



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>DN/A-23:252</b>	<b>SUBJECT PROPERTY:</b>	3 CRAWFORD COURT, DUNDAS
<b>ZONE:</b>	“R1” (Single Detached Residential)	<b>ZONING BY-LAW:</b>	Zoning By-law former Town of Dundas 3581-86, as Amended

**APPLICANTS:**      **Owner:** JASON BECKETT & ANNIE DELGUIDICE  
                                 **Agent:** JENNY BOGNAR

The following variances are requested:

1. A maximum side yard setback of 0.93 metre to the addition shall be provided whereas the by-law requires a minimum side yard setback of 1.5 metres.
2. A maximum rear yard setback of 5.80 metres to the addition shall be provided whereas the by-law requires a minimum rear yard setback of 7.5 metres.

**PURPOSE & EFFECT:**      To permit the construction of a rear yard addition to an existing single detached dwelling.

**Notes:** N/A

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, November 2, 2023</b>
<b>TIME:</b>	<b>9:55 a.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

## DN/A-23:252

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

## FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding DN/A-23:252, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



DATED: October 17, 2023

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

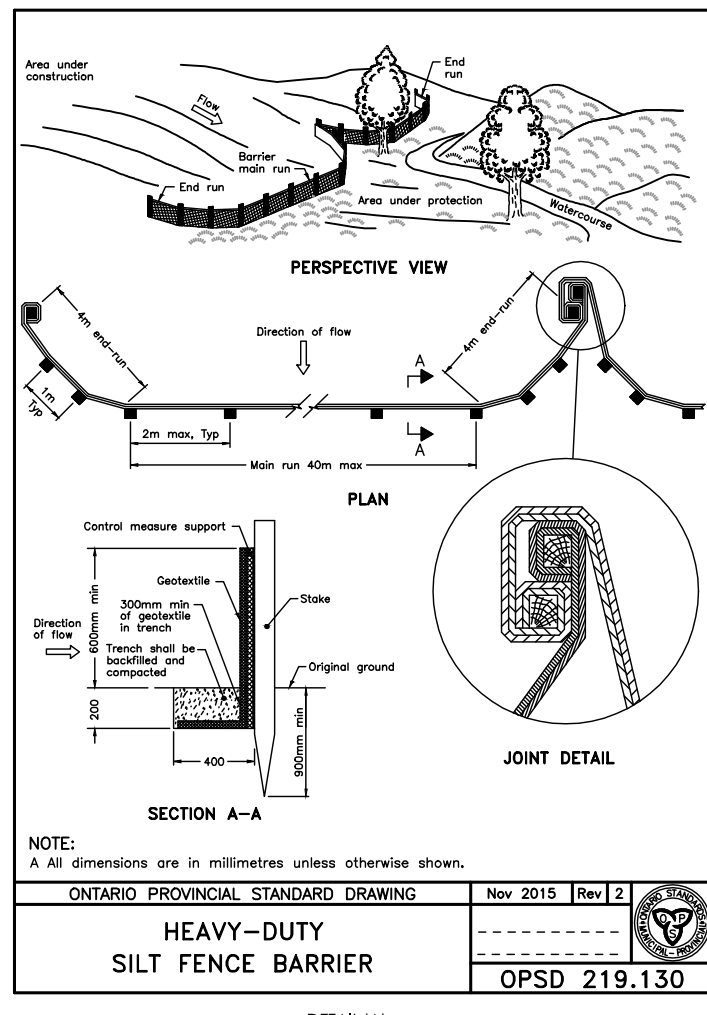
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

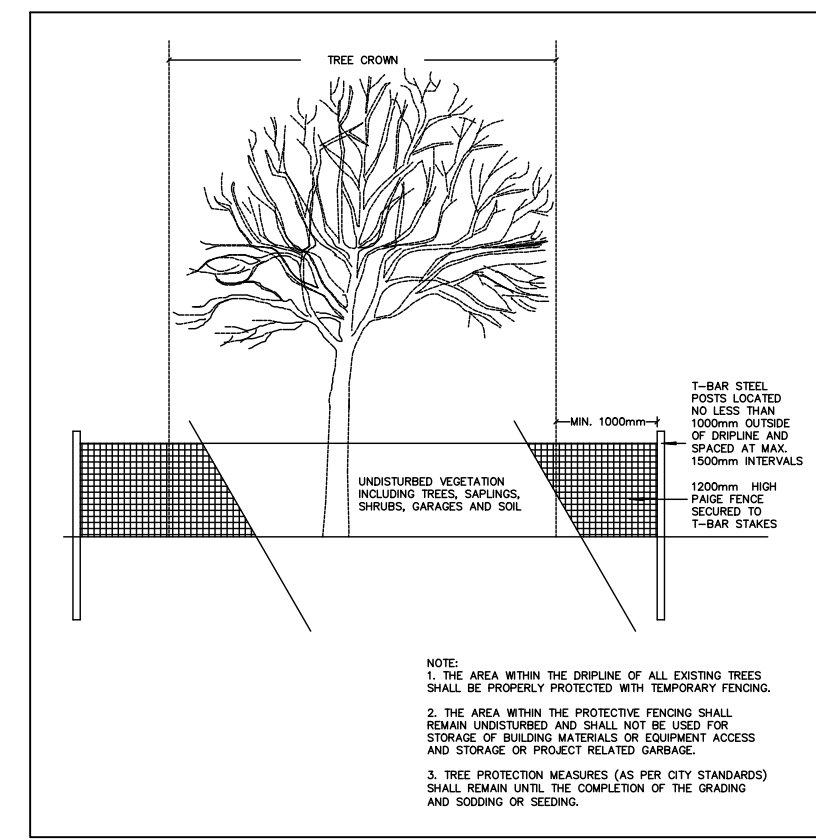
We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

