

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>HM/A-23:223</b>	<b>SUBJECT PROPERTY:</b>	1077 BEACH BOULEVARD, HAMILTON
<b>ZONE:</b>	"H" (Community Shopping and Commercial and Etc.)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Hamilton 6593, as Amended 99-169

**APPLICANTS:**      **Owner:** ALLISON NIELSEN  
                              **Agent:** GERARD O'ROURKE

The following variances are requested:

1. A minimum distance of 5.24m shall be permitted between the rear wall of the principle dwelling and the secondary dwelling unit- detached located in the rear yard instead of the minimum 7.5m separation required.

**PURPOSE & EFFECT:**      To facilitate the construction of a proposed Secondary Dwelling Unit- Detached

**Notes:** N/A

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, September 7, 2023</b>
<b>TIME:</b>	<b>11:25 a.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

## HM/A-23:223

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

## FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:223, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: August 22, 2023

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

## **PARTICIPATION PROCEDURES**

### **Written Submissions**

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### **Oral Submissions**

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### **1. Virtual Oral Submissions**

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

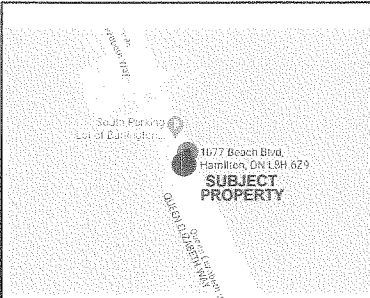
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### **2. In person Oral Submissions**

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



LEGEND:

—○— DENOTES SURVEY MONUMENT SET  
—■— DENOTES SURVEY MONUMENT FOUND  
PB DENOTES PLASTIC BAR  
P1 DENOTES DEPOSITED PLAN 61R-19060  
P2 DENOTES DEPOSITED PLAN 61R-17098

HYDRO VAULT FIRE HYDRANT   
HYDRO METER WATER VALVE   
LIGHT STANDARD CATCHBASIN   
HYDRO POLE BELL PEDESTAL   
GAS METER TV PEDESTAL

OVERHEAD HYDRO   
SANITARY SEWER   
WATERMAIN   
UNDERGROUND TEL   
GAS LINE   
FENCELINE   
HEDGE   
TOP OF BANK

EXISTING ELEVATION   
CONIFEROUS TREE   
DECIDUOUS TREE   
ASPHALT   
CONCRETE   
PAVESTONE

#### SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  - THIS SURVEY WAS COMPLETED ON THE 11th DAY OF MONTH, 2022.

DATE: MARCH 1, 2022

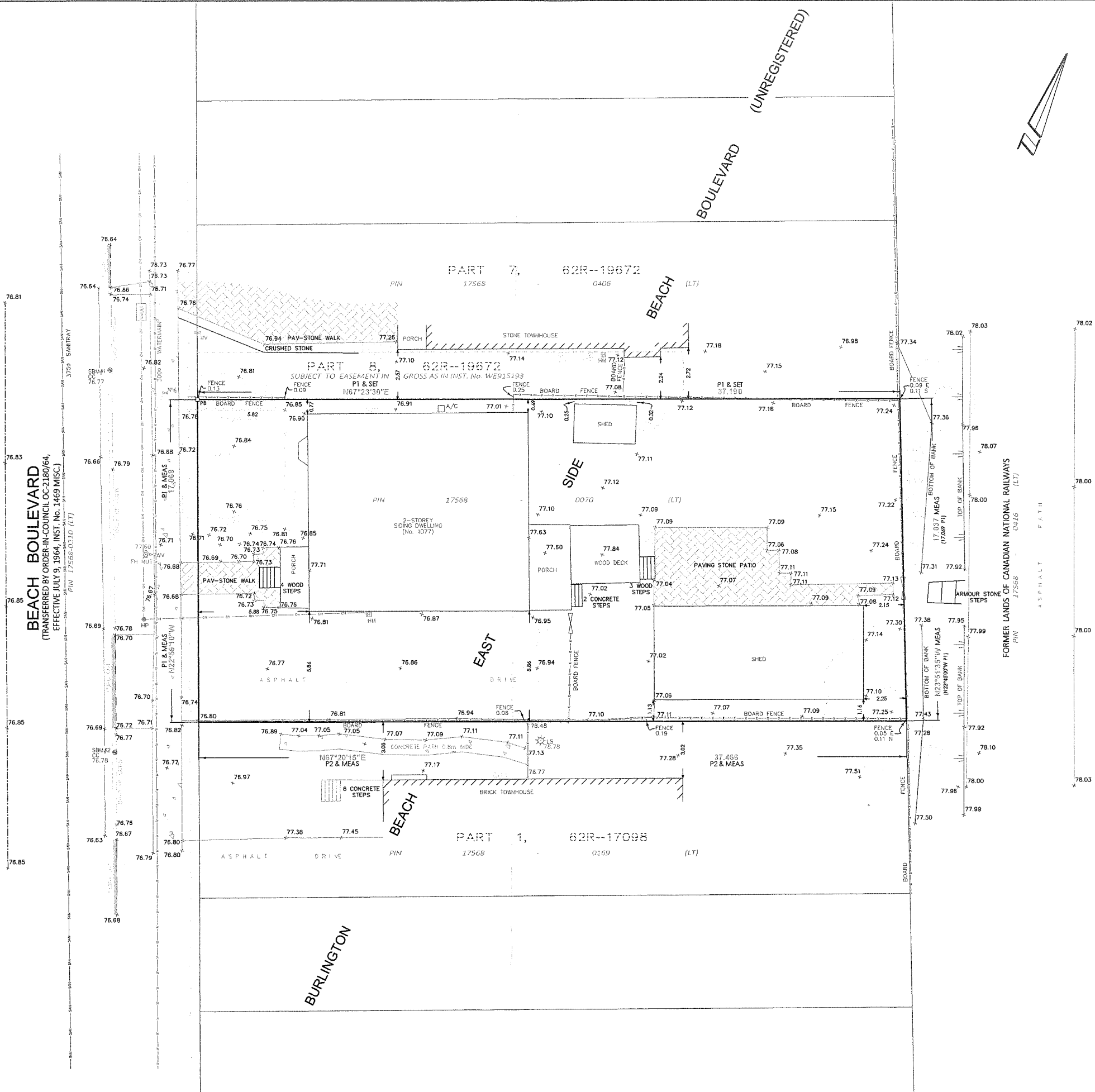
JAMIE LAWS  
ONTARIO LAND SURVEYOR

#### UNDERGROUND SERVICES NOTE

- ALL UNDERGROUND SERVICES INCLUDING STORM, SEWER, WATER, SANITARY, GAS, HYDRO, TELEPHONE, & CABLE SERVICES HAVE NOT BEEN LOCATED OR SURVEYED.

