COMMITTEE OF ADJUSTMENT



City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION	DN/A-23:252	SUBJECT	3 CRAWFORD COURT, DUNDAS
NO.:		PROPERTY:	
ZONE:	"R1" (Single Detached	ZONING BY-	Zoning By-law former Town of
	Residential)	LAW:	Dundas 3581-86, as Amended

APPLICANTS: Owner: JASON BECKETT & ANNIE DELGUIDICE

Agent: JENNY BOGNAR

The following variances are requested:

- 1. A maximum side yard setback of 0.93 metre to the addition shall be provided whereas the by-law requires a minimum side yard setback of 1.5 metres.
- 2. A maximum rear yard setback of 5.80 metres to the addition shall be provided whereas the by-law requires a minimum rear yard setback of 7.5 metres.

PURPOSE & EFFECT: To permit the construction of a rear yard addition to an existing single

detached dwelling.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, November 2, 2023
TIME:	9:55 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2 nd floor City Hall, room 222 (see attached sheet for
	details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at
	www.hamilton.ca/committeeofadjustment

DN/A-23:252

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, <u>including deadlines</u> for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding DN/A-23:252, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



DATED: October 17, 2023

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



COMMITTEE OF ADJUSTMENT

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E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners <u>must register by noon the day before the hearing</u> to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

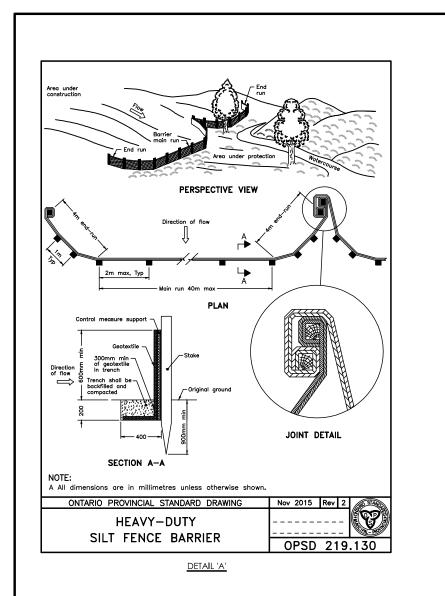
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

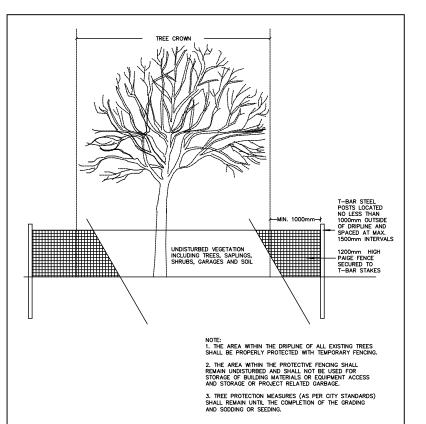
We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



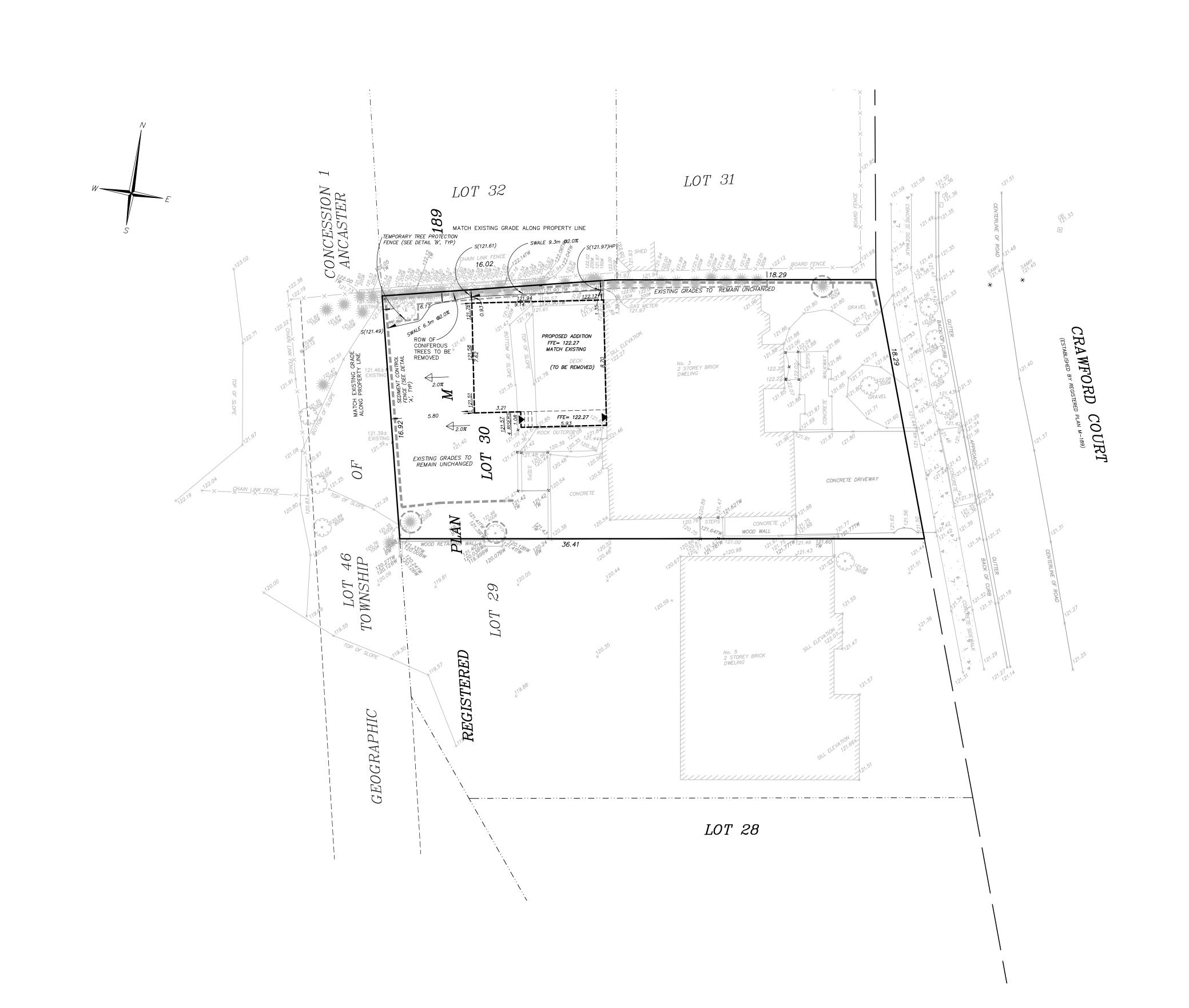
EROSION AND SILTATION CONTROL

- a) install all erosion and sediment control measures approved by the City of Hamilton, prior to development, and maintain such measures throughout the construction process, until all disturbed areas have been re-vegetated; and,
- b) inspect and maintain all erosion and sediment control measures after each rainfall to the satisfaction of the City and maintain a diary for review upon request by the City; and,
- c) provide suitable temporary mulch and seed cover within seven (7) days
- of the competition of a particular phase of construction for any disturbed area not scheduled for further construction within forty—five (45) days; and,
- d) re-vegetate all disturbed areas with permanent cover immediately
- following completion of construction. e) Additional silt control locations may be required as determined by the City of Hamilton.



<u>DETAIL 'B'</u> TEMPORARY TREE PROTECTION FENCING

TYPICAL SWALE CROSS-SECTION N.T.S. SODDED SIDES & BOTTOM ON 100mm TOPSOIL



JASON BECKETT KEY PLAN

> SITE & GRADING PLAN LOT 30 REGISTERED PLAN M-189

CITY OF HAMILTON

AMAD NAJM, PENG. Caution: This is not a plan of survey and shall not be used except for the purpose indicated in the title block.

BENCH MARK

NOTE:

Swales to be placed in a manner to meander around trees where grades permit to reduce impact on adjacent trees

CITY OF HAMILTON MONUMENT No: 07720090009

RIB WITH BRASS CAP LOCATED IN HAMILTON IN ELMAR PARK WEST OF THE INTERSECTION OF BRIGADE DRIVE AND EMPEROR AVENUE 30m WEST OF THE CENTERLINE BRIGADE DRIVE.

ELEVATION= 209.445m

The builder is to verify the location and grade of all sewer and water services prior to setting u/s footings elevation

The builder is to verify the location of all street hardware and utilities prior to construction. that hydro vaults and other street 1.2 metres from the Driveways and/or driveway approaches shall be located such furniture are minimum projections of the outside garage walls unless otherwise detailed on the lot grading plan.

RAINWATER LEADERS All rainwater leaders shall discharge onto splash pads and then to grassed or landscaped areas a minimum of 0.6m from the building face

MUNICIPAL No 3 CRAWFORD COURT, DUNDAS PROPOSED ADDITION
TWO STOREY DWELLING
SINGLE DETACHED RESIDENTIAL "R1" ZONING (3581–86 DUNDAS)

626.57m² MIN. SIDE YARD MIN. REAR YARD 5.80m

(a) THE ELEVATIONS SHOWN ON THIS PLAN WERE OBTAINED BY ACTUAL FIELD SURVEY BY A. J. CLARKE & ASSOCIATES LTD. DATED JULY 5, 2023

DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND: 000.00 EXISTING GROUND ELEVATION 000.00± ELEVATION TO MATCH EXISTING (000.00) PROPOSED FINISHED GROUND ELEVATION 000.00 PROPOSED FINISHED GROUND ELEVATION AT DWELLING S(000.00) PROPOSED SWALE INVERT ELEVATION PROPOSED DIRECTION OF SURFACE DRAINAGE FLOW
DENOTES DOWNSPOUT DENOTES ENTRANCE DOOR LOCATION

DENOTES SHEET FLOW DIRECTION
HYD DENOTES HYDRANT DENOTES LIGHT STANDARD DENOTES UTILITY POLE 400¢ DENOTES 400mm DIA. TREE WV DENOTES WATER VALVE DENOTES CATCH BASIN DENOTES TOP OF CURB

DENOTES BOTTOM OF CURB DENOTES SEDIMENT CONTROL FENCE (SEE DETAIL 'A') DENOTES DECIDUOUS TREE

DENOTES TEMPORARY TREE PROTECTION FENCE (SEE DETAIL 'B')



DENOTES TREE TO BE REMOVED



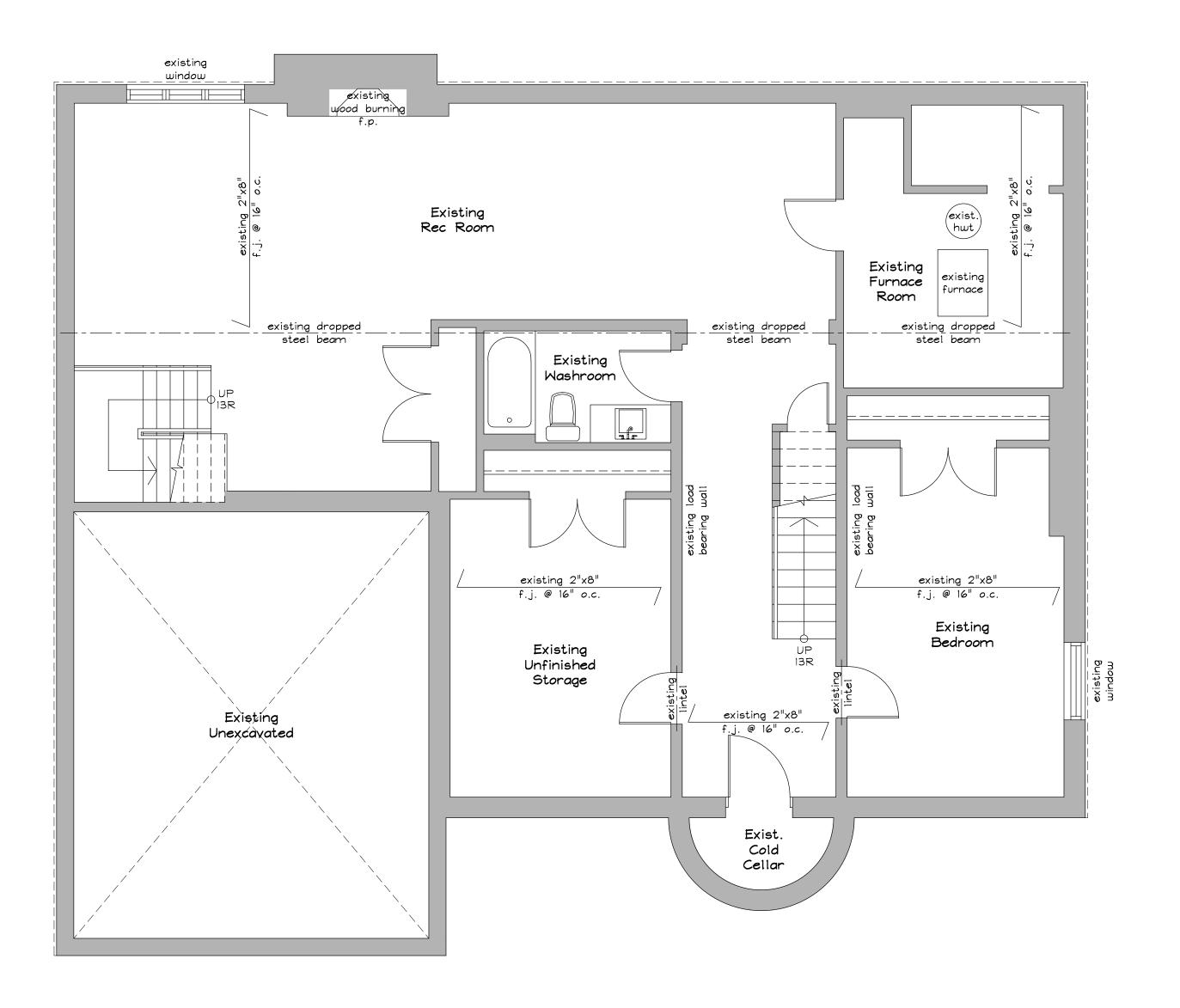
SEPTEMBER 07, 2023 DATE



A. J. Clarke and Associates Ltd. SURVEYORS • PLANNERS • ENGINEERS 25 MAIN STREET WEST, SUITE 300 HAMILTON, ONTARIO, L8P 1H1 TEL. 905-528-8761 FAX 905-528-2289

email: ajc@ajclarke.com DRAWN BY: CHECKED BY: PROJECT No. WS KB, AN 238086R H: $62\m189\Lot 30\3$ Crawford Court, Dundas (238086R)\Current Work\T-3547A.dwg

