



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	FL/A-23:166	SUBJECT PROPERTY:	99 7TH CON ROAD E, FLAMBOROUGH
ZONE:	A1 (Rural)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: **Owner:** ANDREW & CHERYL BRADSHAW

The following variances are requested:

1. To permit a minimum front yard setback of 5.85m instead of the required minimum front yard setback of 10.0m.

PURPOSE & EFFECT: To facilitate a one storey addition to a single family detached dwelling.

Notes:

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, September 21, 2023
TIME:	9:50 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

FL/A-23:166

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding FL/A-23:166, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

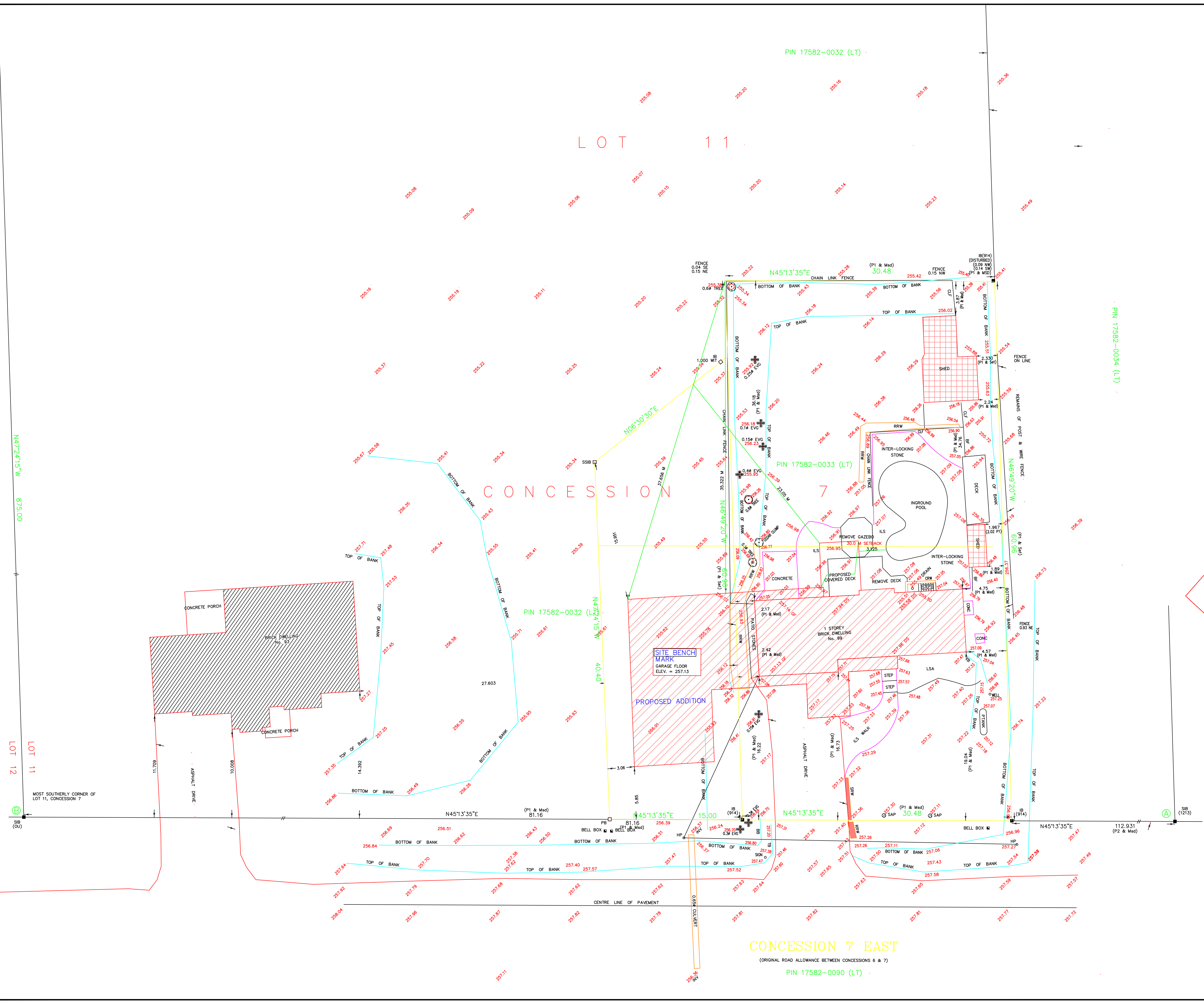


 Subject Lands

DATED: September 5, 2023

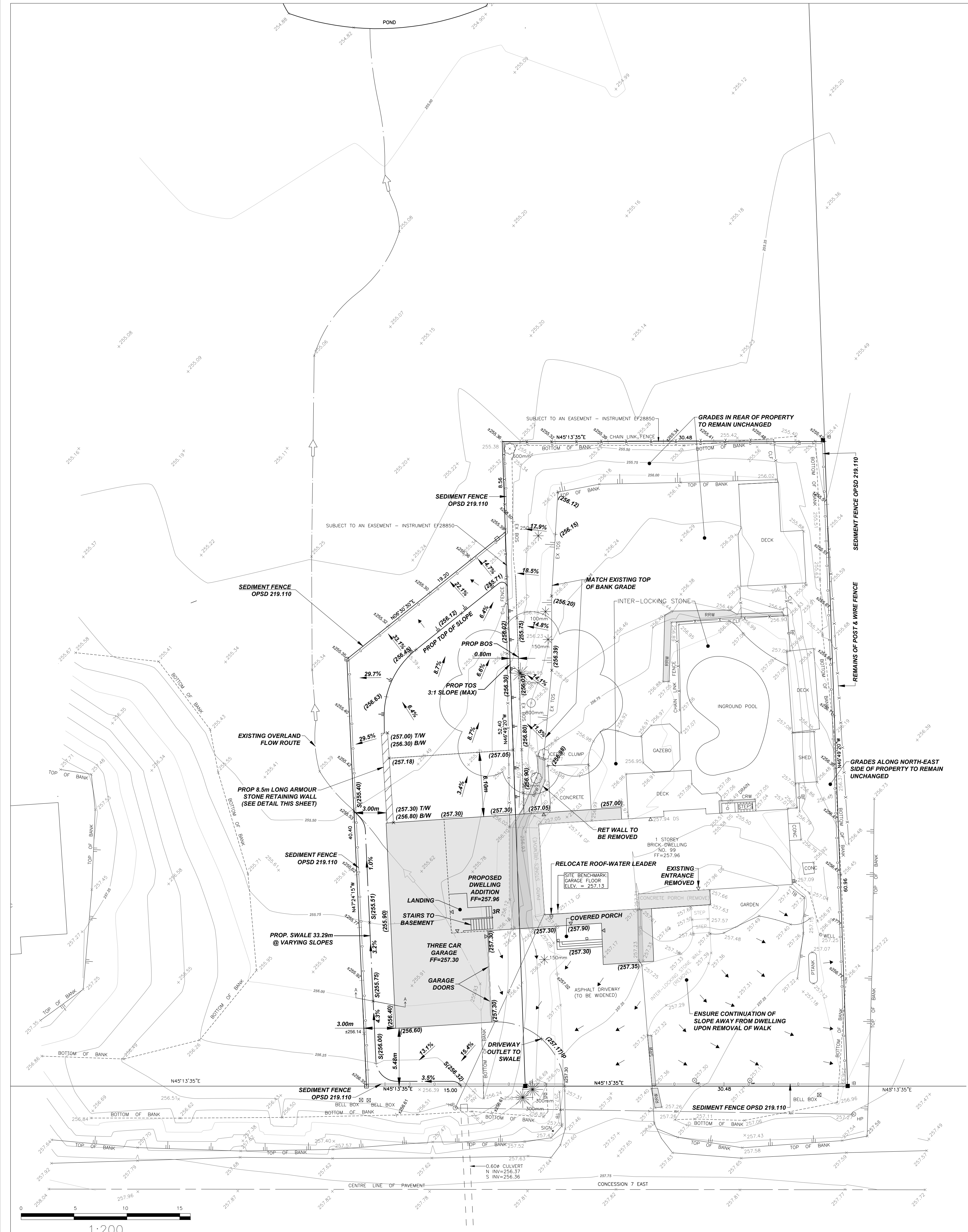
Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



CONCESSION 7 EAST
 (ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 6 & 7)
 PIN 17582-0090 (LT)

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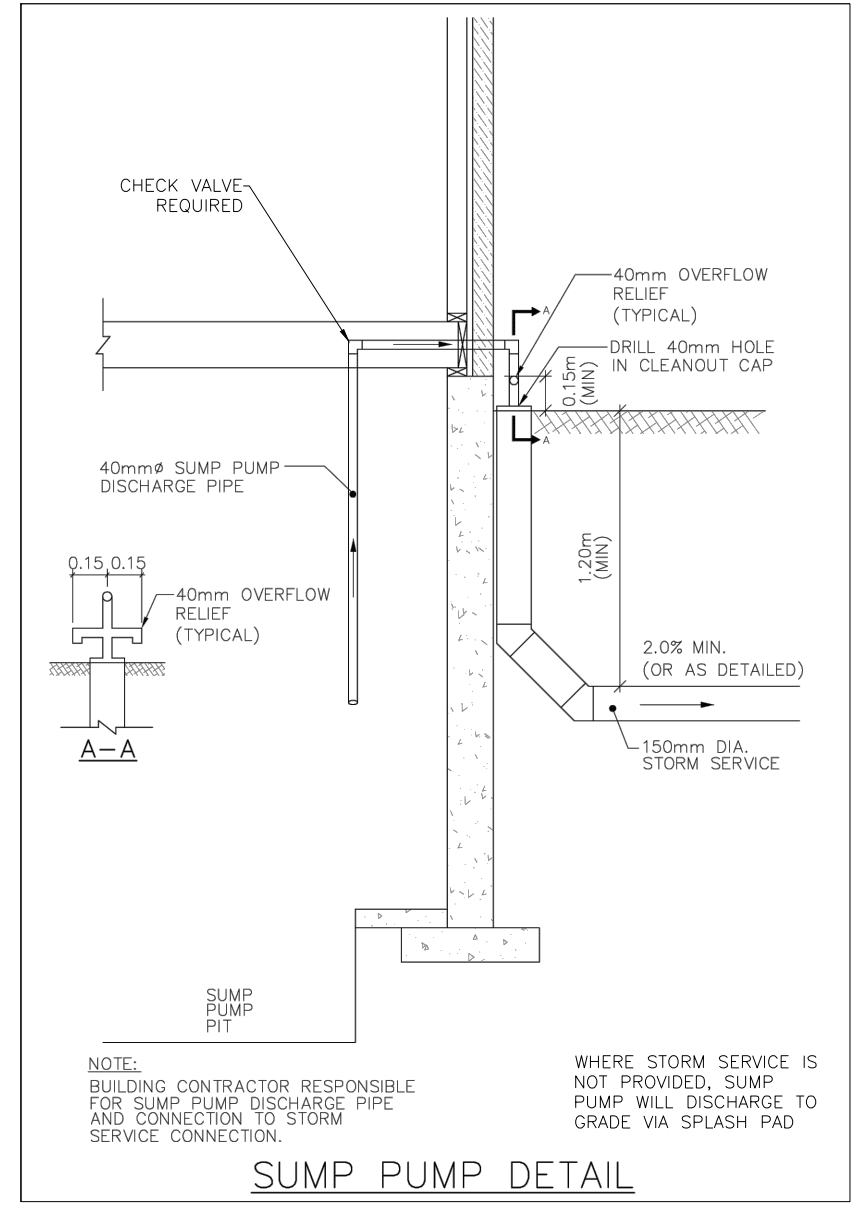
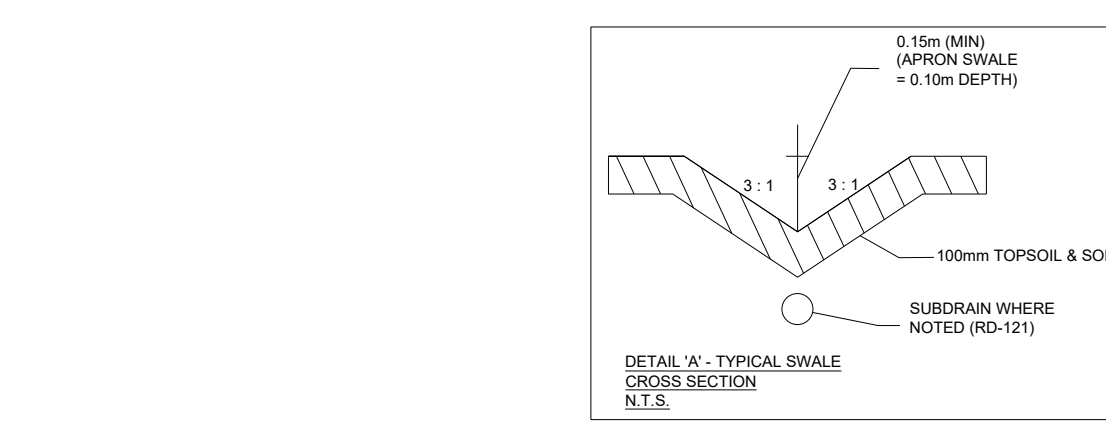
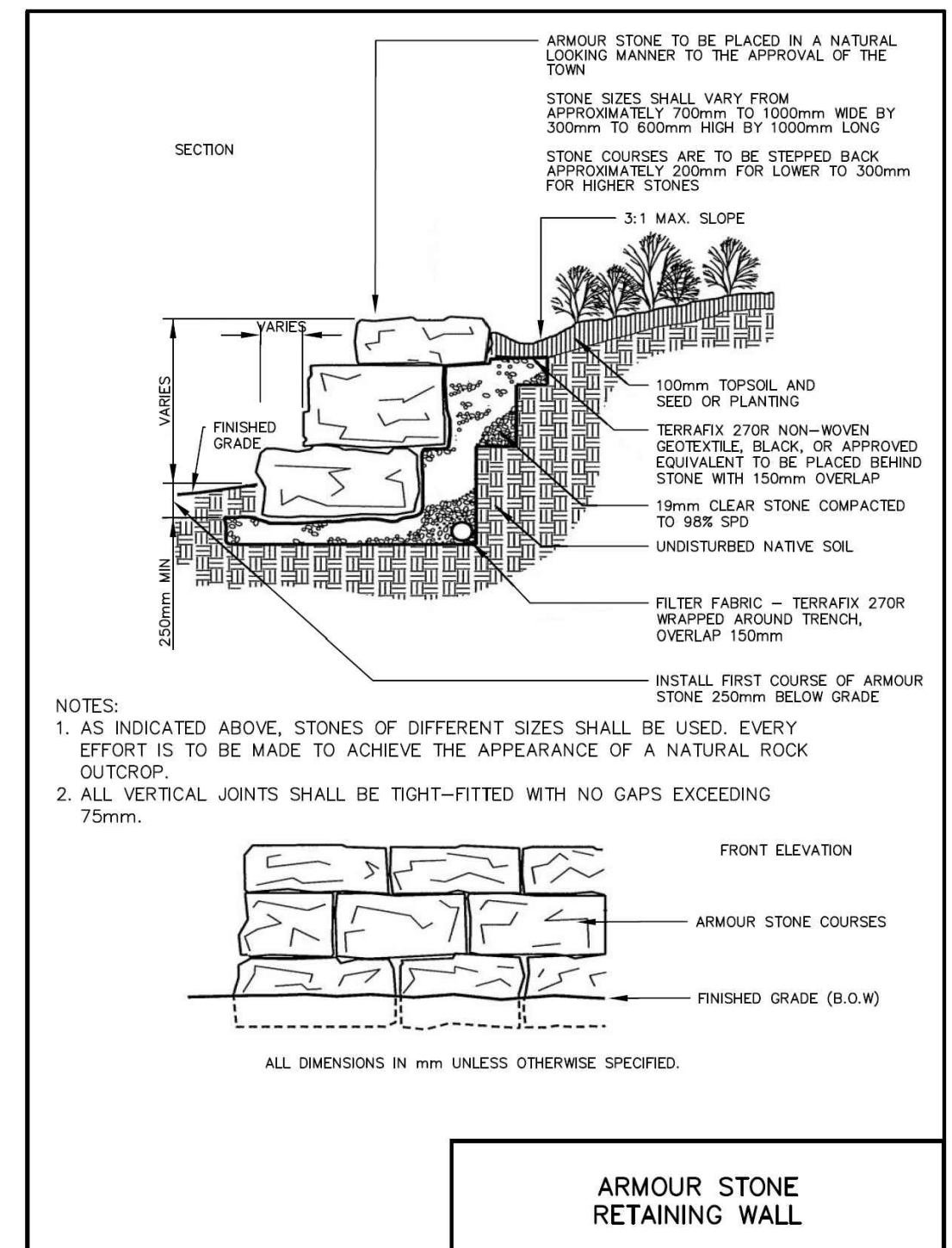
LEGEND

- ×100.50 EXISTING ELEVATION
- ×±100.50 EXISTING ELEVATION (CALCULATED)
- ×(100.00) PROPOSED ELEVATION
- (100.00) PROPOSED APRON ELEVATION
- ×S(100.00) PROPOSED SWALE ELEVATION
- PROPOSED DOWNSPOUT
- PROPOSED DOWNSPOUT
- PROPOSED SWALE
- PROPOSED SILT FENCE
- PROPOSED ENTRANCE LOCATION
- △ PROPOSED ENTRANCE LOCATION