#### CALL BEFORE YOU DIG

THE LOCATION OF SERVICES ON THIS DRAWING ARE ONLY APPROXIMATE AND BASED ON SURFACE FEATURES LOCATED AT THE TIME OF THE TOPOGRAPHIC SURVEY. PRIOR TO ANY CONSTRUCTION IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER TO ENSURE THE EXACT LOCATION OF ALL UTILITIES.



TOPOGRAPHIC PLAN OF SURVEY OF  
PART OF BURLINGTON  
BEACH EAST SIDE  
BEACH BOULEVARD  
(UNREGISTERED)  
CITY OF HAMILTON  
REGIONAL MUNICIPALITY OF  
HAMILTON

SCALE 1 : 100  
VAN HARTEN SURVEYING INC.  
THE INTENDED PLOT SIZE OF THIS PLAN IS 915 mm IN WIDTH  
BY 610 mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:100

#### PROPERTY DESCRIPTION:

- PIN 17568-0076 (LT)
- ADDRESS: 1077 BEACH BOULEVARD
- PART OF BURLINGTON BEACH EAST SIDE BEACH BOULEVARD (UNREGISTERED)
- CITY OF HAMILTON

#### METRIC:

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

#### BENCHMARK:

ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT  
REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM,  
WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CGVD28  
DATUM (1976 ADJUSTMENT) WITH GEOID MODEL HTV2.0, AS SUPPLIED BY  
NATURAL RESOURCES CANADA.

SITE BENCHMARK #1: CUT CROSS IN CURB APPROX. 5m WEST OF NORTH  
WEST CORNER OF THE SUBJECT PROPERTY, HAVING AN ELEVATION OF  
76.77 METRES.

SITE BENCHMARK #2: CUT CROSS IN CURB APPROX. 4.7m WEST OF SOUTH  
WEST CORNER OF THE SUBJECT PROPERTY, HAVING AN ELEVATION OF  
76.78 METRES.

#### BEARING AND COORDINATE NOTE:

- BEARINGS ARE GRID BEARINGS AND ARE DERIVED FROM GPS  
OBSERVATIONS AND ARE REFERRED TO THE UTM PROJECTION, ZONE 17,  
NAD 83 (CSRS-2010) ADJUSTMENT.
- DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND DISTANCES  
AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN  
AVERAGED COMBINED SCALE FACTOR OF 0.999712
- COORDINATES ON THIS PLAN ARE UTM, ZONE 17, NAD83 (CSRS-2010)  
ADJUSTMENT AND ARE BASED ON GPS OBSERVATIONS FROM A NETWORK  
OF PERMANENT GPS REFERENCE STATIONS.

#### BEARING COMPARISONS:

FOR THE PURPOSES OF BEARING COMPARISONS, PREVIOUS  
SURVEYS HAVE BEEN ROTATED TO UTM BEARINGS BY THE  
ANGLES SHOWN BELOW.

PLAN	ROTATION FOR NORTHEAST BEARINGS
P1	-0°00'00"

