMINE DEGREE OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF UNDERGROUND SERVICE INSTALLATION AS MANDATED BY ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2, GENERAL REVIEW. FAILURE TO NOTIFY ENGINEER WILL RESULT IN EXTENSIVE POST CONSTRUCTION INSPECTION AT CONTRACTORS EXPENSE.

2. CONFIRMATION OF EXISTING INVERTS
72 HOURS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO LOCATE, EXPOSE AND VERIFY INVERTS OF EXISTING SEWERS AT CONNECTION POINTS. SHOULD THE CONTRACTOR PROCEED WITHOUT COMPLETING THESE LOCATES, EXTRA COSTS RESULTING FROM DELAYS AND STANDBY TIME WILL NOT BE CONSIDERED.

20029
SITE GRADING PLAN
S:\20029\current\20029_Grading and Servicing Plan.dwg





KEY MAP
N.T.S.

LEGEND:

- 209.00 — EXISTING GROUND ELEVATION
- ×(209.00) — PROPOSED GROUND ELEVATION
- ×209.00EX — PROPOSED ELEVATION TO MATCH EXISTING
- 2.0% — PROPOSED DIRECTION OF SHEET FLOW
- EXISTING CATCHBASIN
- EXISTING STORM/SANITARY MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED STORM/SANITARY MANHOLE
- PROPOSED CURB STOP/GATE VALVE
- EXISTING DIRECTION OF DRAINAGE
- PROPOSED DIRECTION OF SWALE FLOW
- PROPOSED OVERLAND FLOW ROUTE
- PROPOSED DEPRESSED CURB
- TREE REMOVAL

BENCH MARK NOTE:

MONUMENT 0011965U163

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DESIGN	MC	CHK'D	SL	DATE Jul. 25, 23
DRAWN	FG	CHK'D	SL	

SCALE 1:300 (0 5 10 20 30)

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STAMP: LICENSED PROFESSIONAL ENGINEER B.S. LLEWELLYN 27140300 Jul 27/2023 PROVINCE OF ONTARIO

S. LLEWELLYN & ASSOCIATES LIMITED
CONSULTING ENGINEERS
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Website: www.sla.on.ca
email: info@sla.on.ca
3228 South Service Road, Suite #105 East Wing, Burlington, Ont., L7N 3H8

CLIENT

1536708 ONTARIO INC.
1070 STONE CHURCH ROAD EAST
HAMILTON, ON

PROJECT NAME

SOUTHAMPTON BLOCK 149
205 THAMES WAY
HAMILTON, ON
(DA-22-096)

TITLE

SITE GRADING PLAN

PROJECT No. 20029

DRAWING No. C101

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2. CONCRETE SIDEWALK AS PER OPSD 310.020.
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SITE SERVICING PLAN
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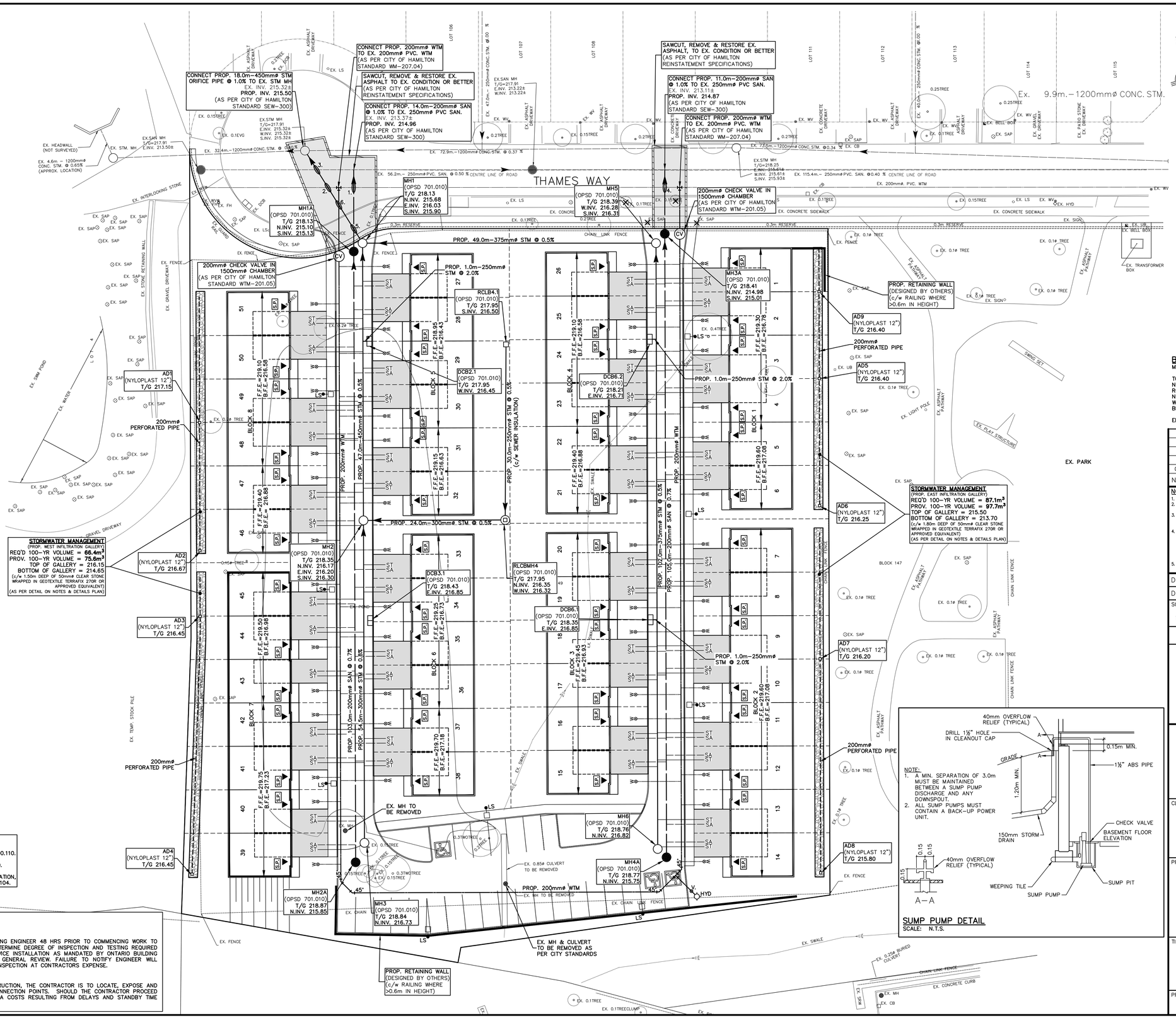
THAMES WAY
CONNECT PROP. 18.0m–450mmø STM ORIFICE PIPE @ 1.0% TO EX. STM MH
EX. INV. 215.32±
PROP. INV. 215.50
(AS PER CITY OF HAMILTON STANDARD SEW–300)
CONNECT PROP. 200mmø WTM TO EX. 200mmø PVC. WTM
(AS PER CITY OF HAMILTON STANDARD WM–207.04)
SAWCUT, REMOVE & RESTORE EX. ASPHALT TO EX. CONDITION OR BETTER
(AS PER CITY OF HAMILTON REINSTATEMENT SPECIFICATIONS)
CONNECT PROP. 14.0m–200mmø SAN @ 1.0% TO EX. 250mmø PVC SAN.
EX. INV. 213.37±
PROP. INV. 214.96
(AS PER CITY OF HAMILTON STANDARD SEW–300)
SAWCUT, REMOVE & RESTORE EX. ASPHALT, TO EX. CONDITION OR BETTER
(AS PER CITY OF HAMILTON REINSTATEMENT SPECIFICATIONS)
CONNECT PROP. 11.0m–200mmø SAN @ 1.0% TO EX. 250mmø PVC SAN.
EX. INV. 213.11±
PROP. INV. 214.87
(AS PER CITY OF HAMILTON STANDARD SEW–300)
CONNECT PROP. 200mmø WTM TO EX. 200mmø PVC. WTM
(AS PER CITY OF HAMILTON STANDARD WM–207.04)
Ex. 9.9m.–1200mmø CONC. STM.
EX. 32.4m.–1200mmø CONC. STM. @ 0.37 %
EX. 72.9m.–1200mmø CONC. STM. @ 0.37 %
EX. 73.0m.–1200mmø CONC. STM. @0.34
EX. 56.2m.– 250mmø PVC. SAN. @ 0.50 % CENTRE LINE OF ROAD
EX. 115.4m.– 250mmø PVC. SAN. @0.40 % CENTRE LINE OF ROAD
EX. 200mmø. PVC. WTM
MH1A (OPSD 701.010) T/G 218.13 N.INV. 215.10 S.INV. 215.13
MH1 (OPSD 701.010) T/G 218.13 N.INV. 215.68 E.INV. 216.03 S.INV. 215.90
MH5 (OPSD 701.010) T/G 218.39 W.INV. 216.28 S.INV. 216.31
200mmø CHECK VALVE IN 1500mmø CHAMBER (AS PER CITY OF HAMILTON STANDARD WTM–201.05)
PROP. 49.0m–375mmø STM @ 0.5%
PROP. 1.0m–250mmø STM @ 2.0%
RCLB4.1 (OPSD 701.010) T/G 217.95 S.INV. 216.50
DCB2.1 (OPSD 701.010) T/G 217.95 W.INV. 216.45
MH3A (OPSD 701.010) T/G 218.41 N.INV. 214.98 S.INV. 215.01
PROP. RETAINING WALL (DESIGNED BY OTHERS) (c/w RAILING WHERE >0.6m IN HEIGHT)
AD9 (NYLOPLAST 12") T/G 216.40
200mmø PERFORATED PIPE
AD5 (NYLOPLAST 12") T/G 216.40
AD1 (NYLOPLAST 12") T/G 217.15
PROP. 1.0m–250mmø STM @ 2.0%
PROP. 47.0m–450mmø STM @ 0.5%
PROP. 30.0m–250mmø STM @ 0.5% (c/w SEWER INSULATION)
PROP. 200mmø WTM
PROP. 24.0m–300mmø STM @ 0.5%
STORMWATER MANAGEMENT
(PROP. WEST INFILTRATION GALLERY)
REQ'D 100–YR VOLUME = 66.4m³
PROV. 100–YR VOLUME = 75.6m³
TOP OF GALLERY = 216.15
BOTTOM OF GALLERY = 214.65
(c/w 1.50m DEEP OF 50mmø CLEAR STONE WRAPPED IN GEOTEXTILE TERRAFIX 270R OR APPROVED EQUIVALENT)
(AS PER DETAIL ON NOTES & DETAILS PLAN)
AD2 (NYLOPLAST 12") T/G 216.67
MH2 (OPSD 701.010) T/G 218.35 N.INV. 216.17 E.INV. 216.20 S.INV. 216.30
DCB3.1 (OPSD 701.010) T/G 218.43 E.INV. 216.85
RLCBMH4 (OPSD 701.010) T/G 217.95 N.INV. 216.35 W.INV. 216.32
DCB6.1 (OPSD 701.010) T/G 218.35 E.INV. 216.85
AD3 (NYLOPLAST 12") T/G 216.45
PROP. 102.0m–375mmø STM @ 0.5%
PROP. 105.0m–200mmø SAN @ 0.7%
PROP. 1.0m–250mmø STM @ 2.0%
AD7 (NYLOPLAST 12") T/G 216.20
AD6 (NYLOPLAST 12") T/G 216.25
200mmø PERFORATED PIPE
PROP. 103.0m–200mmø SAN @ 0.7%
PROP. 54.5m–300mmø STM @ 0.8%
EX. MH TO BE REMOVED
MH6 (OPSD 701.010) T/G 218.76 N.INV. 216.82
AD4 (NYLOPLAST 12") T/G 216.45
AD8 (NYLOPLAST 12") T/G 215.80
MH4A (OPSD 701.010) T/G 218.77 N.INV. 215.75
MH2A (OPSD 701.010) T/G 218.87 N.INV. 215.85
MH3 (OPSD 701.010) T/G 218.84 N.INV. 216.73
EX. 0.85ø CULVERT TO BE REMOVED
PROP. 200mmø WTM
EX. MH TO BE REMOVED
EX. MH & CULVERT TO BE REMOVED AS PER CITY STANDARDS
PROP. RETAINING WALL (DESIGNED BY OTHERS) (c/w RAILING WHERE >0.6m IN HEIGHT)
EX. PARK
BLOCK 147
EX. PLAY STRUCTURE
SWING SET
EX. TRANSFORMER BOX
EX. BELL BOX
EX. GRAVEL DRIVEWAY
EX. TEMP. STOCK PILE
EX. SWALE
EX. 0.25ø BURIED CULVERT
EX. CONCRETE CURB
EX. MH
EX. CB
EX. FENCE
EX. CHAIN LINK FENCE
EX. CONCRETE SIDEWALK
EX. HEADWALL (NOT SURVEYED)
EX. 4.6m – 1200mmø CONC. STM. @ 0.65% (APPROX. LOCATION)
EX. INTERLOCKING STONE
EX. STONE RETAINING WALL
EX. SIGN
EX. LIGHT POLE
EX. HYD
EX. 0.1ø TREE
EX. 0.15TREE
EX. 0.25TREE
EX. 0.4TREE
EX. 0.37TWOTREE
EX. 0.15TWOTREE
EX. 0.1TREE
EX. 0.1TREECLUMP
EX. 0.1IVG
EX. 0.1TREE
EX. 0.1TREE
EX. 0.1TREE