- GENERAL GRADING NOTES:**
- MATCH EXISTING GRADE AT PROPERTY / DEVELOPMENT LIMITS WITH SLOPED SLOPES OF MAXIMUM 3:1 AND/OR RETAINING WALLS AS SPECIFIED.
 - SLOPES OF SWALES FOR BOTH "BACK-TO-FRONT" AND "SPILT" DRAINAGE SHALL BE NO LESS THAN 2.0% AND NO GREATER THAN 3.3% (3:1).
 - MINIMUM GRADE FOR APRON "WRAP-AROUND" SWALE AT THE REAR OF THE UNIT SHALL BE 1.0%.
 - WHEN MATCHING TO EXISTING GRADE AT THE LIMITS OF THE DEVELOPMENT / PROPERTY WHERE 2.0% SLOPE CANNOT BE REASONABLY ACHIEVED A 1.0% GRADE IS PERMITTED PROVIDED A 150MM SUB-DRAIN IS INSTALLED WITH THE SWALE AS PER RD-121 AND CONNECTED TO A SUITABLE OUTLET.
 - DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2.0% AND SHALL NOT BE MORE THAN 7.0%. REVERSED SLOPED DRIVEWAYS ARE NOT ALLOWED FOR ANY NEW CONSTRUCTION.
 - GARAGE FLOOR ELEVATION SHALL BE SET A MINIMUM OF 0.30M HIGHER THAN THE BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
 - THE TOP OF FOUNDATION WALL FOR THE DWELLING UNIT SHALL BE A MINIMUM 150MM (6") ABOVE FINISHED GRADE.
 - UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS SHALL BE GRADED AS A STRAIGHT LINE.
 - IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE PROPERTY / DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER, OTHERWISE RETAINING WALLS MUST BE USED.
 - ALL RETAINING WALLS SHALL BE PLACED A MINIMUM 0.45M FROM PROPERTY LINES.
 - ANY WALL OF GREATER HEIGHT THAN 1.0M MUST BE DESIGNED BY A PROFESSIONAL ENGINEER.
 - TOP OF RETAINING WALL ELEVATIONS SHALL BE SET A MINIMUM OF 150MM ABOVE THE PROPOSED SIDE-YARD SWALES.
 - RETAINING WALLS 0.60M AND HIGHER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. SUCH FENCES OR GUARD RAILS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
 - ALL FILL COMPACTED ON THE LOT(S) SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER). MATERIALS SHALL BE PLACED IN LIFTS NOT EXCEEDING 300MM DEPTH.
 - FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS, AND PROTECTION SCHEMATICS REFER TO THE TREE PROTECTION PLAN (IF APPLICABLE).

- BACKYARD GRADING NOTES:**
- REQUIRED BACKYARD SHALL BE A MINIMUM OF 6.0 METRES UNLESS OTHERWISE DEFINED IN THE APPLICABLE ZONING BY-LAW.
 - THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5% EXCEPT FOR SIDE OR REAR YARD SWALES AND RETAINING WALLS.
 - WHERE THE 5% RESTRICTION ON THE BACKYARD'S GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN ADJACENT PROPERTIES, RETAINING WALL SHALL BE CONSTRUCTED ALONG THE SIDES AND BACK OF THE LOT.
 - GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 - THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARD PROVIDED THE TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FOR FLEXIBILITY OF HOUSE CONSTRUCTION.
 - BACK TO FRONT DRAINAGE SHALL ONLY BE PERMITTED WHERE THE COMBINED SIDE YARD SETBACK IS 2.0m OR MORE, PROVIDING A MINIMUM OF 2.0m BETWEEN FOUNDATION WALLS FOR DRAINAGE SWALES. A 1.2m SETBACK IS REQUIRED ON THE GARAGE SIDE OF THE LOT.

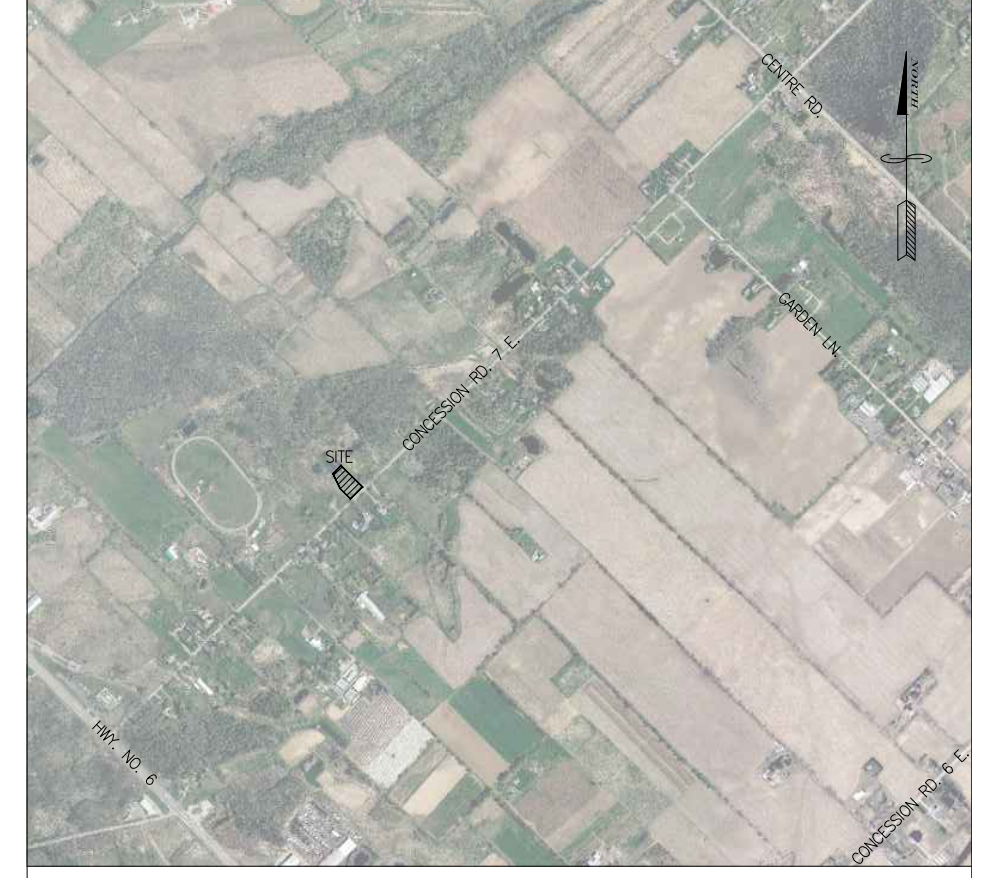
- SILTATION AND EROSION CONTROL NOTES:**
- SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED ON THE PLAN ACCORDING TO OPSD 219.110 (SEE DETAIL ON THIS SHEET).
 - ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL EVENT TO THE SATISFACTION OF THE CITY OF HAMILTON.
 - CATCH BASIN SEDIMENT CONTROL DEVICES SHALL BE SITSBACK BY ACF ENVIRONMENTAL, OR APPROVED EQUIVALENT, TO BE PLACED AS PER THE MANUFACTURER'S RECOMMENDATIONS (IF APPLICABLE).
 - ADDITIONAL SILTATION CONTROL MEASURES MAY BE REQUIRED AS PER FIELD CONDITIONS AS DETERMINED BY THE CITY.



ROOFWATER LEADERS
ROOFWATER LEADERS FOR ALL LOTS SHALL DRAIN ONTO THE GROUND VIA CONCRETE SPLASH PADS, AND THEN TO GRASSED AREAS AT LEAST 0.60m FROM THE DWELLING FACE.

FOUNDATION DRAINS
WEEPING TILES SHALL DRAIN TO SUMP PIT AND BE PUMPED TO STORM SEWER VIA PUMP SUMP WITH BACK-FLOW PREVENTOR (SEE DETAIL). MIN 1/2 HP PUMP WITH BACK-UP POWER REQUIRED.

- NOTES:**
- LOCATIONS UNDERGROUND SERVICES ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - ANY DISCREPANCIES BETWEEN SERVICE LOCATIONS AND THESE ENGINEERING DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER.



KEY PLAN N.T.S.

BENCHMARK NOTE:
ELEVATION = 255.620m (CGVD-1928:1978)
MONUMENT: 0011975U105
BRIDGE OVER BRONTE CREEK, ALONG CENTRE ROAD, 0.2km SOUTHWEST OF INTERSECTION WITH CARLISLE ROAD. TABLET IN TOP OF SOUTHEAST CONCRETE ABUTMENT, 57cm NORTHWEST AND 392cm SOUTHWEST OF EAST CORNER OF BRIDGE, SLIGHTLY BELOW ROAD LEVEL.

SITE BENCHMARK:
ELEVATION = 257.13m
GARAGE FLOOR OF 99 CONCESSION RD 7 EAST.

- GENERAL NOTES:**
- TENDERER SHALL SATISFY THEMSELVES AS TO THE NATURE OF THE GROUND AND BID ACCORDINGLY.
 - ALL ROCK LINE INDICATIONS SHOWN ON THE PLAN MUST BE VERIFIED BY THE CONTRACTOR.
 - CONTRACTOR SHALL VERIFY LOCATIONS AND INVERTS OF ALL EXISTING SANITARY AND STORM SEWERS AND WATERMANS, PRIVATE DRAINS AND WATER SERVICES, GAS MAINS, CABLE TV, HYDRO AND TELEPHONE DUCTS ETC AT START OF CONSTRUCTION.

NO.	DATE:	DESCRIPTION:
2	2023-07-04	REVISED REARYARD GRADING
1	2023-06-27	REVISED REARYARD GRADING
0	2023-05-31	FIRST SUBMISSION

REVISIONS

LandSmith ENGINEERING & CONSULTING LTD.
1059 UPPER JAMES STREET, SUITE 207
HAMILTON, ON L9C 3A6
ANDREW@LANDSMITHCC.COM
289-309-3632

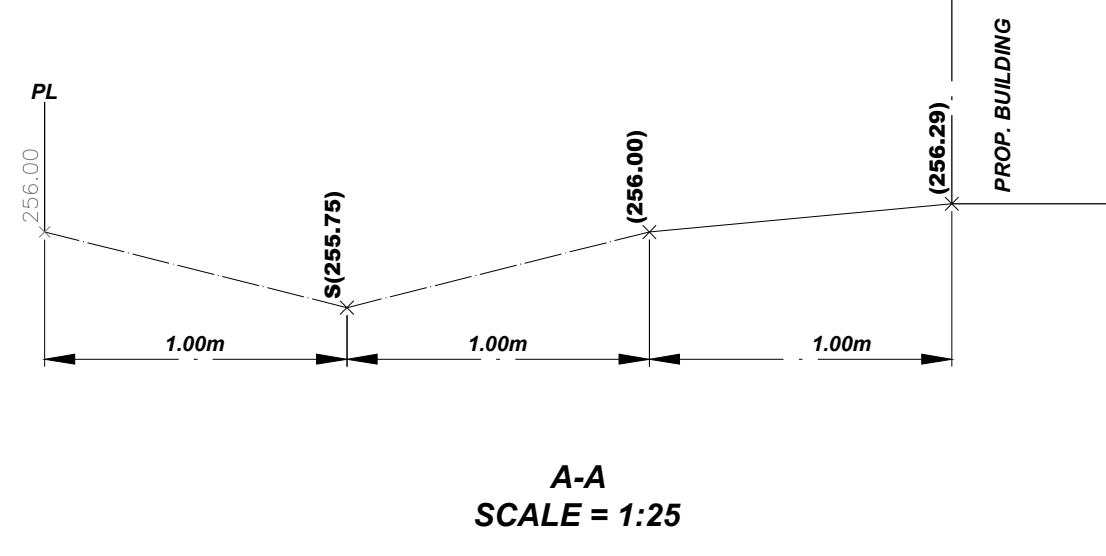
CLIENT: ANDREW BRADSHAW

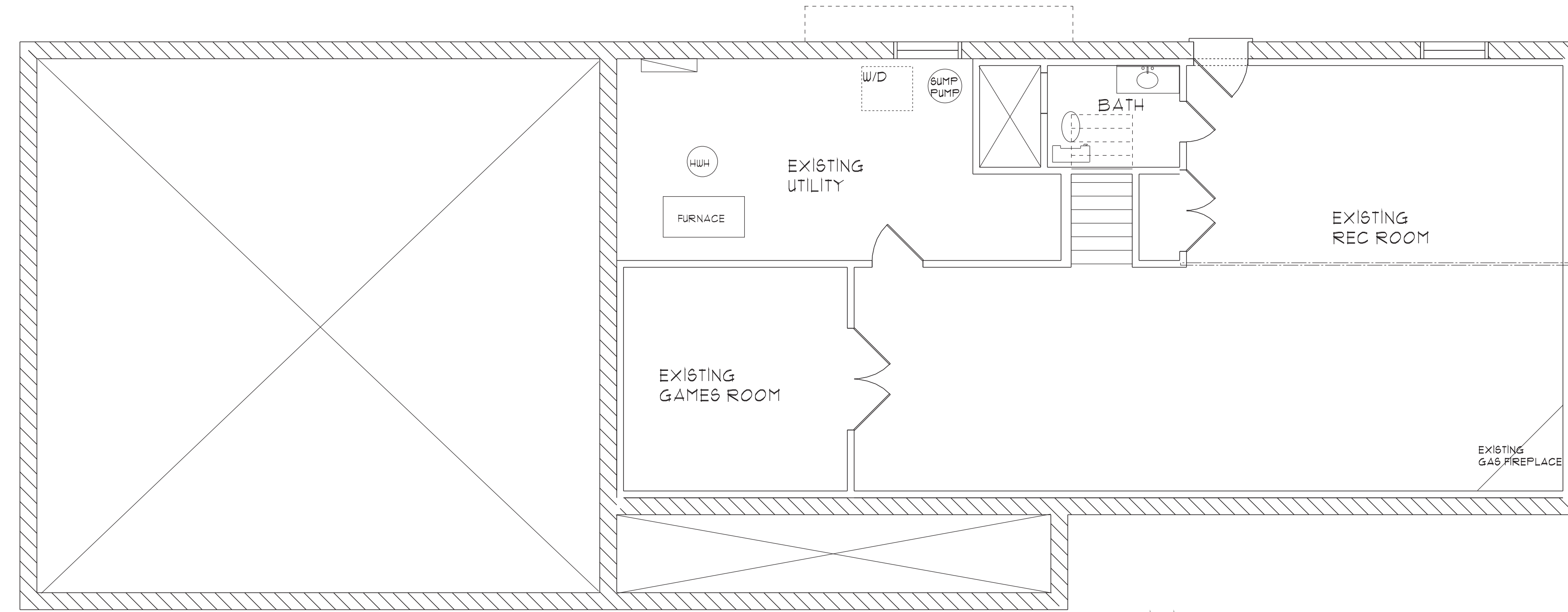
MUNICIPALITY: CITY OF HAMILTON

PROJECT NAME: 99 CONCESSION 7 EAST

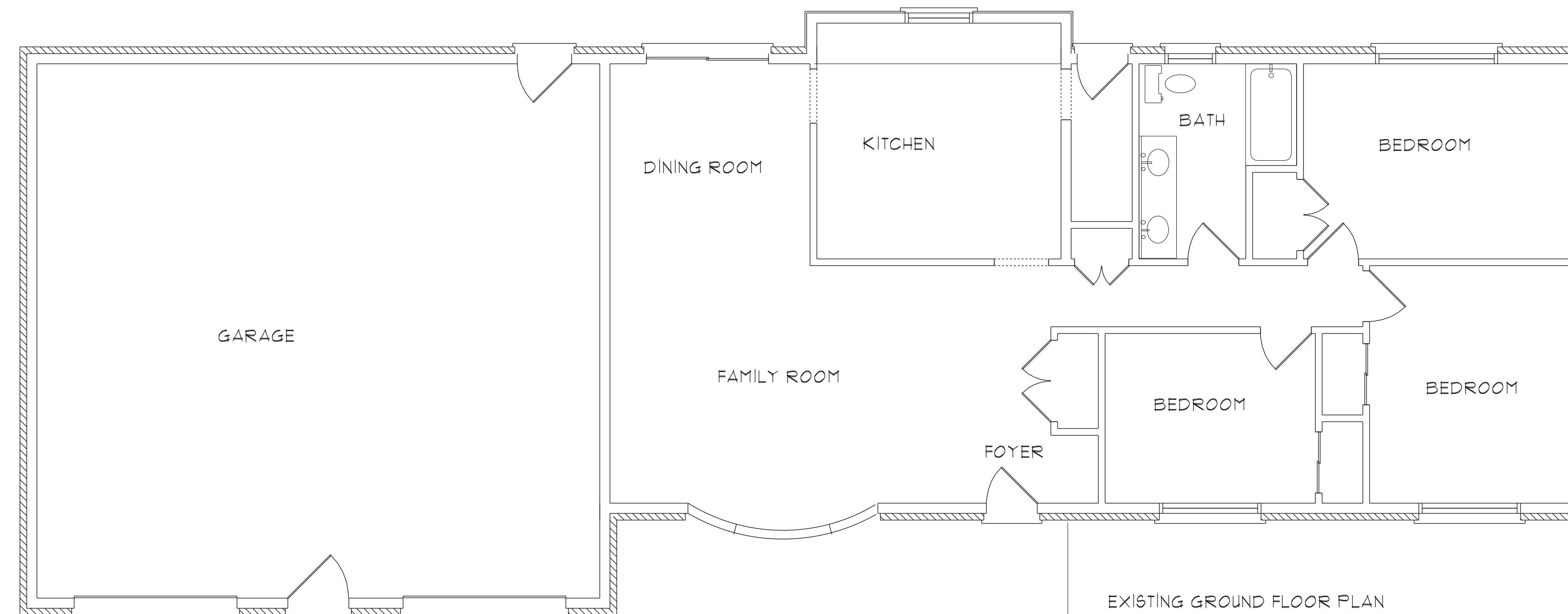
TITLE: SITE GRADING PLAN

SCALE: 1:200	DATE: 2023-07-04
CHECKED BY: AS	DESIGNED BY: BC
DWG No: 23016BRA	SHEET No: G1





EXISTING BASEMENT PLAN



EXISTING GROUND FLOOR PLAN

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PRICING	05/30/23	K.W.