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1 EXISTING BASEMENT PLAN
A1 1/4" = 1'-0"

THE BECKETT RESIDENCE

3 CRAWFORD COURT DUNDAS, ON L9H 6G2



Jennifer Bognar reviews and takes responsibility for the design work described in this document firm bcin 103416 • individual bcin 33001

1	DATE	ISSUE DESCRIPTION
	04.30.23	ISSUED FOR REVIEW
	05.11.23	ISSUED FOR REVIEW
	09.21.23	ISSUED FOR MV
	·	

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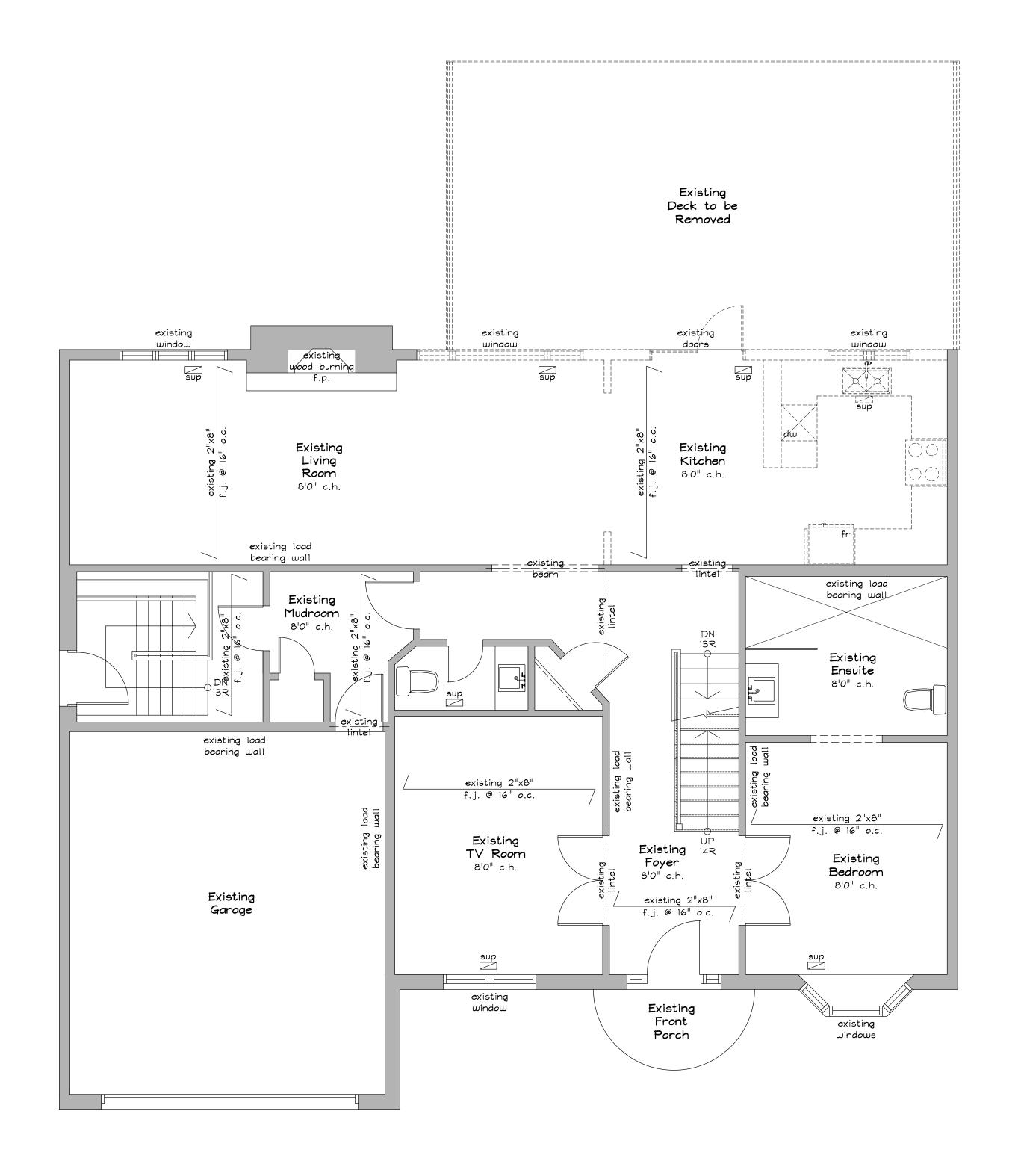
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EXISTING BASEMENT PLAN

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A1





THE BECKETT RESIDENCE

3 CRAWFORD COURT DUNDAS, ON L9H 6G2



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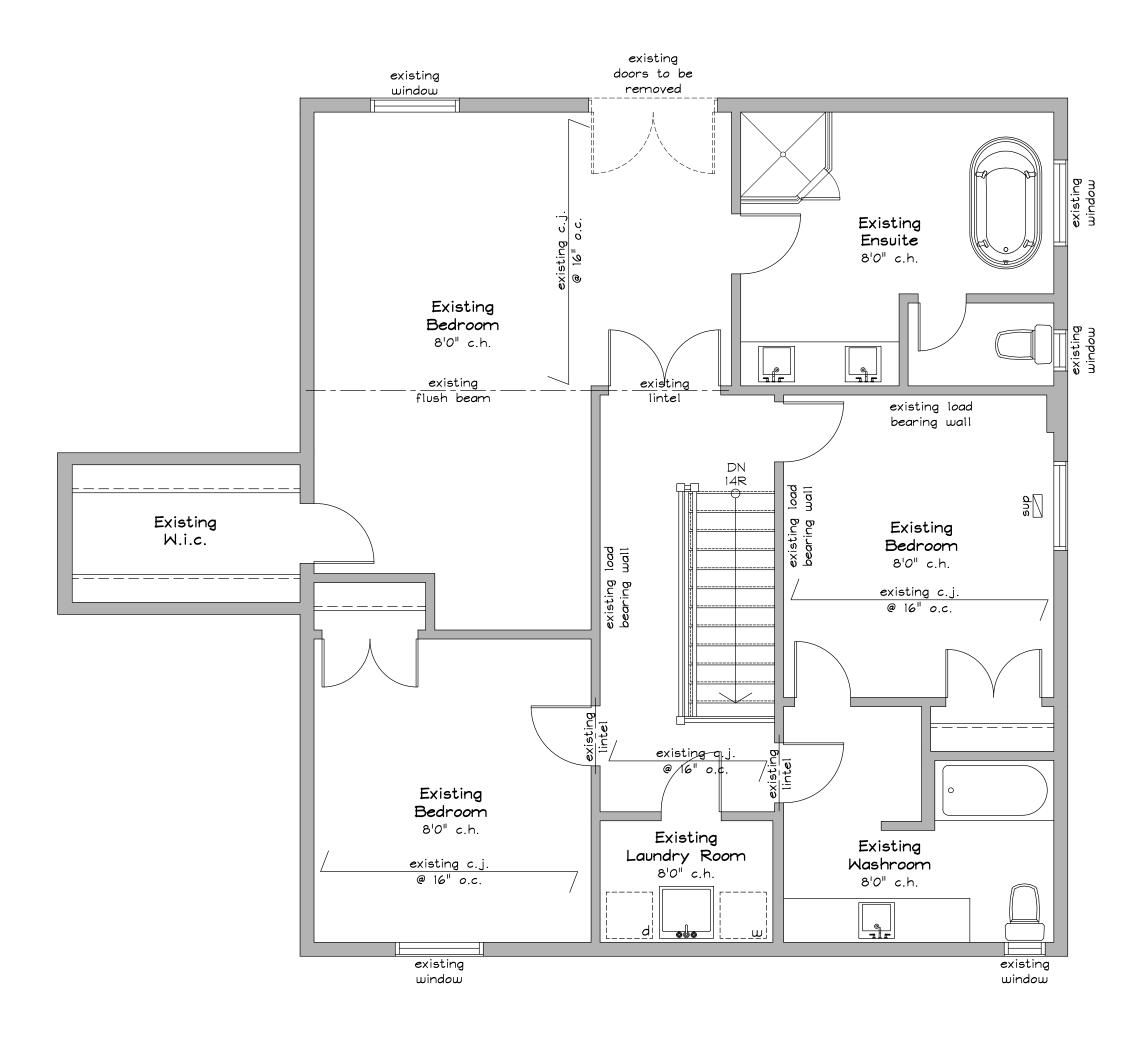
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EXISTING FIRST FLOOR PLAN

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A2



1 EXISTING SECOND FLOOR PLAN
A3 1/4" = 1'-0"

THE BECKETT RESIDENCE

3 CRAWFORD COURT DUNDAS, ON L9H 6G2



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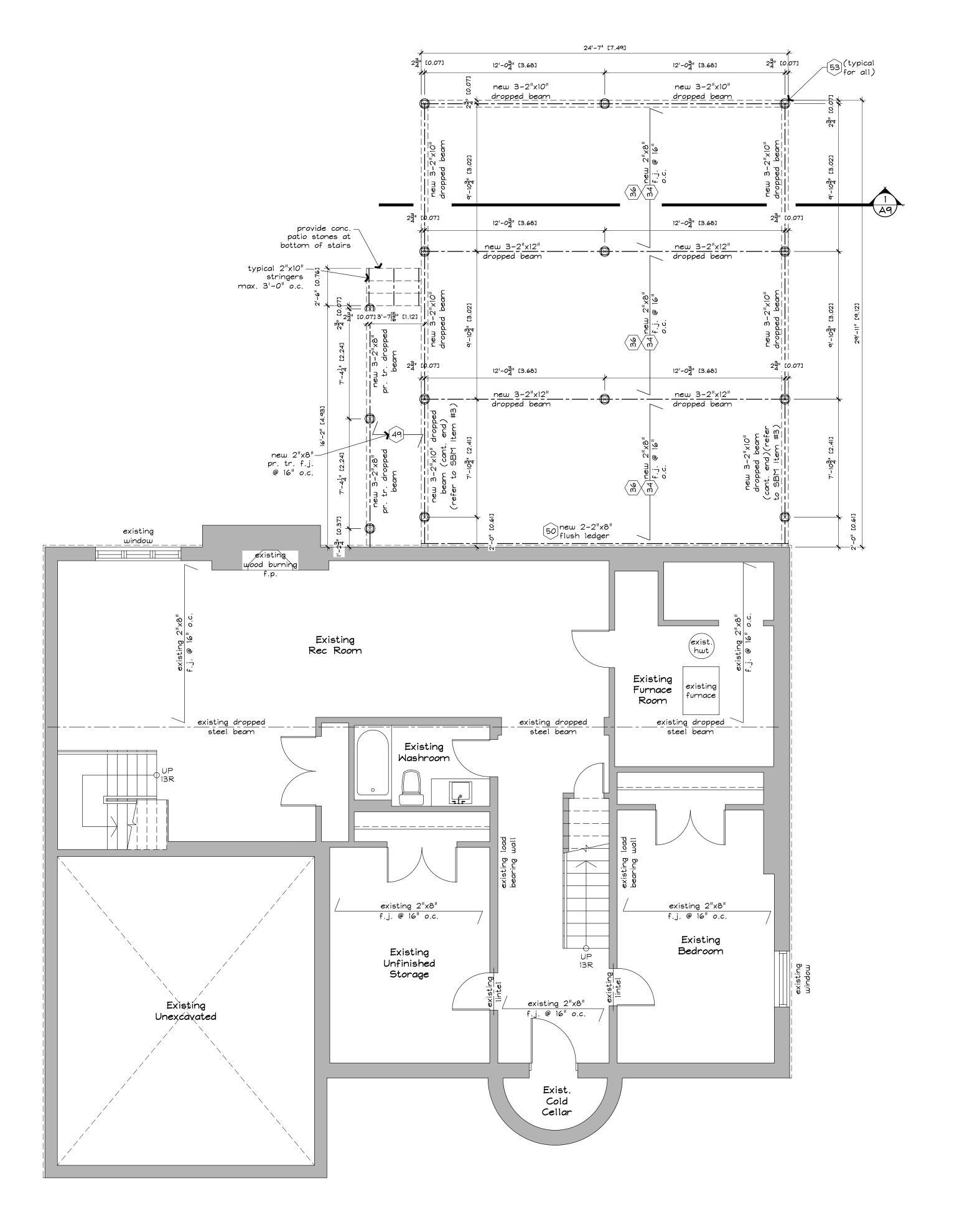
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EXISTING SECOND FLOOR PLAN