20029
NOTES & DETAILS PLAN
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GENERAL NOTES

1. THIS/THESE PLAN(S) IS/ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED BY THE ENGINEER AND INDICATED ISSUED FOR CONSTRUCTION ON THE DRAWING.
2. THIS/THESE PLAN(S) IS/ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF S. LLEWELLYN AND ASSOCIATES LIMITED.
3. INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION DRAWINGS ARE FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ITS ACCURACY AND /OR SUFFICIENCY. THE CONTRACTOR SHALL ASSUME LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
4. EXISTING TOPOGRAPHIC AND LEGAL INFORMATION TAKEN FROM PLANS PREPARED BY A.T. MCLAREN LIMITED.
5. THIS/THESE PLAN(S) TO BE READ IN CONJUNCTION WITH THE FUNCTIONAL SERVICING & STORMWATER MANAGEMENT REPORT PREPARED BY S. LLEWELLYN AND ASSOCIATES LIMITED,
6. THIS (THESE) PLAN(S) TO BE USED FOR SERVICING AND GRADING ONLY.
7. MUNICIPAL APPROVAL OF THESE DRAWINGS IS FOR MATERIAL AND COMPLIANCE WITH CITY OF HAMILTON AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION OF THE WORKS BY THE CITY OF HAMILTON STAFF DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS NOR RELIEVE THE CONTRACTOR OF CERTIFICATION OF ALL WORKS BY THE OWNER'S ENGINEER.
8. ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED WRITTEN APPROVAL HAS FIRST BEEN OBTAINED FROM THE CITY OF HAMILTON AND THE THE ENGINEER.
9. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
   - ROAD CUT PERMITS
   - SEWER PERMITS
   - APPROACH APPROVAL PERMITS
   - RELOCATION OF SERVICES
   - COMMITTEE OF ADJUSTMENT
   - ENCROACHMENT AGREEMENTS
10. PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:
    i. CHECK AND VERIFY ALL DIMENSIONS AND EXISTING ELEVATIONS WHICH INCLUDE BUT ARE NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS, EXISTING INVERTS AND REPORT FINDING IN WRITING TO THE ENGINEER.
    ii. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
    iii. VERIFY ALL FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MAY APPEAR ON THESE PLANS COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
    iv. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
    v. NOTIFY THE ENGINEER OF THE PROPOSED CONSTRUCTION SCHEDULE FOR COORDINATION OF NECESSARY INSPECTIONS.
11. **THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER 48 HOURS PRIOR TO THE COMMENCING SITE WORKS TO ARRANGE FOR INSPECTION. THE ENGINEER SHALL DETERMINE THE EXTENT OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGROUND SERVICE INSTALLATION AS MANDATED BY THE ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2, GENERAL REVIEW. FAILURE TO MAKE SUITABLE ARRANGEMENTS FOR INSPECTION WILL LEAD TO POST CONSTRUCTION TESTING AND INSPECTION AS DETERMINED BY THE ENGINEER, THE COSTS OF WHICH INCLUDING ANY DELAYS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR. FULL PAYMENT FOR UN-INSPECTED WORKS MAY BE WITHHELD UNTIL THE COMPLETION OF THE POST CONSTRUCTION INSPECTION AND TESTING TO THE SATISFACTION OF THE ENGINEER.**
12. INSPECTION BY THE OWNER'S ENGINEER IS FOR CERTIFICATION AND GENERAL CONFORMANCE PURPOSES AND DOES NOT CERTIFY LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THE INSTALLATION OF THE WORKS TO PROPER LINE, GRADE AND QUALITY TO CURRENT INDUSTRY STANDARDS.
13. ANY UTILITY RELOCATIONS AND RESTORATIONS DUE TO THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER AND SHALL BE COORDINATED BY THE CONTRACTOR.
14. ALL RESTORATIONS AND RECONSTRUCTIONS SHALL BE TO COMPLETED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY OF HAMILTON.
15. SERVICING CONTRACTOR TO MAINTAIN A "CONFINED TRENCH CONDITION" IN ALL SEWER AND WATERMAIN INSTALLATION TRENCHES.
16. THE SITE SERVICING CONTRACTOR SHALL TERMINATE ALL SERVICES 1.5m FROM THE BUILDING FACE, AS PER THE CLIENTS DIRECTION.
17. NO BLASTING WILL BE PERMITTED.