REVISIONS	

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 DESIGN, DRAFTING & CONSULTING
 68 North Valley Dr., Welland, Ontario L3C 7L6
 (905)639-2009

PROJECT NO. 202312	DATE MAY 2023
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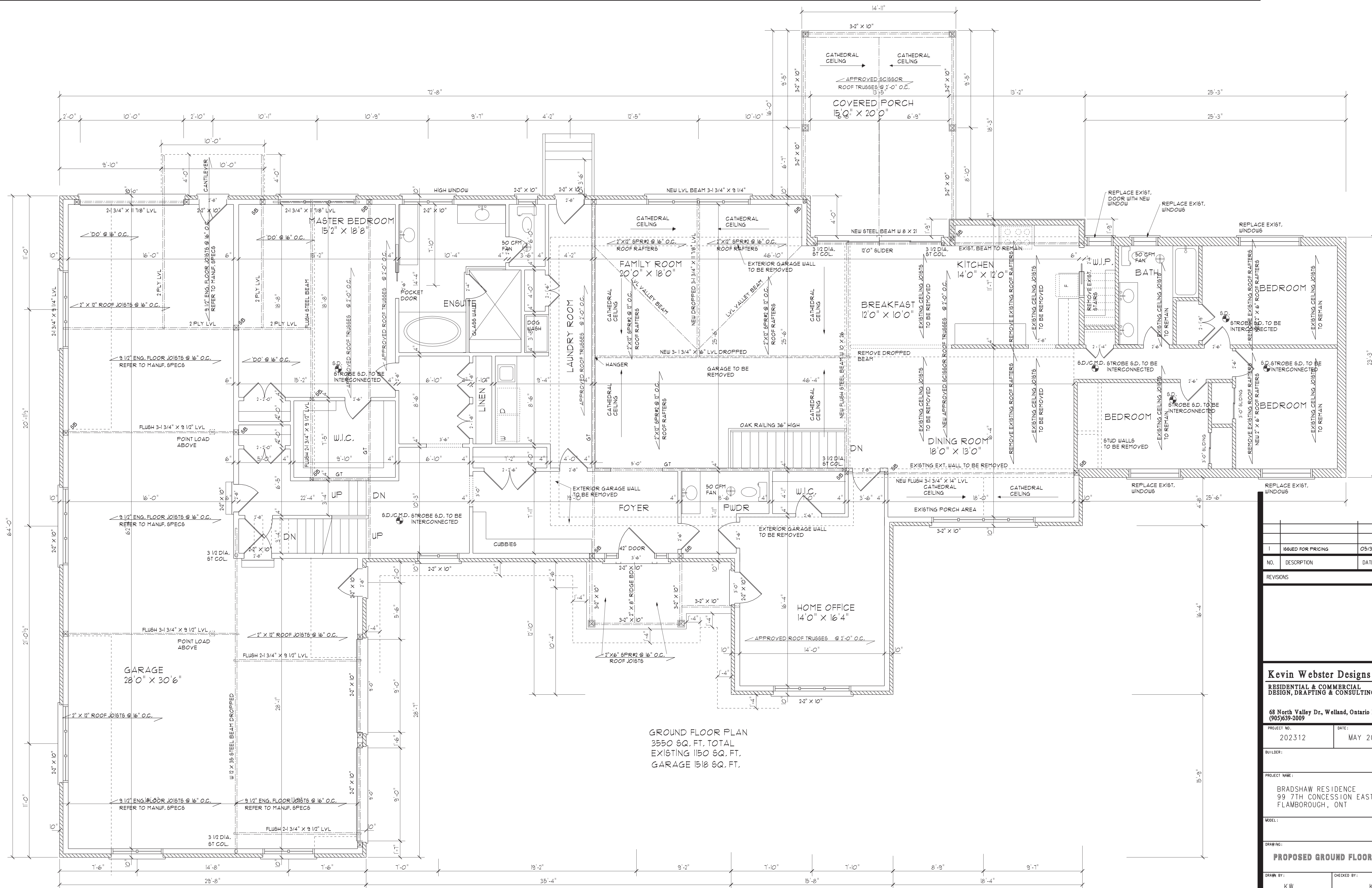
BUILDER:

PROJECT NAME:
BRADSHAW RESIDENCE
99 7TH CONCESSION EAST
FLAMBOROUGH, ONT

MODEL:

DRAWING:
EXISTING PLANS

DRAWN BY: K.W.	CHECKED BY: K.W.
SCALE: 1/4"=1'-0"	PAGE: 1



GROUND FLOOR PLAN
 3550 SQ. FT. TOTAL
 EXISTING 1150 SQ. FT.
 GARAGE 1518 SQ. FT.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PRICING	05/30/23	KW

REVISIONS

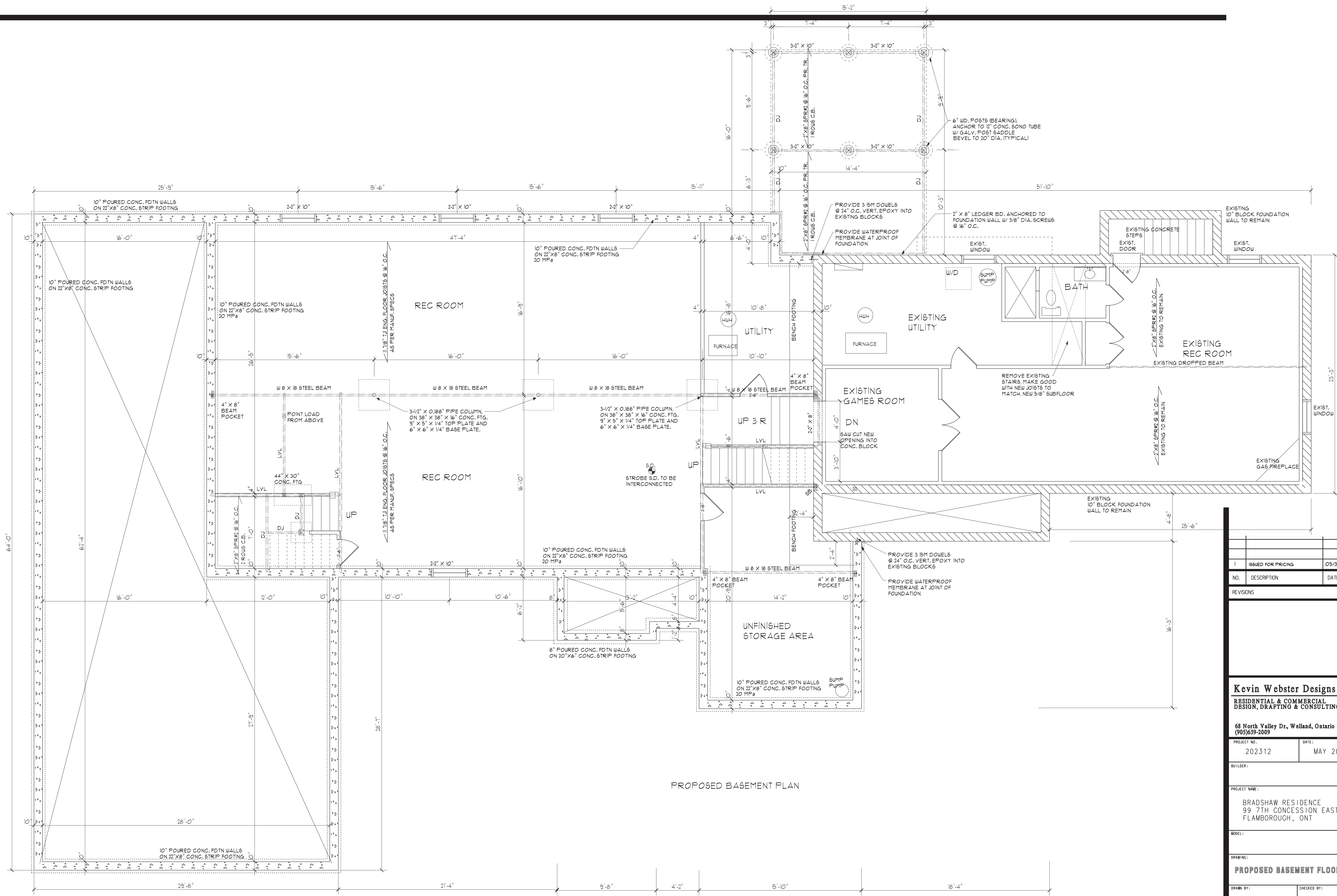
Kevin Webster Designs Inc.
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 DESIGN, DRAFTING & CONSULTING
 68 North Valley Dr., Welland, Ontario L3C 7L6
 (905)639-2009

PROJECT NO. 202312	DATE MAY 2023
-----------------------	------------------

BUILDER:
 PROJECT NAME:
 BRADSHAW RESIDENCE
 99 7TH CONCESSION EAST
 FLAMBOROUGH, ONT

MODEL:
 DRAWING:
PROPOSED GROUND FLOOR PLAN

DRAWN BY: K.W.	CHECKED BY: K.W.
SCALE: 1/4"=1'-0"	PAGE: 2

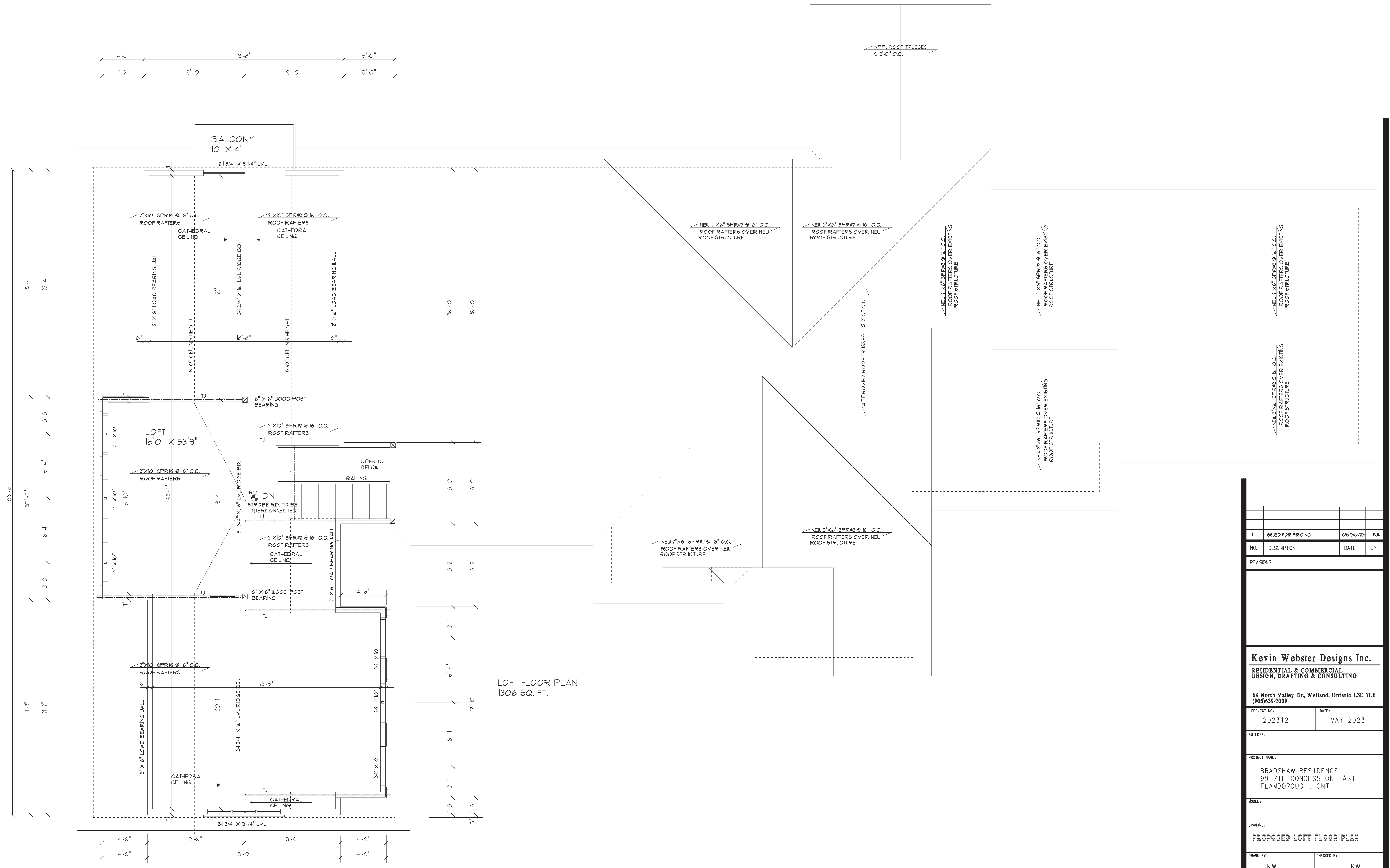


PROPOSED BASEMENT PLAN

NO.	DESCRIPTION	DATE	BY
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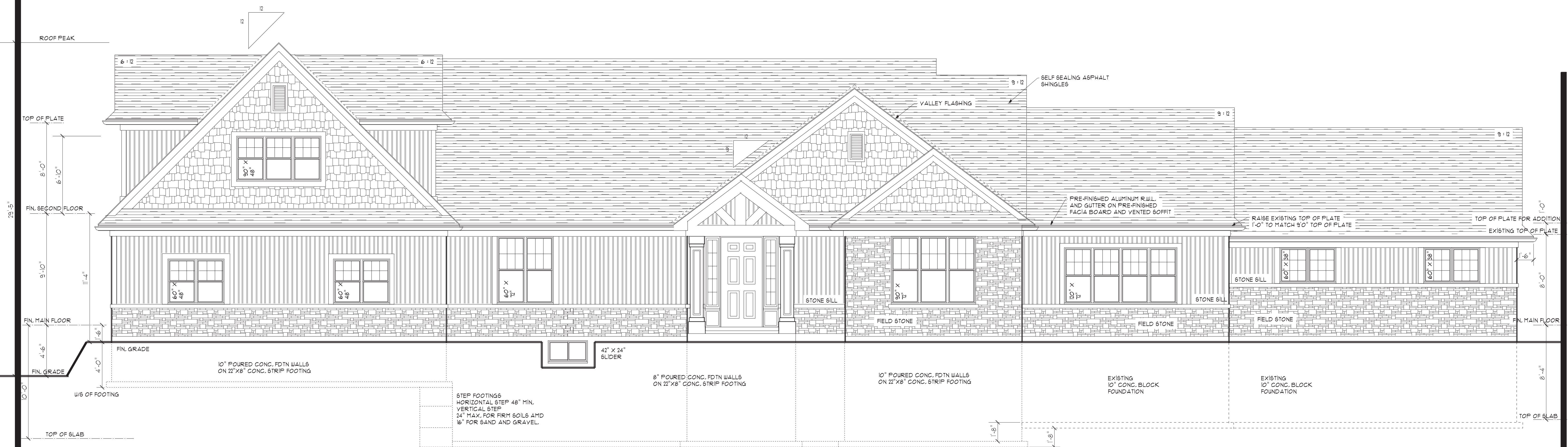
REVISIONS	

Kevin Webster Designs Inc.	
RESIDENTIAL & COMMERCIAL DESIGN, DRAFTING & CONSULTING	
68 North Valley Dr., Welland, Ontario L3C 7L6 (905)639-2009	
PROJECT NO. 202312	DATE MAY 2023
BUILDER:	
PROJECT NAME: BRADSHAW RESIDENCE 99 7TH CONCESSION EAST FLAMBOROUGH, ONT	
MODEL:	
DRAWING: PROPOSED BASEMENT FLOOR PLAN	
DRAWN BY: K.W.	CHECKED BY: K.W.
SCALE: 1/4"=1'-0"	PAGE: 3

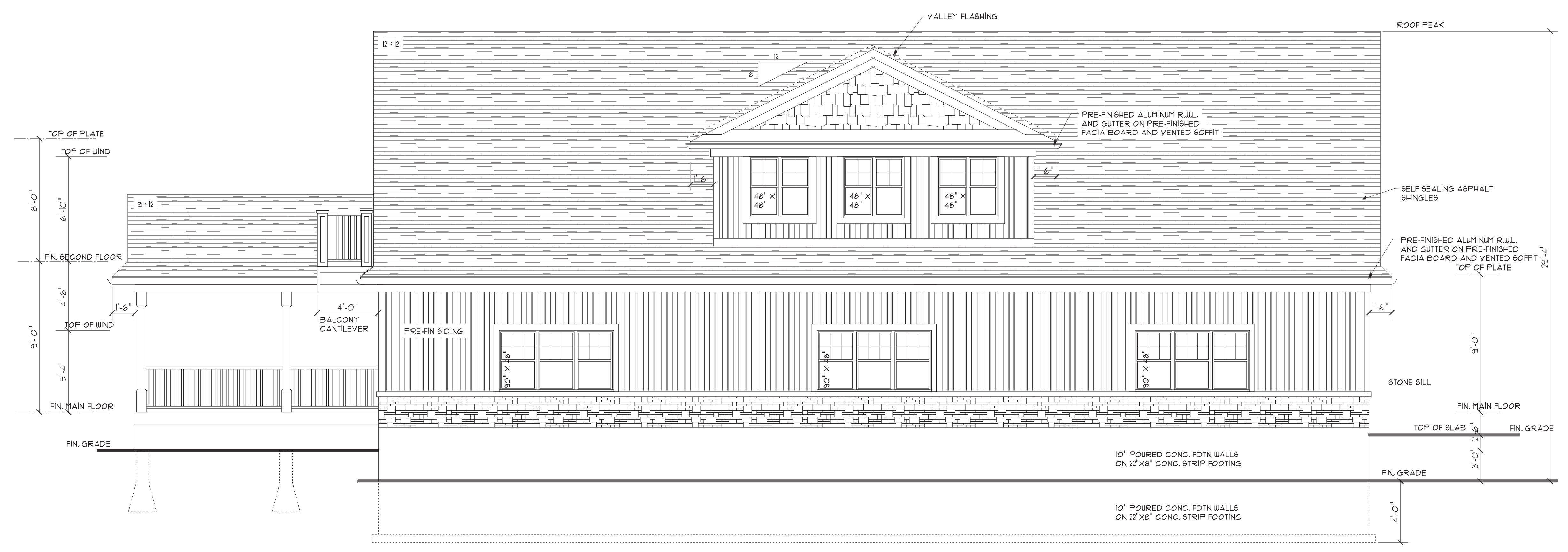


LOFT FLOOR PLAN
1306 SQ. FT.