IEET

A3

oe 1 C



1 PROPOSED FOUNDATION PLAN A4 1/4" = 1'-0"

THE BECKETT RESIDENCE

3 CRAWFORD COURT DUNDAS, ON L9H 6G2



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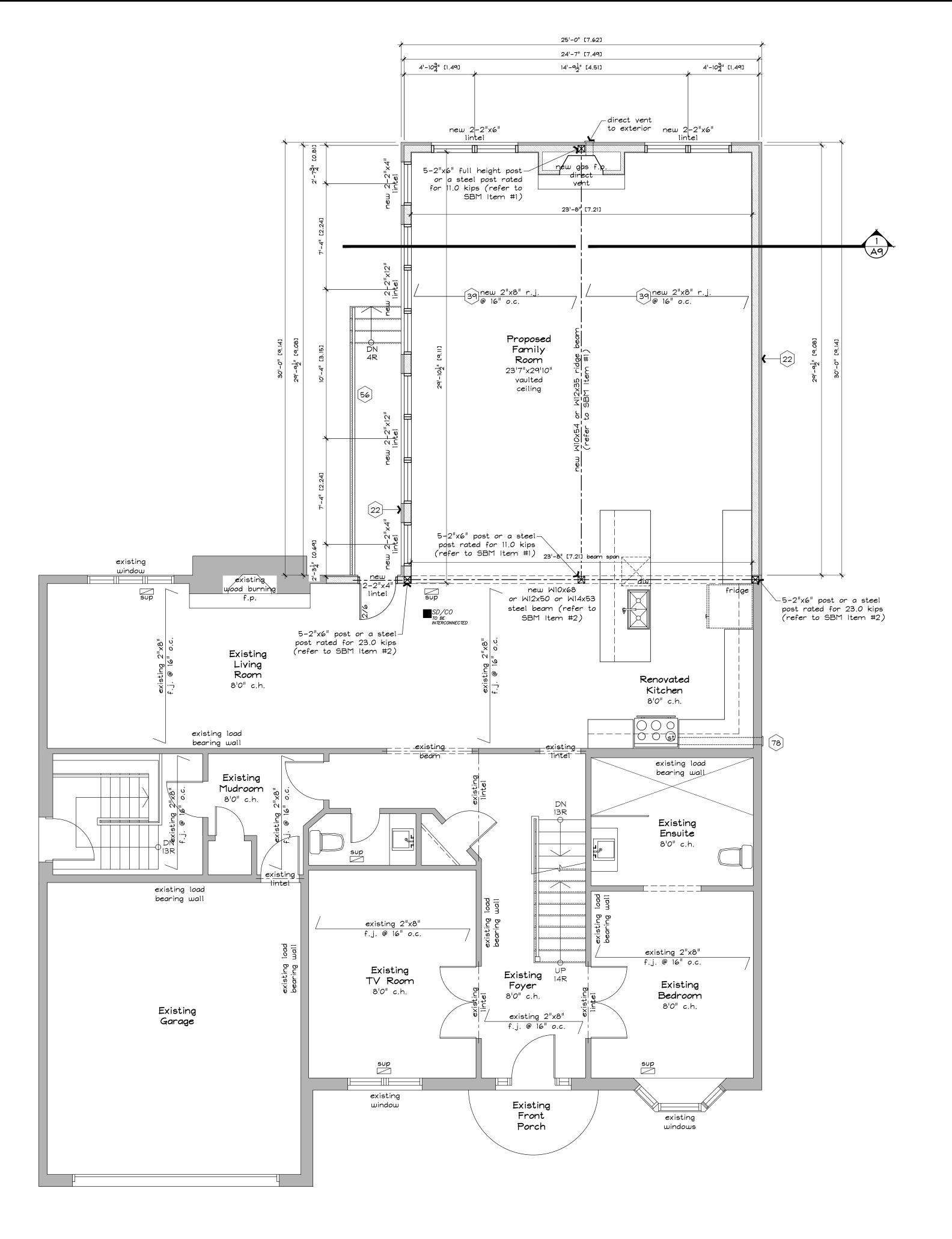
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PROPOSED FOUNDATION PLAN

A4

OF 1 C



1 PROPOSED FIRST FLOOR PLAN
A5 1/4" = 1'-0"

THE BECKETT RESIDENCE

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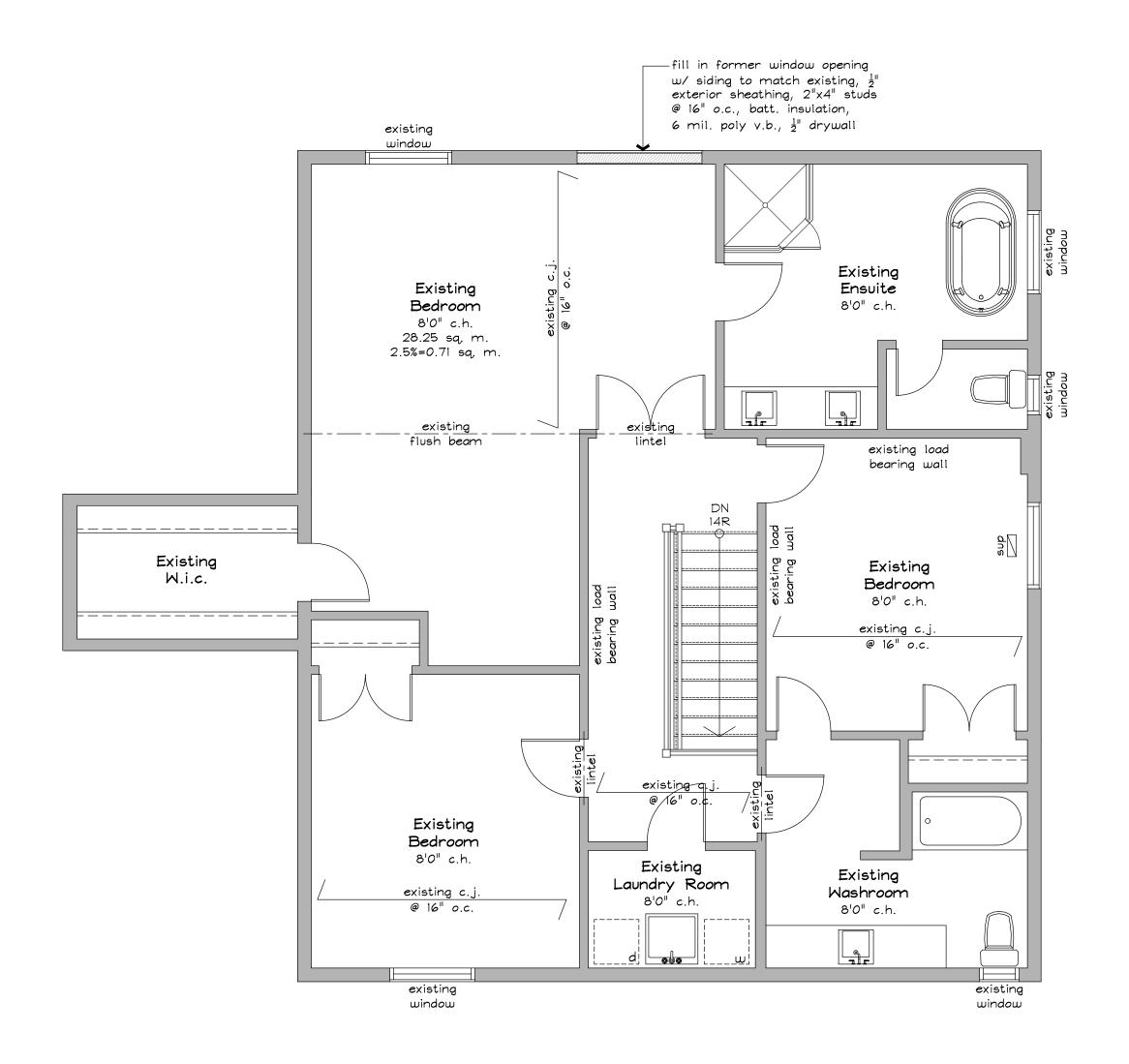
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PROPOSED FIRST FLOOR PLAN

A5

oe 10



1 PROPOSED SECOND FLOOR PLAN
A6 1/4" = 1'-0"

THE BECKETT RESIDENCE

3 CRAWFORD COURT DUNDAS, ON L9H 6G2



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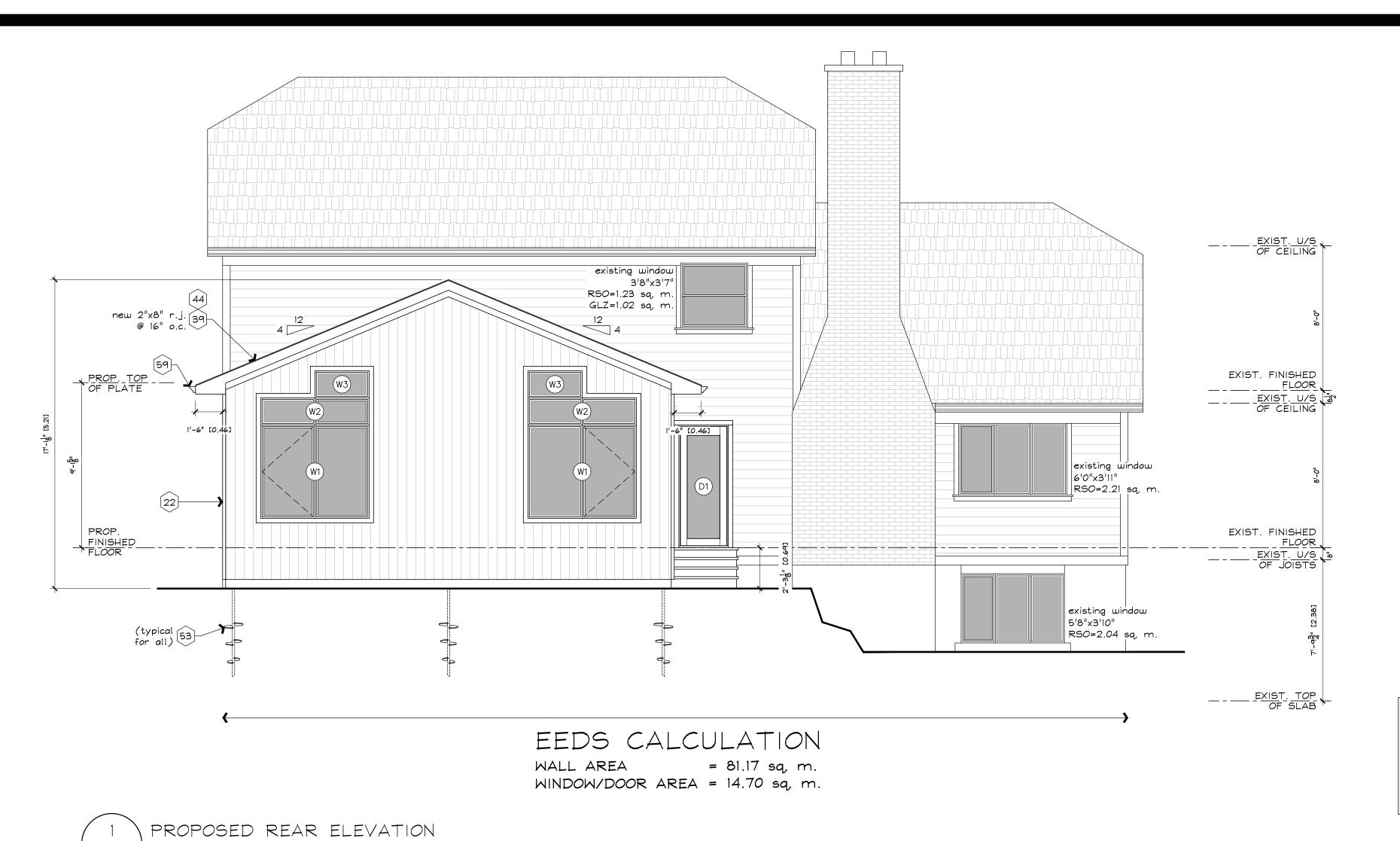
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PROPOSED SECOND FLOOR PLAN

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A6

oe 1 C



FULL HOUSE EEDS CALCULATION

____ <u>EXIST</u>._<u>TOP</u> ____

WALL AREA = 355.40 sq, m. WINDOW/DOOR AREA = 43.34 sq. m. WINDOW/DOOR AREA % = 12.19%

 $A7 \int 1/4'' = 1'-0''$ ____EXIST._U/S new 2"x8" r.j. 39 @ 16" o.c. EXIST. FINISHED

FLOOR

EXIST. U/S

OF CEILING 10" [0.25] existing transom 3'1"x2'9" RSO=0.82 sq. m. 22 existing door 3'1"x6'9-1/2" PROP. FINISHED FLOOR EXIST. FINISHED
FLOOR
EXIST. U/S
OF JOISTS GLZ=0.40 sq, m. (typical 53)

EEDS CALCULATION

WALL AREA = 104.59 sq, m. WINDOW/DOOR AREA = 16.08 sq. m.

THE BECKETT RESIDENCE

3 CRAWFORD COURT DUNDAS, ON L9H 6G2



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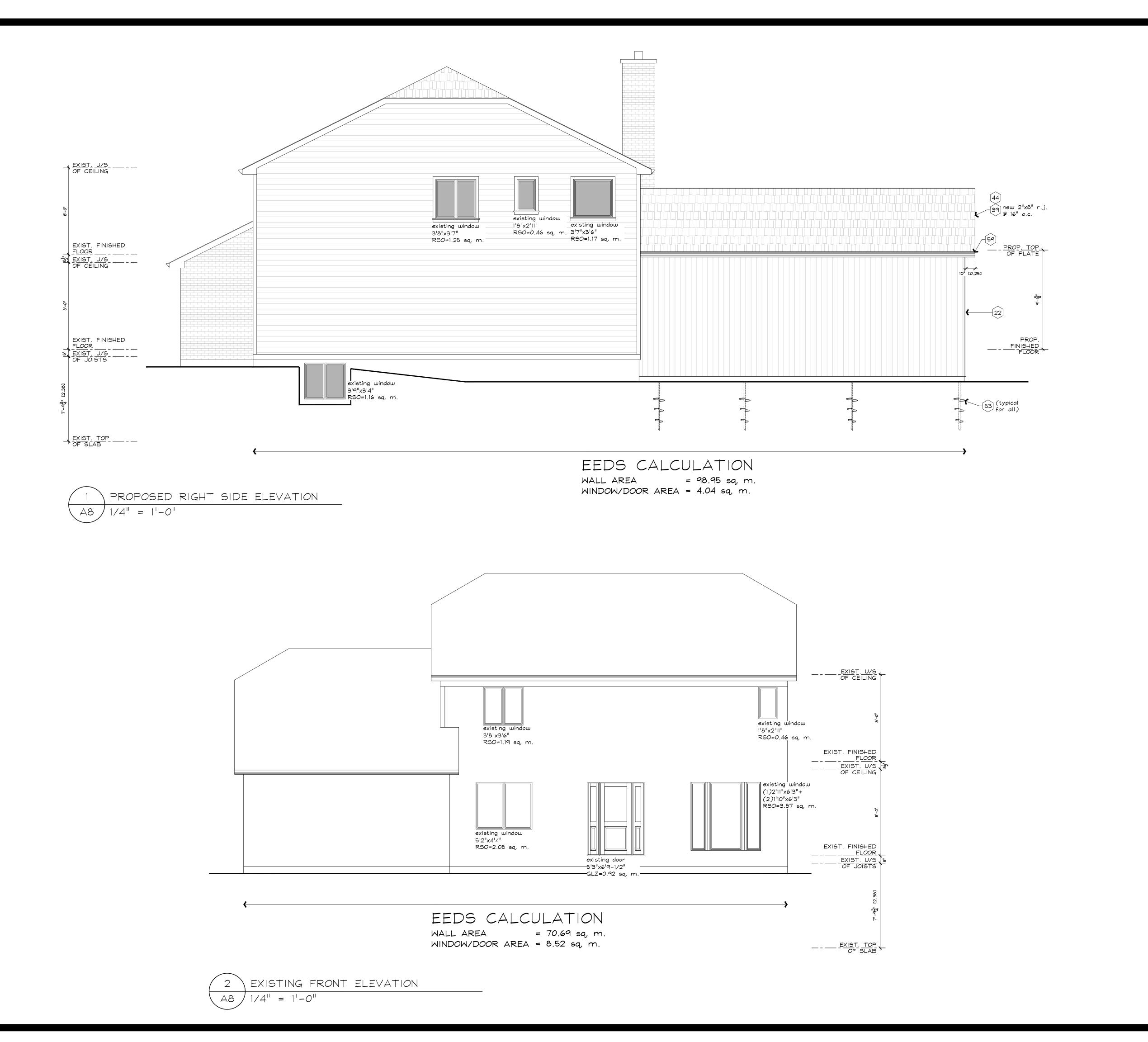
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PROPOSED **ELEVATIONS**