GRADING NOTES

1. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SODDED SLOPES (MIN. 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
2. ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0M OR HIGHER SHALL BE DESIGNED BY A P.ENG.
3. SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
4. RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
5. SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33% GRADE (3:1 SLOPES).
6. BACK TO FRONT DRAINAGE SHALL ONLY BE PERMITTED WHERE THE COMBINED SIDE YARD SETBACK IS 2.0m, OR MORE, PROVIDING A MINIMUM 2.0m BETWEEN THE FOUNDATION WALLS FOR DRAINAGE SWALES. A 1.2m SETBACK IS REQUIRED ON THE GARAGE SIDE OF THE LOT.
7. WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, (WITH A MINIMUM 0.3m COVER OVER THE SUBDRAIN), OR OTHER MITIGATION MEASURES.
8. MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
9. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN THE PROPOSED ELEVATIONS ON THE SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
10. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (MIN) ABOVE FINISHED GRADE.
11. ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
12. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0%. REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
13. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
14. THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
15. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
16. ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
17. ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
18. LOT GRADING FOR ALL LOTS IN THE SUBDIVISION SHALL CONFROM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR CONSTRUCTION BY THE CITY, SHALL RESULT IN NON-ACCEPTANCE OF THE SUBDIVISION BY THE CITY.

ROOFWATER LEADERS

1. ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6m FROM THE BUILDING FACE.

NOTES TO CONTRACTOR:

1. INSPECTION
   CONTRACTOR IS RESPONSIBLE FOR CONTACTING ENGINEER 48 HRS PRIOR TO COMMENCING WORK TO ARRANGE FOR INSPECTION. ENGINEER TO DETERMINE DEGREE OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF UNDERGROUND SERVICE INSTALLATION AS MANDATED BY ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2, GENERAL REVIEW. FAILURE TO NOTIFY ENGINEER WILL RESULT IN EXTENSIVE POST CONSTRUCTION INSPECTION AT CONTRACTORS EXPENSE.
2. CONFIRMATION OF EXISTING INVERTS
   72 HOURS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO LOCATE, EXPOSE AND VERIFY INVERTS OF EXISTING SEWERS AT CONNECTION POINTS. SHOULD THE CONTRACTOR PROCEED WITHOUT COMPLETING THESE LOCATES, EXTRA COSTS RESULTING FROM DELAYS AND STANDBY TIME WILL NOT BE CONSIDERED.

COMPACTION REQUIREMENTS

UNLESS OTHERWISE NOTED OR DIRECTED BY THE GEOTECHNICAL CONSULTANT, THE FOLLOWING SHALL APPLY:

1. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUB-GRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS, ETC., SHALL BE COMPACTED TO MIN. 95% SPD. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
2. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO 98% SPD.
3. FOR ALL SEWERS AND WATERMAINS IN FILL SECTIONS, THE COMPACTION SHALL BE CERTIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO LAYING OF PIPE.

SEWERS

1. SANITARY AND STORM SEWERS
   A. CONSTRUCTION OF SANITARY & STORM SEWERS & PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
   B. COVER AND BEDDING MATERIAL FOR CONCRETE PIPE SHALL BE GRANULAR 'A' MATERIAL AS PER OPSD 802.030 OR 802.033, CLASS 'B' BEDDING.
   C. COVER AND BEDDING MATERIAL FOR PVC PIPE SHALL BE GRANULAR 'A' MATERIAL AS PER OPSD 802.010 OR 802.013.
   D. PVC PIPE WILL REQUIRE SPECIAL CONSTRUCTION PROCEDURES AS PER CITY SPECIFICATIONS.
   E. ALL SEWERS TO BE VIDEO INSPECTED AS PER OPSS 409.
   F. ALL SEWERS TO BE FLUSHED AND CLEANED PRIOR TO VIDEO INSPECTION.
   G. MANHOLE FRAMES AND COVERS SHALL BE AS PER OPSD 401.010 (STORM-OPEN, SANITARY-CLOSED). SANITARY SEWER MANHOLES LOCATED IN THE ROAD LOW POINTS ARE TO BE FITTED WITH WATER TIGHT FRAMES AND GRATES AS PER OPSD 401.030.
   H. CATCHBASIN FRAMES AND GRATES SHALL BE AS PER OPSD 400.100 IN PAVED AREA AND A "BEEHIVE" GRATE (AS PER CITY OF HAMILTON STANDARDS) IN LANDSCAPED AREAS (EXCEPT WHERE SPECIFIED TO BE TOTAL CAPTURE GRATES).
   I. ALL REAR LOT CATCHBASINS SHALL BE SUMPLESS AND HAVE NO GOSS TRAPS.
   J. SANITARY SEWERS 200mm TO 375mm IN DIAMETER SHALL BE PVC PIPE, CSA B182.2. SDR-35.
   K. STORM SEWERS 250mm TO 450mm IN DIAMETER SHALL BE PVC PIPE, CSA B182.2, SDR-35.
   L. STORM SEWERS GREATER THAN 450mm IN DIAMETER SHALL BE CONCRETE PIPE, CSA A257.2 (AS SPECIFIED).
   M. ALL PVC STORM SEWERS ARE TO BE TESTED FOR DEFLECTION (MANDREL PASSAGE) AFTER INSTALLATION AS PER OPSS 410. SANITARY SEWERS SHALL BE TESTED FOR DEFLECTION (MANDREL PASSAGE) AND LEAKAGE (LOW AIR PRESSURE METHOD) AS PER OPSS 410. PRIOR TO ASSUMPTION BY THE CITY, PIPE DEFLECTION TESTING SHALL BE REPEATED.
   N. CLEANOUTS CAN ONLY BE PROVIDED FOR SEWERS CONTAINING A SIZE OF 150mm IN DIAMETER OR SMALLER. CLEANOUTS SHALL BE PROVIDED AT EACH CHANGE IN PIPE ALIGNMENT (VERTICAL AND HORIZONTAL), AND AT ANY CHANGE IN PIPE SIZE OR MATERIAL.
2. PRIVATE DRAINS
   A. PRIVATE DRAINS TO BE 150mmø PVC PIPE, CSA B182.1 M-1983, SDR 28 AS PER FORM 500. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOUR OTHER THAN WHITE. WOOD MARKING AT END OF SANITARY PRIVATE DRAIN SHALL BE PAINTED RED.
   B. 'D' DENOTES DUAL PRIVATE DRAIN CONNECTION (SANITARY & STORM). 'SA' DENOTES SINGLE SANITARY PRIVATE DRAIN.
   C. COVER AND BEDDING MATERIAL FOR PRIVATE DRAINS SHALL BE GRANULAR 'A' INSTALLED AS PER OPSD 802.010 OR 802.013.
   D. MINIMUM FALL FOR PRIVATE DRAINS TO BE 2.0%.
   E. TOP OF SANITARY PRIVATE DRAINS AT STREET LINE TO BE 2.2M (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
   F. TOP OF STORM PRIVATE DRAINS AT STREET LINE TO BE 1.2M (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
   G. BUILDING RAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE ONTO THE GROUND SURFACE VIA SPLASH PADS.
   H. SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WEEPING TILES TO THE STORM PRIVATE DRAINS. THE SUMP OUTLET PIPE SHALL EXTEND A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN. REFER TO DETAIL.

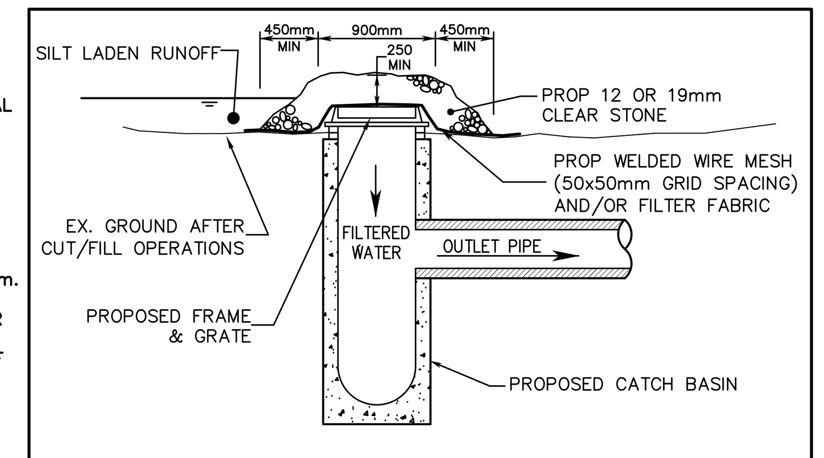
GENERAL EROSION AND SILTATION CONTROL NOTES:

1. MUD MAT SHALL BE INSTALLED AS PER EROSION & SEDIMENT CONTROL GUIDELINE FOR URBAN CONSTRUCTION (2006).
2. SILTATION CONTROL FENCING SHALL BE INSTALLED AS PER OPSD 219.130.
3. SITE INSPECTIONS OF THE EROSION CONTROL MEASURES BY THE DEVELOPER'S CONSULTANT ARE TO BE CONDUCTED WEEKLY AND AFTER ANY SUBSTANTIAL STORM EVENT(>13mm). INSPECTION MUST INCLUDE AN ASSESSMENT OF THE PROPOSED FACILITIES/CONTROLS AND RECOMMENDED CORRECTIVE MEASURES (IF REQUIRED). COPIES OF THE REPORTS ARE TO BE FORWARDED TO THE CITY OF HAMILTON AND HAMILTON CONSERVATION AUTHORITY ON A MONTHLY BASIS.
4. ALL EROSION CONTROL MEASURES (INCLUDING SILT FENCE, TEMPORARY SEDIMENT BASINS INTER-CEPTOR SWALES, ETC.) ARE TO BE MAINTAINED AS REQUIRED BY THE DEVELOPER'S CONSULTANT.
5. THE MEASURES AS PROPOSED MAY BE MODIFIED AT THE DISCRETION OF THE DEVELOPER'S CONSULTANT TO SUIT THE PROPOSED CONSTRUCTION PROGRAMS. THE GENERAL INTENT OF THE PROPOSED EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. THE HAMILTON CONSERVATION AUTHORITY IS TO BE NOTIFIED IF ANY SIGNIFICANT PROPOSED AMENDMENTS TO THE PLAN AND/OR EROSION AND SEDIMENT CONTROL MEASURES ON-SITE FOR REVIEW/APPROVAL PRIOR TO THEIR IMPLEMENTATION.
6. UPON COMPLETION OF GRADING OPERATIONS THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS WITH MULCH AND BIRDSFOOT TREFOIL SEED MIX AS PER OPSS-804 UNLESS FINAL CONSTRUCTION IS SCHEDULED TO COMMENCE WITHIN 30 DAYS OF THE COMPLETION OF THE GRADING OPERATIONS.
7. IF TOPSOIL STOCKPILE REMAINS FOR MORE THAN 30 DAYS, IT SHALL BE STABILIZED BY MULCHING, VEGETABLE COVER, TARPS OR OTHER MEANS.
8. DESIGNATED ENTRANCE FOR ALL CONSTRUCTION TRAFFIC TO BE INSTALLED WITH MUD CONTROL DEVICES AS PER MUD MAT DETAIL. MUD CONTROL DEVICES TO BE INSTALLED PRIOR TO START OF CONSTRUCTION AND ARE TO BE MAINTAINED IN GOOD WORKING ORDER UNTIL GRADING WORKS ARE COMPLETED.
9. CONTRACTOR TO CONTACT THE DEVELOPER'S CONSULTANT PRIOR TO CONSTRUCTION TO DETERMINE THE NEED FOR MODIFICATIONS TO THE CONSTRUCTION SCHEDULE. CONTRACTOR IS NOT TO REMOVE ANY EROSION OR SEDIMENT CONTROL FACILITIES UNTIL DIRECTED TO DO SO BY THE ENGINEER.

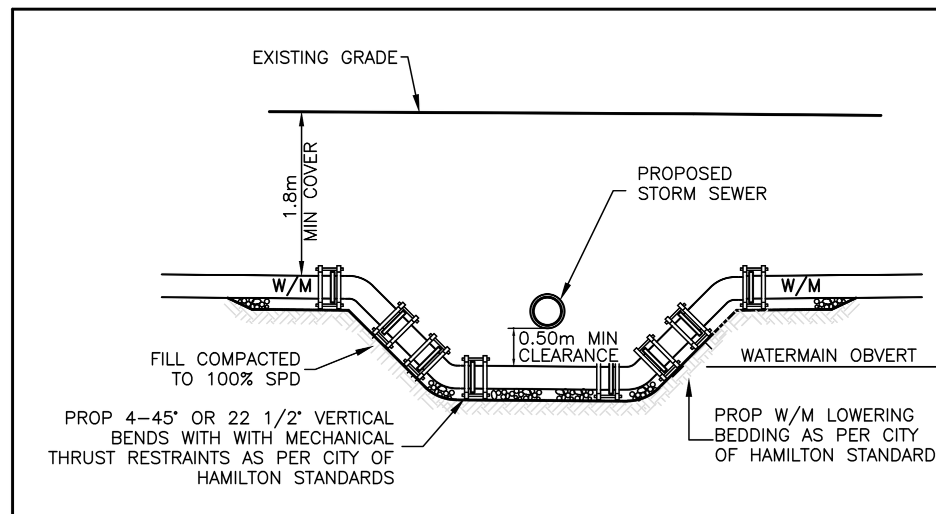
WATERMAINS AND WATER SERVICES

1. WATERMAINS
   A. CONSTRUCTION OF WATERMAINS & PRIVATE SERVICES SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
   B. TO BE INSTALLED TO A MINIMUM DEPTH OF 1.70M BELOW PROPOSED CENTERLINE ROAD GRADE ON ALL ROADS. PVC PIPE IN SIZES 100mm THROUGH 300mm SHALL BE CLASS 150 DR18 CONFORMING TO AWWA C900. FOR 400MM.
   C. TRACER WIRE SHALL BE INSTALLED WITH PVC PIPE IN ACCORDANCE WITH FORM 400. IT SHALL BE 12 GAUGE TW75, TWU75 OR RW90XLPE COATED COPPER AND SHALL BE POSITIONED ALONG THE TOP OF THE PIPE AND FASTENED AT 6 METRE INTERVALS. THE WIRE IS TO BE INSTALLED BETWEEN EACH VALVE AND/OR THE END OF THE NEW PVC WATERMAIN. JOINTS IN THE WIRE BETWEEN VALVES ARE NOT PERMITTED. AT EACH GATE VALVE A LOOP WIRE IS TO BE BROUGHT UP INSIDE THE VALVE BOX TO THE CAP. THE TRACER WIRE SHALL BE BROUGHT TO THE SURFACE AT THE SECONDARY VALVE ON ALL FIRE HYDRANTS. THE TRACER WIRE SHALL ALSO BE CONNECTED TO THE CATHODIC PROTECTION SYSTEM AS REQUIRED.
   D. MOLDED PVC FITTINGS FOR PIPE SIZES 100mm TO 300mm SHALL CONFORM TO AWWA C900 AND CERTIFIED TO CSA B137.2.
   E. FABRICATED FITTINGS 250mm AND 300mm SHALL BE MANUFACTURED FROM SEGMENTS OF AWWA C900, CLASS 150 (DR18) PVC PIPE, BONDED TOGETHER AND OVER-WRAPPED WITH FIBREGLASS-REINFORCED POLYESTER TO MEET THE REQUIREMENTS OF CSA B137.3.
   F. WHERE METAL FITTINGS ARE TO BE USED ON PVC MAINS SUFFICIENT CATHODIC PROTECTION AS PER FORM 400 AND MUST BE PROVIDED AS PER THE FOLLOWING REQUIREMENTS:
      i. ONE (1) 5.4 kg ZINC ANODE WILL BE PROVIDED FOR EVERY 1000 m TRACER WIRE.
      ii. ONE (1) 5.4 kg ZINC ANODE IS TO BE INSTALLED ON ALL COPPER SERVICE CONNECTIONS, BY MEANS OF A SERVICE GROUND CLAMP, COATED WITH T.C. MASTIC OR WRAPPED WITH ?SCOTCHFILL?ELECTRICAL PUTTY OR APPROVED EQUAL. THE ANODE IS TO BE PLACED AT LEAST 1.0 m AWAY FROM THE WATER SERVICE AND AS DEEP AS THE SERVICE AND WITHIN 1.0 m OF THE CURB STOP.
      iii. ONE (1) 10.8 kg ZINC ANODE IS TO BE INSTALLED ON EACH HYDRANT. IF PVC. PIPE IS USED BETWEEN THE HYDRANT TEE OR ANCHOR TEE AND THE HYDRANT BOOT, TWO (2) 10.8 kg ZINC ANODES SHALL BE USED.
      iv. ONE (1) 5.4 kg ZINC ANODE IS TO BE INSTALLED ON EVERY VALVE, AND EVERY METALLIC FITTING CONNECTED TO A PVC WATERMAIN. FITTINGS INCLUDE BENDS, TEES, CROSSES, SLEEVES, REDUCERS, PLUGS, CAPS, JOINT RESTRAINERS AND COUPLINGS.
      v. ONE (1) 14.5 KG MAGNESIUM ANODE IS TO BE CONNECTED TO THE FIRST LENGTH OF AN EXISTING METALLIC WATERMAIN PIPE WHEN CONNECTED TO A NEW PVC WATERMAIN.