NO.	DESCRIPTION	DATE	BY
I	ISSUED FOR PRICING	05/30/23	KW
REVISIONS			
Kevin Webster Designs Inc. RESIDENTIAL & COMMERCIAL DESIGN, DRAFTING & CONSULTING 68 North Valley Dr., Welland, Ontario L3C 7L6 (905)639-2009			
PROJECT NO.	202312	DATE:	MAY 2023
BUILDER:			
PROJECT NAME:	BRADSHAW RESIDENCE 99 7TH CONCESSION EAST FLAMBOROUGH, ONT		
MODEL:			
DRAWING:	PROPOSED LOFT FLOOR PLAN		
DRAWN BY:	K.W.	CHECKED BY:	K.W.
SCALE:	1/4" = 1'-0"	PAGE:	4



FRONT ELEVATION

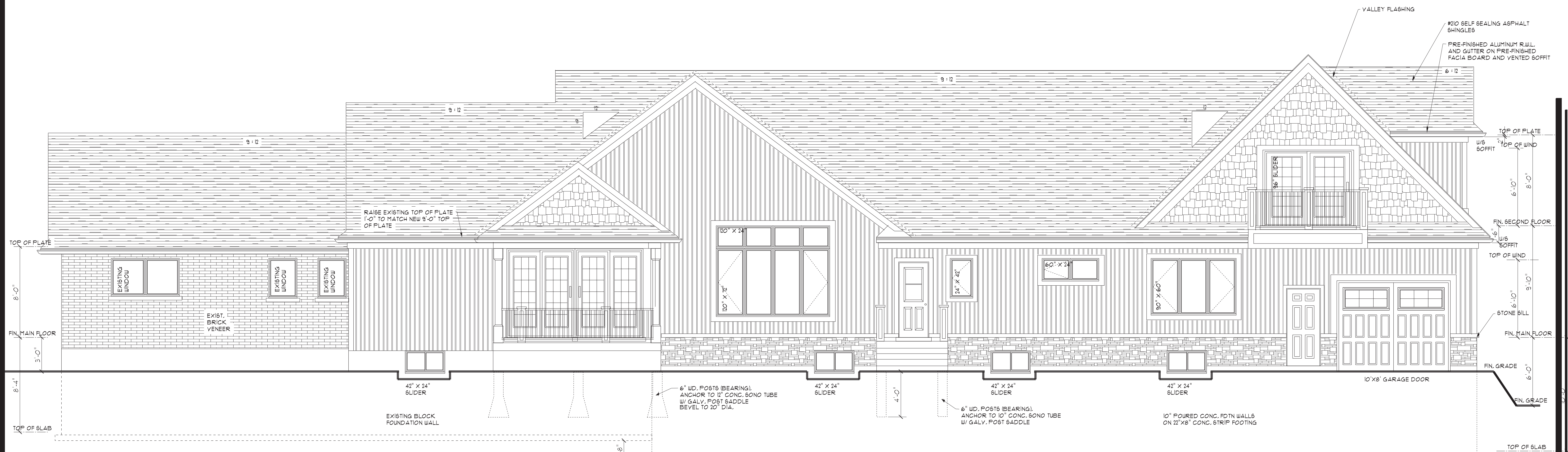


LEFT ELEVATION

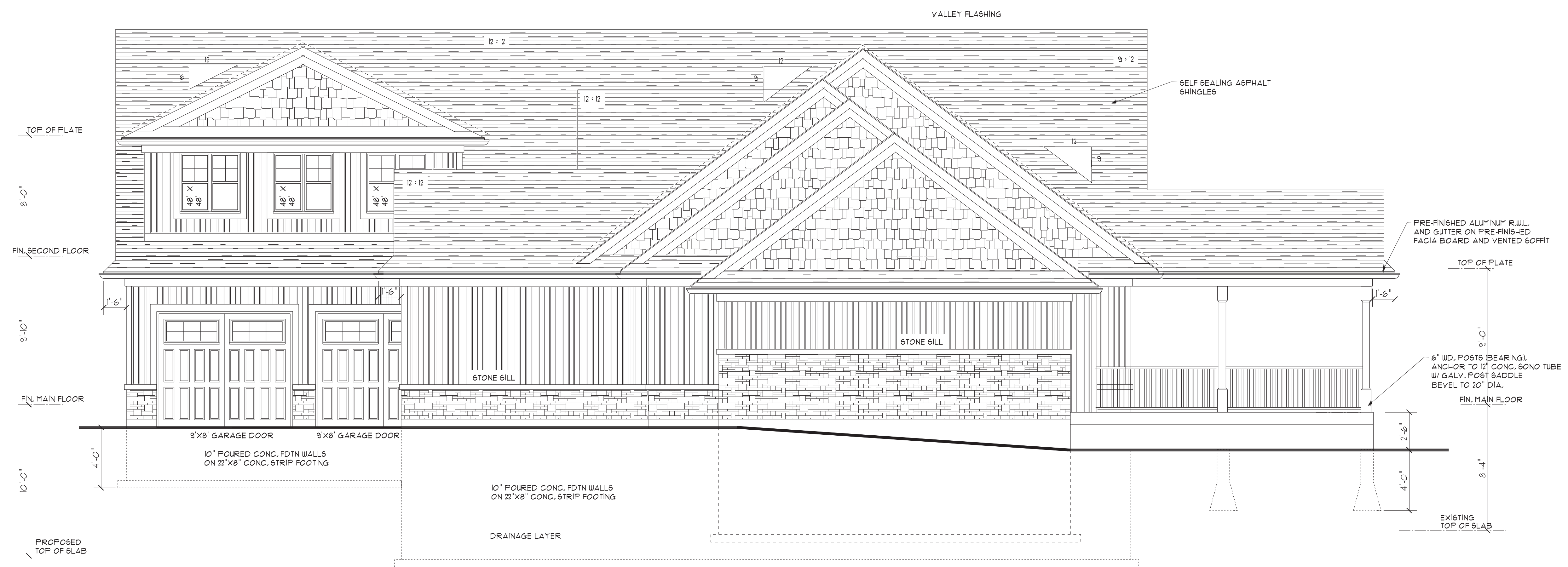
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PRICING	05/30/23	KW

REVISIONS	

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68 North Valley Dr., Welland, Ontario L3C 7L6 (905)639-2009	
PROJECT NO. 202312	DATE MAY 2023
BUILDER:	
PROJECT NAME: BRADSHAW RESIDENCE 99 7TH CONCESSION EAST FLAMBOROUGH, ONT	
MODEL:	
DRAWING: FRONT & LEFT ELEVATIONS	
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REAR ELEVATION

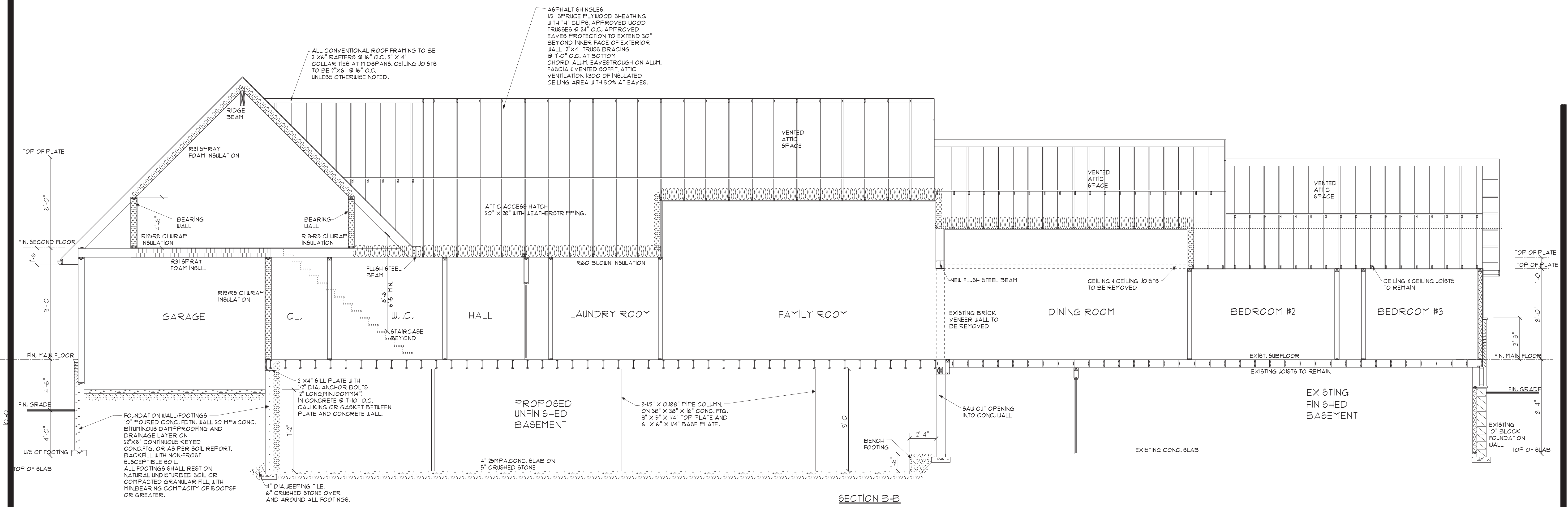


RIGHT ELEVATION

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PRICING	05/30/23	K.W.

REVISIONS	

Kevin Webster Designs Inc.	
RESIDENTIAL & COMMERCIAL DESIGN, DRAFTING & CONSULTING	
68 North Valley Dr., Welland, Ontario L3C 7L6 (905)639-2009	
PROJECT NO. 202312	DATE MAY 2023
PROJECT NAME: BRADSHAW RESIDENCE 99 7TH CONCESSION EAST FLAMBOROUGH, ONT	
MODEL:	
DRAWING: REAR & RIGHT ELEVATIONS	
DRAWN BY: K.W.	CHECKED BY: K.W.
SCALE: 1/4"=1'-0"	PAGE: 6



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PRICING	05/30/23	KW

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Kevin Webster Designs Inc.
RESIDENTIAL & COMMERCIAL
DESIGN, DRAFTING & CONSULTING

68 North Valley Dr., Welland, Ontario L3C 7L6
(905)639-2009

PROJECT NO: 202312	DATE: MAY 2023
-----------------------	-------------------

BUILDER:

PROJECT NAME:
BRADSHAW RESIDENCE
99 7TH CONCESSION EAST
FLAMBOROUGH, ONT

MODEL:

DRAWING:

CROSS SECTIONS

DRAWN BY: K.W.	CHECKED BY: K.W.
SCALE: 1/4"=1'-0"	PAGE: 7

CONSTRUCTION NOTES
(UNLESS OTHERWISE NOTED)
ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODES AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.
ALL DIMENSIONS GIVEN FIRST IN METRIC (MM) FOLLOWED BY IMPERIAL.

1. ROOF CONSTRUCTION
NO. 210(30.5KG/M2) ASPHALT SHINGLES, 1/2" SPRUCE PLYWOOD SHEATHING WITH "H" CLIPS, APPROVED WOOD TRUSSES @ 24" O.C. APPROVED EAVES PROTECTION TO EXTEND 750MM BEYOND INNER FACE OF EXTERIOR WALL 2"x4" TRUSS BRACING 7'-0" O.C. AT BOTTOM CHORD, METAL EAVESTROUGH ON ALUM. FASCIA & VENTED SOFFIT, ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES.

2. FRAME WALL CONSTRUCTION
SIDING AS PER ELEVATION TYVEK AIR BARRIER, 2 X 6 STUDS @ 16" O.C., 1/2" PLYWOOD SHEATHING R19 SPRAY FOAM WITH R5 CI WRAP AND VAPOUR BARRIER, 1/2" INT. DRYWALL FINISH.

3. BRICK VENEER CONSTRUCTION
4" FACE BRICK, 1" AIR SPACE, 1"x7"x22GA. METAL TIES @ 16" O.C. HORIZONTAL, 24" O.C. VERTICAL NO. 15(0.7KG/M2) BLDG. PAPER, 1/2" PLYWOOD, 2"x6" STUDS 16" O.C., R19 SPRAY FOAM + R5 CI WRAP AND 6MIL VAPOUR BARRIER, 1/2" INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 30" O.C. BOTTOM COURSE ONLY AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" BEHIND SHEATHING PAPER.

4. INTERIOR STUD PARTITIONS
2"x4" @ 16" O.C. BEARING, 1/2" INT. DRYWALL BOTH SIDES, 2"x4" BOTTOM PLATE 2/2"x4" TOP PLATE.

5. FOUNDATION WALL/FOOTINGS
10" POURED CONC. FDN. WALL 20 MPa BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER ON 22" X 8" CONTINUOUS KEYED CONC. FTG. OR AS PER SOIL REPORT. BACKFILL WITH NON-FROST SUSCEPTIBLE SOIL. C/W DRAINAGE LAYER

ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL, WITH MIN. BEARING CAPACITY OF 1500PSF OR GREATER.

6. 4" DIA. WEEPING TILE, 6" CRUSHED STONE OVER AND AROUND ALL FOOTINGS.

8. FIN. FLOOR ON 5/8" SPRUCE PLYWOOD SUBFLOOR ON WD FLOOR JOISTS PROVIDE ADDITIONAL 5/8" PANEL TYPE UNDERLAY BENEATH CERAMIC TILES.

9. R60 ROOF INSULATION 5/8" DRYWALL FINISH.

10. ALL STAIRS/EXTERIOR STAIRS
MAX. RISE = 200(7 7/8")
MIN. RUN = 255(10")
MIN. TREAD = 235(9-1/4")
MIN. NOSING = 25 (1")

MIN. HEAD ROOM = 1950(6'-5")
RAIL @ LAND = 915(3'-0")
@ STAIR = 810(2'-8")
MIN. WIDTH = 860(2'-10")
FOR CURVED STAIRS
MIN. RUN = 150(6")
MIN. AVG. RUN = 200(8")

11. FIN. RAILING ON WOOD PICKET MAX. 4" BETWEEN.

12. 2"x4" SILL PLATE WITH 1/2" DIA. ANCHOR BOLTS 12" LONG, MIN. 4" IN CONCRETE @ 7'-10" O.C. CAULKING OR GASKET BETWEEN PLATE AND CONCRETE WALL.

13. FULL HEIGHT R 20 CI INSULATION 2" X 4" WOOD STUDS @ 16" O.C. 6MIL VAPOUR BARRIER FULL HEIGHT, DAMPPROOF BETWEEN FOUNDATION WALL AND INSULATION WITH BUILDING PAPER

14. BEARING STUD PARTITION 2"x4" STUDS @ 16" O.C. 2"x4" SILL PLATES ON DAMPPROOFING MATERIAL, 1/2" DIA. ANCHOR BOLTS 7'-10" O.C. ON 4" HIGH CONC. CURB ON 16"x6" CONC. FOOTING.

15. 3-1/2" X 0.188" PIPE COLUMN, 38"x38"x16" CONC. FTG. 9" X 5" X 1/4" TOP PLATE AND 6" X 6" X 1/4" BASE PLATE.

16. BEAM POCKET 8"x8" POURED CONC. IN WALLS.

17. 1"x4" BOTH SIDES OF STEEL BEAM.