NOTE: ORIGINAL VERSION OF THIS PLAN WAS PREPARED IN COLOUR

REVISION SCHEDULE			
No.	DATE	BY	COMMENTS
1	MAR 17/22	PJ	FIRST SUBMISSION

**Van Harten**  
SURVEYING INC.  
LAND SURVEYORS and ENGINEERS

Kitchener/Waterloo  
Ph: 519-742-8371

Geioph  
Ph: 519-821-2763

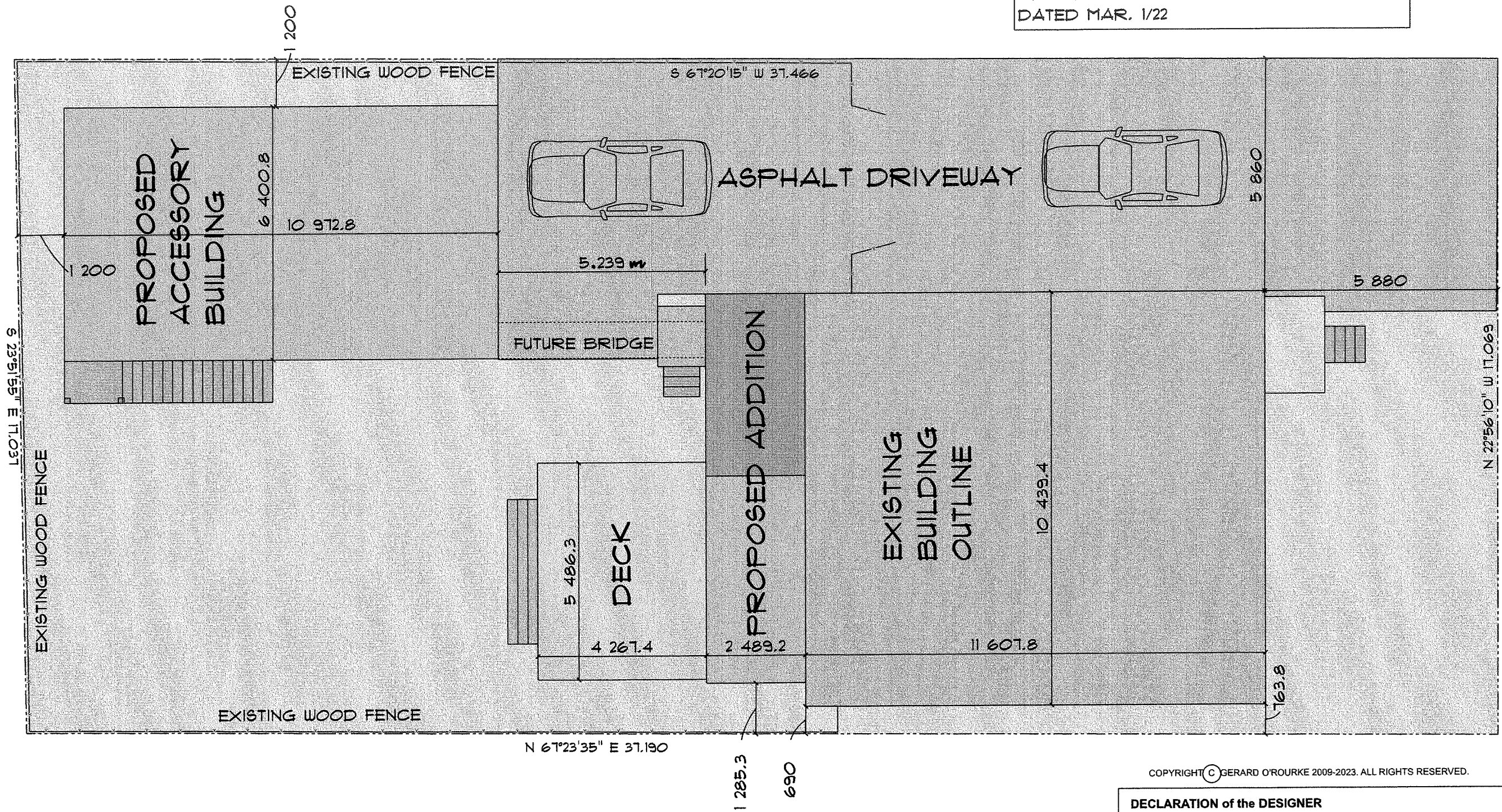
Orangeville  
Ph: 519-940-4110

www.vanharten.com info@vanharten.com

DRAWN BY: PJ CHECKED BY: JL PROJECT No. 30799-22

MAR 1, 2022 2:40:04 PM  
G:\HAMILTON\BEACH BLVD\ACAD\TOPO BURL BEACH EAST (30799-22)  
(UTM2010).dwg





**SITE DATA:**

LOT AREA: 636.47 M2  
EXISTING DWELLING: 133 M2  
PROPOSED DWELLING ADDITION: 24 M2  
NEW ADU BUILDING: 70 M2  
CURRENT LOT COVERAGE: 30%  
PROPOSED LOT COVERAGE: 33.9%  
ALSO REFER TO THE VAN HARTEN SURVEY  
DATED MAR. 1/22

**SITE PLAN**

SCALE: 1/8"

REVISION NO.

**Gerard O'Rourke**, Design & Drafting  
MMAH Registered Designer, MAATO  
Kitchener, ON PH 519 577-5996  
gerardorourke@rogers.com  
www.remodeling-houses.info

CLIENT:  
Edgar Zaldivar  
1077 Beach Blvd.,  
Hamilton,

PROJECT;

CONTRACTOR MUST VERIFY AND  
ACCEPT RESPONSIBILITY FOR ALL  
DIMENSIONS AND CONDITIONS ON  
THE JOB AND MUST REPORT ANY  
DISCREPANCIES TO THE DESIGNER  
BEFORE PROCEEDING WITH WORK.  
ALL CHANGES MUST BE AUTHORIZED  
& APPROVED BY THE DESIGNER.

SCALE:

1:105

REF:

B22-420B

DATE:

May 12, 2023

PAGE:

1

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**DECLARATION of the DESIGNER**

I Gerard O'Rourke review and take responsibility for this design work on  
behalf of a firm registered under subsection 3.2.4. Division C of the O.B.C.  
I am qualified and the firm is registered in the appropriate classes/categories.

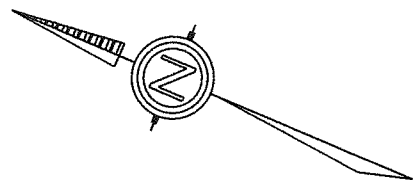
Individual BCIN: 40977  
Firm BCIN: 42046

WITZEL DYCE ENGINEERING INC.  
WDE PROJECT NO.: 15392-100

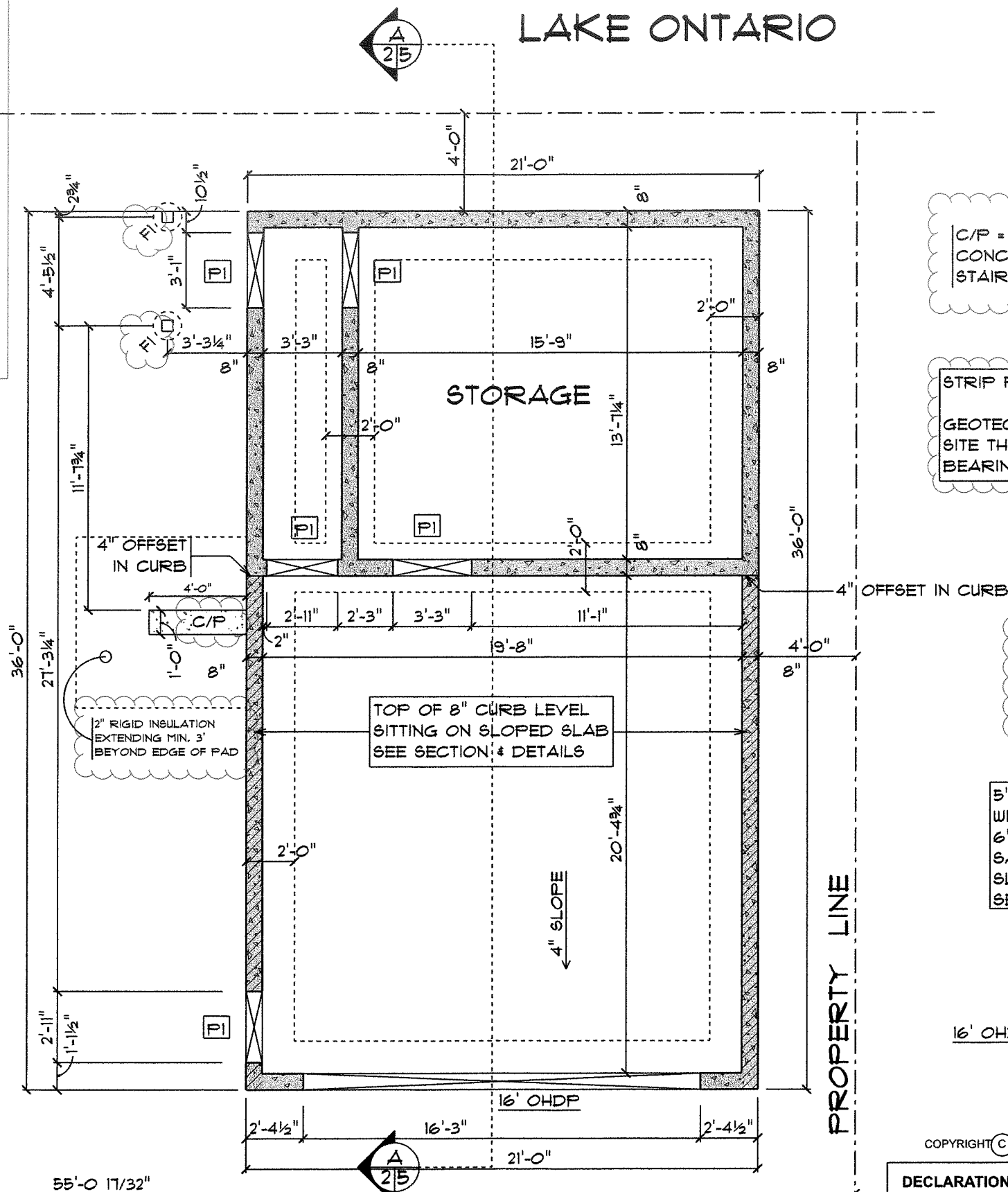
DESIGN LOADS:  
ROOF: DL = 15 PSF, LL = 21 PSF  
DECK & FLOOR: DL = 20 PSF, LL = 40 PSF