   ALL SACRIFICIAL ZINC ANODES SHALL CONFORM TO ASTM B-418 TYPE II AND SHALL BE MADE OF HIGH GRADE ELECTROLYTIC ZINC, 99.99 % PURE. MAGNESIUM ANODES SHALL CONFORM TO ASTM B-107-TYPE M1. FOR ALL ANODES CONNECTED TO NEW PIPE, FITTINGS OR TO EXISTING METALLIC WATERMAINS, A CADWELDER AND CA-15 OR EQUIVALENT CARTRIDGE SHALL BE USED. ALL THERMITE WELD CONNECTIONS TO BE COATED WITH T.C. MASTIC (TAPECOAT OF CANADA), ROYBOND 747 PRIMER AND ROYSTON HANDY CAP OR APPROVED EQUAL.
   G. BEDDING AND BACKFILL AS PER WM-200.01 AND WM-200.02 GRANULAR 'A' MATERIAL FOR MAINS AND SERVICES GREATER THAN 50mm.
   H. WATERMAIN DEFLECTION FOR PVC PIPE:
      w. MAXIMUM ALLOWABLE DEFLECTION OF 1.5 DEGREES PER JOINT UP TO 250mm DIAMETER (160mm PER 6.1m PIPE LENGTH) AND 1.2 DEGREES FOR 300mm DIAMETER (128mm PER 6.1m PIPE LENGTH) SHALL NOT BE EXCEEDED.
      ii. ALL JOINTS SHALL BE DEFLECTED AN EQUAL AMOUNT.
   I. MINIMUM HORIZONTAL SEPARATION BETWEEN WATERMAINS AND SEWERS SHALL BE 2.5m. VERTICAL SEPARATION BETWEEN WATERMAINS AND SEWERS WHICH CROSS MUST BE 500mm BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF THE SEWER WHEN THE WATERMAIN SITS BELOW THE CROSSING SEWER. OTHERWISE THE MINIMUM SEPARATION BETWEEN THE WATERMAIN AND SEWER SHALL BE 0.15m. THE LENGTH OF WATER PIPE IS CENTRED AT THE POINT OF CROSSING SUCH THAT JOINTS IN THE WATERMAIN WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER, CROSSING PERPENDICULAR IF POSSIBLE.
   J. ALL EXISTING WATER METERS BEING ABANDONED AS PART OF THE PROPOSED DEVELOPMENT MUST BE REMOVED AND SALVAGED BY THE CITY OF HAMILTON. THE SERVICING CONTRACTOR SHOULD CONTACT THE WATER AND WASTEWATER SECTION, PUBLIC WORKS DEPARTMENT AT (905) 546-2424 X4426 TO ARRANGE FOR THE WORK.
2. FLUSHING, SWABBING AND TESTING
   A. ALL NEW WATERMAINS ARE TO BE SWABBED IN ACCORDANCE WITH CITY SPECIFICATIONS.
   B. A REDUCED PRESSURE ZONE BACKFLOW PREVENTER (WATTS SERIES 909 OR APPROVED EQUAL) IS REQUIRED ON THE TEMPORARY SUPPLY LINES USED FOR FILLING AND FLUSHING OR SWABBING OF WATERMAINS.
   C. UPON COMPLETION OF INSTALLATION, THE CONTRACTOR SHALL PERFORM A PRESSURE TEST ON THE WATERMAINS AS PER FORM 400. WATERMAIN IS TO BE TESTED PRIOR TO CONNECTION TO EXISTING WATERMAINS USING TEMPORARY CAPS OR PLUGS. PIPE CLOSURES, WHERE REQUIRED, ARE TO BE SUPPLIED BY THE CONTRACTOR. THE CONTRACTOR WILL ALSO SUPPLY AND INSTALL ALL ADAPTOR PIECES IN ORDER TO CONNECT TO EXISTING WATERMAINS.
3. WATER SERVICES
   A. 'W' DENOTES WATER SERVICE CONNECTION. WATER SERVICE TO BE 25mm DIA. TYPE ?K? SOFT COPPER AS PER WM-207.01 OR AS DETAILED.
   B. 'GRANULAR BEDDING AS PER WM-200.01 AND WM-200.02 TO BE GRANULAR 'D' AS PER FORM 600.
4. VALVES & VALVE BOXES
   A. VALVE BOXES LOCATED IN GRASSED AREAS TO BE SET TO FINAL PROPOSED GRADES. VALVE BOXED LOCATED IN ASPHALT TO BE SET TO BASE ASPHALT THEN RAISED TO FINAL ASPHALT AT THE TIME OF FINAL ASPHALT APPLICATION.
   B. 100mm TO 300mm GATE VALVE & VALVE BOXES AS PER WM-202.
5. ANCHOR BLOCKS
   A. FOR 100mm TO 300mm WATERMAINS STANDARD CONCRETE ANCHOR BLOCKS AS PER WM- 204.01.
   B. ALL FITTINGS AND VALVES SHALL BE RESTRAINED FOR A MINIMUM DIRECTION OF 18.0m IN EACH DIRECTION. ALL FITTINGS AT DEAD ENDS SHALL BE RESTRAINED FOR A MINIMUM OF 18.0m.
6. HYDRANTS
   A. TO BE INSTALLED WITH SECONDARY VALVES AS PER WM-203.01 OR WM-203.02 AS DETAILED. THEY SHALL OPEN COUNTER-CLOCKWISE (LEFT) AND HAVE A L PAINTED ON THE BARREL SECTION. THE 100mm PUMPER STORZ CONNECTION SHALL FACE THE ROADWAY AND BE PAINTED BLACK.
   B. ALL FIRE HYDRANTS SHALL CONFORM TO THE CITY OF HAMILTON (MUNICIPALITY) FIRE DEPARTMENT'S REQUIREMENTS AND SHALL BE OF SAME MANUFACTURE.
   C. ALL EXISTING AND PROPOSED HYDRANTS WITHIN THE VICINITY OF THE PROPOSED WORKS WILL REQUIRE AN ANTI-TAMPERING DEVICE FOR THE ENTIRE DURATION OF CONSTRUCTION. A "MUELLER HYDRANT-DEFENDER" SECURITY DEVICE OR APPROVED EQUIVALENT IS TO USED UNLESS OTHERWISED SPECIFIED BY THE CITY OF HAMILTON.
7. WATERMAIN SHUTDOWN
   A. MAXIMUM SHUTDOWN OF EXISTING MAIN AT A TIME CONVENIENT TO THE CITY OF HAMILTON AND ABUTTING USERS.
   B. CONTRACTOR TO GIVE 48 HOUR PRIOR NOTIFICATION USING THE CITY OF HAMILTON NOTICE SHUTDOWN FOR ALL AFFECTED AREAS.
   C. IN THE EVENT A SCHEDULED SHUTDOWN IS CANCELED BY THE CITY OF HAMILTON, THE CONTRACTOR SHALL HAVE NO CLAIMS AGAINST THE CITY.