18. 4" CONC. SLAB, 5" CRUSHED STONE SLOPE TO FRONT, CONC. STRENGTH 25MPA AND WITH 5-8% AIR ENTRAINMENT.

19. 1/2" GYPSUM BD. ON WALLS AND CEILING BETWEEN HOUSE AND GARAGE. R24 IN WALLS, R31 IN CEILINGS. ADD VAPOUR BARRIER. TAPE AND SEAL ALL JOINTS GAS TIGHT.

20. DOOR GAS PROOFED WITH SELF CLOSER AND WEATHERSTRIPPING. MIN. 6" SILL.

21. PRECAST CONCRETE STEP.

22. CAPPED DRYER VENT.

23. ATTIC ACCESS HATCH 20"x28" WITH WEATHERSTRIPPING.

24. TOP OF FIREPLACE CHIMNEYS SHALL BE 915(3'-0") ABOVE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610(2'-0") ABOVE ROOF SURFACE WITHIN A HORIZONTAL DISTANCE OF 3050(10'-0") FROM THE CHIMNEY.

25. LINEN CLOSET 4 SHELVES MIN. 350(1'-2") DEEP.

26. WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.

27. JOISTS AND BEAMS TO BE STAGGERED MIN. 100MM(4") AT PARTY WALL.

28. U.L.C. RATED CLASS "B" VENT 610(2'-0") HIGH FROM POINT IN CONTACT WITH ROOF FOR SLOPES UP TO 9/12 AND 1220(4'-0") FOR SLOPES GREATER THAN 9/12.

29. 140X140(6"x6") WOOD COL. ON METAL BASE SHOE AND 127(1/2") DIA. BOLT, 610X610(155(24"x24"x6") CONC. FTG.

30. STEP FOOTINGS: HORIZONTAL STEP = 610MM (2'-0") MIN. VERTICAL STEP = 600MM MAX. FOR FIRM SOILS AND 400MM FOR SAND AND GRAVEL.

31. MIN. 75MM(3") CONCRETE SLAB-ON-GRADE ON 125MM CRUSHED STONE. SLAB SHALL BE REINFORCED WITH 6X6-W2.9XW2.9 MESH AND SUCH REINFORCEMENTS SHALL BE LOCATED NEAR MID-DEPTH OF SLAB. CONC. STR. 25MPA AND WITH 5-8% AIR ENTRAINMENT.

32. PROVIDE 200MM(8") DEEP SOLID MASONRY UNDER ALL BEAMS.

33. MASONRY PARTY WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK MIN. 1 HR. FIRE RATING.

34. ALL JOIST TO BE BRIDGED WITH A CONTINUOUS 19X89(1"x4") OR 38X38(2"x2") CROSS BRIDGING OR SOLID BLOCKING AT 2100(7'-0") O.C. MAX. OR 1375(4'-6") O.C. WITHIN 460(18") OF MAX. SPAN.

35. WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED WITH A WOOD PRESERVATIVE AND WHICH ARE SUPPORTED ON CONCRETE IN CONTACT WITH THE GROUND OR FILL SHALL BE SEPARATED FROM THE CONC.

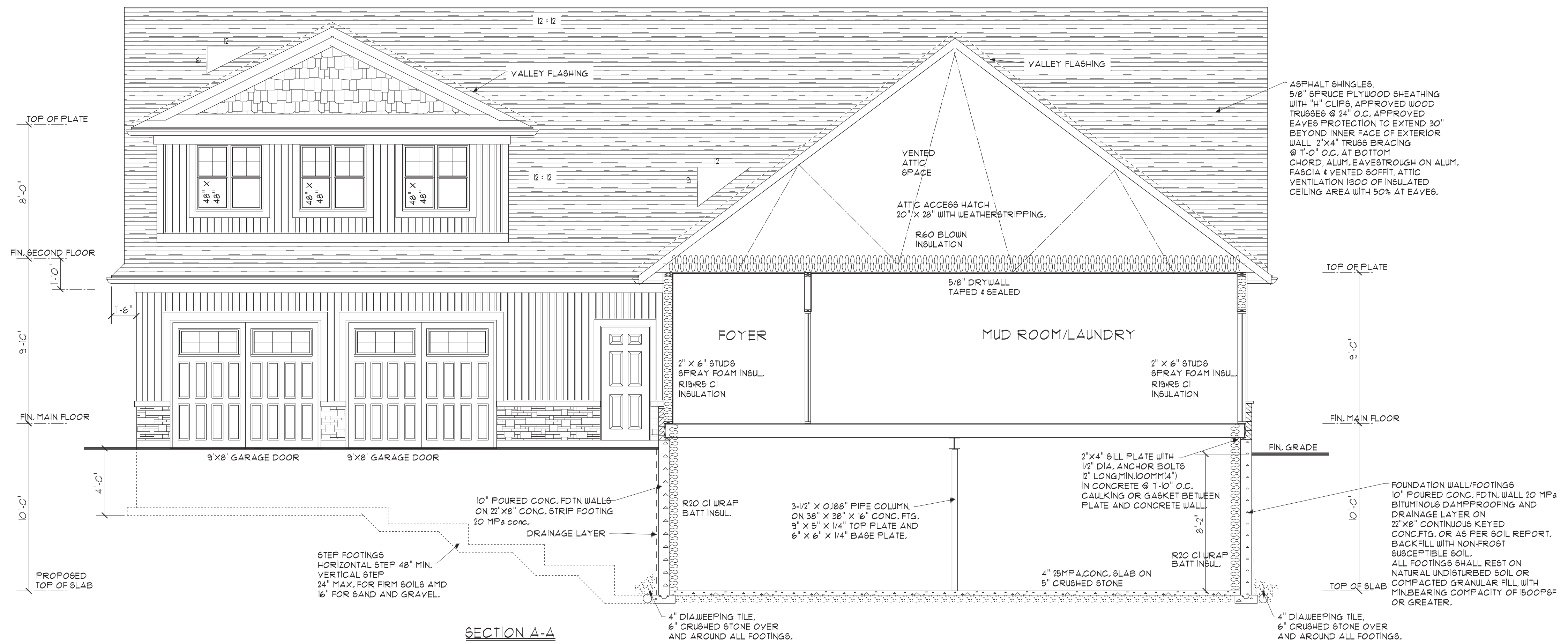
PROVIDE POLYSTYRENE GASKET DAMPPROOFING BETWEEN WOOD AND CONC.

36. PORCH SLABS ABOVE COLD CELLARS: 125(5") POURED CONC. SLAB WITH 10M BARS @ 300 O.C. EACH WAY. 610X610(24"x24") DOWELS @ 600 O.C. ANCHORED IN PERIMETER FDTN. WALLS SLOPES SLAB MIN 1.5%.

37. WHERE THE FDTN. WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 90MM THICK, AND TIED TO FACING MATERIAL WITH METAL TIES SPACED 200MM O.C. HORIZONTALLY MAX. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38. ALL CONVENTIONAL ROOF FRAMING TO BE 38X140(2"x6") RAFTERS @ 400(16") O.C., 2" X 4" COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38X140(2"x6") @ 400(16") O.C. UNLESS OTHERWISE NOTED.

39. 3 - 1/2" SHEETS OF FIRE RESISTANT DRYWALL FIRE BREAK



SECTION A-A

1	ISSUED FOR PRICING	05/30/23	KW
NO.	DESCRIPTION	DATE	BY

REVISIONS

--	--	--	--

Kevin Webster Designs Inc.
RESIDENTIAL & COMMERCIAL
DESIGN, DRAFTING & CONSULTING

68 North Valley Dr., Welland, Ontario L3C 7L6
(905)639-2009

PROJECT NO. 202312	DATE MAY 2023
-----------------------	------------------

BUILDER:

PROJECT NAME:
BRADSHAW RESIDENCE
99 7TH CONCESSION EAST
FLAMBOROUGH, ONT

MODEL:

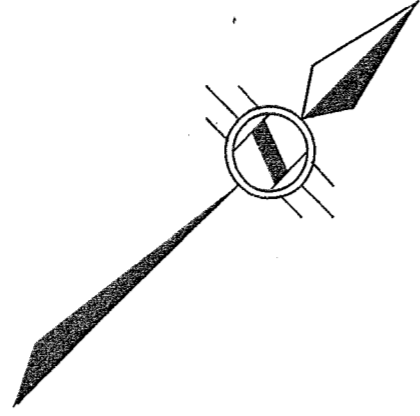
DRAWING:
CROSS SECTIONS

DRAWN BY: K.W.	CHECKED BY: K.W.
SCALE: 1/4" = 1'-0"	PAGE: 8

PLAN OF SURVEY
OF PART OF
LOT 11
CONCESSION 7
GEOGRAPHIC
TOWNSHIP OF EAST FLAMBOROUGH
IN THE
CITY OF HAMILTON
SCALE 1:200 METRIC



R.A. McLAREN, O.L.S. - 2022



SCHEDULE			
PART	LOT	CON/PLAN	P.I.N.
1	PART OF LOT 11	CONCESSION 7	PART OF P.I.N. 17582-0032 (LT)
2			ALL OF P.I.N. 17582-0033 (LT)

PART 1 IS SUBJECT TO AN EASEMENT AS IN INSTRUMENT EF28850

PLAN 62 R-21983

RECEIVED AND DEPOSITED
Date 21ST OCT '22

OYELAMI.A

REPRESENTATIVE FOR
LAND REGISTRAR FOR THE LAND
TITLES DIVISION OF WENTWORTH (No. 62)

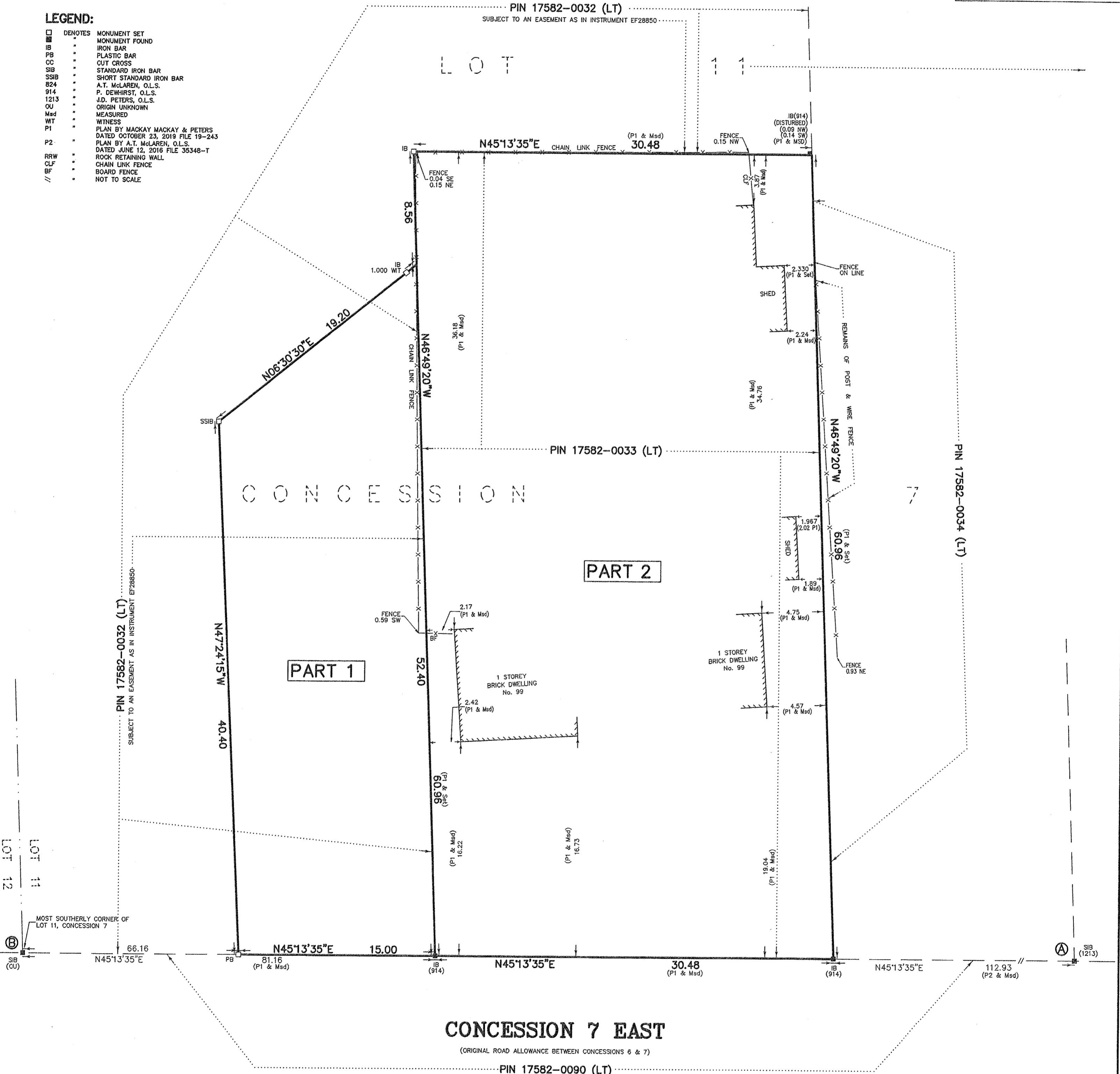
I REQUIRE THIS PLAN TO BE
DEPOSITED UNDER THE LAND
TITLES ACT.

Date 27 OCT 22

R.A. McLaren
ROB A. McLAREN, O.L.S.

LEGEND:

- DENOTES MONUMENT SET
- IB IRON BAR
- PB PLASTIC BAR
- CC CUT CROSS
- SIB STANDARD IRON BAR
- SSIB SHORT STANDARD IRON BAR
- B24 A.T. McLAREN, O.L.S.
- 914 P. DEWHIRST, O.L.S.
- 1213 J.D. PETERS, O.L.S.
- OU ORIGIN UNKNOWN
- Msd MEASURED
- WT WITNESS
- P1 PLAN BY MACKAY MACKAY & PETERS
DATED OCTOBER 23, 2019 FILE 19-243
- P2 PLAN BY A.T. McLAREN, O.L.S.
DATED JUNE 12, 2016 FILE 35348-T
- RRW ROCK RETAINING WALL
- CLF CHAIN LINK FENCE
- BF BOARD FENCE
- // NOT TO SCALE



BEARING NOTE:
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED
REFERENCE POINTS A AND B, BY REAL TIME NETWORK
OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0)

NOTE:
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY
MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999651229

BEARING COMPARISON
FOR BEARING COMPARISONS A ROTATION OF 0°39'05"
COUNTER CLOCKWISE WAS APPLIED TO BEARINGS ON
PLAN BY MACKAY, MACKAY & PETERS DATED
NOVEMBER 27, 1975 TO CONVERT TO GRID BEARINGS

INTEGRATION DATA

OBSERVED REFERENCE POINTS (ORP's), UTM ZONE 17, NAD83 (CSRS) (2010.0), COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10		
POINT ID	NORTHING	EASTING
ORP @	4801438.000	583894.145
ORP @	4801280.883	583734.777

COORDINATES CANNOT, IN THEMSELVES, BE USED TO
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

METRIC NOTE:

DISTANCES AND COORDINATES
SHOWN ON THIS PLAN ARE IN
METRES AND CAN BE
CONVERTED TO FEET
BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT
AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 14th DAY OF OCTOBER, 2022

27 OCT 22
DATE

R.A. McLaren
ROB A. McLAREN, O.L.S.