A7

PROPOSED LEFT SIDE ELEVATION



THE BECKETT RESIDENCE

3 CRAWFORD COURT DUNDAS, ON L9H 6G2



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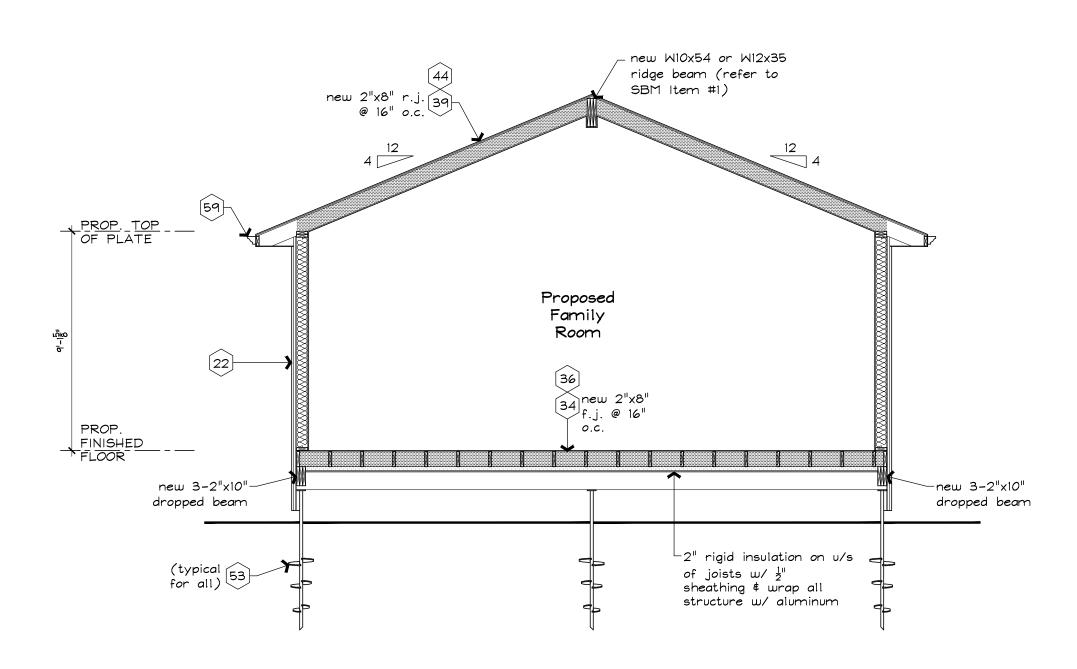
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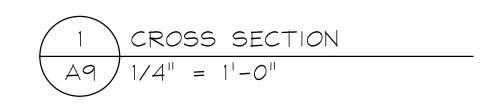
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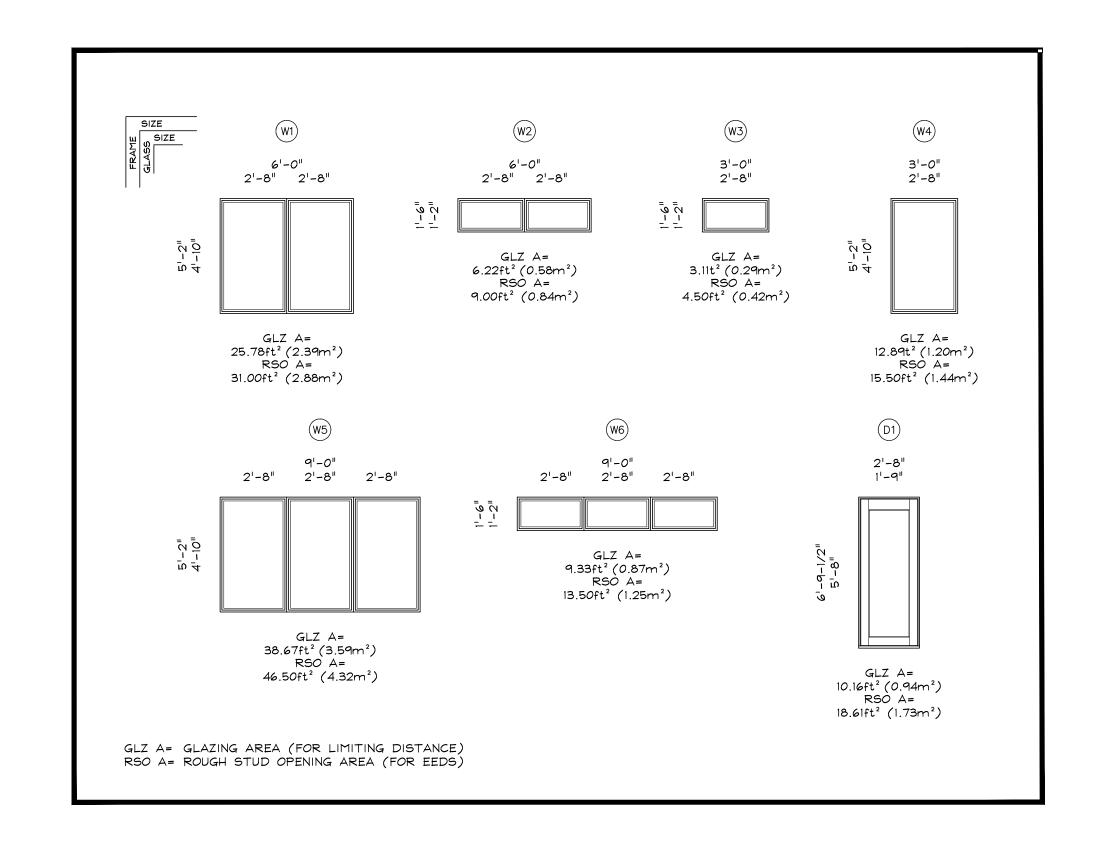
PROPOSED ELEVATIONS 2

A8

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ZONE 1 - TABLE 3.1.1.11.(IP) ADDITIONS			
COMPONENT	THERMAL VALUES MIN. NOMINAL R/MIN. NOMINAL RSI		
CEILING WITH ATTIC SPACE	R.60/10.56		
CEILING WITHOUT ATTIC SPACE	R.31/5.46		
EXPOSED FLOOR	R.31/5.46		
WALLS ABOVE GRADE	R.19+5ci/3.34+0.88ci		
BASEMENT WALLS	R.12+10ci/2.11+1.76ci		
BASEMENT GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE			
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	R.10/1.76		
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	R.10/1.76		
WINDOWS OR SLIDING GLASS DOORS	MAX. U 0.28/1.6		





THE BECKETT RESIDENCE

3 CRAWFORD COURT DUNDAS, ON L9H 6G2



Jennifer Bognar reviews and takes responsibility for the design work described in this document firm bcin 103416 individual bcin 33001

DATE	ISSUE DESCRIPTION
04.30.23	ISSUED FOR REVIEW
05.11.23	ISSUED FOR REVIEW
09.21.23	ISSUED FOR MV

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY. THE DESIGNER IS NOT LIABLE FOR ANY CHANGES MADE BY THE CONTRACTOR WITHOUT THE DESIGNERS KNOWLEDGE AND PERMISSION.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF JB DRAFTING AND DESIGN. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

CROSS SECTION & DETAILS

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GENERAL STRUCTURAL NOTES

- GENERAL

 1. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, 2012 EDITION, INCLUDING ALL CURRENT REVISIONS, WITH ALL OTHER APPLICABLE REGULÁTIONS, AND WITH GOOD CONSTRUCTION PRACTICE. 2. CHECK ALL DIMENSIONS SHOWN ON STRUCTURAL DRAWINGS WITH ARCHITECTURAL
- MECHANICAL, AND ELECTRICAL DRAWINGS AND REPORT ANY INCONSISTENCIES TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. 3. DESIGN LIVE LOADS FOR EACH PORTION OF THE STRUCTURE ARE INDICATED ON THE DRAWINGS DO NOT EXCEED THESE LOADS DURING CONSTRUCTION 4. STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE
- ARCHITECTURAL DRAWINGS 5. STRUCTURES SHALL CONFORM TO O.B.C. PART 9, OF MOST RECENT VERSION, UNLESS OTHERWISE NOTED.

FOUNDATIONS AND FORMED CONCRETE 1. ALL CONCRETE CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD A23.1-04. 2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS NOTED BELOW: FOOTINGS - 20 MPa

- PIERS AND WALLS 25 MPa INTERIOR SLABS - 25 MPa DEICING SALTS EXPOSURE CONCRETE - 32 MPa C-2 EXP. CLASS 3. CONCRETE EXPOSED TO WEATHERING SHALL HAVE 5% TO 7% ENTRAINED AIR.
- 4. CONCRETE COVER TO REINFORCING STEEL SHALL BE 3" - FOR CONCRETE PLACED AGAINST EARTH
- 2" FOR CONCRETE EXPOSED TO EARTH AND WEATHER (AND AS OTHERWISE NOTED IN A23.1-D4)
- 5. PROVIDE DEFORMED REINFORCING STEEL CONFORMING TO CSA STANDARD G30.18M. JSE GRADE 300R BARS FOR STIRRUPS AND TIES, AND GRADE 400R BARS FOR ALL OTHER REINFORCING 6. ALL FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUPPORTING: 2000 PSF (SLS)
- 3000 PSF (ULS) CONTRACTOR IS TO VERIFY THIS PRIOR TO PLACING CONCRETE 7. FILL DIRECTLY UNDER FLOOR SLAB SHALL BE MECHANICALLY COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DENSITY. 8. DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN
- ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS, FOR STEPPED FOOTINGS, USE STEPS NOT EXCEEDING 2'-0" IN HEIGHT 9. PROVIDE A MINIMUM 4'-0" EARTH COVER TO THE UNDERSIDE OF ALL CONCRETE
- WALLS AND FOOTINGS FOR FROST PROTECTION. PROTECT SOIL FROM FREEZING TO AND BELOW ALL FOOTINGS. 10. FOOTING ELEVATIONS CONFORMING TO NOTES 6, 8 AND 9 ABOVE AND BASED ON
- THE INFORMATION AVAILABLE AT THE TIME OF TENDER HAVE BEEN SHOWN ON THE DRAWINGS. IF UPON EXCAVATION TO THE LEVELS SHOWN, THESE CONDITIONS ARE NOT FULFILLED AT HIGHER ELEVATIONS THAN INDICATED, FOOTINGS MAY BE RAISED OR LOWERED, BUT ONLY WITH THE PERMISSION OF THE ENGINEER. 11. PROVIDE 3" SKIM COÅT UNDER ALL FOOTINGS BELOW THE WATER TABLE. 12. DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (OTHER THAN
- CANTILEVERED WALLS) UNTIL THE FLOORS CONSTRUCTED AT THE TOP AND BOTTOM OF WALL ARE IN PLACE AND HAVE ATTAINED THEIR DESIGN STRENGTH. 13. BACKFILL AGAINST FOUNDATION WALLS IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 1'-6" DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL, EXCEPT WHERE TEMPORARY

- UNIT MASONRY ALL MASONRY CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD A371-04. ALL MASONRY REINFORCING AND TYING SHALL BE IN ACCORDANCE WITH CSA STANDARDS A370-04, AND S304.1-04. ALL MASONRY AND GROUT SHALL BE IN ACCORDANCE WITH CSA STANDARDS A179-04. CONCRETE MASONRY UNITS SHALL BE TYPE H/15 A/M NORMAL WEIGHT BLOCKS
- MORTAR FOR EXTERIOR MASONRY SHALL BE TYPE S - LOAD BEARING BELOW GRADE, AND TYPE S - LOAD BEARING ABOVE GRADE. MORTAR FOR INTERIOR MASONRY SHALL BE TYPE S - LOAD BEARING, AND

UNLESS OTHERWISE NOTED

- 4. CONCRETE GROUT FOR REINFORCED MASONRY SHALL CONSIST OF ONE PART PORTLAND CEMENT AND THREE PARTS SAND WITH WATER TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH OF 10 MPa AT 28 DAYS. MAXIMUM AGGREGATE SIZE SHALL BE 3", SLUMP FOR THE GROUT SHALL BE 8" TO 10". 5. CONSTRUCT MASONRY EVENLY IN MAXIMUM LIFTS OF 4' PER WORKING DAY. RAKE
- . WHERE BEAMS, JOISTS, OR LINTELS ARE SUPPORTED ON MASONRY WALLS, BUILD SOLID MASONRY TIGHT AROUND MEMBERS AT THEIR POINT OF BEARING. INSTAL STEEL BEARING PLATES COMPLETE WITH ANCHORS INTO THE MASONRY WALL THE SPECIFIED ELEVATION. FILL VOIDS IN MASONRY UNITS BELOW THE PADS WITH CONCRETE GROUT AND 1-15M BAR IN EACH CELL (MIN. 2 CELLS) TO FULL HEIGHT OF THE WALL BELOW THE BEARING LEVEL.