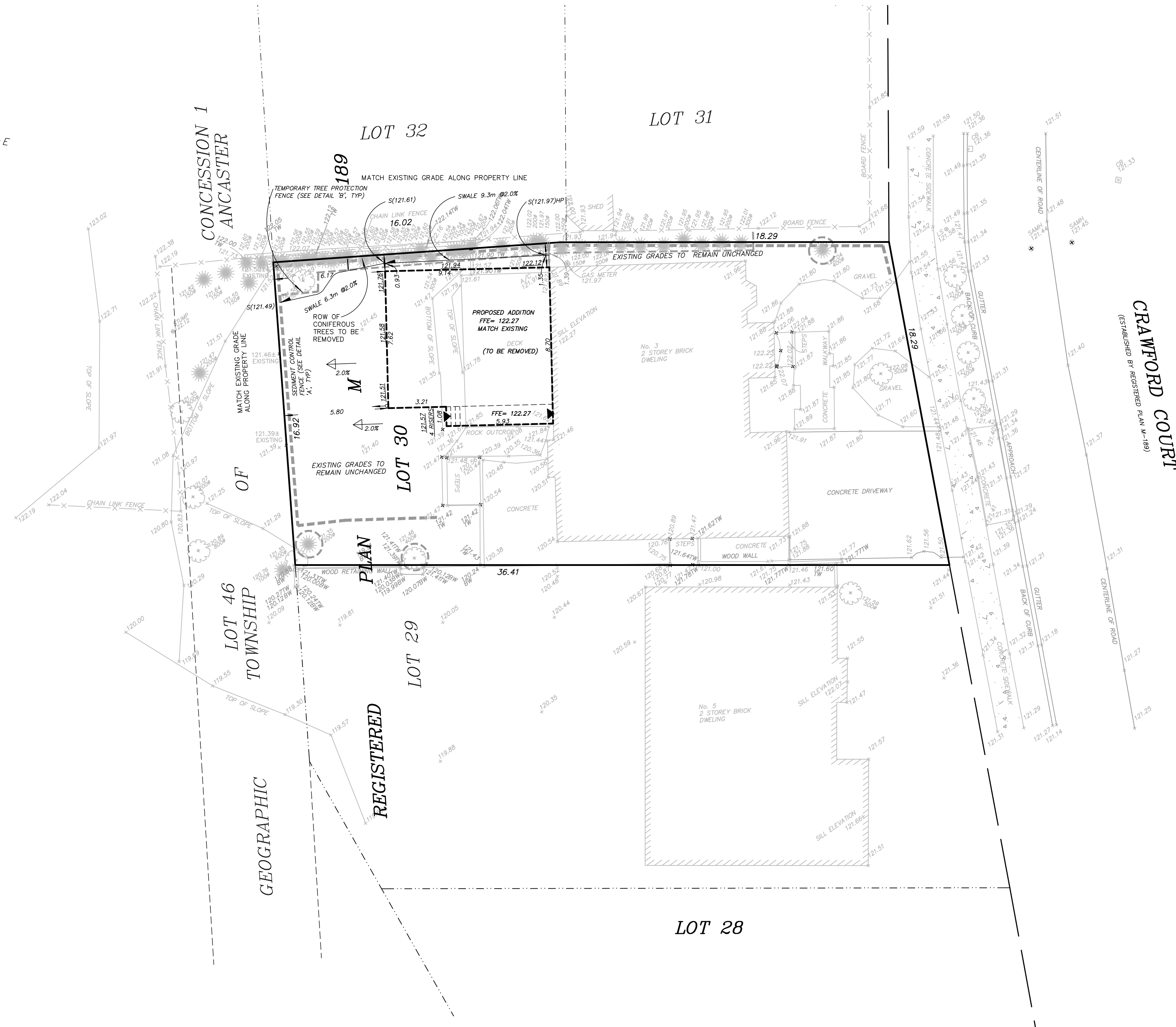
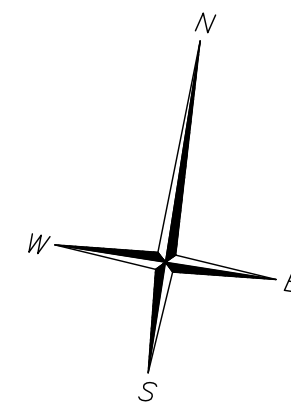
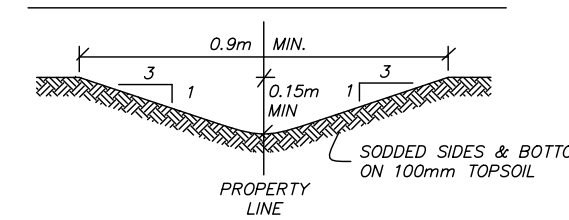