GENERAL NOTES:  
1. FOR STRUCTURAL DESIGN OF CLOUDED ITEMS ONLY  
2. CONTRACTOR TO VERIFY ALL DIMENSIONS  
3. CONTRACTOR TO CONTACT WDE SHOULD EXISTING SITE CONDITIONS VARY FROM THOSE ASSUMED ON DRAWINGS

CONCRETE NOTES:  
1. CONCRETE WORK SHALL CONFORM TO THE LATEST VERSION OF CAN/CSA-A23.1, A23.2 AND A23.3.  
2. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 25 MPa.  
3. REINFORCING STEEL SHALL CONFORM TO THE LATEST VERSIONS OF CAN/CSA-G30.18. REINFORCING BARS SHALL BE DEFORMED, GRADE 400 MPa.  
4. ASSUMED SOIL BEARING CAPACITY OF 1500 PSF.



GARDEN  
SHED  
RELOCATED



C/P = 12"X48"X14" DEEP  
CONCRETE BASE FOR  
STAIRS

STRIP FOOTINGS AS SHOWN BE USED  
GEOTECHNICAL ENGINEER TO CONFIRM ON  
SITE THAT SOIL IS ABLE TO SUPPORT  
BEARING Q SLG = 1500 PSF

14" DIA. SONO TUBE  
(3)15M VERT. C/W 10M  
STIRRUPS @ 12" O/C AND  
(2)10M TIES @ TOP

5" GARAGE FLOOR, MIN 32 MPA  
WITH 5%-8% AIR ENTRAINMENT ON  
6" COMPACTED GRANULAR FILL  
SAW CUT AS REQ'D  
SLOPE 4" TOWARDS GARAGE DOOR  
SEE CROSS SECTION

PI POCKET FOR MAN DOOR  
OMIT CURB IN THIS AREA

16' OHDP POCKET FOR OVERHEAD DOOR  
OMIT CURB IN THIS AREA

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#### DECLARATION of the DESIGNER

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	3/16" = 1'-0"	B22-420B	
	DATE:		May 12, 2023
PROJECT;			

REVISION NO.  
**Gerard O'Rourke**, Design & Drafting  
MMAH Registered Designer, MAATO  
Kitchener, ON PH 519 577-5996  
gerardorourke@rogers.com  
www.remolding-houses.info

CLIENT:  
Edgar Zaldivar  
1077 Beach Blvd.,  
Hamilton,



WITZEL DYCE ENGINEERING INC.  
WDE PROJECT NO.: 15392-100

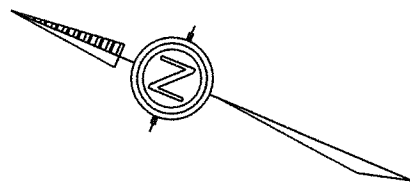
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DECK & FLOOR: DL = 20 PSF, LL = 40 PSF

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2. CONTRACTOR TO VERIFY ALL DIMENSIONS  
3. CONTRACTOR TO CONTACT WDE SHOULD EXISTING SITE CONDITIONS VARY FROM THOSE ASSUMED ON DRAWINGS

WOOD NOTES:  
1. ALL SAWN LUMBER SHALL BE SPF GRADE NO 1/2 OR BETTER  
2. ALL LVL SHALL BE MICROLAM GRADE 2.0E AS MANUFACTURED BY WEYERHAUSER OR APPROVED EQUIVALENT  
3. ALL TIMBERS TO BE SPF NO 2 OR BETTER, U.N.O.  
4. FASTENING SHALL CONFORM TO OBC TABLE 9.23.3.4  
5. PROVIDE SOLID BLOCKING BELOW ALL POINT LOADS IN FLOOR SYSTEM AND ABOVE FOUNDATION WALLS AND POSTS