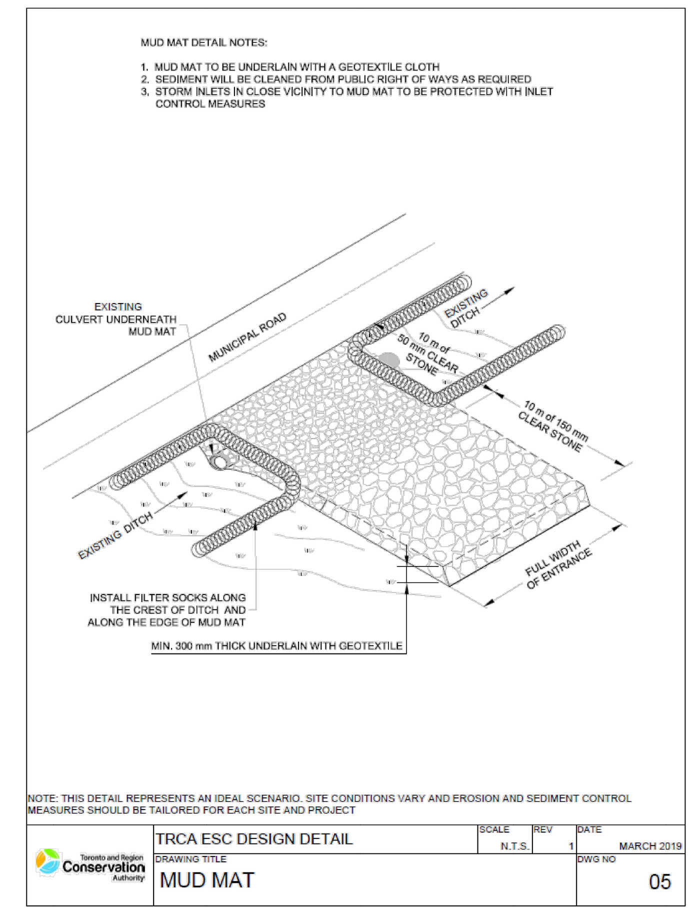


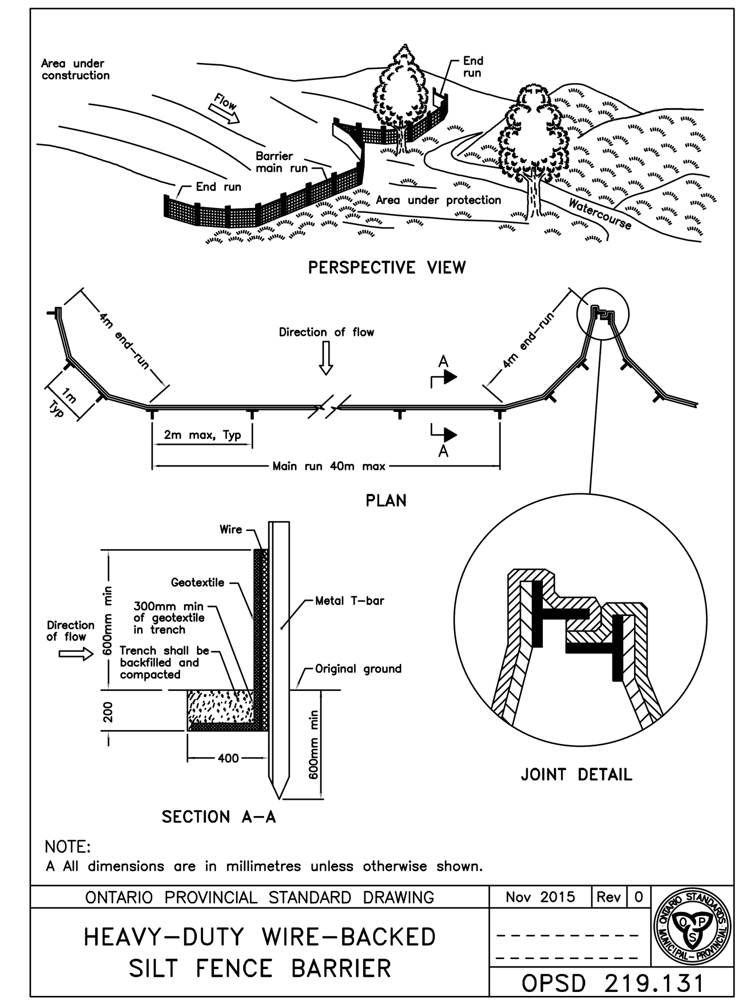
CATCH BASIN SILT CONTROL
(FOR PROPOSED REAR LOT CATCH BASINS, & DITCH INLETS)
SCALE: N.T.S.

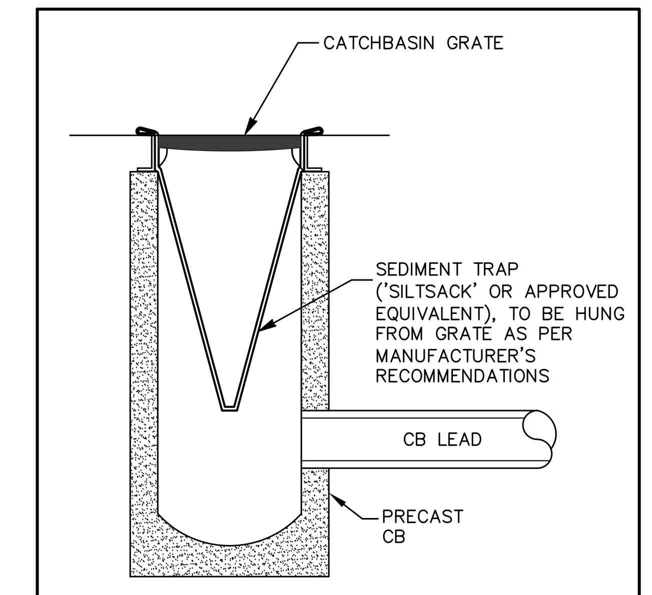


WATERMAIN LOWERING DETAIL
SCALE: N.T.S.

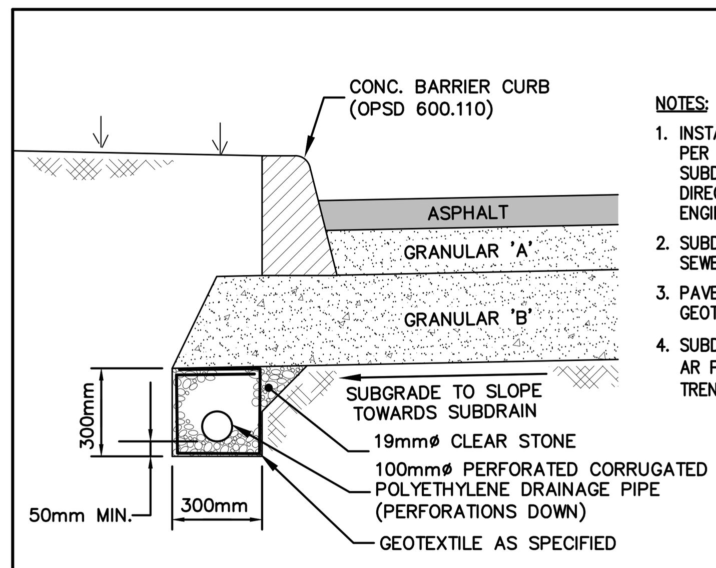
NOTES:
A. THERE SHALL BE A MINIMUM VERTICAL SEPARATION BETWEEN THE BOTTOM OF THE SEWER PIPE AND THE TOP OF THE WATERMAIN.
B. THE WATERMAIN SHALL BE LOWERED BELOW THE SEWER USING VERTICAL THRUST BLOCKS AND RESTRAINING JOINTS.
C. THE LENGTH OF THE WATERMAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SO THAT THE JOINTS ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER.
D. THE SEWER SHALL BE ADEQUATELY SUPPORTED TO PREVENT JOINT DEFLECTION AND SETTLING.





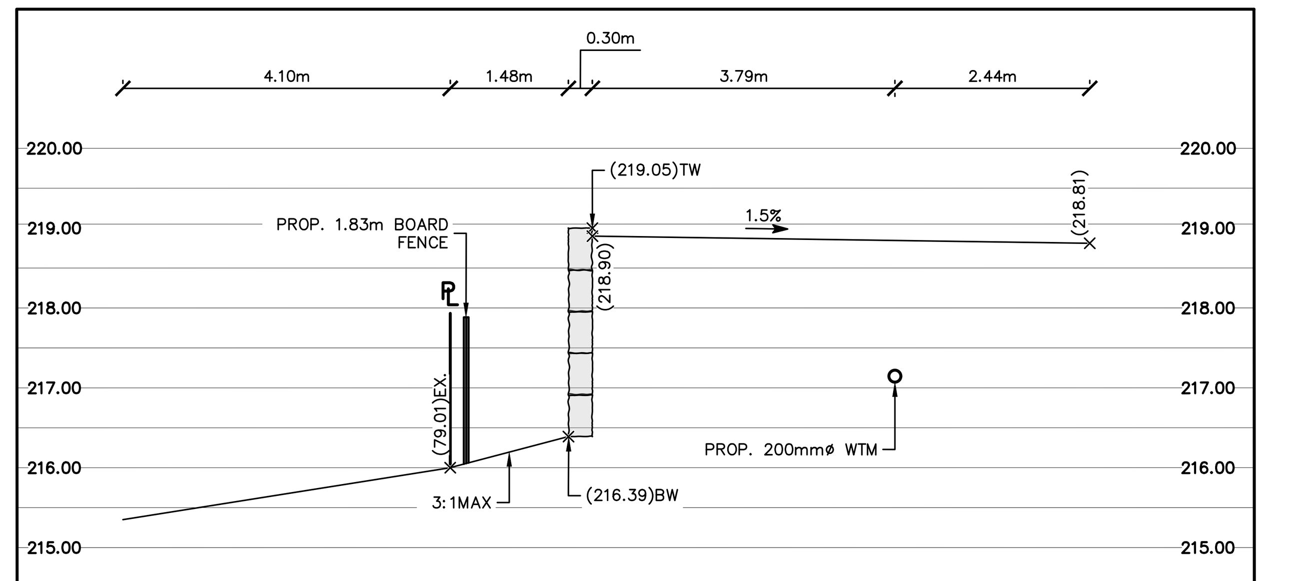


STREET CATCH BASIN SEDIMENT TRAP
SCALE: N.T.S.

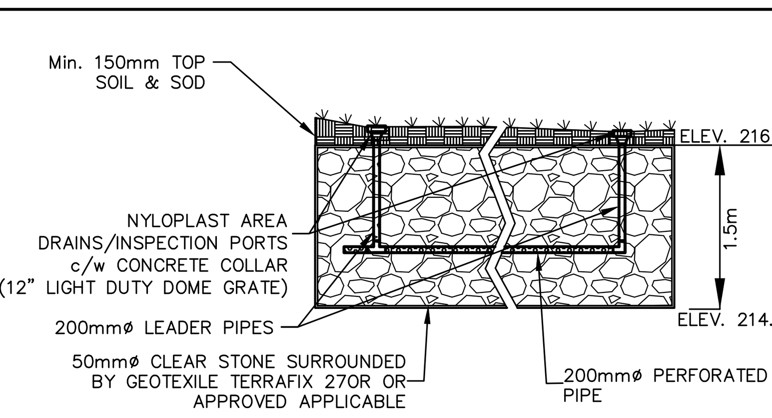


NOTES:
1. INSTALLATION OF SUBDRAIN TO BE AS PER THE SERVICING DRAWING. ADDITIONAL SUBDRAIN MAY BE REQUIRED AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER.
2. SUBDRAIN TO BE CONNECTED TO STORM SEWER SYSTEM AT ALL STRUCTURES.
3. PAVEMENT STRUCTURE TO BE AS PER GEOTECHNICAL REPORT.
4. SUBDRAIN CONNECTION TO MH/CB TO BE AR PER OPSD 216.021 (WRAPPED TRENCH).