A.T. McLaren
LEGAL AND ENGINEERING SURVEYS

69 JOHN STREET SOUTH, SUITE 230
HAMILTON, ONTARIO, L8N 2B9
PHONE (905) 527-8559 FAX (905) 527-0032

Schedule 1: Designer Information


Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			
Building number, street name 99 7th Concession East, Flamborough		Unit no.	Lot/con.
Municipality Hamilton	Postal code	Plan number/ other description	
B. Individual who reviews and takes responsibility for design activities			
Name Peter Vanderboom		Firm Alpha Ex	
Street address 1431 Wilson Street West		Unit no.	Lot/con.
Municipality Ancaster	Postal code LOR 1R0	Province ON	E-mail office.alphaex@gmail.com
Telephone number (905) 304-7114	Fax number ()	Cell number (905) 971-0833	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]			
House	HVAC – House	Building Structural	
Small Buildings	Building Services	Plumbing – House	
Large Buildings	Detection, Lighting and Power	Plumbing – All Buildings	
Complex Buildings	Fire Protection	<input checked="" type="checkbox"/>	On-site Sewage Systems
Description of designer's work Prepare design for new class-4 on-site sewage system to service proposed SFD.			
D. Declaration of Designer			
I <u>Peter Vanderboom</u> declare that (choose one as appropriate): (print name)			
<input checked="" type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: <u>40181</u> Firm BCIN: <u>40434</u>			
<input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____			
The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge. 2. I have submitted this application with the knowledge and consent of the firm.			
_____		_____	
Date		Signature of Designer	

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

Schedule 2: Sewage System Installer Information

A. Project Information			
Building number, street name 99 7th Concession East, Flamborough		Unit number	Lot/con.
Municipality Hamilton	Postal code	Plan number/ other description	
B. Sewage system installer			
Is the installer of the sewage system engaged in the business of constructing on-site, installing, repairing, servicing, cleaning or emptying sewage systems, in accordance with Building Code Article 3.3.1.1, Division C?			
<input checked="" type="checkbox"/> Yes (Continue to Section C)		<input type="checkbox"/> No (Continue to Section E) Installer unknown at time of application (Continue to Section E)	
C. Registered installer information (where answer to B is "Yes")			
Name Alpha Ex		BCIN 40434	
Street address 1431 Wilson St West		Unit number	Lot/con.
Municipality Ancaster	Postal code L0R 1R0	Province ON	E-mail office.alphaex@gmail.com
Telephone number (905) 304-7114	Fax ()	Cell number (905) 971-0833	
D. Qualified supervisor information (where answer to section B is "Yes")			
Name of qualified supervisor(s) Peter Vanderboom		Building Code Identification Number (BCIN) 40181	
E. Declaration of Applicant:			
I _____ declare that:			
(print name)			
<input checked="" type="checkbox"/> I am the applicant for the permit to construct the sewage system. If the installer is unknown at time of application, I shall submit a new Schedule 2 prior to construction when the installer is known;			
<u>OR</u>			
I am the holder of the permit to construct the sewage system, and am submitting a new Schedule 2, now that the installer is known.			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.			
<u>July 12/2023</u>			
Date		Signature of applicant	

99 7TH (CONCESSION) EAST
FLAMBOROUGH

DESIGN CALCULATIONS
FOR CLASS 2, 4 & 5 ON-SITE SEWAGE SYSTEM

Owner:	Designer: <i>ICIN</i> <i>PETE VANDERBROOK 40181</i>	Installer: <i>ALPHA EX</i>
		BCIN Number: <i>40484</i>

STEP 1

DAILY SEWAGE FLOW (Based on Hydraulic Loads for Fixtures, Floor Area, and Number of Bedrooms)

Plumbing Fixture Description	Existing Number of Fixtures	Proposed Number of Fixtures	Total x Fixture Units Value = Number of Fixture Units		
Bathroom group (toilet, sink, bathtub)		<i>3</i>		<i>6</i>	<i>18</i>
Toilet (alone)	<i>1</i>	<i>1</i>		<i>4</i>	<i>4</i>
Washbasin		<i>3</i>		<i>1.5</i>	<i>4.5</i>
Bathtub or Shower		<i>2</i>		<i>1.5</i>	<i>3</i>
Kitchen Sink(s)	<i>N/A</i>	<i>1</i>		<i>1.5</i>	<i>1.5</i>
Bar Sink				<i>1.5</i>	
Dishwasher	<i>1</i>	<i>1</i>		<i>1.5</i>	<i>1.5</i>
Washing Machine	<i>1</i>	<i>1</i>		<i>1.5</i>	<i>1.5</i>
Bidet				<i>1</i>	
Laundry Tub		<i>1</i>		<i>1.5</i>	<i>1.5</i>
Other:					
Total Fixture Units					<i>35.5</i>

Proposed: (<i>451</i> m ²) (<i>4856</i> ft ²)
Existing: (m ²) (ft ²)
Total Finished Floor Area Excluding Area of Finished Basement <i>451</i> m ² ft ² (Multiply m ² x 10.764 = ft ²)

From the chart below, please calculate the expected daily sewage flow for your proposed building, and mark the total in the space provided. For non-residential occupancies see Table 8.2.1.3 B O.B.C.

Residential Occupancy	Existing	Q in Litres	Calculations
1 Bedroom		750	
2 Bedrooms		1100	
3 Bedrooms		1600	
4 Bedrooms	<i>4</i>	2000	<i>2000</i>
5 Bedrooms		2500	
Additional Flow for:			
Each Bedroom over 5		500	
Floor Space for each 10m ² over 200 m ² up to 400 m ²	<i>20</i>	100	<i>2000</i>
Floor Space for each 10m ² over 400 m ² up to 600 m ²	<i>6</i>	75	<i>450</i>
Floor Space for each 10m ² over 600 m ² OR*		50	
Each fixture unit over 20 fixture units total	<i>15.5</i>	50	<i>775</i>
TOTAL			<i>4450</i>

*NOTE: Where you need to do multiple calculations, signified by the "OR" in the table, do the calculation for daily sewage flow based on bedrooms and floor space first, then fixture units, and use the larger of the two calculations.

Other Occupancy (Table 8.2.1.3 (B))			
Establishment Type:	Occupant Load	Volume (Litres)	Calculations

EXPECTED DAILY DESIGN SEWAGE FLOW (Q): *4450* Litres
(Use Q for the following calculations)

99 TTH CONCESSION EAST - FLAUBOROUGH

DAILY DESIGN FLOW Q = 4450 L/DAY

PERC TIME T = 12 MIN/CM

DESIGN BY ALPHA EX BCIN 40154

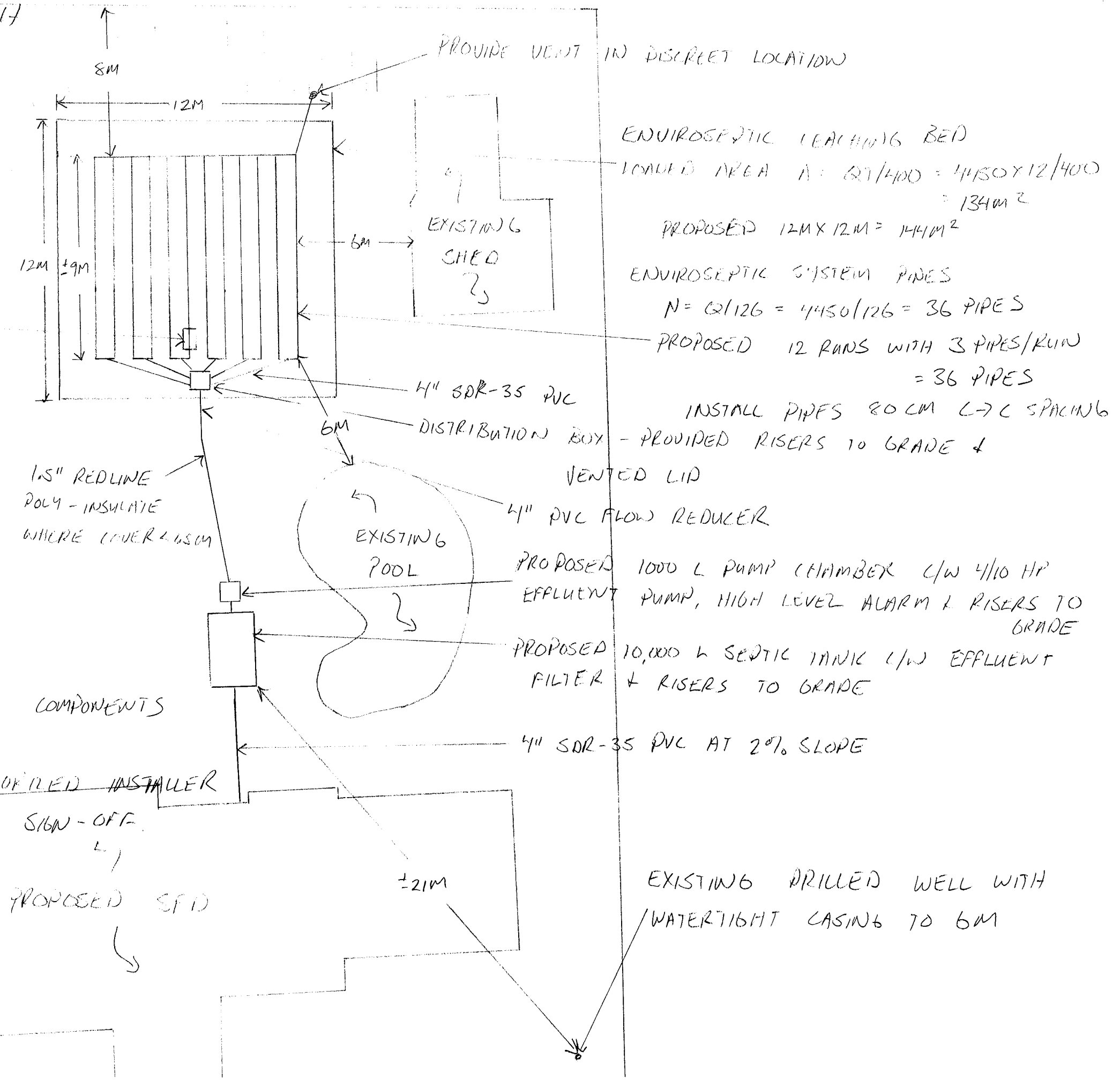
PETE VANDERBOOM BCIN 40181

N

SAMPLING
DEVICE

* PROVIDE 14 GAUGE TRACER WIRE ON ALL COMPONENTS
AS REQUIRED

* INSTALLER MUST BE ENVIROSEPTIC AUTHORIZED INSTALLER
NO SUBSTITUTIONS WITHOUT DESIGNER SIGN-OFF.



ENVIROSEPTIC LEACHING BED
LOADED AREA A: $Q/T/400 = 4450 \times 12 / 400 = 134m^2$

PROPOSED $12M \times 12M = 144m^2$

ENVIROSEPTIC SYSTEM PIPES
 $N = Q/126 = 4450/126 = 36$ PIPES

PROPOSED 12 RUNS WITH 3 PIPES/RUN
= 36 PIPES

INSTALL PIPES 80 CM C-C SPACING
DISTRIBUTION BOX - PROVIDED RISERS TO GRADE &
VENTED LID

4" PVC FLOW REDUCER

PROPOSED 1000 L PUMP CHAMBER C/W 4/10 HP
EFFLUENT PUMP, HIGH LEVEL ALARM & RISERS TO
GRADE

PROPOSED 10,000 L SEPTIC TANK C/W EFFLUENT
FILTER & RISERS TO GRADE

4" SDR-35 PVC AT 2% SLOPE

EXISTING DRILLED WELL WITH
WATERTIGHT CASING TO 6M

PROPOSED SFD

99 7TH CONCESSION EAST, FLAMBOROUGH

ENVIROSEPTIC CROSS SECTION, TYPICAL

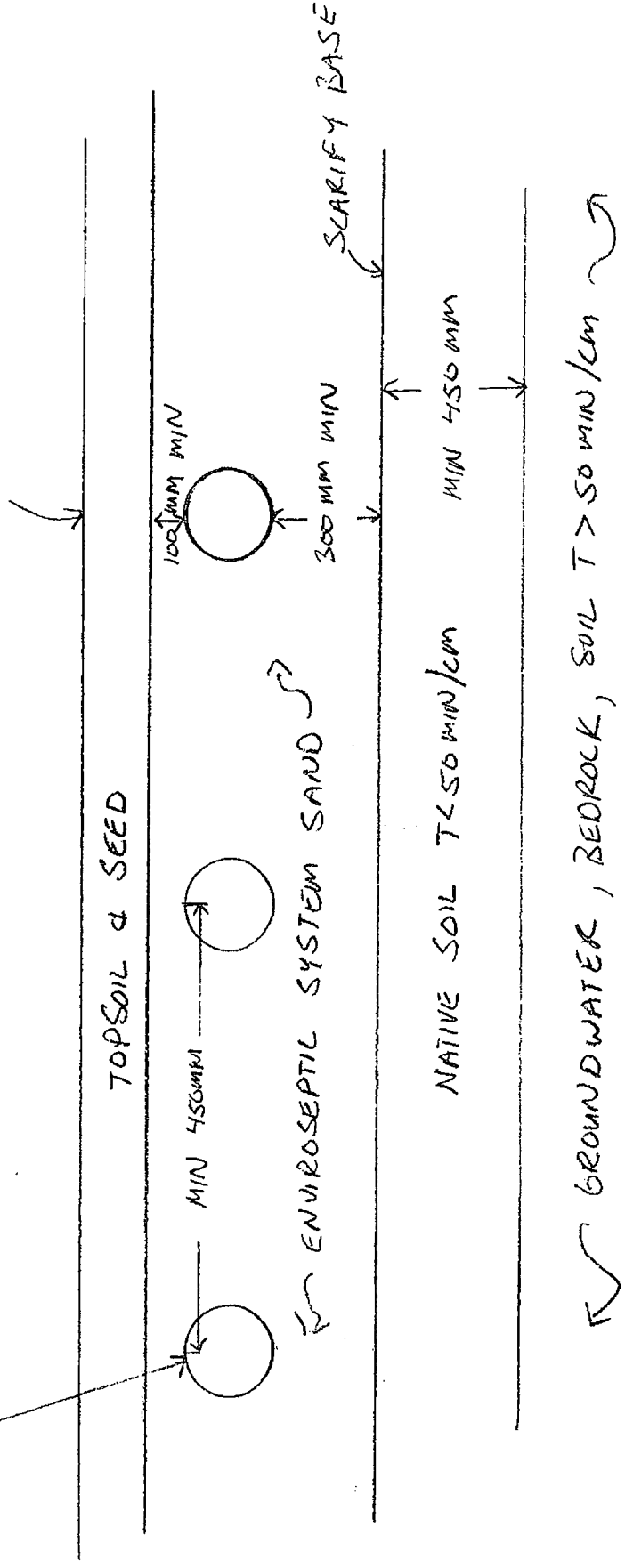
DESIGN BY ALPHA EX BUN 40434

PETE VANDERBOM BUN 40181



ENVIROSEPTIC PIPES

SLOPE SURFACE TO
ENSURE DRAINAGE AWAY
FROM LEACHING BED



Winona Concrete & Pipe Products Ltd.

489 Main Street West, Grimsby, Ontario L3M 1T4
 Ph. 905-945-8515 Email: info@winonaconcrete.com Fax. 905-945-1149
 Southern Ontario Toll Free 800-361-8515

Concrete Septic Tank (Trickle)



Date: July 10, 2013

Model: 100T-PL20

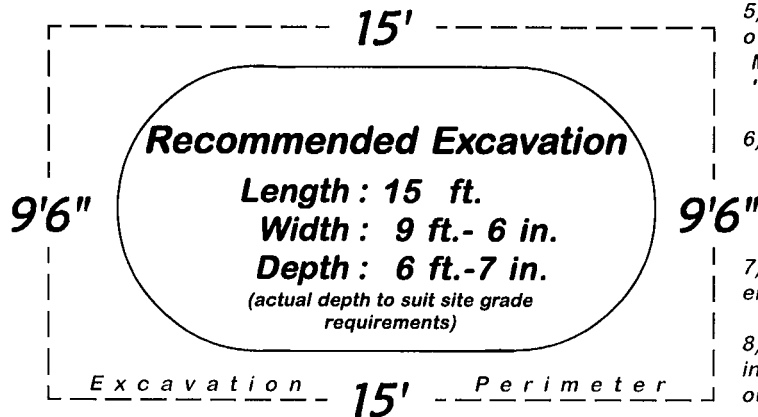
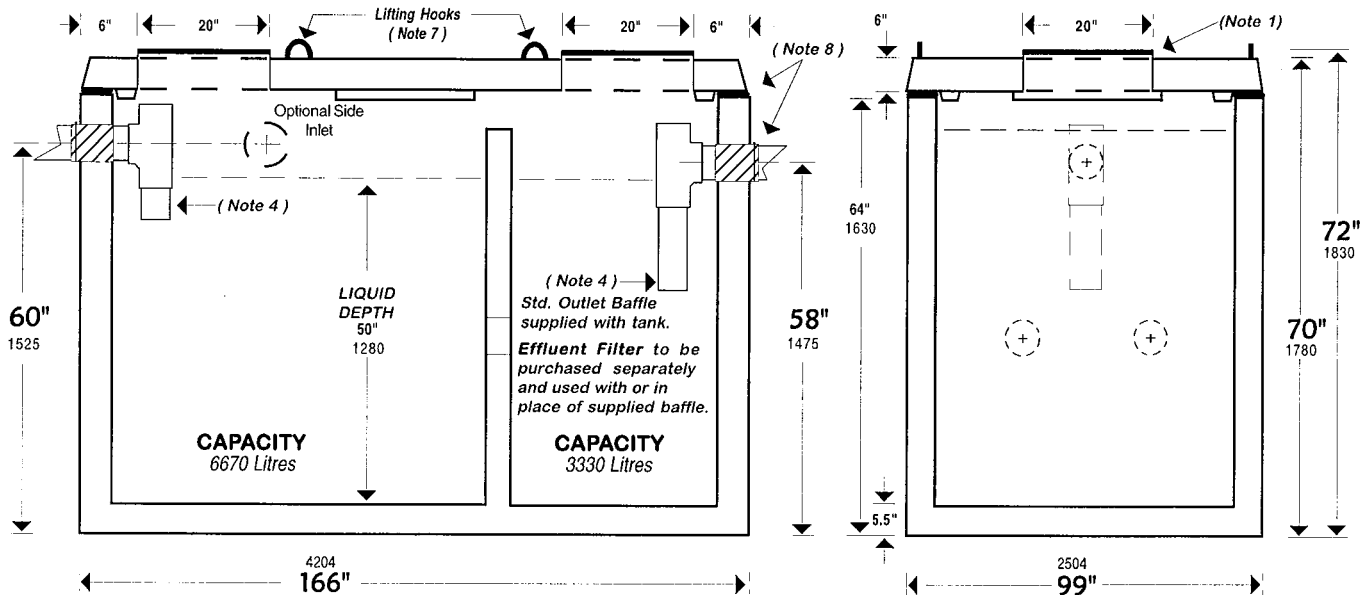
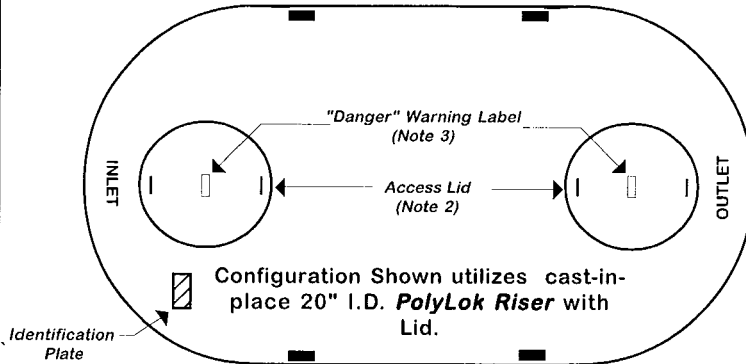
Capacity: 10,000 litres (2200 Gal)

Product Information ...