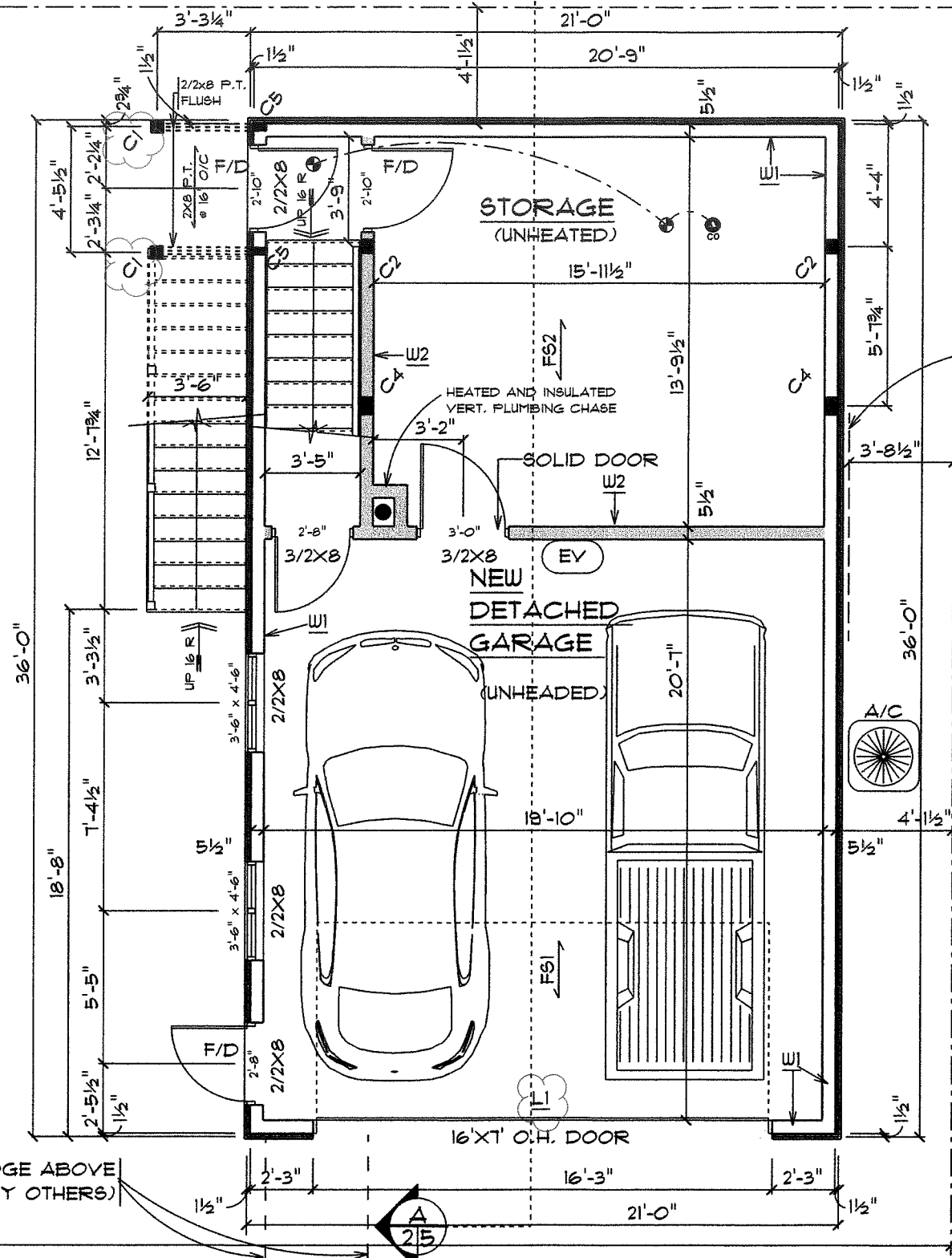


GARDEN  
SHED  
RELOCATED



DENOTES FUTURE DECK BRIDGE ABOVE  
TO UPPER LEVEL HOUSE DECK (BY OTHERS)

55'-0 17/32"



PROPOSED MAIN FLOOR GARAGE BUILDING A

SMOKE ALARM  
WITH STROBE  
& CO ALARM  
(INTERCONNECTED)

F/D = FRENCH DOOR

C<sub>1</sub> = 6X6 P.T. POST  
C<sub>2</sub> = 3/2X6 STUD POST  
C<sub>3</sub> = 5/2X6 STUD POST  
C<sub>4</sub> = 2/2X6 STUD POST

DASHED LINE DENOTES  
POSITION OF  
EXISTING GARAGE

LI  
(3) 1.75"x16" LVL 2.0E OR  
(4) 1.75"x14" LVL 2.0E w/  
(3) JACK & (2) KING 2X6  
STUDS EACH SIDE

WI  
VINYL SIDING  
1" R5 RIGID INSULATION  
w/ TAPED JOINTS  
7/16" WALL SHEATHING  
2X6 STUDS @ 16" O/C  
R-20 BATT INSULATION  
6 MIL POLY AIR/V.B.  
1/2" DRYWALL TAPED & SANDED

WE  
7/16" WALL SHEATHING  
2X6 STUDS @ 16" O/C  
HORIZ. BLOCKING  
R-20 BATT INSULATION  
6 MIL AIR & V.B.  
1/2" DRYWALL TAPED & SANDED

FS1  
16" I JOISTS @ 16" O/C  
3/4" T&G SUBFLOOR GLUED & NAILED  
R-31 INSULATION BATT  
1/2" DRYWALL FINISHED

FS2  
16" I JOISTS @ 16" O/C w/  
1" WEDGE FASTENED TO TOP OF JST  
SLOPING TOWARDS BACK RAILING  
3/4" T&G SUBFLOOR GLUED & NAILED  
DURADECK ROOF FINISH

EV ELECTRIC VEHICLE CHARGING

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DECLARATION of the DESIGNER

I Gerard O'Rourke review and take responsibility for this design work on behalf of a firm registered under subsection 3.2.4. Division C of the O.B.C. I am qualified and the firm is registered in the appropriate classes/categories.

Individual BCIN: 40977  
Firm BCIN: 42046

CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. ALL CHANGES MUST BE AUTHORIZED & APPROVED BY THE DESIGNER.	REF:	B22-420B	PAGE:	3
	SCALE:	3/16" = 1'-0"	DATE:	May 12, 2023
PROJECT:				
CLIENT:				
Edgar Zaldivar 1077 Beach Blvd., Hamilton,				

REVISION NO.

Gerard O'Rourke, Design & Drafting  
MMAH Registered Designer, MAATO  
Kitchener, ON PH 519 577-5996  
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WITZEL DYCE ENGINEERING INC.  
WDE PROJECT NO.: 15392-100