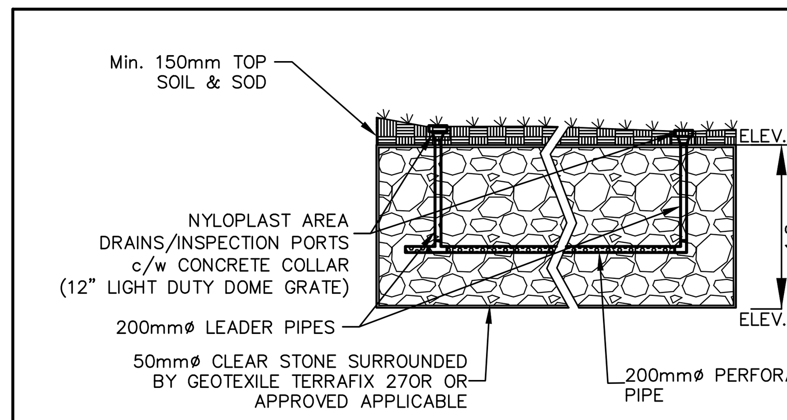
BARRIER CURB SUBDRAIN
SCALE: N.T.S.



SECTION A-A
SCALE: N.T.S.



WEST INFILTRATION GALLERY
SCALE: N.T.S.



EAST INFILTRATION GALLERY
SCALE: N.T.S.

NO.	DATE	BY	REVISIONS
01	JUL 26/23	MC	REVISED PER CITY COMMENTS

NOTES TO CONTRACTOR:
1. CONTRACTORS AND SUBCONTRACTORS SHALL NOT SCALE FROM THIS DRAWING.
2. ANY INCONSISTENCIES AND OMISSIONS FOUND ON THE DRAWINGS MUST BE REPORTED TO THE ENGINEER FOR CLARIFICATION BEFORE COMMENCING THE WORK.
3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND ELEVATIONS AND REPORT ALL FINDINGS TO THE ENGINEER. ONCE CONSTRUCTION HAS COMMENCED, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS.
4. THE POSITIONS OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND OTHER UNDERGROUND AND OVER-GROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS. WHERE SHOWN ON THE DRAWING, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM THEMSELVES OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
5. ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED, REUSED, OR REVISED WITHOUT THE WRITTEN CONSENT OF S. LLEWELLYN AND ASSOCIATES LIMITED.

DESIGN	MC	CHK'D	SL	DATE Jul. 25, 23
DRAWN	FG	CHK'D	SL	

APPROVALS

STAMP
LICENSED PROFESSIONAL ENGINEER
B.S. LLEWELLYN
27110300
Jul 27/2023
PROVINCE OF ONTARIO

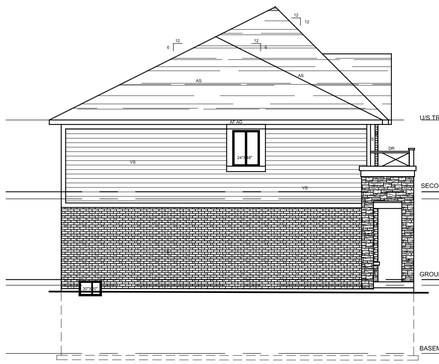
S. LLEWELLYN & ASSOCIATES LIMITED
CONSULTING ENGINEERS
Tel. (905) 631-6978
Website: www.sla.on.ca
email: info@sla.on.ca
3228 South Service Road, Suite #105 East Wing, Burlington, Ont., L7N 3H8

CLIENT
1536708 ONTARIO INC.
1070 STONE CHURCH ROAD EAST
HAMILTON, ON

PROJECT NAME
SOUTHAMPTON BLOCK 149
205 THAMES WAY
HAMILTON, ON
(DA-22-096)

TITLE
NOTES & DETAILS PLAN

PROJECT No. 20029
DRAWING No. C103



4 A400 NORTH ELEVATION
BLOCK 1
1/8" = 1'-0"

1 A400 FRONT ELEVATION
BLOCK 1
1/8" = 1'-0"

3 A400 SOUTH ELEVATION
BLOCK 1
1/8" = 1'-0"

2 A400 REAR ELEVATION
BLOCK 1
1/8" = 1'-0"

LEGEND

AF	- ALUMINUM FASCIA	RWL	- RAIN WATER LEADER
AG	- ALUMINUM GUTTER	S	- STONE
AS	- ASPHALT SHINGLES	SC	- SOLDIER COURSE
B	- BRICK VENEER	SH	- SHAKES
CB	- CORNER BRACKET	ST	- STUCCO
CP	- CONCRETE PORCH	VS	- VINYL SIDING
MR	- DECORATIVE METAL RAIL	VST	- VINYL SIDING TRIM
FB	- FRIEZE BOARD	WP	- WOOD POST /
K	- KEYSTONE	WR	- WOOD RAILING
LS	- LIMESTONE SILL	WS	- WOOD PRIVACY SCREEN
MR	- METAL ROOFING		

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK

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KEY TO DETAIL LOCATION
No. / No. — DETAIL NUMBER / DRAWING SHEET NUMBER

BUILDING PERMIT NUMBER:
NOT FOR CONSTRUCTION WITHOUT PERMIT

PRINTS ISSUED	NO.	DATE (DD,MM,YY)	BY
SITE PLAN APPROVAL	1	22,04,25	KNYMH

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING	NO.	DATE (DD,MM,YY)	BY
-		-	

NOT FOR CONSTRUCTION

KNYMH
ARCHITECTURE • SOLUTIONS
KNYMH INC.
1006 SKYVIEW DRIVE • SUITE 101
BURLINGTON, ONTARIO • L7P 0V1
T 905.639.6595
F 905.639.0394
www.knymh.com info@knymh.com

ONTARIO ASSOCIATION OF ARCHITECTS
PRZEMYSLAW MYSZKOWSKI
LICENCE
7984

DICENZO HOMES

SOUTHAMPTON TOWNS

HAMILTON, ONTARIO

DRAWING SHEET TITLE:
ELEVATIONS BLOCK 1

DRAWING SCALE: AS NOTED

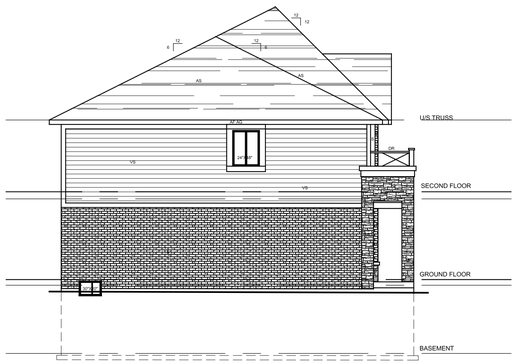
KNY PROJECT NUMBER: 20002

DRAWN BY:

CHECKED BY:

PLOT DATE:

DRAWING SHEET NUMBER: A400



4 A410 END ELEVATION
BLOCKS 3,5,7 AND MIRROR 2,4,6
1/8" = 1'-0"

1 A410 FRONT ELEVATION
BLOCKS 3,5,7 AND MIRROR 2,4,6
1/8" = 1'-0"

3 A410 ENHANCED ELEVATION
BLOCKS 3,5,7 AND MIRROR 2,4,6
1/8" = 1'-0"

2 A410 REAR ELEVATION
BLOCKS 3,5,7 AND MIRROR 2,4,6
1/8" = 1'-0"

LEGEND

AF	- ALUMINUM FASCIA	RWL	- RAIN WATER LEADER
AG	- ALUMINUM GUTTER	S	- STONE
AS	- ASPHALT SHINGLES	SC	- SOLDIER COURSE
B	- BRICK VENEER	SH	- SHAKES
CB	- CORNER BRACKET	ST	- STUCCO
CP	- CONCRETE PORCH	VS	- VINYL SIDING
MR	- DECORATIVE METAL RAIL	VST	- VINYL SIDING TRIM
FB	- FRIEZE BOARD	WP	- WOOD POST /
K	- KEYSTONE	WR	- WOOD RAILING
LS	- LIMESTONE SILL	WS	- WOOD PRIVACY SCREEN
MR	- METAL ROOFING		

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NOT FOR CONSTRUCTION WITHOUT PERMIT

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SITE PLAN APPROVAL	1	22,04,25	KNYMH

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-		-	

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PRZEMYSLAW MYSZKOWSKI
LICENCE
7984