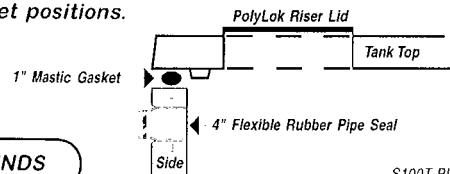
- 1) **POLYLOK ACCESS RISERS** (20" or 24" dia.) cast-in place. Additional 6"/12" high gasketed sections may be added to suit.
- 2) **POLYLOK RISER LID** fastened to riser section with (6) stainless hex head self tappers (supplied)
- 3) **"DANGER" WARNING LABEL** (English / French) shown on lid surface.
- 4) **INLET / OUTLET Baffles** are 4" PVC-BDS Fittings / Pipe, fabricated & supplied with tank for contractor to affix on to end of soil pipe entering tank through 4" flexible rubber boot.

NEW - Effective Jan.2007: An Effluent Filter must be installed at outlet. Various styles available upon request.

Drawings are dimensional (not necessarily to scale) with unit of measure in millimeters unless noted otherwise.



- 5) Cement is Portland Type 10 &/or 30 unless noted otherwise.
 Minimum 28-day Concrete Strength: 32 MPa "NON-SUL". Not suitable for sulphate soils
- 6) Steel Reinforcing as follows:
 Top & Bottom 10 mm
 Sides 10 mm
 Partition 4x4 6/6 WW mesh
- 7) 1/2" Galvanized Wire Rope Lifting Hooks (4) embedded vertically 24" down into side walls.
- 8) Detail view below showing typical Top - Side interface and use of flexible Pipe Boot at inlet & outlet positions.



9) Design Burial Depth (cover) 1000 mm
 Not intended for use in areas of vehicular traffic loading.
 "AGINP" Above ground installation not permitted

www.winonaconcrete.com

DRY WEIGHT 24,400 POUNDS

S100T-PL20 13.07.10

Winona Concrete & Pipe Products Ltd.

489 Main Street West, Grimsby, Ontario L3M 1T4
 Ph. 905-945-8515 Email: info@winonaconcrete.com Fax. 905-945-1149
 Southern Ontario Toll Free 800-361-8515

Concrete Effluent / Pump Tank



Certified
Std. B66-10

Date: July 10, 2013

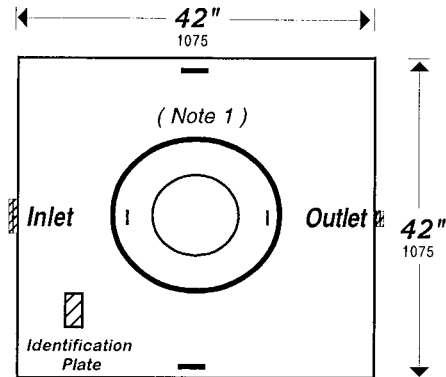
Model: **PC10EP-PL20**

Capacity: 1000 litres (220 gal)

Drawings are dimensional (not necessarily to scale)
 with unit of measure in millimeters unless otherwise noted.

Product Information ...

Configuration Shown utilizes cast-in-place
 20" I.D. x 10" high PolyLok Riser with Lid.



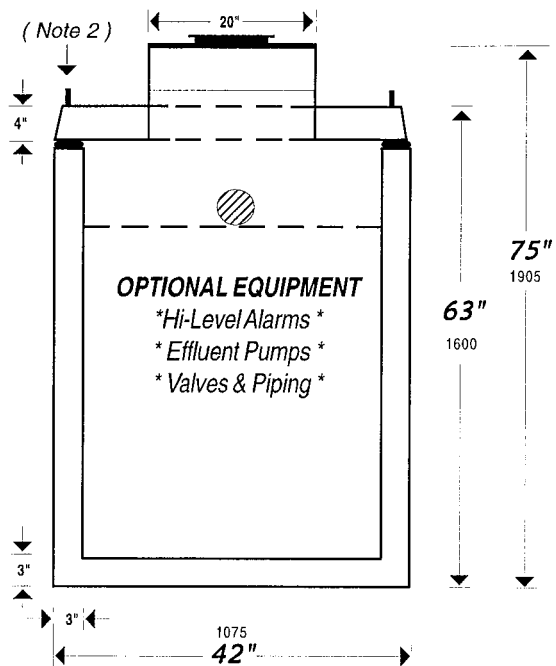
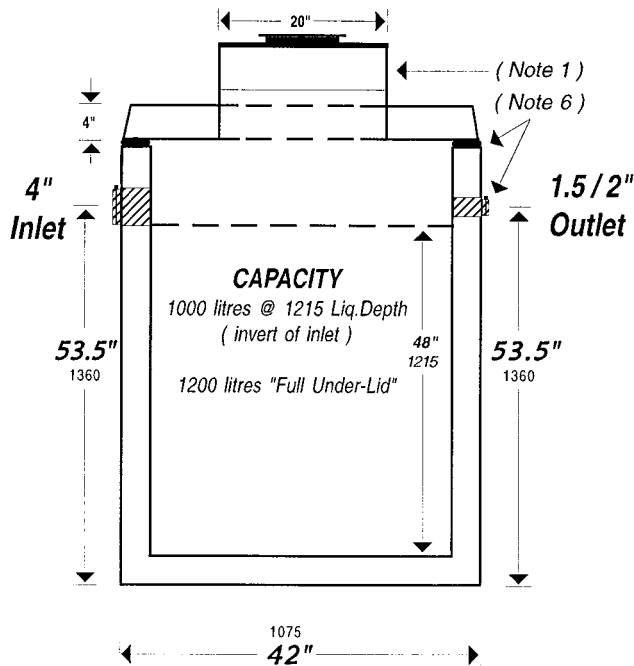
1a) **PolyLok Riser** (20" or 24" dia., plastic) comprised of one section cast-in place and second (upper) section assembled with Gasket and SS screws.

1b) For **At or Above Grade** riser installation, additional 6" or 12" high riser sections c/w Gasket & SS screws may be added to suit.

1c) **PolyLok Access Lid w/Carbon Vent** fastened to upper riser section with gasket & stainless hex head self-tappers. Lifting handles (2) are recessed into lid surface.

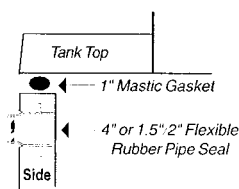
1d) "**DANGER**" Warning Label (English & French) is shown on lid surface.

2) 1/4" galvanized wire rope lifting hooks embedded vertically 24" down into side walls, extending 3" above top surface.



6) Detail view showing typical Top - Side interface with use of mastic gasket & flexible pipe seal.

Inlet / outlet positions sized per 4" DWV @ inlet & combination 1.5" x 2" DWV @ outlet.



3) Steel Reinforcing as follows:

Top, Bottom & Sides 10 mm

4a) Cement is Portland Type 10 &/or 30 unless noted otherwise. .

4b) Minimum 28-day Concrete Strength: 32 MPa

4c) "NON-SUL". Not suitable for sulphate soils

4d) Concrete Water-to-Cement Ratio 0.45:1 or less

5a) Max Design Burial Depth (Cover)1500 mm

5b) "AGINP" Above ground installation not permitted



E3 Laboratories Inc.

SS#4, 360 York Rd., Unit 10, Niagara-on-the-Lake, Ontario L0S 1J0

Email: info@e3labs.ca

Tel: (905) 641-9000, Fax: (905) 641-9001

CERTIFICATE OF ANALYSIS

Alpha Excavation & Contracting Inc.

Olivia Arstall

1431 Wilson St. W.

Ancaster

L0R 1R0

Tel: 905-304-7114

Fax:

Email: office@alphaex.ca

Work Order No.:2647295

Received : 2023-05-09

PO Number:

Reported: 2023-05-25

Project Name:

Chain of Custody No.: 2647295

Client Sample ID	Sample Date	Lab ID	Parameter	Result	Unit	RDL	Date Analyzed	Method
99 Concession 7 Millgrove	2023-05-05	757637	T Time	See	Attached		2023-05-15	Subcontracted

Reported by:

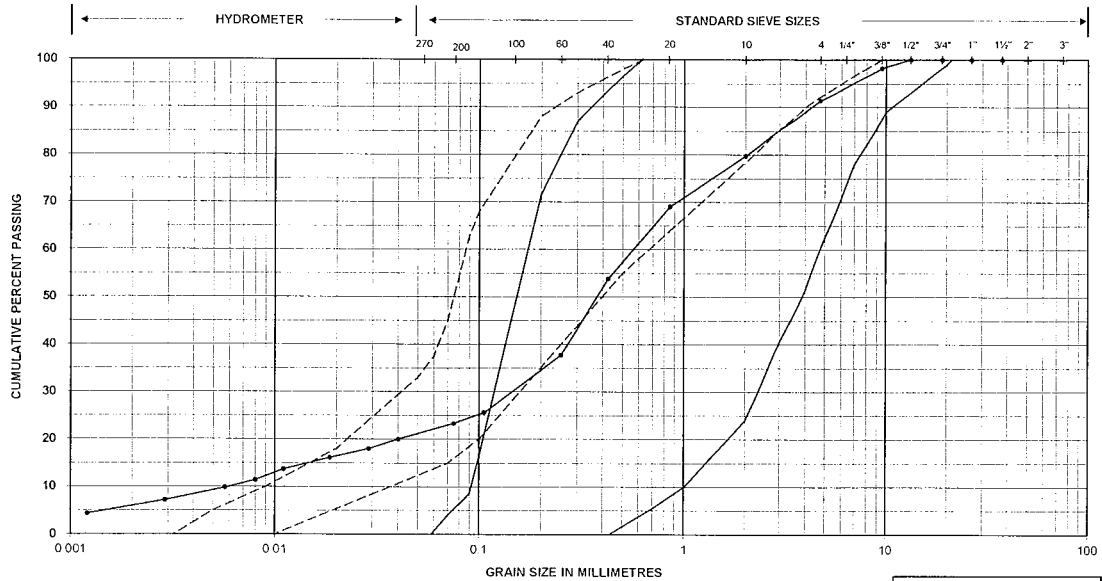
Dawn Howard, B.Sc. Laboratory Coordinator, on behalf of
Nilou Ghazi, Ph.D., P.Eng., Laboratory Manager

All work has been performed using accepted testing methodologies, except where otherwise agreed to by the client in writing. Our total liability in connection with this work shall be limited to the amount paid by the client.

Results relate only to items tested as received.



PARTICLE SIZE DISTRIBUTION LS702/ASTM D422



Unified Classification System		
SILT AND CLAY	SAND	GRAVEL
Estimated T = 12 min/cm		
..... sm envelope T = 8 - 20 min/cm _____ sp envelope T = 2 - 8 min/cm		

GRAVEL	9 %
SAND	68 %
SILT	18 %
CLAY	5 %

Project Name:	E3 Laboratories	Project No.:	111-53143-00 (2639003)
Location ID.:	99 Concession	Sample No./Depth:	757637

Sieve Size	% Passing Coarse	Sieve Size	% Passing Fine	Hydrometer (mm)	% Passing
37.5 mm	100.0	2.00 mm	79.80	0.040	20.0
26.5 mm	100.0	0.850 mm	69.0	0.019	16.1
19.0 mm	100.0	0.425 mm	53.9	0.008	11.4
13.2 mm	100.0	0.250 mm	37.7	0.003	7.1
9.50 mm	98.2	0.106 mm	25.6	0.000	4.3
4.75 mm	91.4	0.075 mm	23.3		

Note: More information is available upon request. Tested by PM Reviewed by Harun Rashid Date 15-May-23

777 Bay Street, 12th Floor
Toronto, Ontario, M5G 2E5

T: 416 585 4234
W: www.ontario.ca/buildingcode/

777, rue Bay, 12^e étage
Toronto (Ontario) M5G 2E5

T: 416 585 4234
W: www.ontario.ca/buildingcode/



Ontario

Building Materials Evaluation
Commission

Commission d'évaluation des
matériaux de construction

BMEC AUTHORIZATION: 18-05-386 ENVIRO-SEPTIC® SYSTEM

Date of Authorization: September 27, 2018
Date of Expiry¹: September 27, 2023

1. Applicant

Presby Environmental Inc
143 Airport Road
Whitefield, NH
USA, 03598

Tel: 800 473-5298
Fax: 603 837-9864
Web: www.presbyenvironmental.com

2. Manufacturing Facility

Pipes
Presby Environmental Inc.
143 Airport Road, Whitefield, NH
USA, 03598

Engineering and Design
Make-Way Environmental Technologies Inc.
PO Box 1869 Exeter, ON, N0M 1S7

Tel: 866 625-3929
Fax: 519 235-0570
Web: www.makeway.ca

DBO Expert Inc.
501, Chemin Giroux
Sherbrooke, PQ, J1C 0J8

Tel: 866 440-4975
Fax: 819 846-2135
Web: www.enviro-septic.com

¹ This Authorization expires on the date shown. It is the responsibility of Authorization holders to make a complete application considering the time for review and complexity of the new application.

3. Authorization

The Enviro-Septic® System is a combined treatment and dispersal system. The Enviro-Septic® System is comprised of a septic tank, an effluent filter, distribution box, Advanced Enviro-Septic® pipes, sampling device, and Enviro-Septic® system sand. The Enviro-Septic® System can be installed in-ground, partially raised, or fully raised.

Additional descriptive information is provided in documents supplied by the Applicant listed in Appendix A.

Reports and assessments provided by the Applicant demonstrate that if Enviro-Septic® System is manufactured, designed, constructed, installed, and maintained in accordance with the manufacturer's instructions and limitations, and the specific terms and conditions stated in this authorization, the use of Enviro-Septic® System shall be deemed to not be a contravention of Division B, Section 8.6. "Class 4 Sewage System" and Section 8.7. Leaching Beds" of Division B of the Building Code.

All other requirements pertaining to the manufacturing, design, construction, installation and maintenance are subject to the requirements of the Building Code, and subject to the following terms and conditions contained in 4 and 5 below:

4. Specific Terms and Conditions

1.0 General Requirements

- 1.1. This Authorization is valid only for Presby Environmental Inc.'s Enviro-Septic® System.
- 1.2. This authorization is valid only for use by Make-Way Environmental Technologies Inc. and DBO Expert Inc.

2.0 Definitions

- 2.1. Raised or Partially Raised means a sewage system in which any part of the system is above the natural ground elevation.
- 2.2. Vertical Separation means the depth of unsaturated soil below the system, as measured from the bottom of the system sand of the Enviro-Septic System, to a limiting layer such as a high groundwater table, bedrock, or soil with a percolation time (T) greater than 50 min/cm.
- 2.3. Enviro-Septic® System Sand is defined in section 4.6.2. of this Authorization.

3.0 Installation Requirements

- 3.1. The Enviro-Septic® System shall be installed as per the manufacturer's installation instructions as found in the "Enviro-Septic® System Design and Installation Manual for the Province of Ontario" Version 4.0 dated September 2018.

3.2. No person shall operate the Enviro-Septic® System unless the person has entered into an agreement whereby the servicing and maintenance of the Enviro-Septic® System and its related components will be carried out by a person who is authorized by the manufacturer to service and maintain the Enviro-Septic® System and who:

Inspection

3.2.1. Conduct and record at least once during every twelve (12) month period, an inspection and servicing, as specified by the Applicant, Presby Environmental Inc. the "Enviro-Septic® System: Design and Installation Manual - Province of Ontario", Version 4.0 dated September 2018.

Testing

3.2.2. Every person operating an Enviro-Septic® System that is designed and constructed to produce effluent, as described in Table 3.2.2. below, shall take a sample of the effluent to determine whether it complies with maximum levels contained in Table 3.2.2., below:

Table 3.2.2.

Parameter	Effluent Quality Maximum concentration based on 30 day averages	Effluent Quality compliance with a single grab sample
CBOD ₅ (mg/L)	10	20
Suspended Solids(mg/L)	10	20
<i>Column 1</i>	<i>Column 2</i>	<i>Column 3</i>

3.2.2.1. if a single grab sample is taken to demonstrate compliance with the values in Table 3.2.2. above, the results from a single grab sample shall not exceed the maximum concentrations listed in Column 3, above.

3.2.2.2. if the results of a sample do not comply with Table 3.2.2., then the Principal Authority shall be informed by the operator (home owner), and the course of action to remedy the problem shall be identified.

3.2.2.2.1. subsequent sampling results, submitted to the Principal Authority, within six (6) months of the first non-compliant sample, must demonstrate the problem has been rectified.