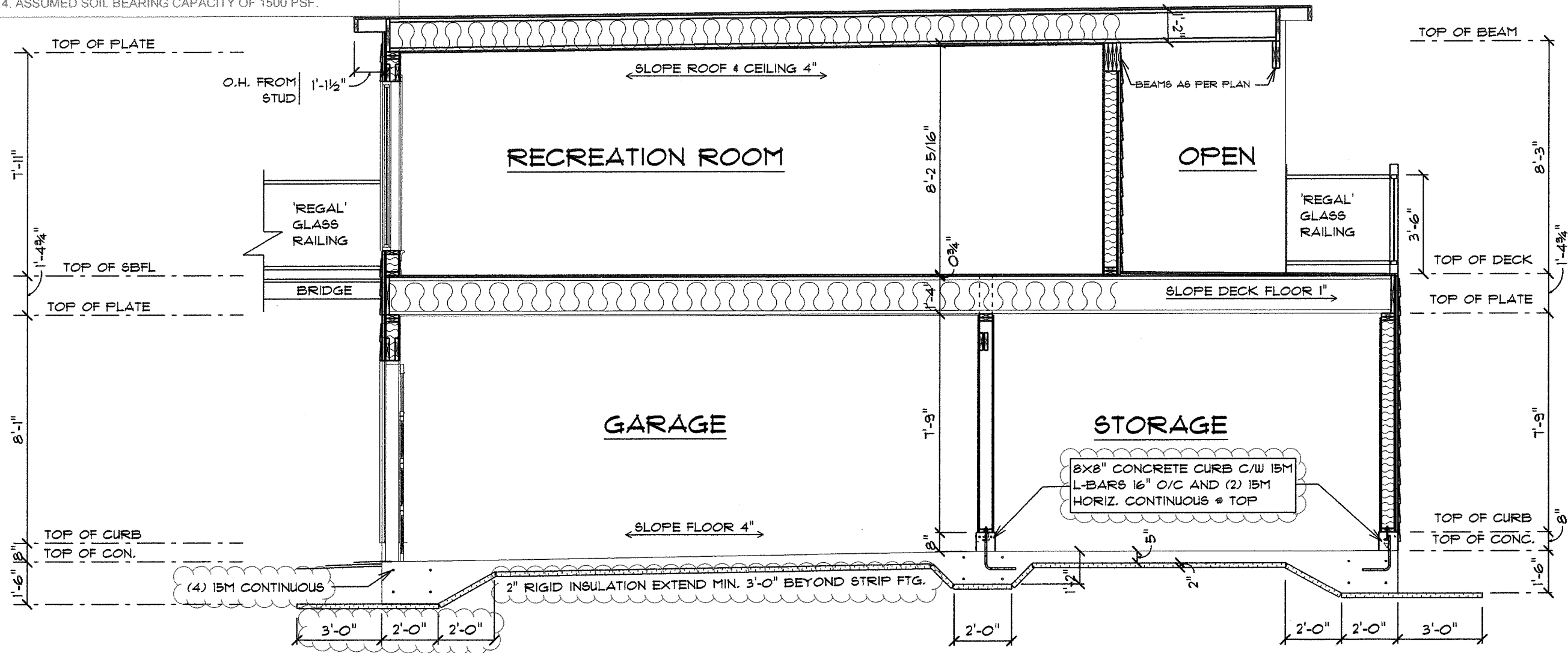
DESIGN LOADS:  
ROOF: DL = 15 PSF, LL = 21 PSF  
DECK & FLOOR: DL = 20 PSF, LL = 40 PSF

GENERAL NOTES:  
1. FOR DESIGN OF FLOATING SLAB ONLY.  
2. CONTRACTOR TO VERIFY ALL DIMENSIONS  
3. CONTRACTOR TO CONTACT WDE SHOULD EXISTING SITE CONDITIONS VARY FROM THOSE ASSUMED ON DRAWINGS

CONCRETE NOTES:  
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4. ASSUMED SOIL BEARING CAPACITY OF 1500 PSF.



0.1 12



CROSS SECTION

SCALE: 1/4" = 1'-0"