 7. VERTICAL CONTROL JOINTS SHALL BE LOCATED AT MAXIMUM SPACING OF 16' TO

BACK ENDS OF UNFINISHED WALLS; DO NOT TOOTH AND BOND NEW MASONRY.

- 20' OR AS LOCATED ON THE DRAWINGS. 8. OVER ALL OPENINGS OR RECESSES IN THE MASONRY WALLS, INCLUDING THOSE REQUIRED FOR MECHANICAL OR ELECTRICAL EQUIPMENT, PROVIDE AND INSTALL STEEL LINTELS AS ON TYPICAL DETAILS, EXCEPT WHERE NOTED OTHERWISE ON
- 9. TRIM ALL OPENINGS IN MASONRY WALLS WITH 2-15M BARS GROUTED VERTICALLY INTO THE BLOCK VOIDS. TYPICAL UNLESS OTHERWISE NOTED. 10. PROVIDE VERTICAL AND HORIZONTAL REINFORCING AS FOLLOWS UNLESS OTHERWISE

THE DRAWINGS. FOR OPENINGS LESS THAN 18", PROVIDE 1/4" THICK MILD STEEL

- SHOWN ON THE DRAWINGS: 8" CONCRETE BLOCK VERTICAL REINFORCING - 15M @ 32" O.C. HORIZONTAL REINFORCING - HEAVY DUTY TRUSS TYPE EVERY SECOND BLOCK COURSE
- 10" CONCRETE BLOCK VERTICAL REINFORCING - 20M @ 24" O.C. HORIZONTAL REINFORCING - HEAVY DUTY TRUSS TYPE EVERY SECOND BLOCK COURSE

STRUCTURAL STEEL 1. ALL STRUCTURAL STEEL WORK, INCLUDING DESIGN OF ALL COMPONENTS, SHALL BE CARRIED OUT IN ACCORDANCE WITH CAN/CSA-SI6-01 EXCEPT WHERE OTHERWISE

- 2 PROVIDE NEW STRUCTURAL STEEL CONFORMING WITH CSA STANDARD GAO 21-04 PROVIDE GRADE 50W FOR ROLLED SHAPES AND PLATES, AND GRADE 50W FOR HOLLOW STRUCTURAL SECTIONS. ALL STRUCTURAL STEEL SHALL BE PAINTED
- CONFORMING TO CISC/CPMA STANDARD 1-730 ALL BOLTS SHALL BE ASTM A325 OR BETTER HIGH STRENGTH BOLTS. ANCHOR
- ALL BEAM-TO-BEAM AND BEAM-TO-COLUMN CONNECTIONS SHALL BE DOUBLE ANGLE UNLESS OTHERWISE NOTED 5. WELD ALL JOISTS AND BEAMS TO BEARING PLATES OR SUPPORTING MEMBERS

- ALL WELDING SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD W59-03. THE FABRICATOR SHALL BE FULLY APPROVED BY THE CANADIAN WELDING BUREAU IN CONFORMANCE WITH THE CSA STANDARD W47.1-03. HOT DIP GALVANIZE ALL STEEL LINTELS AND SHELF ANGLES IN EXTERIOR WALLS AND ALL STEEL EXPOSED TO WEATHER. 8. ALL BASE PLATES TO BE 1/2" THICK, UNLESS OTHERWISE NOTED.
- WOOD FRAMING

 1. WOOD STRUCTURAL ELEMENTS SHALL COMPLY WITH CSA STANDARD 086-01.

 2. WOOD SHALL BE GRADE MARKED TO CONFORM TO CSA STANDARD 0141-05. SAWN LUMBER SHALL BE SPF NO. 1 AND NO. 2 IN THE RATIO OF 67% (MINIMUM) AND 33% ENGINÉERED WOOD BEAM MEMBERS SHALL BE 1.7E GRADE LVL BY TRUSS JOIST OR

APPROVED EQUAL OR BETTER. MULTI-PLY MEMBERS SHALL BE INTERCONNECTED IN

CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS. SIDE LOADED (FLUSH) MULTI-PLY BEAMS SHALL BE INTERCONNECTED WITH 2 ROWS OF 1/8" DIAMETER THRU-BOLTS AT 12" O.C.
4. ALL BOLTS SHALL BE A307 GRADE OR BETTER. ENGINEERED WOOD JOIST MEMBERS SHALL BE TJI JOISTS BY TRUSS JOIST OR APPROVED EQUAL OR BETTER PROVIDE 2-2"x4" OR 2-2"x6" (TO MATCH THICKNESS OF STUDS) SOLID SUPPORT POST UNDER EACH END OF ALL TIMBER BEAMS, UNLESS OTHERWISE NOTED.

7. TRUSS/FLOORING DESIGNER SHALL PROVIDE A SITE MEASURE OF EXISTING AND

ENGINEERED PRODUCTS. DESIGN LOADING (SERVICE LOADS) 1. ROOF STRUCTURE

DEAD LOAD = 18.0 PSF LIVE LOAD = 24.0 PSF FLOOR STRUCTURE DEAD LOAD = 25.0 PSF LIVE LOAD = 40.0 PSF

GENERAL INSULATION NOTES: ANY SPRAY FOAM INSULATION TO BE CLOSED CELL "BASE WALLTITE"

NEW FOUNDATION OR FRAMING STRUCTURE PRIOR TO THE ORDERING OF ANY

2. ANY RIGID INSULATION OR SPRAY FOAM TO BE FINISHED WITH 2" DRYWALL.

GENERAL GAS PROOFING NOTES

- ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE AND GASOLINE FUMES INTO THE DWELLING. 2. PROVIDE 1/2" DRYWALL WITH MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING. 3. CAULK BETWEEN GYP. BOARD AND OTHER SURFACES W/ ACOUSTIC SEALANT
- CAULK ALL PENETRATIONS SUCH AS HOSE BIBS W/ ACOUSTIC SEALANT. DOORS BETWEEN GARAGE AND DWELLING SHALL BE TIGHT FITTING AND WEATHER STRIPPED AND PROVIDED WITH A SELF CLOSING DEVICE.
- GARAGE SLAB SHALL BE SLOPED TO DRAIN OUTDOORS. WHERE AN ATTACHED GARAGE IS ADJACENT TO AN ATTIC SPACE, CARRY DRYWALL UP TO ROOF SHEATHING AND CAULK WITH ACOUSTIC SEALANT 3. WHERE MASONRY WALLS FORM THE SEPARATION BETWEEN THE DWELLING AND ATTACHED, GARAGE, THEY SHALL BE PROVIDED WITH 2 COATS OF SEALER OR COVERED WITH PLASTER OR GYP. BOARD ON THE GARAGE SIDE.

GENERAL WORK NOTES:

- 1. ALL CONSTRUCTION TO MEET OR EXCEED THE LATEST EDITION OF THE ONTARIO 2. CONTRACTOR TO INSPECT SITE PRIOR TO BID SUBMISSION AND REPORT ANY
- DISCREPANCIES TO THE DESIGNER.

 3. ENSURE THAT ALL CONSTRUCTION MATERIALS, METHODS OR CONSTRUCTION AND EMPORARY BRACING COMPLY WITH REQUIREMENTS OF JURISDICTIONAL AUTHORITY 4. CONTRACTOR TO ENSURE PROPER SHORING/TEMPORARY WALLS ARE PROVIDED FOR REMOVAL OF LOAD BEARING WALLS/BEAMS OR STRUCTURE. 5. CONTRACTOR/EXCAVATOR TO PROVIDE ALL NECESSARY SHORING FOR FOUNDATION EXCAVATION, FOR ALL SURROUNDING STRUCTURES
- 6. MAKE GOOD ALL AREAS OF WORK AND SURFACES DISTURBED BY CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT. . CONTRACTOR SHALL COORDINATE STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK IN ORDER TO ENSURE THAT THE PARTS OF THE WORK COME TOGETHER
- PROPERLY. 8. SITE VERIFY ALL DIMENSIONS AND MAKE MODIFICATIONS TO SUIT EXISTING CONDITIONS AT THE DIRECTION OF THE DESIGNER. 9. CABINET FABRICATOR TO WORK WITH OWNER AND SUPPLY SHOP DRAWINGS FOR ALL RELATED WORK
- 10. WINDOW SUPPLIER TO WORK WITH OWNER AND SUPPLY SHOP DRAWINGS FOR ALL PROPOSED WINDOWS AND DOORS TO BE INSTALLED.

 1. OWNER WILL PAY THE COST OF BUILDING PERMITS, THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL OTHER PERMITS, AND FEES REQUIRED FOR CONSTRUCTION AND INSTALLATION OF SERVICES, EQUIPMENT, SIGNAGE, TEMPORARY HYDRO, AND OCCUPANCY.
- 10. PLANS SHOWN HERE DO NOT REPRESENT THE FULL LIMIT OF THE SCOPE OF THE WORK. PROVIDE BLOCKING CUTTING, PATCHING AND ALL REMEDIAL WORK IN ORDER TO ENSURE ALL PARTS OF THE WORK PERFORMED INTERFACE PROPERLY
- AND CONFORM TO CODE.

 11. ALL FINISHES TO BE MADE GOOD IN ALL AREAS DAMAGED BY NEW OR RENOVATED CONSTRUCTION TO MATCH EXISTING OR PROVIDE RECOMMENDATIONS TO OWNER AND THE DESIGNER FOR APPROVAL PRIOR TO COMMENCEMENT OR WORK. ELECTRICAL CONTRACTOR TO ASSESS EXISTING INCOMING SERVICE AND MAKE
- RECOMMENDATION TO OWNER. 13. ELECTRICAL AND GENERAL CONTRACTOR TO CONDUCT WALK THROUGH WITH OWNER AFTER FRAMING IS COMPLETE TO DETERMINE EXACT LOCATION OF ALL ELECTRICAL
- OUTLETS ON SITE 14. ALL EXISTING STRUCTURE, HVAC, \$ ELECTRICAL HAS BEEN ASSUMED TO BE ADEQUATE TO CARRY ALL LOADING, OR IT'S PURPOSE ALIKE SHOWN ON THE DRAWINGS IF HOWEVER, SINCE CERTAIN STRUCTURAL MEMBERS, HVAC. ELECTRICAL CANNOT BE INSPECTED PRIOR TO EXPOSURE OF THE SUBSTRATE. I IS FOUND THAT EXISTING STRUCTURAL MEMBERS, HVAC, ELECTRICAL ARE NOT ADEQUATE TO CARRY THE LOADING OR O.B.C. RÉQUIREMENTS OR IT'S PURPOSE ON THE DRAWINGS. THEN THE CONTRACTOR IS TO NOTIFY THE DESIGNER IMMEDIATELY FOR ENGINEERING EXAMINATION & REDESIGN OF OR REMEDIAL ACTION TO BRING THE INADEQUATE STRUCTURE UP TO CODE BEFORE PROCEEDING WITH FURTHER WORK ON THE AREA IN QUESTION, AT THE OWNER'S EXPENSE.

GENERAL BATHROOM NOTES:

- 1. ALL PLUMBING LINES TO BE "IPEX" OR EQUAL. 2. IN FLOOR ELECTRICAL RADIANT HEATING TO BE "NUHEAT" DIRECTLY WIRED TO ELECTRICAL PANEL OR EQUAL. . EXHAUST FANS FOR BATHROOMS AND POWDER ROOMS TO BE "PANASONIC" WITH
- 24HR. RUN CAPABILITY. 4. FLOOR JOISTS UNDER TUBS TO BE A MAX. OF 12" O.C. OR SUPPLEMENTARY BLOCKING ADDED BELOW TUB.
- EXTERNAL WALLS OF BATHROOMS AND POWDER ROOMS TO BE CLAD WITH "QUIET ROCK" GYPSUM BOARD AND SEALED WITH ACOUSTIC CAULKING.
- 6. INTERIOR WALLS OF BATHROOMS AND POWDER ROOMS TO BE BOARDED WITH "MOULD RESISTANT" DRYWALL ONLY, BY GEORGIA PACIFIC
- 7. ALL INTERIOR WALLS AROUND SHOWERS AND TUBS TO BE CONCRETE BOARD "GEORGIA PACIFIC DENSMAR PLUS DRYWALL"
- 8. INSTALL "KERDI" WATERPROOFING MEMBRANE WITH NON-MODIFIED THIN SET MORTAR OVER CEMENT BOARD. 9. FOR TUBS, INSTALL CEMENT BOARD TO TOP OF TUB LIP ONLY. FILL IN THE
- REMAINING 1" GAP WITH THINSET AND EXTEND "KERDI" DOWN TO TUB 10. FOR ALL SHOWER FLOORS, INSTALL "SCHLUTERS SHOWER KIT" 11. PROVIDE DRAIN WATER HEAT RECOVERY UNIT(S) FOR ALL SHOWERS IN
- ACCORDANCE WITH THE O.B.C. SUPPLEMENTARY STANDARDS SB-12 2.1.1.11 . USE SILICONE CAULKING ON ALL INSIDE CORNERS OF TILED WORK. 13. INSTALL "DITRA" BY SCHLUTER UNDER ALL FLOOR TILE AREAS OF BATHROOMS AND POWDER ROOMS AND INSTALL "KERDI BAND" UP WALLS AT THE INTERSECT OF
- WALLS AND FLOORS TO INSURE A WATERTIGHT FLOOR FOR THE TILE ADHERED ON 14. ALL STONE FLOORS TO BE TREATED WITH TWO COATS OF MATT SEALER TO

GENERAL STAIR NOTES:

MIN. HEADROOM EXTERIOR = 6'-9"

HANDRAIL HEIGHT AT STAIR = 34"

- 1. INTERIOR AND EXTERIOR STAIRS SHALL BE CONSTRUCTED AS FOLLOWS RISE = 7-7/8" (200mm) MAX., 4-59/64" (125mm) MIN. RUN = 13-31/32" (355mm) MAX., 10-1/32" (255mm) MIN. MIN. HEADROOM INTERIOR = 6'-5"
- HANDRAIL HEIGHT AT INTERMEDIATE LANDINGS = 34' HANDRAIL HEIGHT AT MAIN LANDINGS = 36" MIN STAIR WIDTH = 2'-10" C/W LANDING THE SAME WIDTH AS THE STAIR
- GUARDS REQUIRED ON EXTERIOR BALCONIES AND PORCHES IF OVER 2'-0" ABOVE FINISHED GRADE: MIN. GUARD HEIGHT = 36"
- . GUARDS REQUIRED ON EXTERIOR BALCONIES AND PORCHES IF OVER 5'-11" ABOVE FINISHED GRADE; MIN. GUARD HEIGHT = 42" 4. EXTERIOR WOOD STAIRS TO BE SUPPORTED ON CONCRETE BASE OR APRON MIN.
- ABOVE GRADE; FOUNDATIONS REQUIRED IF EXTERIOR STAIRS HAVE MORE THAN 2 TREADS AND 2 RISERS
- 5. ALL INTERIOR AND EXTERIOR GUARDS SHALL CONFORM TO SUPPLEMENTARY GUIDELINES TO THE ONTARIO BUILDING CODE SB-7 GUARDS FOR HOUSING AND
- SMALL BUILDINGS.