**EROSION AND SILTATION CONTROL**

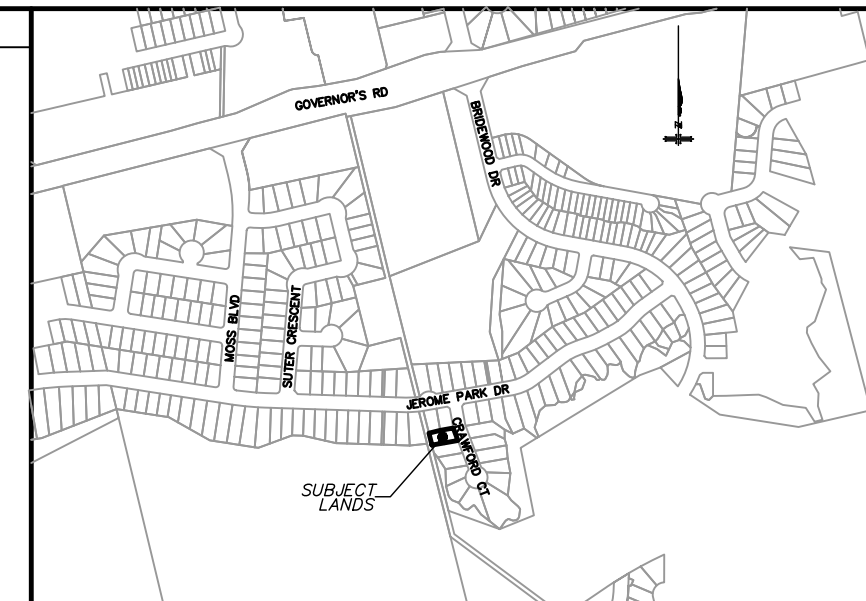
- Install all erosion and sediment control measures approved by the City of Hamilton, prior to development, and maintain such measures throughout the construction process, until all disturbed areas have been re-vegetated; and,
  - Inspect and maintain all erosion and sediment control measures for each rainfall to the satisfaction of the City and maintain a diary for review upon request by the City;
  - Provide suitable temporary mulch and seed cover within seven (7) days of the completion of a particular phase of construction for any disturbed area not scheduled for further construction within forty-five (45) days; and,
  - Re-vegetate all disturbed areas with permanent cover immediately following completion of construction.
- e) Additional silt control locations may be required as determined by the City of Hamilton.



**TYPICAL SWALE CROSS-SECTION N.T.S.**



**NOTE:**  
 Swales to be placed in a manner to meander around trees where grades permit to reduce impact on adjacent trees



**SITE & GRADING PLAN**  
**LOT 30**  
**REGISTERED PLAN M-189**

IN THE  
**CITY OF HAMILTON**  
 SCALE 1:150  
 0 5 10 metres  
**AMAD NAJM, PENG.**

**Caution:**  
 This is not a plan of survey and shall not be used except for the purpose indicated in the title block.

**BENCH MARK**  
 CITY OF HAMILTON  
 MONUMENT No. 0772090009  
 IRB WITH BRASS CAP  
 LOCATED IN HAMILTON IN ELMAR PARK WEST OF THE INTERSECTION OF BRIGADE DRIVE AND EMPEROR AVENUE 30m WEST OF THE CENTRAL BRIGADE DRIVE  
 ELEVATION= 209.445m

**NOTE:**  
 The builder is to verify the location and grade of all sewer and water services prior to setting u/s footings elevation

**NOTE:**  
 The builder is to verify the location of all street hardware and utilities prior to construction. That hydro vaults and other street 1.2 metres from the Driveways and/or driveway approaches shall be located such furniture are minimum projections of the building storage walls unless otherwise detailed on the lot grading plan.

**RAINWATER LEADERS**  
 All rainwater leaders shall discharge onto splash pads and then to grassed or landscaped areas a minimum of 0.6m from the building face

MUNICIPAL No 3 CRAWFORD COURT, DUNDAS  
 PROPOSED ADDITION  
 TWO STOREY DWELLING  
 SINGLE DETACHED RESIDENTIAL "R1" ZONING (3581-86 DUNDAS)

	REQUIRED	PROPOSED
MIN. LOT AREA	540.0m <sup>2</sup>	626.57m <sup>2</sup>
MIN. SIDE YARD	1.5m	0.90m
MIN. REAR YARD	7.5m	5.80m