DICENZO HOMES

SOUTHAMPTON TOWNS

HAMILTON, ONTARIO

DRAWING SHEET TITLE:
ELEVATIONS BLOCKS 3,5,7 AND MIRROR 2,4,6

DRAWING SCALE: AS NOTED

KNY PROJECT NUMBER: 20002

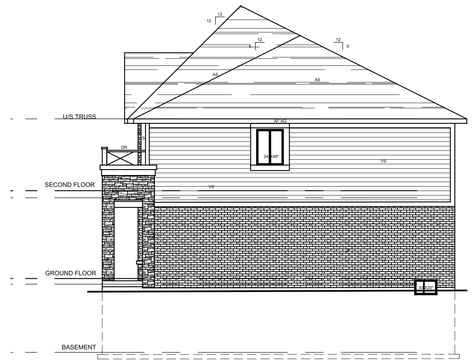
DRAWN BY:

CHECKED BY:

PLOT DATE:

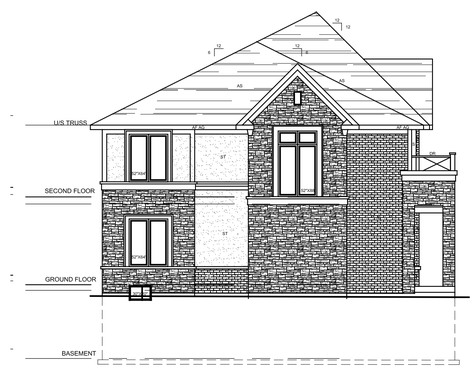
DRAWING SHEET NUMBER: A410

1 A430 FRONT ELEVATION
BLOCK 8
1/8" = 1'-0"



4 A430 NORTH ELEVATION
BLOCK 8
1/8" = 1'-0"

2 A430 REAR ELEVATION
BLOCK 8
1/8" = 1'-0"



3 A430 SOUTH ELEVATION
BLOCK 8
1/8" = 1'-0"

LEGEND

AF	- ALUMINUM FASCIA	RWL	- RAIN WATER LEADER
AG	- ALUMINUM GUTTER	S	- STONE
AS	- ASPHALT SHINGLES	SC	- SOLDIER COURSE
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CB	- CORNER BRACKET	ST	- STUCCO
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MR	- DECORATIVE METAL RAIL	VST	- VINYL SIDING TRIM
FB	- FRIEZE BOARD	WP	- WOOD POST /
K	- KEYSTONE	WR	- WOOD RAILING
LS	- LIMESTONE SILL	WS	- WOOD PRIVACY SCREEN
MR	- METAL ROOFING		

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KEY TO DETAIL LOCATION

No. / No. — DETAIL NUMBER / DRAWING SHEET NUMBER

BUILDING PERMIT NUMBER:
NOT FOR CONSTRUCTION WITHOUT PERMIT

PRINTS ISSUED	NO.	DATE (DD,MM,YY)	BY
SITE PLAN APPROVAL	1	22,04,25	KNYMH

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING	NO.	DATE (DD,MM,YY)	BY
-		-	

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ONTARIO ASSOCIATION OF ARCHITECTS
PRZEMYSLAW MYSZKOWSKI
LICENCE
7984

DICENZO HOMES

SOUTHAMPTON TOWNS

HAMILTON, ONTARIO

DRAWING SHEET TITLE:
ELEVATIONS BLOCK 8

DRAWING SCALE: AS NOTED

KNY PROJECT NUMBER: 20002

DRAWN BY:

CHECKED BY:

PLOT DATE:

DRAWING SHEET NUMBER: A430

URBAN SOLUTIONS
PLANNING & LAND DEVELOPMENT

July 31, 2023

339-19

Via Email & Delivered

Ms. Jamila Sheffield
Secretary Treasurer, Committee of Adjustment

City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

Dear Ms. Sheffield,

RE: 205 Thames Way, Hamilton
Minor Variance Application

UrbanSolutions Planning & Land Development Consultants Inc. (UrbanSolutions) is the authorized planning consultant for 1536708 Ontario Inc. c/o Anthony DiCenzo, the registered owner of the land municipally known as 205 Thames Way, Hamilton (subject lands). On behalf of the owner, UrbanSolutions has prepared the enclosed Minor Variance applications to the City of Hamilton.

The subject lands are designated as 'Neighbourhoods' in the Urban Hamilton Official Plan and 'Low Density Residential 2c' in the Mount Hope Secondary Plan. The lands are currently zoned Residential Multiple "H-RM3-147" in the Township of Glanbrook Zoning By-law No. 464.

In keeping with ongoing discussions with City Planning staff, the proposed variances described herein are required to accommodate the proposed change in tenure from Standard Condominium to Common Element Condominium with POTLs – which will be facilitated through future Draft Plan of Condominium and Part Lot Control applications. As such, the proposed site design remains unchanged from that which received Conditional Site Plan approval (DA-22-096) on January 25, 2023, and for which Minor Variance application GL/A-21:170 was approved on August 12, 2021.

As outlined on the enclosed Minor Variance Sketch, the following variances are required:

- **Minor Variance No. 1:** To permit a minimum lot frontage of 9.0 metres for a corner lot with an end dwelling unit adjacent to a flanking street whereas a minimum of 12.0 metres is currently required.

- **Minor Variance No. 2:** To permit a minimum lot area of 165.0 square metres per dwelling unit for middle lots, 206.0 square metres for end lots which do not abut a flanking street, and 212.0 square metres for a corner lot which abuts a flanking street; whereas a minimum lot area of 210.0 square metres per dwelling unit for middle lots, 270 square metres for end lots which do not abut a

flanking street, and 360 square metres for a corner lot which abuts a flanking street is currently required.

- **Minor Variance No. 3:** To permit a maximum lot coverage of 47% whereas 35% is currently required.

- **Minor Variance No. 4:** To permit a minimum front yard setback of 5.75 metres whereas 7.5 metres is currently required.

- **Minor Variance No. 5:** To permit a minimum side yard setback of 1.5 metres for an end dwelling unit not abutting a flanking street and 1.6 metres for an end dwelling unit on a corner lot abutting a flanking street whereas a minimum of 2.0 metres and 6.0 metres are currently required, respectively.

- **Minor Variance No. 6:** To permit a minimum rear yard setback of 6.0 metres whereas 7.5 metres is currently required.

As previously noted, the above-noted variances are solely required to facilitate the proposed change in tenure and do not seek to modify the previously (conditionally) approved site design via DA-22-096. As such, it is our (UrbanSolutions') opinion that the requested variances satisfy the four tests outlined in Section 45(1) of the *Planning Act*, in that they meet the intent of the Urban Hamilton Official Plan and the Township of Glanbrook Zoning By-law No. 464, are minor in nature, and are desirable and appropriate for the subject lands. Therefore, the requested variances represent good land use planning.

In support of this application, please find enclosed the following:

- One (1) copy of the building elevations;
- One (1) copy of the Grading and Servicing Plans;
- One (1) copy of the completed Minor Variance application form;
- One (1) copy of the Minor Variance Sketch prepared by UrbanSolutions, and;
- One (1) cheque in the amount of **$3,735.00** payable to the City of Hamilton for the Minor Variance application.

We trust that the enclosed is in order; however, please feel free to contact the undersigned with any questions.

Regards,
UrbanSolutions

Matt Johnston, MCIP, RPP
Principal

Matthew LeBlanc, M.PL, BA (Hons)
Planner

cc: 1536708 Ontario Inc. c/o Mr. Anthony DiCenzo

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Registered Owners(s)	[redacted]		
Applicant(s)			
Agent or Solicitor			

1.2 All correspondence should be sent to ☐ Purchaser ☐ Owner ☐ Applicant ☐ Agent/Solicitor

1.3 Sign should be sent to ☐ Purchaser ☐ Owner ☐ Applicant ☐ AgentSolicitor

1.4 Request for digital copy of sign ☐ Yes* ☐ No

If YES, provide email address where sign is to be sent [redacted]

1.5 All correspondence may be sent by email ☐ Yes* ☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address			
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☐ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

☐ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes ☐ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
107.82 metres	117.19 metres	1.27 ha	18.0 metres

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

4.4 Type of water supply: (check appropriate box)

☐ publicly owned and operated piped water system
☐ privately owned and operated individual well
☐ lake or other water body
☐ other means (specify)

_____

4.5 Type of storm drainage: (check appropriate boxes)

☐ publicly owned and operated storm sewers
☐ swales
☐ ditches
☐ other means (specify)

_____

4.6 Type of sewage disposal proposed: (check appropriate box)

☐ publicly owned and operated sanitary sewage
☐ system privately owned and operated individual
☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

☐ provincial highway
☐ municipal road, seasonally maintained
☐ municipal road, maintained all year
☐ right of way
☐ other public road

_____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

7.4 Length of time the existing uses of the subject property have continued:

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? _____

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-lawAmendment or Minor Variance)

☐ Yes ☐ No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes ☐ No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☐ Yes ☐ No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: _____

8.2 Number of Dwelling Units Proposed: _____

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☐ Application Fee
- ☐ Site Sketch
- ☐ Complete Application form
- ☐ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
- ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study

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