 6. A LANDING IS REQUIRED AT THE MAIN ENTRANCE. A LANDING IS REQUIRED AT ANY SECONDARY ENTRANCE WHEN MORE THAN 3 RISERS AND INSTALLED BETWEEN 800mm (2'-7") AND 920mm (3'-0").

FOOTINGS,

FOUNDAEXONERIOR & INTERIOR WALLS SLABS

- POURED CONCRETE STRIP FOOTINGS OR PIER FOOTING (TO WIDTH AND DEPTH AS INDICATED ON PLANS) C/W 3-15m 14" WIDE x 6" DEEP POURED CONCRETE STRIP FOOTINGS FOR INTERIOR LOAD BEARING WOOD STUD WALLS
- CONCRETE STEP FOOTINGS; VERTICAL RISE BETWEEN HORIZONTAL PORTIONS MAXIMUM 23-5/8"; HORIZONTAL PORTIONS BETWEEN RISERS MINIMUM CONCRETE BENCH FOOTING ON
- UNDISTURBED SOIL WITH MAXIMUM 7/10 BOTTOM SLOPE FROM UNDERSIDE; EXISTING FOOTINGS TO REMAIN MIN. 4" DIA. WEEPING TILE C/W MIN. 12" CLEAR CRUSHED STONE AND FILTER
- FABRIC FOR DRAINAGE CONNECTION TO RAIN WATER LEADERS UNLESS OTHERWISE NOTED POURED CONCRETE FOUNDATION WALLS TO THICKNESS AS INDICATED ON PLANS W/ 15M REBAR @ 24" O.C
- HORIZONTAL & VERTICAL ON INSIDE CONCRETE BLOCK FOUNDATION WALLS TO THICKNESS AS INDICATED ON
- 4" SOLID MASONRY ON CONCRETE FOUNDATION WALLS TO THICKNESS AS NDICATED ON PLANS; FOR MASONRY CHECK THE REDUCED SECTION OF THE FOUNDATION WALL IS TO BE NOT LESS THAN 3-1/2" THICK AND TO BE TIET O MASONRY WITH METAL TIES; SPACE BETWEEN WALL AND FACING TO BE
- "HYDROSHIELD" OR APPROVED EQUA FOUNDATION COATING ON FOUNDATION WALL AND CONTINUOUS OVER FTG LEDGE: "MIRADRAIN" DRAINAGE MEMBRANE OR APPROVED EQUA
- 15m DOWELS DRILLED AND GROUTED INTO EXISTING FOUNDATION WALL @ 16" O.C. VERTICALLY AT OF NEW AND EXISTING FOUNDATION
- FINISHED FLOOR TO OWNER'S SELECTION 4" POURED CONCRETE SLAB SLAB MACHINE TROWELLED FINISH C/W 6x6 WWM AND SAW CUT CONTROL JOINTS; CONC. 32 MPa WITH 5%-7% AIR ENTRAINMENT FOR SLABS EXPOSED TO 6" CLEAN GRAVEL BASE LAYER MIN. R.10 2" LAYER SM RIGID INSULATION BY "DOW CORNING" C/W DUCT TAPED JOINTS AND APPLY EDGES OF FLOOR AND WALL JUNCTURES OR ALTERNATE SPRAYED IN PLACE INSULATION IF IN FLOOR RADIANT HEATING IS TO BE INSTALLED USE IPEX TUBING (OF EQUAL); REFER TO MANUFACTURERS
- 12 4" POURED CONCRETE SLAB; SLAB MACHINE TROWELLED FINISH C/W 6x6 WWM AND SAW CUT CONTROL JOINTS; CONC 32 MPa WITH 5%-7% AIR ENTRAINMENT FOR SLABS EXPOSED TO WEATHER; 6" CLEAN GRAVEL BASE

SPEC'S FOR SLAB

- 13 CRAWL SPACE SLABS TO BE 4" CLEAN GRAVEL BASE LAYER W/ 6 MIL. V.B. WITH MIN. 2" SLUSH COAT OF CONCRETE
- FLOOR DRAIN WHERE REQUIRED: FLOOR SURFACE TO BE SLOPE TO AVOID WATER ACCUMULATION; CONNECTED TO
- DROP TOP OF FOUNDATION WALL (TO DEPTH AND WIDTH AS INDICATED ON | WINDOW WELL; PROVIDE A CLEARANCE OF NOT LESS THAN 550mm IN FRONT THE WINDOW, WHEN THE WINDOW IS

OPEN, IT SHALL NOT REDUCE THE CLEARANCE IN A MANNER THAT WOULI

RESTRICT ESCAPE IN AN EMERGENCY

- 17 4" STONE OR BRICK VENEER; WEEP HOLES C/W INSECT SCREENS AT MIN. 2'-0" O.C. AND COPPER FIBREAN FLASHING MIN. 8" UP FACE OF SHEATHING; 1" AIR SPACE; ½" EXTERIOR GRADE PLYWOOD SHEATHING; 1" RIGID NSULATION, TAPED AND SEALED, FOR THERMAL BREAK: 2"x6" STUDS @ 16" O.C. BASF WALLTITE" SPRAYED IN PLACE FOAM INSULATION OR BATT, INSULATION MIN. R.22(PKG. AI) OR R.19+R.5ci (RIGID LISTED ABOVE-PKG. A2); 6 MIL. POLY V.B. AND ½" DRYWALL. (IF WALL IS AN EXTERIOR GARAGE WALL REPLACE DESCRIPTION ABOVE WITH 2"x4" WOOD STUDS AND REMOVE INSULATION) PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENINGS
- STONE OR BRICK SILLS SIZED TO SUIT ノ (SEE DETAILS)
- 19 SELF SUPPORTING STONE ARCH J (SEE DETAILS) 20 STONE OR GAUGED BRICK SOLDIER
- COURSE (SEE DETAILS) DECORATIVE STONE VENEER ON MORTAR SETTING BED AND SCRATCH COAT METAL LATHE OVER EXISTING
- 22 EXTERIOR WOOD OR VINYL SIDING/ SHAKES (REFER TO ELEVATIONS) KINGSPAN DC14 DRAINAGE MAT (FOR SHAKES): " EXTERIOR GRADE PLYWOOD SHEATHÍNG; I" RIGID INSULATION, TAPED AND SEALED, FOR THERMAL BREAK 2"x6" STUDS @ 16" O.C.; "BASE WALLTITE" SPRAYED IN PLACE FOAM INSULATION OR BATT, INSULATION INSULATION VALUES MUST TOTAL R.19+R.5ci (PKG. A2)); (INSULATION NOT REQUIRED FOR EXTERIOR GARAGE WALLS PR ACCESSORY STRUCTURES) 6 MIL. BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT TOP PLATES IN WALLS SHALL NOT B NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE UN-DAMAGED WIDTH TO LESS THAN 2

UNLESS THE WEAKENED PLATES ARE

SUITABLY RE-INFORCED

- 23 EXTIRA PANELS, TRIMS, WINDOW SURROUNDS TO SUIT; 1/2" EXTERIOR GRADE PLYWOOD SHEATHING; I" RIGID INSULATION, TAPED AND SEALED, FOR THERMAL BREAK; 2"x6" STUDS @ 16" C: "BASE WALLTITE" SPRAYED IN PLACE FOAM INSULATION OR BAT NSULATION MIN. R.22(PKG. AI) OR R.19+R.5ci (RIGID LISTED ABOVE PKG. A2); 6 MIL. POLY V.B. AND DRYWALL (IF WALL IS AN EXTERIŌR GARAGE WALL REPLACE DESCRIPTION ABOVE WITH 2"x4" WOOD STUDS AN REMOVE INSULATION); PROVIDE DOUBLE OP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENINGS TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE
- UN-DAMAGED WIDTH TO LESS THAN NLESS THE WEAKENED PLATES ARE BUITABLY RE-INFORCED (OPTION 1: TRADITIONAL 3-COAT STUCCO APPLICATION; FINISH COAT (MIN. 1/8" THICK) (PATTERN TO BE DETERMINED): BROWN COAT(" THICK); SCRATCH COAT(以" THICK) EXPANDED WIRE MESH: BUILDIN PAPER) OR (OPTION 2: DUROCK P.U.C.C.S. STUCCO SYSTEM); ON 为 EXTERIOR GRADE PLYWOOT SHEATHING; 1" RIGID INSULATION BREAK: 2"x6" STUDS @ 16" O.C.: "BAS WALLTITE" SPRAYED IN PLACE FOAM NSULATION OR BATT, INSULATION MI R.22(PKG, A1) OR R.19+R.5ci (RIGID LISTED ABOVE - PKG. A2); 6 MIL

POLY V.B. AND ½" DRYWALL (IF WALL

REPLACE DESCRIPTION ABOVE WITH

NSULATION); PROVIDE DOUBLE TOP

OP PLATES IN WALLS SHALL NOT BE

JN-DAMAGED WIDTH TO LESS THAN 2 JNLESS THE WEAKENED PLATES ARE

2"x4" WOOD STUDS AND REMOVE

PLATES, SINGLE BOTTOM PLATES

DOUBLE STUDS AT OPENINGS

WEAKENED TO REDUCE THE

UITABLY RE-INFORCED

TRIPLE STUDS AT CORNERS AND

NOTCHED, DRILLED OR OTHERWISE

IS AN EXTERIOR GARAGE WALL

- 25 INTERIOR LOAD BEARING WALLS 2"x6" | WOOD STUDS @ 16" O.C. WITH ½" DRYWALL BOTH SIDES; FOR WALLS TALLER THAN 12'-0" STUDS TO BE PRE-ENGINEERED MATERIAL TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE UN-DAMAGED WIDTH TO LESS THAN 2 UNLESS THE WEAKENED PLATES ARE SUITABLY RE-INFORCED PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT (26) INTERIOR NON-LOAD BEARING WALLS
- 2"x4" WOOD STUDS @ 16" O.C. WITH & DRYWALL BOTH SIDES; FOR WALLS TALLER THAN 8'-0" STUDS TO BE 2"x6" WOOD STUDS @ 16" O.C.; PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENING
 - RESILIENT CHANNELS ONE SIDE
 - DOUBLE STUDS AT OPENINGS 28 PERIMETER INTERIOR FOUNDATION 2"x4" WOOD STUDS @ 16" O.C. C/W "ROXUL" OR APPROVED EQUAL MIN. R.12+ 10ci (PKG. A1\$A2) BETWEEN STUDS AND FOUNDATION WALL: 1/2 DRYWALL (FOR FINISHED AREAS) SLAB; PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENINGS
 - CRAWL SPACES; FOUNDATION WALL (SEE NOTE 6 OR 7), 20ci RIGID INSULATION; SPRAY FOAM OR BATT INSULATION 4" INTO THE HEADERS; CORNERS AND DOUBLE STUDS AT
 - (30) OPTION 2: PERIMETER INTERIOR FOUNDATION STUD WALLS; FOUNDATION WALL (SEE NOTE 6 OR 7), 1/2" MILDEW RESISTANT DRYWALL FROM FLOOR TO CEILING; 2"x4" WOOD STUDS @ 24" 0.0 C/W PRESSURE TREATED CONTINUOUS BOTTOM PLATE C/W FOAM GASKET STUDS SET 1-1/2" OFF FOUNDATION WALL, SPRAY 4" THICK 2LB. URETHANE FOAM INSULATION (20ci) (PKG AI)FROM TOP OF THE JOIST HEADERS ALL THE FLOOR: SPRAY 4" INTO THE HEADERS LEAVE " GAP AROUND PERIMETER OF FOAM TO SEAL THE BOARDS PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT
 - 31 NON-LOADBEARING INTERIOR BASEMENT PARTITIONS; 2"x4" WOOD STUDS @ 16" O.C. C/W PRESSURE TREATED TO BE 2"x6" STUDS @ 16" O.C. BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT

- 32 LOAD BEARING INTERIOR BASEMENT PARTITIONS; ON CONCRETE STRIP
- 27 INTERIOR SOUND PARTITIONS; 2"x6" ^J WOOD STUDS @ 16" O.C. WITH "ROXUL"
- HORIZONTALLY; 2 LAYERS OF 2" DRYWALL OR "QUIETROCK" DRYWA BOTH SIDES: SEAL ALL OPENINGS TO ELECTRICAL OUTLETS IN WALL WHERE POSSIBLE; PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES,
- FOUNDATION WALL (SEE NOTE 6 OR 7) BOTTOM PLATE C/W FOAM GASKET WA MINERAL WOOL BATT, INSULATION BY SPRAY FOAM OR BATT, INSULATION 4 INTO THE HEADERS; LEAVE 1/4" GAP AROUND PERIMETER OF ALL BOARDS AND FILL WITH SPRAY FOAM TO SEAL THE BOARDS TOGETHER AT THE FLOOR
- 29 PERIMETER INTERIOR FOUNDATION FOR PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT
- CONTINUOUS BOTTOM PLATE C/W FOAM GASKET; $\frac{1}{2}$ " DRYWALL BOTH SIDES; FOR WALLS TALLER THAN 8'-0" HIGH STUDS PROVIDE DOUBLE TOP PLATES, SINGLE