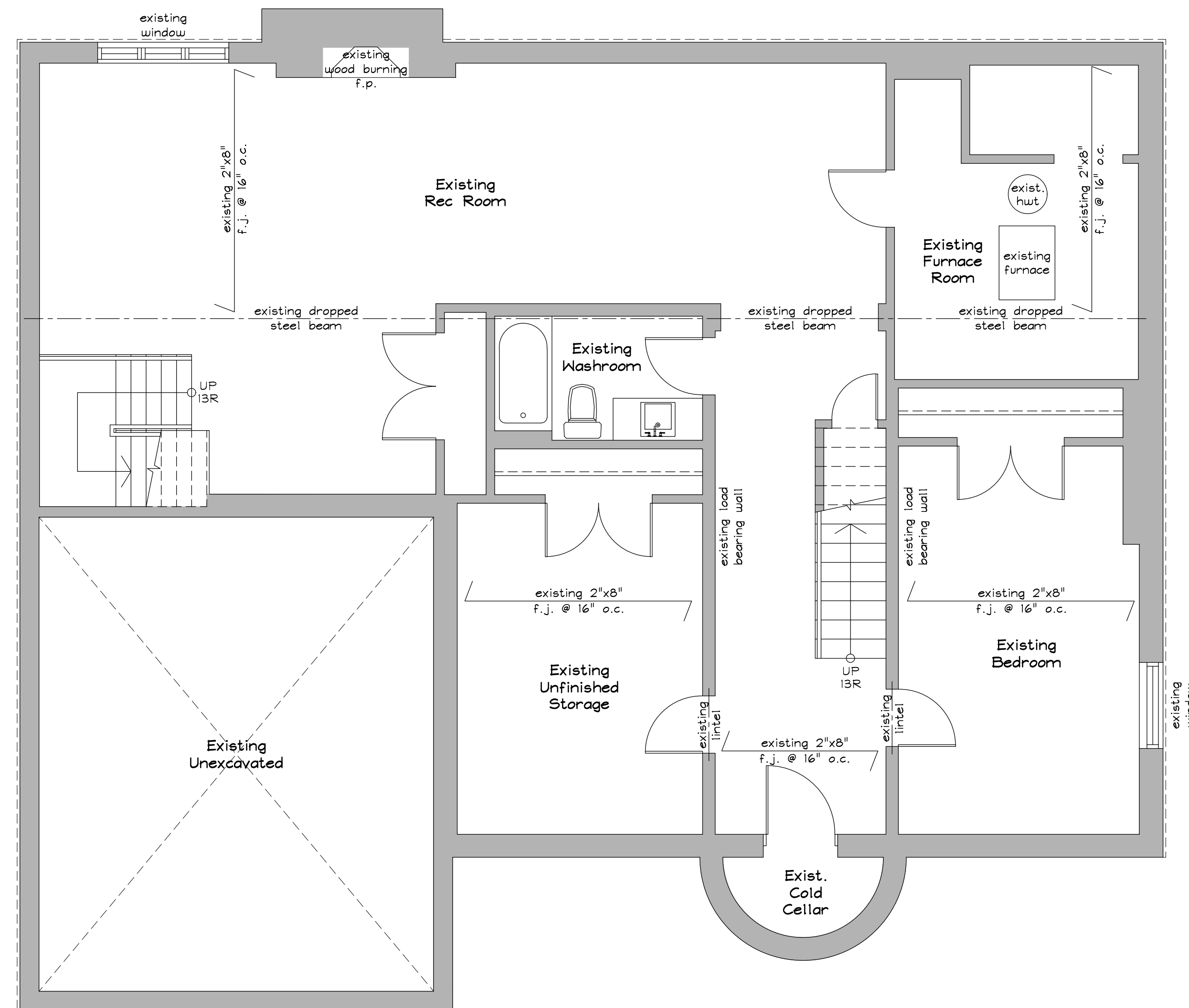
**NOTE:**  
 (a) THE ELEVATIONS SHOWN ON THIS PLAN WERE OBTAINED BY ACTUAL FIELD SURVEY BY A. J. CLARKE & ASSOCIATES LTD. DATED JULY 5, 2023  
 (b) METRIC: DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND:**
- 0000.00 EXISTING GROUND ELEVATION
  - 0000.00# ELEVATION TO MATCH EXISTING
  - (0000.00) PROPOSED FINISHED GROUND ELEVATION
  - 0000.00# PROPOSED FINISHED GROUND ELEVATION AT DWELLING
  - S(0000.00) PROPOSED SWALE INVERT ELEVATION
  - PROPOSED DIRECTION OF SURFACE DRAINAGE FLOW
  - ⬇ DENOTES DOWNSPOUT
  - ⬆ DENOTES ENTRANCE DOOR LOCATION
  - ↔ DENOTES SHEET FLOW DIRECTION
  - HYD DENOTES HYDRANT
  - LS DENOTES LIGHT STANDARD
  - HP DENOTES UTILITY POLE
  - 400# DENOTES 400mm DIA. TREE
  - WV DENOTES WATER VALVE
  - CB DENOTES CATCH BASIN
  - TC DENOTES TOP OF CURB
  - BC DENOTES BOTTOM OF CURB
  - DENOTES SEDIMENT CONTROL FENCE (SEE DETAIL 'A')
  - DENOTES DECIDUOUS TREE
  - DENOTES TEMPORARY TREE PROTECTION FENCE (SEE DETAIL 'B')
  - ✳ DENOTES TREE TO BE REMOVED

SEPTEMBER 07, 2023  
 DATE

**A. J. Clarke and Associates Ltd.**  
 SURVEYORS • PLANNERS • ENGINEERS  
 25 MAIN STREET WEST, SUITE 300  
 HAMILTON, ONTARIO, L8P 1H1  
 TEL. 905-528-8761 FAX 905-528-2289  
 email: a.jc@ajclarke.com

DRAWN BY:	CHECKED BY:	PROJECT No.	INDEX No.
WS	KB, AN	238086R	T-3547A



1 EXISTING BASEMENT PLAN  
 A1 1/4" = 1'-0"

THE BECKETT  
 RESIDENCE  
 3 CRAWFORD COURT  
 DUNDAS, ON  
 L9H 6G2

**drafting + design**  
 ■ 193 East 43rd Street ■  
 ■ Hamilton, ON ■  
 ■ 1ST FLOOR ■  
 ■ jbdraftinganddesign@live.ca ■  
 ■ 905.517.6027 ■

*Jennifer Bogner*  
 Jennifer Bogner reviews and takes responsibility for the design work described in this document.  
 firm bc1n 103416 ■ individual bc1n 33001

DATE	ISSUE DESCRIPTION
08-20-23	ISSUED FOR REVIEW
09-11-23	ISSUED FOR REVIEW
09-21-23	ISSUED FOR MV

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY. THE DESIGNER IS NOT LIABLE FOR ANY CHANGES MADE BY THE CONTRACTOR WITHOUT THE DESIGNER'S KNOWLEDGE AND PERMISSION.