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DECLARATION of the DESIGNER

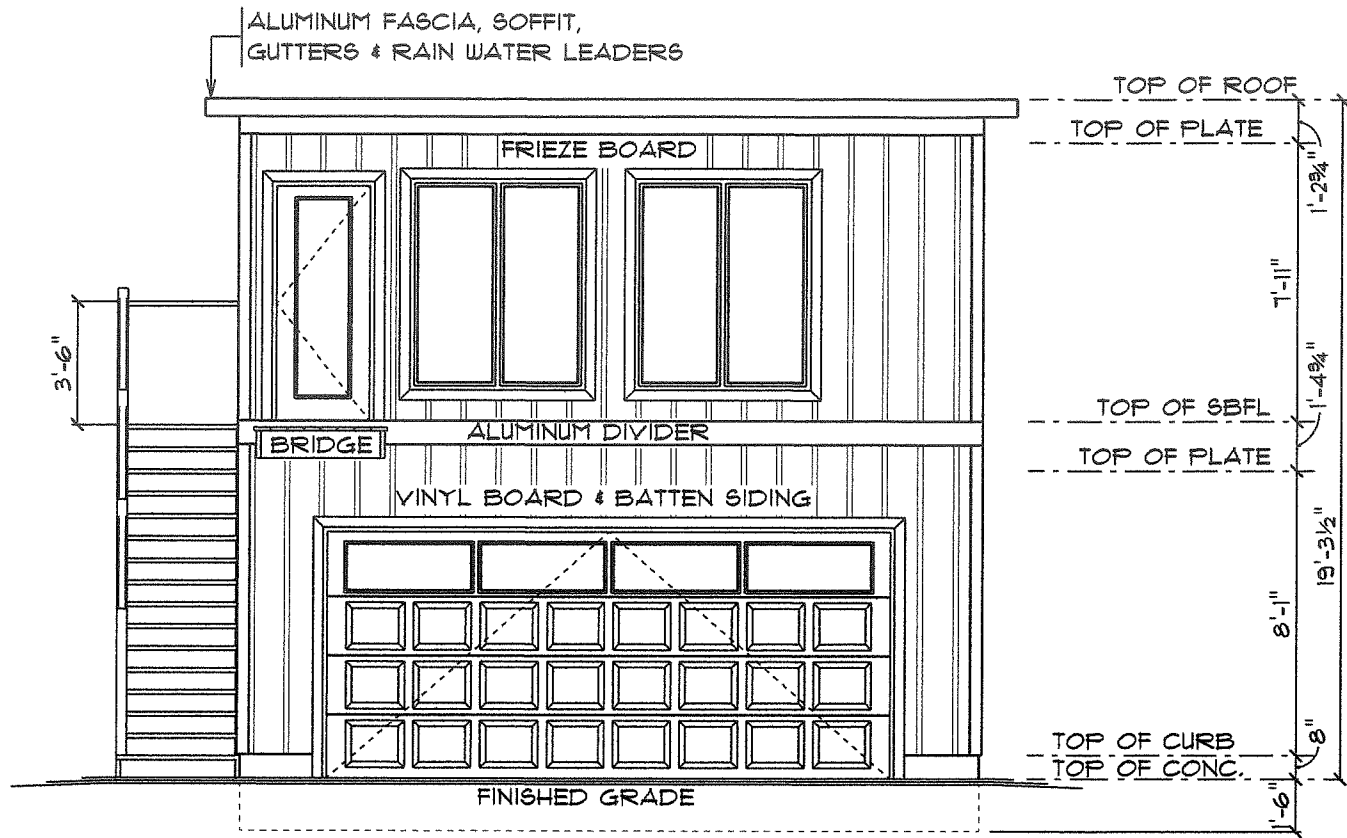
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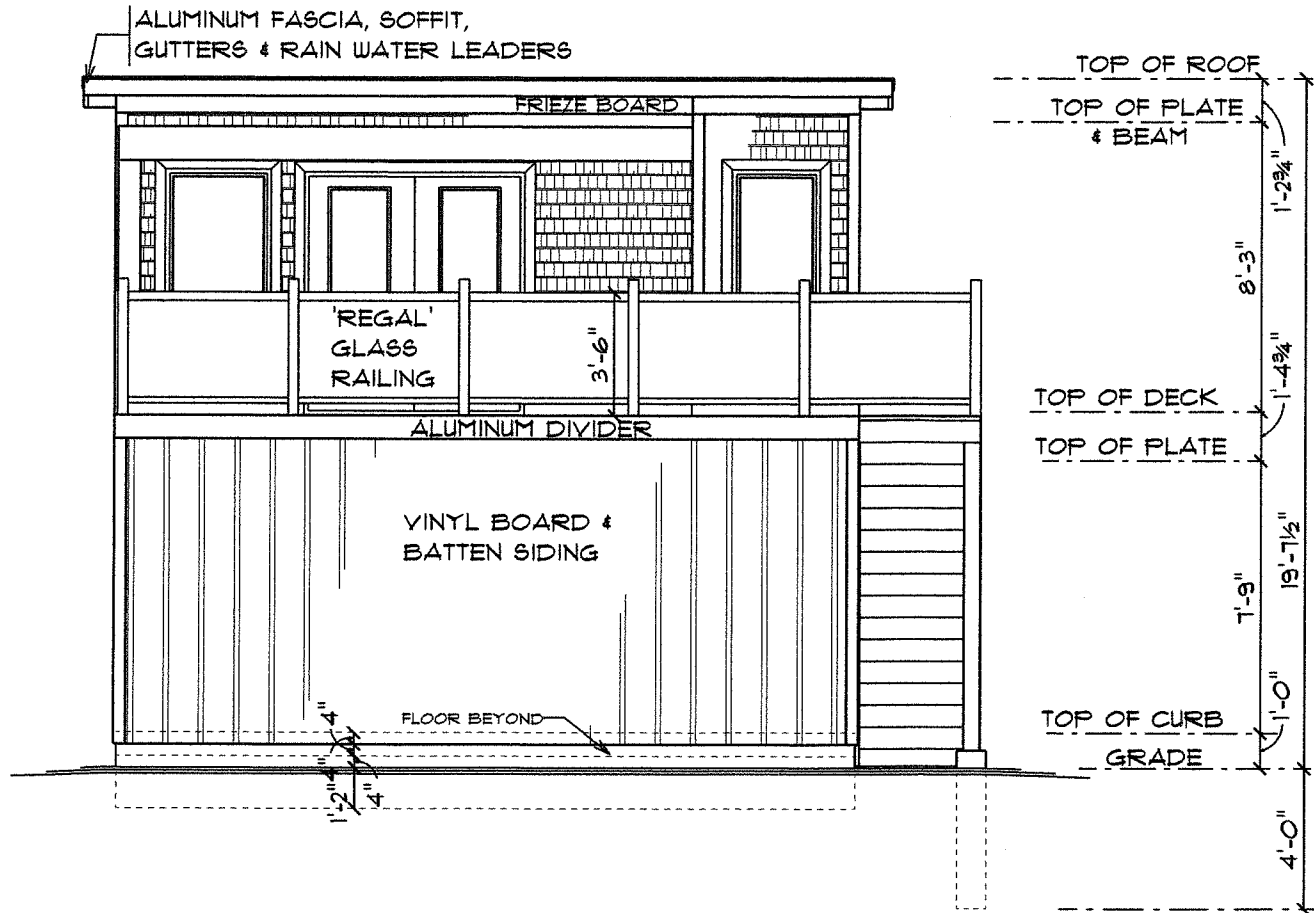
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	DATE: May 12, 2023	PROJECT:	
REVISION NO.	CLIENT: Edgar Zaldivar 1077 Beach Blvd., Hamilton,		

Gerard O'Rourke, Design & Drafting  
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gerardorourke@rogers.com  
www.remolding-houses.info

WEST ELEVATION  
SCALE: 3/16" = 1'-0"



EAST ELEVATION  
SCALE: 3/16" = 1'-0"



UNPROTECTED OPENING DATA:

OBC 9.10.14.  
GROSS EXTERIOR WALL AREA: 23.69 m2  
GLAZING : 0.79 m2 OR 3.33 % UNPROTECTED  
( 7 % ALLOWED DUE TO SETBACK)  
NEW UPO AREA  $\frac{0.79 \text{ M2}}{23.69 \text{ M2}} = 3.33\%$

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REVISION NO.		PROJECT:		
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OBC 9.10.14.