- FOOTINGS (SEE NOTE 2); 2"x6" WOOD STUDS @ 16" O.C. C/W PRESSURE TREATED CONTINUOUS BOTTOM PLATE C/W FOAM GASKET; BOLTED W/ 2" DIA. ANCHOR BOLTS @ 7'-10" O.C. MIN.; ½' DRYWALL BOTH SIDES; FOR WALLS TALLER THAN 12'-0" STUDS TO BE PRE-ENGINEERED MATERIAL PROVIDE DOUBLE TOP PLATES, SINGLE BOTTOM PLATES, TRIPLE STUDS AT CORNERS AND DOUBLE STUDS AT OPENINGS; TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED TO REDUCE THE UN-DAMAGED WIDTH TO LESS THAN UNLESS THE WEAKENED PLATES ARE SUITABLY RE-INFORCED
- 33 GARAGE PARTITIONS 2"x6" WOOD STUDS @ 16" O.C. W/ "BASF WALLTITE" OR BATT, INSULATION MIN. R.19+R.5c 6 MIL. POLY V.B. AND ½" DRYWALL NOTES FOR FURTHER DETAILS

FLOOR FRAMING

34 FINISHED FLOOR ON %" T&G SUB FLOOR AND SPACING AS INDICATED ON PLANS); TO BE ANCHORED TO 2"x6" SILL PLATE WITH "SIMPSON" STRONG TIES A23 FRAMING ANGLES C/W 3-3.25 LONG NAILS; 2"x6" SILL PLATE C/W GASKET TO BE ANCHORED TO FOUNDATION WALL WITH &" DIA. x 8 LONG ANCHOR BOLTS (OR EQUAL) @ 94" O.C. MAX : FOR TRIMMER AND RIM JOIST, ADD "BASF WALLTITE" SPRAÝED IN PLACE FOAM INSULATION

TO FILL ENTIRE CAVITY MIN. R.31

- 35 FINISHED FLOOR ON %" T\$G SUB FLOOR SCREWED AND GLUED ON ENG. FLOOR JOISTS (SIZE AND SPACING AS INDICATED ON PLANS INCLUDING LV SIZES AS INDICATED); TO BE ANCHORED TO 2"x6" SILL PLATE WITH "SIMPSON" STRONG TIES A23 FRAMING ANGLES C/W 3-3.25" LONG NAILS; 2"x6" SILL PLATE C/W GASKET TO BE ANCHORED TO FOUNDATION WALL WITH 2" DIA. x 8" LONG ANCHOR BOLTS (OR EQUAL) @ 94" O.C. MAX. FOR TRIMMER AND RIM JOIST, ADD"BASF WALLTITE" SPRAYED IN PLACE FOAM INSULATION TO FILL ENTIRE CAVITY MIN. R.31. CONTRACTOR TO PROVIDE FLOOR FRAMING PLANS SEALED BY A PROFESSIONAL ENGINEER REGISTERED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO. FRAMING PLANS TO BE SUBMITTED TO STRUCTURAL
- ENGINEER (IF APPLICABLE) AND DESIGNER FOR REVIEW PRIOR TO 36 ADD"BASF WALLTITE" SPRAYED IN PLACE FOAM INSULATION TO FILL ENTIRE CAVITY MIN. R.31 FOR EXPOSED CANTILEVERED JOISTS/JOISTS WITHOUT

ROOF AND CEILING FRAMING

37 ½" EXTERIOR GRADE PLYWOOD HEATHING ON APPROVED TRUSSES (SPACING AS INDICATED ON SHOP DRAWINGS): CONTRACTOR TO PROVIDE ROOF TRUSS PLANS SEALED BY A PROFESSIONAL ENGINEER REGISTERED AND INSURED TO PRACTICE IN THE PROVINCE OF ONTARIO. TRUSS PLANS TO BE SUBMITTED TO STRUCTURAL ENGINEER (IF APPLICABLE) AND DESIGNER FOR REVIEW PRIOR TO SSUANCE. SITE MEASURE OF PROPOSED FRAMING BY TRUSS DESIGNER TO BE CONDUCTED PRIOR TO FABRICATION, ROOF TRUSSES SHALL NOT BE NOTCHED, DRILLED OR OTHERWISE WEAKENED UNLESS SUCH CHING OR DRILLING IS ALLOWED FOR N THE DESIGN OF THE TRUSS U/S OF TRUSSES/FINISHED CEILING C/W "BASF WALLTITE" SPRAYED IN PLACE FOAM INSULATION OR BATT, INSULATION MIN. R.60 (MAINTAIN MINIMUM 2-1/2" VENTILATION SPACE WITH PRE-MOULDE VENT BAFFLES AS REQUIRED FOR BA INSULATION ONLY) (MIN. R.31 FOR CEILING WITHOUT ATTIC SPACE) INSULATION VALUES NOT REQUIRED FOR ROOF STRUCTURE IN UNCONDITIONED SPACE); 6 MIL. POLY V.B. \$ ½" DRYWALL

- 38 APPROVED GIRDER TRUSS; REFER TO SHOP DRAWINGS FOR SIZE AND 39 DIMENSIONAL LUMBER ROOF FRAMING
- 6" EXTERIOR GRADE PLYWOOD SHEATHING ON ROOF RAFTERS, RIDGE BOARD, VALLEY RAFTERS RIDGE RAFTERS LAR TIES AND CEILING JOISTS T SIZES SPACING AND SPECIES AS INDICATED ON PLANS; FOR NEW FRAMING BUILT OVER EXISTING ROOFS/TRUSSES PLANS: U/S OF LUMBER/FINISHED CEILING C/W "BASF WALLTITE" SPRAYED IN PLACE FOAM INSULATION OR BATT INSULATION MIN. R.60 (MAINTAIN MINIMUM 2-1/2" VENTILATION SPACE WITH PRE-MOULDED VENT BAFFLES AS REQUIRED FOR BATT. INSULATION ONLY) (MIN. R.31 FOR CEILING WITHOUT ATTI SPACE) (INSULATION VALUES NOT REQUIRED FOR ROOF STRUCTURE IN
- JNCONDITIONED SPACE); 6 MIL. POLY V.B. \$ ½" DRYWALL 40 PROVIDE ROOF VENTILATION EQUAL TO ONE SQUARE FOOT FOR EVERY 300
 SQUARE FEET OF INSULATED CEILING O.B.C. EDITION: WHERE EVER POSSIBLE PORTION OF ROOF OR USE ROOF RIDGE
- 41 20" x 28" MINIMUM ATTIC ACCESS HATCH WITH INSULATION MIN. R.60 AN WEATHER STRIPPING: PROVIDE DOUBLE FRAMING AROUND OPENING SKYLIGHT BY VELUX TO SIZE AS
- 42 INDICATED ON PLANS, COMPLETE WITH INTEGRATED CURB AND FLASHING; SKYLIGHT SHAFT TO BE 2X4 SUPPLEMENTARY FRAMING AND INSULATED AS NECESSARY, INSURE DOUBLE FRAMING AROUND OPENING SOLARTUBE SIZE TO SIZE AS 43 INDICATED ON PLANS, COMPLETE WITH

SOLARTUBE SHAFT TO BE 2X4

INSULATED AS NECESSARY, INSURE

DOUBLE FRAMING AROUND OPENING

ROOF FINISHES

- 44 ASPHALT OR FIBRE GLASS ROOF SHINGLES ON "GRACE" ICE AND WATER SHIELD; FOR SLOPES UNDER 4.5:12 USE LOW SLOPE SHINGLES VALLEY FLASHING TO BE PRE-FINISHED METAL UNLESS OTHERWISE SPECIFIED WHEN SITUATIONS ARISE WHEN ENTIRE ROOF IS NOT COVERED WITH GRACE" ICE AND WATER SHIELD APPLY EAVE PROTECTION TO EXTEND 2'-6" BEYOND INTERIOR FACE OF WALL AND 3'-0" MIN. FROM EAVES
- 45 WOOD RED CEDAR SHINGLES (IMPERIALS NO. 1) ON CEDAR BREATHER APPLIED OVER "GRACE" ICE AND WATER SHIELD: NAILING AS PER MANUFACTURER SPECIFICATIONS VALLEY FLASHING TO BE PRE-FINISHED METAL UNLESS OTHERWISE SPECIFIED WHEN SITUATIONS ARISE WHEN ENTIRE ROOF IS NOT COVERED WITH GRACE" ICE AND WATER SHIELD APPLY EAVE PROTECTION TO EXTEND 2'-6" BEYOND INTERIOR FACE OF WALL AND 3'-0"
- 46 NATURAL SLATE ROOFS OR CONCRETE TILE ON "GRACE" ICE AND WATER SHIELD: NOTE: ROOF SHEATHING MUST BE INCREASED TO 34" EXTERIOR GRADE PLYWOOD AND ROOF MEMBERS TO BE SPACED AT 16" O.C. VALLEY FLASHING TO BE PRE-FINISHED METAL UNLESS OTHERWISE SPECIFIED WHEN SITUATIONS ARISE WHEN ENTIRE ROOF IS NOT COVERED WITH "GRACE" ICE AND WATER SHIELD APPLY EAVE PROTECTION TO EXTEND 2'-6" BEYOND INTERIOR FACE OF WALL AND 3'-0" MIN. FROM EAVES

MIN. FROM EAVES

47 COPPER ROOFING OR PRE-FINISHED METAL APPLICATIONS; 8" STANDING SEAM COPPER ROOFING OR PRE-FINISHED METAL ON "GRACE" ICE AND WATER SHIELD ON %" EXTERIOR GRADE PLYWOOD SHEATHING: ROOF STRUCTURE AS NOTED ON PLANS WHEN SITUATIONS

ARISE WHEN ENTIRE ROOF IS NOT

COVERED WITH "GRACE" ICE AND

BEYOND INTERIOR FACE OF WALL

WATER SHIELD APPLY FAVE

PROTECTION TO EXTEND 2'-6"

AND 3'-0" MIN. FROM EAVES 48 FOR FLAT/LOW SLOPE ROOFS; (CREATE MINIMUM PITCH (1/4" PER '-0") WITH SUPPLEMENTARY FRAMING ON MAIN STRUCTURAL FRAMING FOR FLAT ROOFS ONLY) %" EXTERIOR GRADE PLYWOOD SHEATHING; DURADECK WATERPROC ROOFING MEMBRANE OR 60 MII

PORCHES # DECKS

49 PR. TR. DECK FRAMING (SIZE AND J SPACING AS INDICATED ON PLANS) C/W 1"x6" PR. TR. DECKING

FPDM RUBBER ROOF MEMBRANE

50 PR. TR. LEDGER BOARD (SIZE AS INDICATED ON PLANS) ANCHORED TO FOUNDATION WALL OR RIM JOIST W/ 2 %" THRU-BOLTS/ANCHOR BOLTS @ 32" O.C.

BASE LAYER

- 51 1" FLAGSTONE FINISH ON 1" SETTING BED FOR FLAGSTONE; 6" POURED CONCRETE SLAB; SLAB MACHINE TROWELLED FINISH C/W 6x6 WWM AND SAW CUT CONTROL JOINTS CONC. 32 MPa WITH 5%-7% AIR ENTRAINMENT FOR SLABS EXPOSED TO WEATHER; 6" CLEAN GRAVEL
- 52 CONC. PIER C/W FOOTING (TO SIZE AS INDICATED ON PLANS) C/W 6"x6" PR. TR. WOOD POST (IF APPLICABLE) ANCHORED W/ METAL SHOE C/W 3-15M VERTICAL TO MINIMUM 4'-0" BELOW GRADE
- 53 HELICAL PIERS BY OTHERS; REFER ENGINEERED MANUFACTURERS SPECS.
- 54 PR. TR. WOOD POSTS (TO SIZE AS INDICATED ON PLANS) C/W "DURABOARD" PANELS AND TRIM; COLUMN ANCHORED TO CONC. SLAB W/ METAL SHOE W/ WOOD OR POWDER COATED STEEL TRELLIS (IF APPLICABLE); STONE VENEER BASE/OR PANELLED BASE ANCHORED TO PR. TR. WOOD FRAME OR CONC. BLOCK BACKING (IF
- EXTERIOR "DURABOARD" OR EQUA WALL PANELS, TRIMS ON PR. TR. WOOD FRAMED BASE 56 36" HIGH MINIMUM FINISHED

POSTS) AND IN ACCORDANCE WITH

- HANDRAIL/GUARD ON WOOD PICKETS (MAX 4" SPACE BETWEEN PICKETS # MAX 4'-0" SPACE BETWEEN NEWE POSTS) AND IN ACCORDANCE WITH LATEST EDITION O.B.C. SUPPLEMENTARY STANDARD SB-7 57 42" HIGH MINIMUM FINISHED HANDRAIL/GUARD ON WOOD PICKETS (MAX. 4" SPACE BETWEEN PICKETS # MAX. 4'-0" SPACE BETWEEN NEWE
 - SUPPLEMENTARY STANDARD SB-7 58 MIN. 42" HIGH METAL/GLASS RAILINGS TO BE INSTALLED ACCORDING TO MANUFACTURER'S OR FABRICATORS ENGINEERED SPECIFICATIONS - BY REGAL

LATEST EDITION O.B.C.