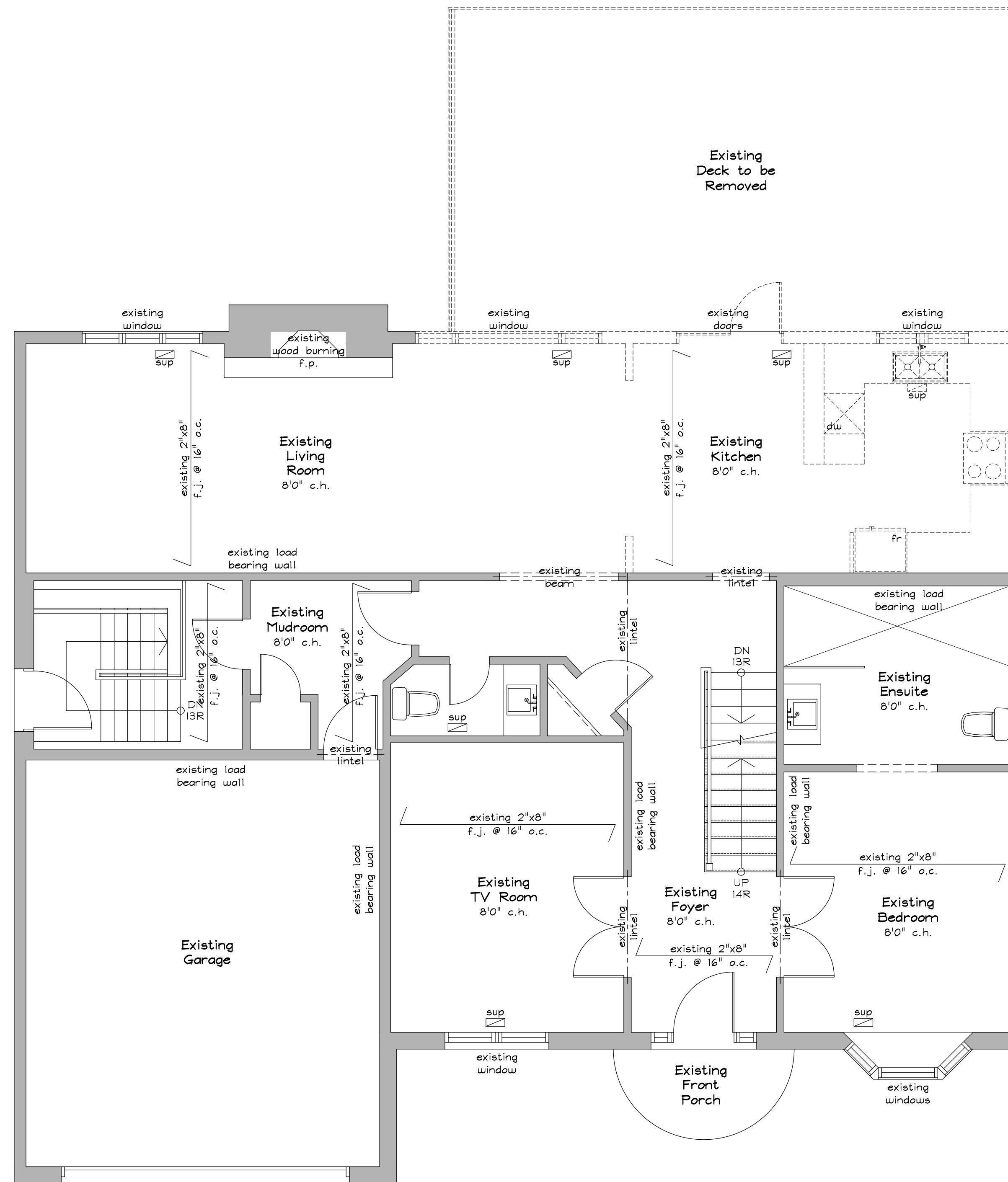
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EXISTING  
 BASEMENT  
 PLAN