3.2.3. All sampling results shall be promptly submitted to the person operating (home owner) the Enviro-Septic® System, and the Principal Authority.

3.2.3.1. once during the first twelve (12) months after the Enviro-Septic® System is put into use, and

3.2.3.2. thereafter, at least ten (10) months and not more than eighteen (18) months after the previous sampling has been completed

3.3. Make-Way Environmental Technologies Inc. shall retain records of the sampling test results for each Enviro-Septic® System received pursuant to the terms and conditions set out in 3.2. above, for a period of ten (10) years and shall promptly forward copies of those records to the Principal Authority, when requested.

4.0 System Requirements

4.1. The Enviro-Septic System Components; there are five (5) main components to the Enviro-Septic System®. They are:

- 4.1.1. The septic tank;
- 4.1.2. The effluent filter;
- 4.1.3. The distribution device;
- 4.1.4. The Advanced Enviro-Septic® pipe;
- 4.1.5. The Enviro-Septic® System Sand.

4.2. The Septic Tank - The Enviro-Septic System® is designed to receive septic tank effluent for treatment and dispersal. All raw sewage will enter into a septic tank sized in accordance with Article 8.2.2.3. of Division B, of the Building Code.

4.3. The Effluent Filter - An effluent filter, meeting the requirements of Article 8.6.2.1. of Division B of the Building Code, shall be connected to the outlet of the septic tank.

4.4. The Distribution Device - The distribution device may be a distribution box and equalizer, a combination of distribution valve and distribution box, or a low pressure distribution system.

4.5. The Advanced Enviro-Septic® Pipe

4.5.1. The Advanced Enviro-Septic® Pipe consists of:

- 4.5.1.1. A 300 mm diameter, high-density plastic pipe, which is corrugated and perforated; skimmer tabs extend into the pipe at the point of each perforation,
- 4.5.1.2. A dense mat of coarse, randomly oriented plastic fibres surrounding the outside of the pipe,
- 4.5.1.3. A Bio-Accelerator™ geo-textile fabric layer, which partially covers the fibres on the lower half of the pipes, located between the pipe and the plastic fibres, and
- 4.5.1.4. The outer layer of non-woven geo-textile fabric that holds the other components in place and provides a protected surface on which the biomat develops.

4.5.2. A row of Advanced Enviro-Septic® pipe is a combination of a single offset adaptor, Advanced Enviro-Septic® pipes, couplings, and double offset adaptor.

- 4.5.2.1. Each row of Advanced Enviro-Septic® pipe is fed with a PVC pipe through the opening of a single offset adaptor in the top position,
- 4.5.2.2. each row of the Advanced Enviro-Septic® pipe is completed with a piezometer or a horizontal pipe leading to a piezometer through the bottom opening of a double offset adaptor,

- 4.5.2.3. each row of the Advanced Enviro-Septic® pipe is completed with a vent or an aeration pipe leading to a vent through the top opening of a double offset adaptor, and
- 4.5.2.4. the minimum equivalent length of any row is 6.1 m of Advanced Enviro-Septic® pipe and the maximum length is 30 m.

4.6. The Enviro-Septic® System Sand and Imported Sand

4.6.1. All Enviro-Septic® System configurations require Enviro-Septic® System Sand to surround the Advanced Enviro-Septic® pipe, herein after called system sand and shall be a minimum of:

- 4.6.1.1. 300 mm below the Advanced Enviro-Septic® pipes,
- 4.6.1.2. 75 mm beside each of the Advanced Enviro-Septic® pipes,
- 4.6.1.3. 75 mm from the ends of the Advanced Enviro-Septic® pipes, and
- 4.6.1.4. 100 mm above the Advanced Enviro-Septic® pipe.

4.6.2. The Enviro-Septic® System Sand must meet all of the following requirements:

- 4.6.2.1. Effective diameter of between 0.20 and 0.50 mm,
- 4.6.2.2. Uniformity of Coefficient (Cu) less than or equal to 4.5,
- 4.6.2.3. less than 3% of the material smaller than 80 µm, and
- 4.6.2.4. less than 20% of material larger than 2.5. mm
- 4.6.2.5. Following installation of the system sand for each row of Advanced Enviro-Septic® pipe, imported sand or system sand must be used to fill in the area between the rows of Advanced Enviro-Septic® pipe (c/w system sand as per above item 4.6.1.), to cover the complete dispersal surface / contact area. The thickness of imported sand / system, sand between the rows of Advanced Enviro-Septic® pipes / system sand shall be a minimum of 700 mm.
- 4.6.2.6. The imported sand must meet all the following requirements:
 - 4.6.2.6.1. A percolation time of between 6 and 10 min/cm.
 - 4.6.2.6.2. Not have more than 5% fines passing through a 0.0074 mm (no.200) sieve.
- 4.6.3. For each Enviro-Septic® project, the system installer is to receive a copy of both the sieve analysis and system sand analyzer results, and these results are to be available upon request to the Principal Authority and the operator (homeowner).

5.0 Design

5.1. Vertical Separation

5.1.1. The percolation time (T) of the natural soil shall determine the minimum vertical distance from the bottom of the Enviro-Septic® System Sand to the high ground water table, bedrock or soil with a percolation time (T) less than 1 min/cm or greater than 50 min/cm:

- 5.1.1.1. if T is less than or equal to 6 min/cm, or greater than 50 min/cm, then the vertical separation distance shall be at least 600 mm, or

5.1.1.2. if T is greater than 6 cm/min, or less than or equal to 50 cm/min, then the vertical separation shall be at least 450 mm

5.2. Number of Advanced Enviro-Septic® Pipes Required

5.2.1. This step applies to all options for the Enviro-Septic® System. Each 3050 mm section of the Advanced Enviro-Septic® pipe has the capacity to treat 126 L of wastewater per day, or 41.3 L per metre of pipe. Therefore, the number of Advanced Enviro-Septic® pipes required is determined by:

5.2.1.1. The formula to determine the number of Advanced Enviro-Septic® pipes (NAES) required is: $NAES = Q/126$.

5.2.1.2. The number of Advanced Enviro-Septic® pipes obtained must be rounded up at all times.

5.3. Pipe Spacing Requirements

5.3.1. The Advanced Enviro-Septic® pipes shall be spaced using the following criteria:

5.3.1.1. Centre to centre spacing is the horizontal distance from the centre of one Enviro-Septic® row to the centre of the adjacent row. The minimum centre to centre spacing is 450 mm,

5.3.1.2. Lateral Extension Distance is the distance filled with additional sand material extending from the centre of the last lateral row to the side of the Enviro-Septic® System. The minimum lateral extension is 450 mm, and

5.3.1.3. End Extension Distance is the distance filled with additional sand material extended from the end of a row to the side of the Enviro-Septic® System, the minimum end extension distance is 300 mm.

5.4. Dispersal Surface (DS) – In-ground, partially raised, or above ground

5.4.1. The area (m²) to be covered by the system sand/imported sand in the Enviro-Septic® System shall be equal to or larger than the area determined by the formula $DS = QT/400$, in which the T is the percolation time (T) in min/cm of the native soil – to a maximum of 50 min/cm, and Q is the total daily design sewage flow in (L).

5.4.2. In all Enviro-Septic® System designs, the minimum spacing requirement of 5.3. above shall be met.

5.4.3. Where the area determined using $QT/400$ is larger than that required by the minimum spacing required by 5.3. above, the Advanced Enviro-Septic® pipes shall be evenly spaced over the entire area of the dispersal surface.

5.4.4. The dispersal surface shall have the long dimension perpendicular to the direction in which effluent entering the soil will move horizontally.

5.5. The Enviro-Septic® System shall be designed, installed, operated, and maintained using these criteria:

5.5.1. The system sand shall extend a minimum of 300 mm around the

perimeter of the Advanced Enviro-Septic® Pipe, for systems on ground sloping 10% or less.

- 5.5.2. The system sand shall extend a minimum of 300 mm on three (3) sides and 1200 mm beyond the Advanced Enviro-Septic® pipe on the down-slope side, for systems on ground sloping greater than 10%.
- 5.5.3. No system shall be installed in an area in which the original ground has a slope in excess of 25%.
- 5.5.4. Enviro-Septic® System rows shall be laid level, of equal lengths, and not greater than 30 m in any one row.
- 5.5.5. All pump systems shall use differential venting.
- 5.5.6. Except when used with a "Low Pressure Distribution System", all Enviro-Septic® Systems that have a pump must use a velocity reducer.
- 5.5.7. Venting - Enviro-Septic® Systems shall have a venting system, which is connected to the end of each row of Advanced Enviro-Septic® pipe, and
 - 5.5.7.1. the entry vent must be at least 3000 mm lower than the exit vent,
 - 5.5.7.2. not less than 2000 mm above the ground,
 - 5.5.7.3. not less than 1000 mm above and not less than 3500 mm in any other direction from every other air inlet, openable window, or door, and
 - 5.5.7.4. a minimum of one (1) vent is required for every 300 m of Advanced Enviro-Septic® pipe.
- 5.5.8. The Enviro-Septic® System shall have a sampling device for the purpose of sampling the effluent at the bottom of the system sand.
- 5.5.9. The site shall be protected from erosion by proper grading, mulching, seeding, and runoff control.
- 5.5.10. The Advanced Enviro-Septic® pipes, measured from the centre of the pipes, shall meet the set back requirements outlined in Article 8.2.1.4. of Division B, of the Building Code.
- 5.5.11. No reduction in size of the Enviro-Septic® System is permitted with the use of treatment device beyond that of a septic tank.
- 5.5.12. The Enviro-Septic® System shall comply with the requirements of Article 8.7.2.2. of Division B of Ontario's 2012 Building Code effective January 1, 2018

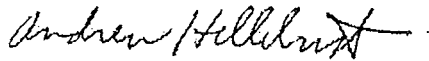
5. General Conditions

1. The use of the Enviro-Septic® System as described in Section 3. and the Specific Terms and Conditions set out in Section 4 must comply with:
 - (a) the *Building Code Act, 1992*, (the "Act") as amended or re-enacted,
 - (b) except as specifically authorized herein, the Building Code as amended or remade, and
 - (c) all other applicable legislation.
2. A copy of this Authorization shall accompany each application for a building permit and shall be maintained on the site of the construction with the building permit.
3. The Applicant specified in Section 1. shall promptly notify the BMEC of:
 - (a) the failure of the Applicant to comply with any of the Specific Terms and Conditions set out in Section 4,
 - (b) the failure of the material, system or building design that is the subject matter of this Authorization to
 - (i) comply with any of the Specific Terms and Conditions set out in Section 4, or
 - (ii) provide a satisfactory level of performance in situ, or
 - (c) the occurrence of any of the events described in General Conditions 5.4.(a), (b), (e) or (f).
4. The BMEC may amend or revoke this Authorization at any time on its own initiative, or at the request of the Applicant specified in Section 1. Without restricting the foregoing, the BMEC may amend or revoke this Authorization where it determines that:
 - (a) any change has been made to:
 - (i) the name of the Applicant specified in Section 1,
 - (ii) the address or other contact name information of the Applicant specified in Section 1,
 - (iii) the ownership of the Applicant specified in Section 1,
 - (iv) the manufacturing facilities specified in Section 2,
 - (v) the material, system, or building design that is the subject matter of this Authorization, or
 - (vi) a test method relevant to this Authorization,
 - (b) the Applicant has failed to comply with any of the terms and conditions set out in this Authorization,
 - (c) in the opinion of the BMEC, the use of the material, system or building design authorized herein provides an unsatisfactory level of performance in situ,
 - (d) in the opinion of the BMEC, amendment or revocation of the Authorization is appropriate on the basis of potential danger to public health and safety,

- (e) the Act or Building Code has been amended, re-enacted or remade in a manner relevant to this Authorization,
- (f) this Authorization was issued on mistaken, false or incorrect information, or
- (g) a revision of an editorial nature is appropriate.

Dated at Toronto this September 27, 2018

BUILDING MATERIALS EVALUATION COMMISSION



Andrew Hellebust

Vice Chair, Building Materials Evaluation Commission

ENCLOSURES: APPENDIX A - SUPPORTING INFORMATION

Appendix A – Supporting Information

The following is a list of the documents that were submitted and reviewed, but were not limited to:

1. Letter from Gunnell Engineering to the BMEC, Subject: Application for New Envrio-Septic® system BMEC Authorization #08-03-340, dated March 26, 2018;
2. BMEC Application Form dated March 23, 2018 and signed by Bert Knip;
3. Envrio-Septic® Wastewater Treatment System – BNQ Bench Test results;
4. Makeway Environmental Technologies Inc., Ontario Testing Summary, 4 pages;
5. BNQ Certificate of Conformity #890, dated October 6, 2008;
6. Bureau De Normalisation Du Quebec "NQ 3680-910/2000-06-16 M1 (2004-09-10) Wastewater Treatment – Stand Alone Wastewater Treatment System for Isolated Dwellings", Performance Evaluation Report of Annex A, dated July 2006.
7. Bureau De Normalisation Du Quebec "NQ 3680-910/2000-0616 M1 (2004-09-10) Wastewater Treatment – Stand Alone Wastewater Treatment System for Isolated Dwellings", Reliability and Performance Evaluation Report of Annex B, dated February 2007;
8. Presby Environmental, Inc. Technical Bulletin Advanced Enviro-Septic Receievs NSF-40 Certification, 1 page, dated October 1, 2009;
9. Manufacturer's Literature, Make-way Environmental Technologies Inc. "Enviro-Septic® System: Design and Installation Manual Province of Ontario", dated September 2018;
10. Manufacturer's Literature, Make-way Environmental Technologies Inc. "Ontario Home Owner's User Guide – Enviro-Septic System", dated April 01, 2018;
11. Manufacturer's Literature, Make-way Environmental Technologies Inc. "Enviro-Septic System – Installation Summary", dated April 2018, 2 pages;
12. Make-way Environmental Technologies Inc. Service Inspection Agreement, not dated;
13. Draft BMEC Authorization provided by manufacturer, 10 pages;
14. DBO Expert Inc. Power Point Presentation, presented April 26, 2018;

15. Letter with attachment from Gunnell Engineering Ltd. to the BMEC, Subject: BMEC Application 2018-01- Enviro-Septic® System Supplementary Information, dated May 22, 2018;
16. Letter from DBO Expert to the BMEC, Subject: BMEC Application 2018-01: The Enviro-Septic System, dated June 29, 2018;
17. Chowdhry, N. A., Domestic sewage treatment by underdrained filter systems, December 1974.

To Whom it May Concern,

Thank you for taking the time to review this application. We originally applied for this variance asking for a 5.0 meter front setback, which was recommended in the original application to be denied. We tabled the application and spoke with the city to make sure we could meet the needs and requirements for all parties and to be able to proceed in accordance with all recommendations. We spoke with Morgan Gowans, who commented on the original application, and advised us that the city would be comfortable with a 5.85 meter setback, which we are happy to accommodate in our amended application.

We have been working diligently to make this home and property work for our growing family with two young kids, meeting regularly with the city to ensure that we work as much as we can to be in alignment with the city's broader vision. We have spent the last 2 years on a consent application to purchased property from our neighbours and have increased our lot size as much as possible, so we have actually brought our lot size from its original size, closer to the city's current vision for rural properties. Our current 900 square foot home is situated closer to the road than neighbouring houses, and in respect of Conservation Halton, we have reached an understanding to build mostly forward or sideways on our addition, rather than backward toward the protected lands. To fit our garage and workshop onto the space, with room to turn into the driveway, this requires us to build forward toward the road for the garage space.

We are happy to be able to make accommodations as the city requires and are pleased to reapply for this minor variance after reaching an agreement with the city. We are happy to call Hamilton our home, and to continue to be active members of this community.

Thank you for your consideration.

Andrew & Cheryl Bradshaw
99 Concession 7 E
Millgrove ON L8B1T7
647-504-6934



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)		
Agent or Solicitor		

1.2 All correspondence should be sent to Purchaser Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Purchaser Applicant Owner AgentSolicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address			
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

lake or other water body
 other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

ditches
 other means (specify)

- 4.6 Type of sewage disposal proposed: (check appropriate box)
 publicly owned and operated sanitary sewage
 system privately owned and operated individual
 septic system other means (specify)
- 4.7 Type of access: (check appropriate box)
 provincial highway right of way
 municipal road, seasonally maintained other public road
 municipal road, maintained all year
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
- 7.4 Length of time the existing uses of the subject property have continued:
- 7.5 What is the existing official plan designation of the subject land?
 Rural Hamilton Official Plan designation (if applicable):
 Rural Settlement Area:
 Urban Hamilton Official Plan designation (if applicable)
 Please provide an explanation of how the application conforms with the Official Plan.

- 7.6 What is the existing zoning of the subject land?
- 7.8 Has the owner previously applied for relief in respect of the subject property?
 (Zoning By-law Amendment or Minor Variance)
 Yes No
 If yes, please provide the file number:

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number:

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes

No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing:

8.2 Number of Dwelling Units Proposed:

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

Application Fee

Site Sketch

Complete Application form

Signatures Sheet

11.4 Other Information Deemed Necessary

Cover Letter/Planning Justification Report

Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance

Minimum Distance Separation Formulae (data sheet available upon request)

Hydrogeological Assessment

Septic Assessment

Archeological Assessment

Noise Study

Parking Study