- SOFFITS, FASCIAS & TRIMS ALL TRIM CAN BE PROVIDED BY EXQUISITE EXTERIORS https://exquisiteexteriors.ca/ ALL PANELS & TRIMS TO BE MADE OUT OF "EXTIRA"
- [59] ALUMINUM CLAD 2"x6" WOOD FASCIA, CONTINUOUS SCREENED VENTED ALUMINUM SOFFIT W/ PRE-FINISHED ALUMINUM EAVES TROUGH AND RAINWATER LEADERS
- COPPER CLAD 2"x6" WOOD FASCIA; [60] CONTINUOUS SCREENED VENTED 1/2" "CREZONE" PLYWOOD SOFFIT OR 1"x3. T#G CEDAR BOARDS (REFER TO PLANS) W/ HALF ROUND COPPER EAVES TROUGH AND RAINWATER LEADERS W/ COPPER COLLECTOR
- TASCIA TRIMS ✓ ½" x 10" FRIEZE BOARD

(63) FASCIA TRIMS

- [62] WINDOW CAP TRIMS CROWN MOULD 2-156"x2-156" ON 以" x 10" FRIEZE BOARD W/ 1" DIA ALF ROUND AT BOTTOM OF FRIEZE
- CROWN MOULD 3-23/2"x3-23/2" (CYMA) ON 8" HIGH CORONA W/ BED MOULD 3-%"x3-4" ON 4" x 18" FRIEZE BOARD N/ 1" DIA. HALF ROUND @ 5-1/2" O.C. 64 COLUMN BASE TRIMS BED MOULD 3-3/8"x3-1/4" ON 1" THICK
- (3-½" THICK BASE FOR STAND ALONE COLUMNS) (65) COLUMN CAP TRIMS BED MOULD 3-3 "x3-1/4" ON 1/4" THICK CAP FOR COLUMNS ON PEDESTALS (1-½" THICK CAP FOR STAND ALONE

BASE FOR COLUMNS ON PEDESTALS

66 DORMER TRIMS (SMALL) []] CROWN MOULD 2-1%"x2-1%" (CYMA) ON 4-3/" HIGH CORONA W/ BED MOULD 1-%"x2" ON 以" x 6" FRIEZE BOARD W SHINGLE MOULD 2-36"x1-156" ON SLOPE (IF APPLICABLE)

J CROWN MOULD 2—²³32"x2—²³32 (CYMA)

ON 6" HIGH CORONA W/ BED MOULD

3-¾"x3-½" ON ½" x 10" FRIEZE BOARD

67 DORMER TRIMS (LARGE)

W/ SHINGLE MOULD 2-3"x1-15%" ON SLOPE (IF APPLICABLE) 68 RAKE GABLE TRIMS SHINGLE MOULD 2-36"x1-56" ON 1"x6" (OR DIMENSION TO SUIT) RAKE BOARD (DO NOT CLAD WITH PRE-FINISHED METAL UNLESS SPECIFIED) W/ BED MOULD 2"x1-7/4" ON 以"x5" FRIEZE BOARD IF APPLICABLE PROVIDE 2"x4"

HORIZONTAL JOISTS W/ BED MOULD

2"x1-%" ON 1/2"x5" FRIEZE BOARD

- 69 DOOR/WINDOW SURROUNDS TRIM (TO SIZE AS INDICATED ON ELEVATIONS) W/ COVE MOULD 1"x1" ON 1/2"x5" FLAT PANEL TRIM (SILL AND APRON FOR WINDOWS ONLY) & COVE MOULD 1"x1 ON 1/25" FLAT PANEL TRIM (FOR DRIP MOULD AT DOOR HEADERS WHERE APPLICABLE)
- 70 2"x2" SILL W/ ½"x3" FLAT PANEL TRIM W/ COVE MOULD 1"x1" $\begin{bmatrix} 71 \end{bmatrix}$ 2"x2" SILL W/ COVE MOULD 1"x1"
- 72 1"x1" SILL W/ COVE MOULD 1"x1" ON 1 ½"x4" FLAT PANEL TRIM

- 73 STRUCTURAL BRACKET (REFER TO ノ DETAILS) 74 DECORATIVE BRACKET (FYPON OR
- 75 DECORATIVE VENT (TO SIZE AS INDICATED ON PLANS)

76 WINDOW FLOWER BOX (REFER TO

JOTHER APPROVED)

DETAILS)

KITCHENS, BATHROOMS # LAUNDRY ROOMS

EDITION OF O.B.C.

- PROVIDE A SUPPLEMENTAL EXHAUST └ / AIR INTAKE IN EACH BATHROOM ROOM IN ACCORDANCE TO LATEST
- 78 RANGE HOOD EXHAUST VENT TO / EXTERIOR 79 PROVIDE DRYER VENT TO EXTERIOR

80 SECOND FLOOR LAUNDRY; CREATE

WATERPROOF SHOWER FLOOR

- COMPLETE WITH FLOOR DRAIN FOR ENTIRE LAUNDRY ROOM (REFER TO GENERAL BATHROOM NOTES FOR
- INTERIOR DETAILS
- 81 ROD AND SHELF
- (82) "TOWN AND COUNTRY" DIRECT VENT GAS FIREPLACE W/ DECORATIVE MANTEL TO OWNERS SELECTION

(REFER TO MANUFACTURERS

- 83 PRE-FABRICATED "RUMFORD" WOOD BURNING FIREPLACE W/ MANTEL TO OWNERS SELECTION (REFER TO MANUFACTURERS SPECS.)
- SELF CLOSER AND WEATHERSTRIPPING 85 36" HIGH MINIMUM FINISHED HANDRAIL/GUARD ON WOOD PICKETS (MAX. 4" SPACE BETWEEN PICKETS # MAX. 4'-0" SPACE BETWEEN NEWE

LATEST EDITION O.B.C.

PANELED FRONTS

84 1-3/4" SOLID CORE WOOD DOOR C/W

SUPPLEMENTARY STANDARD SB-7 86 42" HIGH MINIMUM FINISHED ^J HANDRAIL/GUARD *O*N WOOD PICKETS (MAX. 4" SPACE BETWEEN PICKETS \$ MAX. 4'-0" SPACE BETWEEN NEWE POSTS) AND IN ACCORDANCE WITH LATEST EDITION OBC SUPPLEMENTARY STANDARD SB-7

87 WINDOW SEAT W/ OPENING LID WITH

POSTS) AND IN ACCORDANCE WITH

L2 -2/2"x6" L3 -2/2"x8" L4 -L5 -2/2"x10" 2/2"x12"

2/2"x4"

3/2"x61

WOOD LINTELS/BEAMS

L6 -L7 -3/2"x8" L8 -3/2"x10" L9 -3/2"x12" L10 -

L1 -

- L11 -4/2"x8" L12 -4/2"x10" L13 -4/2"x12"
- WOOD POSTS P1 - 2/2"x4"
- 3/2"x41 4/2"x4" P3 -
- 2/2"x6" P5 -3/2"x6 P6 -4/2"x6 5/2"x6'
- P8 -6"x6' 4/2"x6" ON 24"x24"x8 CONCRETE FOOTING C/h
- 3-15m BARS EACH WA` 4"x4" ON 30"x30"x8" CONCRETE FOOTING C/W 3-15m BARS EACH WAY P12 - 6"x6" ON 36"x36"x8"
- 3-15m BARS EACH WAY STEEL POSTS
- 3-½" DIA. STEEL POST W/ TOP 3-½" DIA. STEEL POST ON 24"x24"x8" CONCRETE FOOTING C/W 3-15m BARS EACH WAY 3-1/2" DIA. STEEL POST ON 30"x30"x8" CONCRETE FOOTING
- 36"x36"x8" CONCRETE FOOTING C/W 3-15m BARS EACH WAY
- STEEL LINTELS SI - 3-½"x3-½"x½" L (LLV) C/W MIN. 4" BEARING EACH END 4-%"x3-%"x%" L (LLV) C/W MIN. 6" BEARING EACH END

5-%"x3-½"x%" L (LLV)

S4 - SELF SUPPORTING MASONRY ARCH

N MIN. 6" BEARING EACH END

C/W 3-15m BARS EACH WAY

3-1/2" DIA. STEEL POST ON

- DRAWING LEGEND: = EXISTING
- = EXISTING TO BE REMOVED = NEW STUD WALLS

ELECTRICAL LEGEND:

= TWO-WAY SWITCH

= 15A DUPLEX RECEPTACLE

= WALL MOUNTED POT LIGH

/INCANDESCENT LIGHT FIXTURE

VISUAL SIGNALING

OBC 9.10.19.3(3)

= 15A DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPTER SWITCH FOR AUTOMATIC

GARAGE

- = AUTOMATIC GARAGE DOOR CEILING POT LIGHT/ INCANDESCENT LIGHT FIXTURE
 - = EXHAUST FAN = INTERCONNECTED MONOXIDE ALARM INTERCONNECTED REQ'D TO HAVE A

THE BECKETT RESIDENCE 3 CRAWFORD COURT

DUNDAS, ON L9H 6G2



Signature require. 09.21.23 Jennifer Bognar reviews and takes responsibility for the design work described in this document firm bcin 103416 ■ individual bcin 3300

SSUE DESCRIPTION

■ 905.517.6027 ■

THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITION OR SERVICES BE FOUND TO VARY FROM THA INDICATED ON THE DRAWINGS, THE DESIGNE MUST BE NOTIFIED IMMEDIATELY. THE ESIGNER IS NOT LIABLE FOR ANY CHANGE: MADE BY THE CONTRACTOR WITHOUT THE ESIGNERS KNOWLEDGE AND PERMISSION

SHOWN ARE ASSUMED TO BE THE SAM HARACTER AS THOSE NOTED FOR SIMILAR LINEESS SPECIFICALLY NOTED OTHERWISE OF HE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR PROVIDE ALL NECESSARY BRACING, SHORING

SUPPORTS, TO SAFEGUARD ALL EXISTING O

ADJACENT STRUCTURES AFFECTED BY TH

ALL DRAWINGS AND RELATED DOCUMENT

F JB DRAFTING AND DESIGN, USE LATE

EVISED DRAWINGS. DO NOT SCALE DRAWII

FEATURES OF CONSTRUCTION NOT FULL

GENERAL NOTES



Committee of Adjustment

City Hall, 5th Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMA	۱TI	ON
----------------------	-----	----

	NAME			
Registered Owners(s)	Jason Beckett & Annie Delguidice			
Applicant(s)	Jenny Bognar			
Agent or Solicitor	As per Applicant			
2 All corresponde	ence shou l d be sent to	☐ Purcha		☐ Owner ☐ Agent/Solicitor
.3 Sign should be	sent to	☐ Purcha ☑ Applica		☐ Owner ☐ AgentSolicitor
.4 Request for dig	ital copy of sign	□Yes*	☑ No	
If YES, provide	email address where sig	gn is to be s	ent	
			<u> </u>	· · · · · · · · · · · · · · · · · · ·

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	3 Crawford Court			
Assessment Roll Number				
Former Municipality	Dundas			
Lot	30	Concession		
Registered Plan Number	M - 189	Lot(s)		
Reference Plan Number (s)		Part(s)		

2.2	Are there any easements or restrictive covenants affecting the subject land?
	☐ Yes ☑ No If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for: See attached

	☐ Second Dwelling Unit	☐ Reconstruction of Existing Dwelling
3.2	Why it is not possible to com See attached	ply with the provisions of the By-law?
3.3	Is this an application 45(2) of	the Planning Act. ☐ Yes ☑ No
	If yes, please provide an exp	lanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
18.29 m.	36.41 m.	626.57 sq. m.	17.0 m.

	buildings and structur ace from side, rear and		r the subject lands:	
Existing:				
Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling	7,11 m,	14,62 m.	1,36 m./ 1,39 m.	
Proposed:				<u> </u>
Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling w/ addition	n/a	5.80 m.	8.80 m./0.93 m.	
4.3. Particulars of a sheets if neces Existing:	all buildings and struct ssary):	tures on or proposed	for the subject lands (attach additional
Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling	179.60 sq. m.	292.17 sq. m.	2	8.43 m.
Proposed:				
Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling w/ addition	249,27 sq. m.	361,85 sq. m.	2	5.21 m. to addition
publicly ow	supply: (check approp ned and operated pip wned and operated in	oed water system	☐ lake or othe☐ other means	_
4.5 Type of storm drainage: (check appropriate boxes)☑ publicly owned and operated storm sewers☐ swales			☐ ditches ☐ other means	s (specify)

4.6	□ publicly owned and operated sanitary sewage □ system privately owned and operated individual □ septic system other means (specify)					
4.7	Type of access: (check appropriate box) ☐ provincial highway ☐ municipal road, seasonally maintained ☐ municipal road, maintained all year ☐ check appropriate box ☐ right of way ☐ other public road					
4.8	Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.): Single family detached dwelling					
4.9	9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.): Single family detached dwelling					
7	HISTORY OF THE SUBJECT LAND					
7.1	Date of acquisition of subject lands: February 2018					
7.2	Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc) Single family detached dwelling					
7.3	Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc) Single family detached dwelling					
7.4	Length of time the existing uses of the subject property have continued: always					
7.5	5 What is the existing official plan designation of the subject land?					
	Rural Hamilton Official Plan designation (if applicable):					
	Rural Settlement Area:					
	Urban Hamilton Official Plan designation (if applicable) Neighbourhoods					
	Please provide an explanation of how the application conforms with the Official Plan.					
7.6	What is the existing zoning of the subject land? R1					
7.8	B Has the owner previously applied for relief in respect of the subject property? (Zoning By-lawAmendment or Minor Variance) ☐ Yes ☑ No					
	If yes, please provide the file number:					

7.9	Planning Act?	□Y€		ication for consent under Section 53 of the ☑ No		
7.10	7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, h two-year anniversary of the by-law being passed expired?					
	1	□ Ye	es	☑ No		
7.11	If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.					
8	ADDITIONAL INFORMATION					
8.1	Number of Dwelling Units Existing	j: <u> </u>	1	_		
8.2	Number of Dwelling Units Propose	ed: <u>(</u>	0	_		
8.3	Additional Information (please incl	ude s	separate she	eet if needed):		

All Applications 11.1 Application Fee ✓ Site Sketch ✓ Complete Application form ✓ Signatures Sheet 11.4 Other Information Deemed Necessary Cover Letter/Planning Justification Report Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance ☐ Minimum Distance Separation Formulae (data sheet available upon request) Hydrogeological Assessment Septic Assessment Archeological Assessment ■ Noise Study ☐ Parking Study

COMPLETE APPLICATION REQUIREMENTS