SHEET  
**A1**  
 of 10



1 EXISTING FIRST FLOOR PLAN  
 A2 1/4" = 1'-0"

THE BECKETT  
 RESIDENCE  
 3 CRAWFORD COURT  
 DUNDAS, ON  
 L9H 6G2

**drafting + design**  
 193 East 43rd Street  
 Hamilton, ON  
 L8T 3C3  
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*Judy Bagar*  
 09.21.23  
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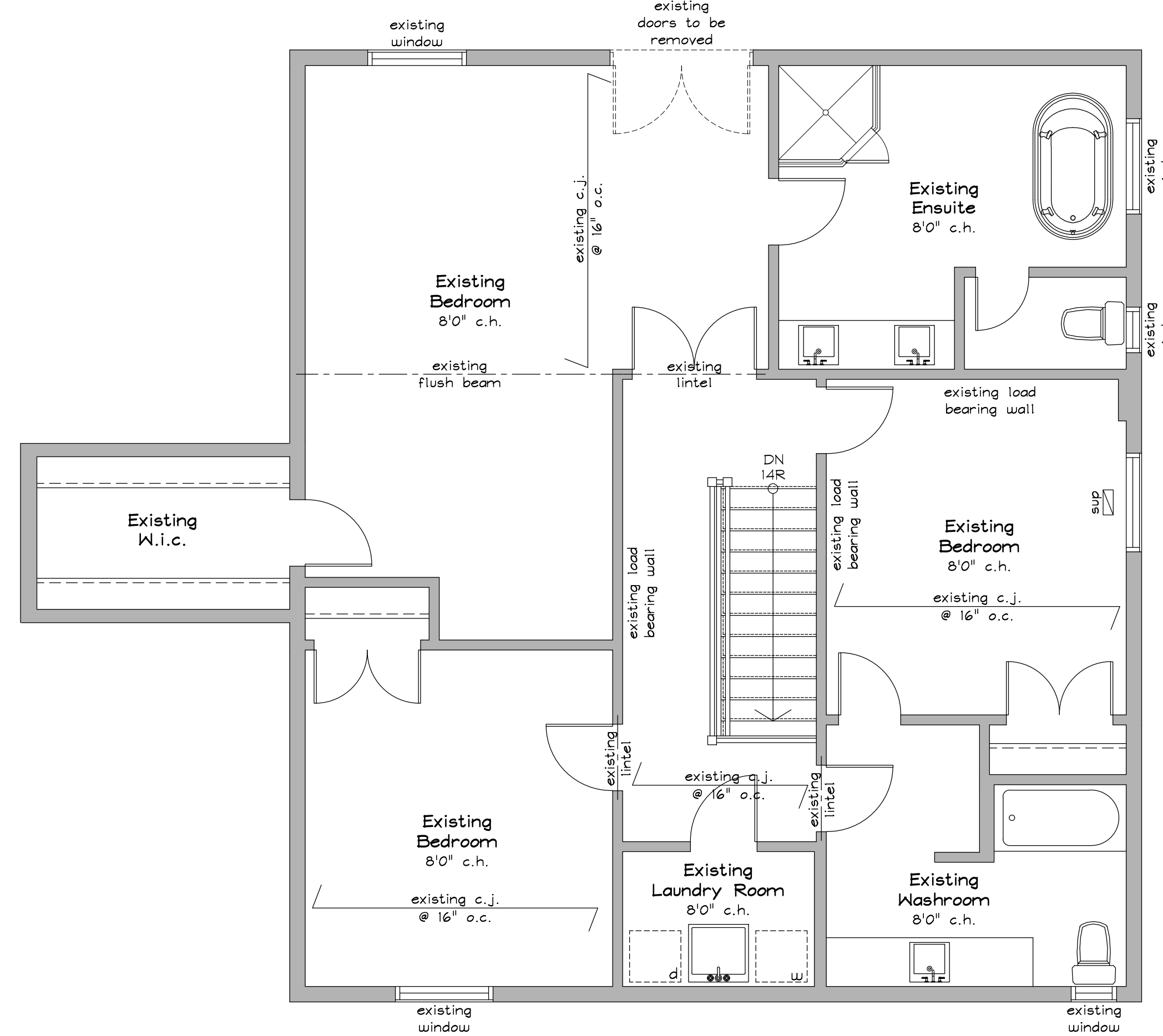
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1  
A3 EXISTING SECOND FLOOR PLAN  
1/4" = 1'-0"

THE BECKETT  
RESIDENCE  
3 CRAWFORD COURT  
DUNDAS, ON  
L9H 6G2

**J drafting + design**  
193 East 43rd Street  
Hamilton, ON  
L8T 3C3  
jbdraftinganddesign@live.ca  
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firm bcin 103416 individual bcin 33001

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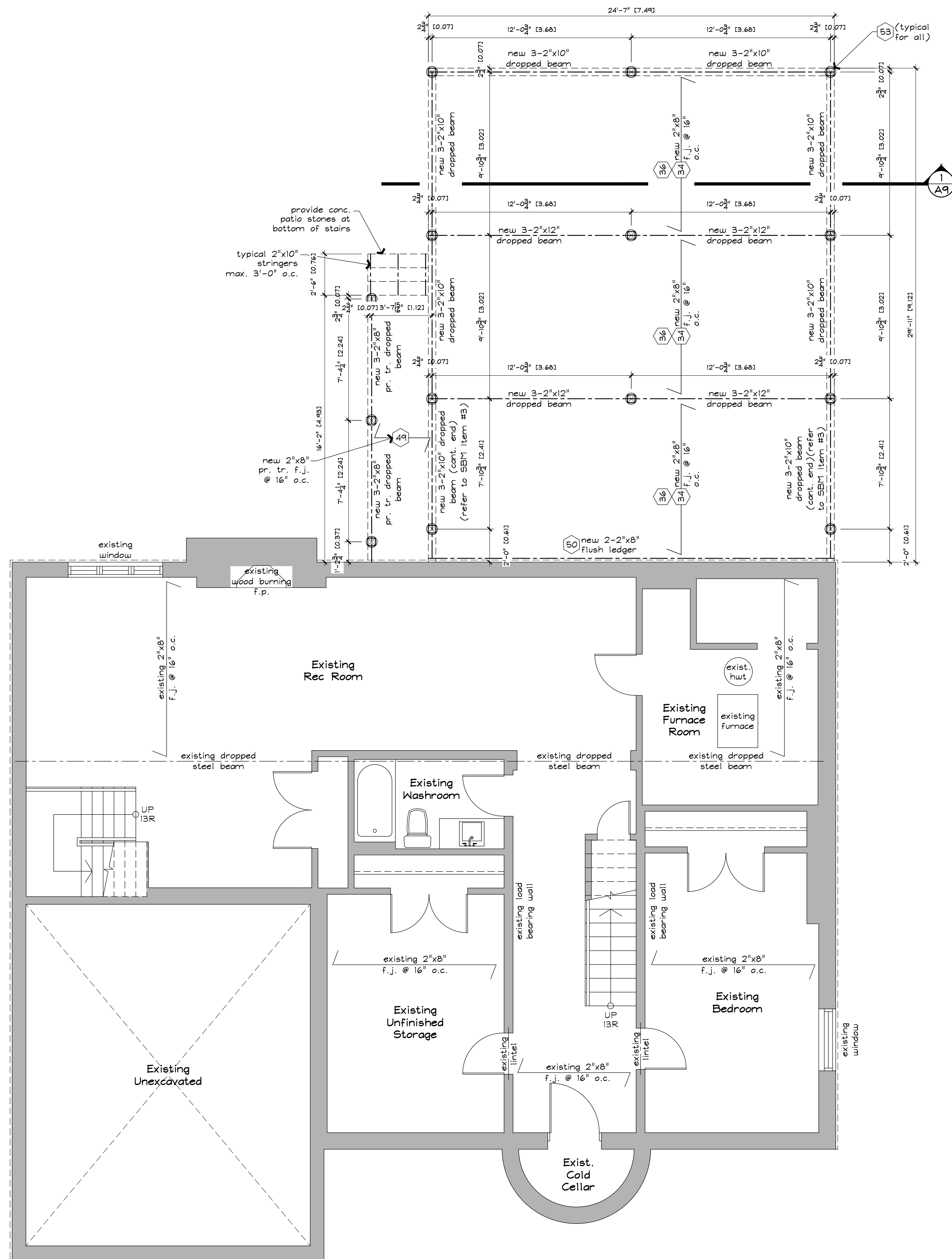
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EXISTING SECOND  
FLOOR PLAN  
SHEET  
A3  
of 10