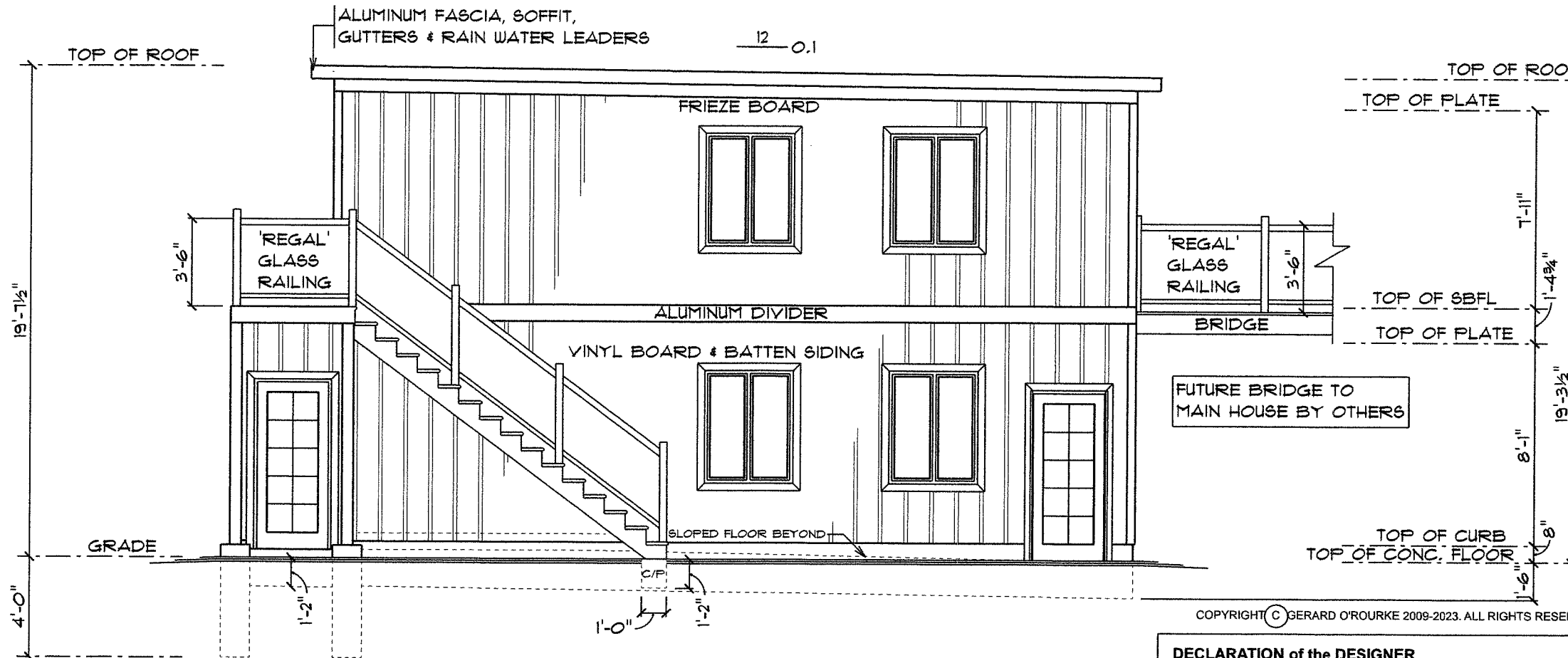
GROSS EXTERIOR WALL AREA: 55.56 m2

GLAZING : 1.58 m2 OR 2.84 % UNPROTECTED  
( 7 % ALLOWED DUE TO SETBACK)

NEW UPO AREA  $\frac{1.58 \text{ M2}}{55.56 \text{ M2}} = 2.84\%$

## SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



## NORTH ELEVATION

SCALE: 3/16" = 1'-0"



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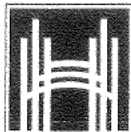
### DECLARATION of the DESIGNER

I Gerard O'Rourke review and take responsibility for this design work on behalf of a firm registered under subsection 3.2.4. Division C of the O.B.C. I am qualified and the firm is registered in the appropriate classes/categories.

Individual BCIN: 40977  
Firm BCIN: 42046

*Gerard O'Rourke*

	REVISION NO.	CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. ALL CHANGES MUST BE AUTHORIZED & APPROVED BY THE DESIGNER.	SCALE:		REF:
			3/16" = 1'-0"		B22-420B
			DATE:		PAGE:
			May 12, 2023		6
	REVISION NO.	CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK. ALL CHANGES MUST BE AUTHORIZED & APPROVED BY THE DESIGNER.	PROJECT:		
			CLIENT:		
			Edgar Zaldivar 1077 Beach Blvd., Hamilton,		
Gerard O'Rourke, Design & Drafting MMAH Registered Designer, MAATO Kitchener, ON PH 519 577-5996 gerardorourke@rogers.com www.remodeling-houses.info					



Hamilton

**Committee of Adjustment**  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE *PLANNING ACT*

### 1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
<b>Registered Owners(s)</b>		
<b>Applicant(s)</b>		
<b>Agent or Solicitor</b>		

1.2 All correspondence should be sent to ☐ Purchaser ☐ Owner  
☐ Applicant ☒ Agent/Solicitor

1.3 Sign should be sent to ☐ Purchaser ☐ Owner  
☐ Applicant ☒ Agent/Solicitor

1.4 Request for digital copy of sign ☒ Yes\* ☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email ☒ Yes\* ☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

### 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1077 BEACH BLVD. HAMILTON, ON L8H 6Z9		
Assessment Roll Number			
Former Municipality	BURLINGTON BEACH EAST SIDE BEACH BLVD.		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

### 3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

TO CONSTRUCT A NEW DETACHED GARAGE/ADU TO  
REPLACE EXIST. GARAGE

☒ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

THE SPACE BETWEEN THE EXIST. RESIDENCE & THE  
NEW GARAGE ADU IS ONLY 5.24m WHERE AS BYLAW 6593

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☐ No

If yes, please provide an explanation:

REQ. 7.5m AS PER  
SECTION 19.1(2), ix(a)

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
17.069	37.19	634.8m <sup>2</sup>	UNKNOWN

SEE ATTACHED  
SURVEY

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

SEE ATTACHED DRAWINGS & SURVEY

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
RESIDENCE DETACHED	5.88 5.82	17.41	0.69 0.77	UNKNOWN
GARAGE	17.0 +/-	2.15	1.13	UNKNOWN

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
GARAGE/ADU	22.73	1.2	1.2	2023

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
RESIDENCE DETACHED	121	200 +/-	1 1/2	8 +/-
GARAGE	52	52	1	3.7 } TO BE REMOVED

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
GARAGE/ADU	70.2	120	2	6

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☐ publicly owned and operated storm sewers
- ☒ swales

- ☐ ditches
- ☐ other means (specify)



4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage  
☐ system privately owned and operated individual  
☐ septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- ☐ provincial highway  
☐ municipal road, seasonally maintained  
☒ municipal road, maintained all year
- ☐ right of way  
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

SFD + ADU - DETACHED

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

MULTI - RESIDENTIAL

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

1990 +/-

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SFD

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SFD

7.4 Length of time the existing uses of the subject property have continued:

35+ YEARS

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) \_\_\_\_\_

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? \_\_\_\_\_

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

☐ Yes

☒ No

If yes, please provide the file number: \_\_\_\_\_

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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: \_\_\_\_\_

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☒ Yes

☐ No

UNKNOWN

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

### 11.4 Other Information Deemed Necessary *N/A*

- ☐ Cover Letter/Planning Justification Report
  - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
  - ☐ Hydrogeological Assessment
  - ☐ Septic Assessment
  - ☐ Archeological Assessment
  - ☐ Noise Study
  - ☐ Parking Study
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