1 PROPOSED FOUNDATION PLAN  
 A4 1/4" = 1'-0"

THE BECKETT RESIDENCE  
 3 CRAWFORD COURT  
 DUNDAS, ON  
 L9H 6G2

**J drafting + design**  
 193 East 43rd Street  
 Hamilton, ON  
 L8T 3C3  
 jbdraftinganddesign@live.ca  
 565.517.6027

*Judy Beckett*  
 Jennifer Baggar reviews and takes responsibility for the design work described in this document  
 firm bcfn 103416 • individual bcfn 33001

DATE	ISSUE DESCRIPTION
04-30-23	ISSUED FOR REVIEW
05-11-23	ISSUED FOR REVIEW
09-21-23	ISSUED FOR REV

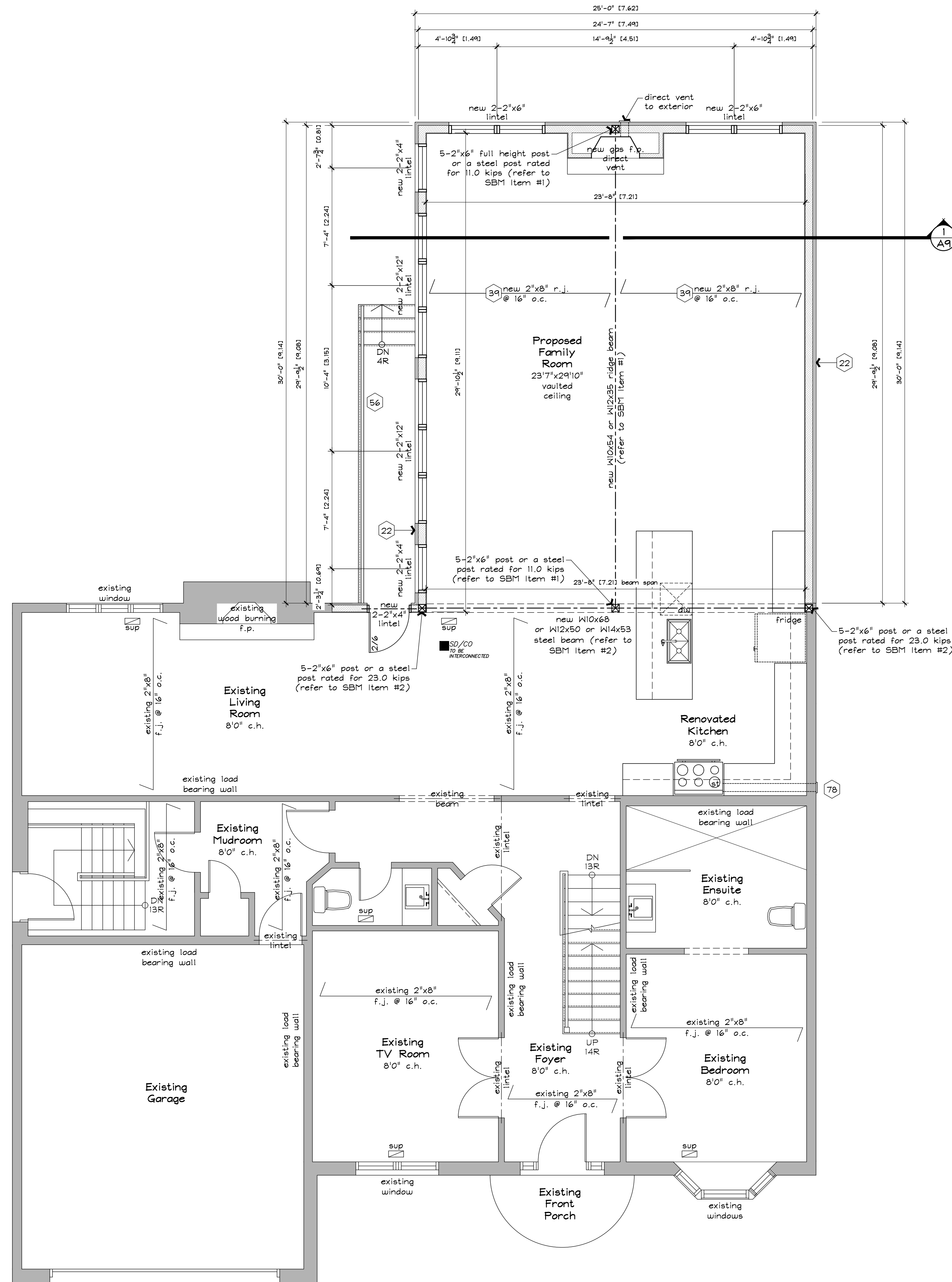
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PROPOSED FOUNDATION PLAN



1 PROPOSED FIRST FLOOR PLAN  
 A5 1/4" = 1'-0"

**THE BECKETT RESIDENCE**  
 3 CRAWFORD COURT  
 DUNDAS, ON  
 L9H 6G2

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 193 East 43rd Street  
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 565.517.6027

*Jay Bagar*  
 09.21.23  
 Jennifer Bagar reviews and takes responsibility for the design work described in this document  
 firm bcfn 103416 • individual bcfn 33001

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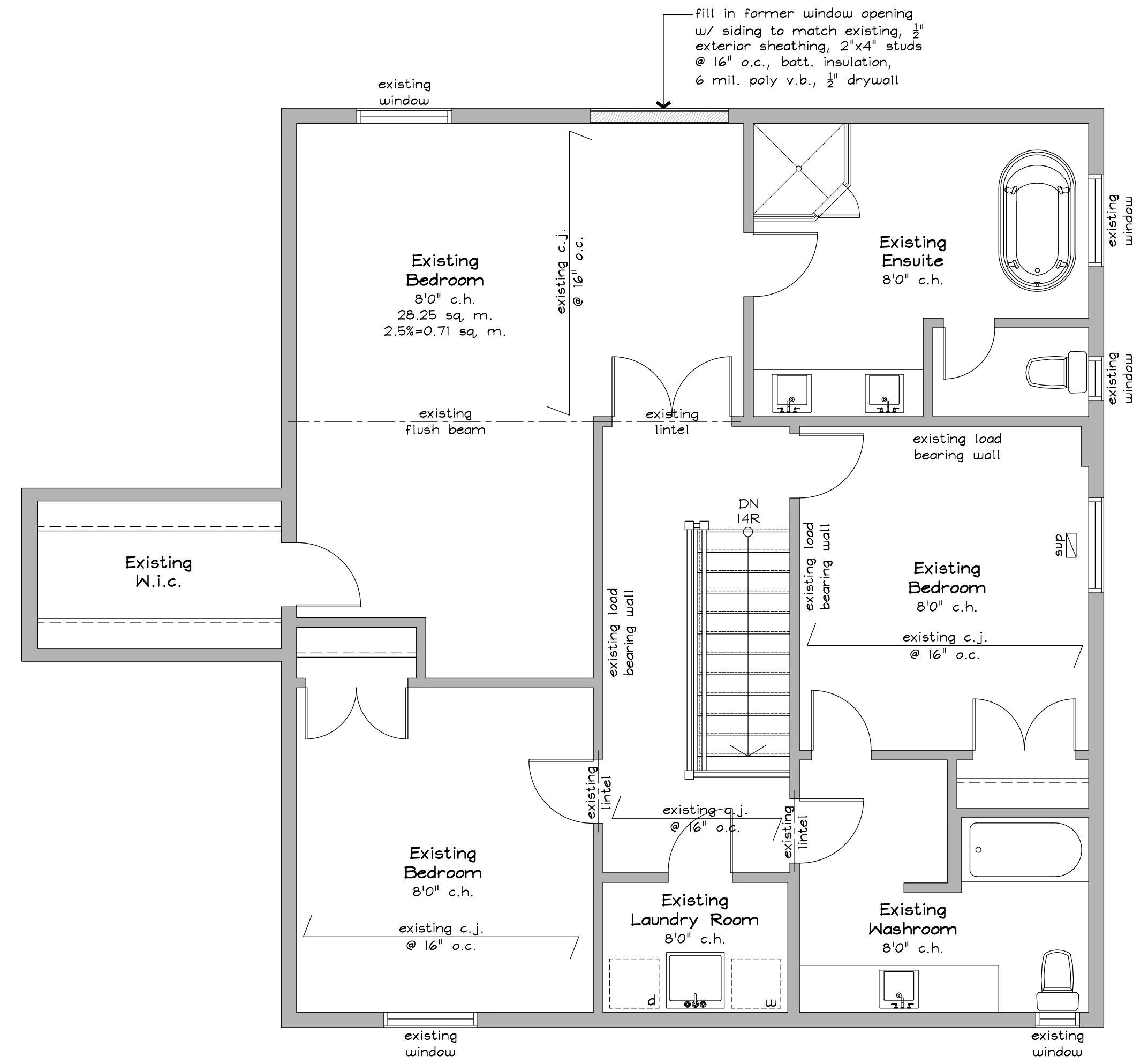
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PROPOSED  
 FIRST FLOOR  
 PLAN



1 PROPOSED SECOND FLOOR PLAN  
 A6 1/4" = 1'-0"

THE BECKETT  
 RESIDENCE  
 3 CRAWFORD COURT  
 DUNDAS, ON  
 L9H 6G2

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*Jennifer Bagyar*  
 Jennifer Bagyar reviews and takes responsibility for the design work described in this document  
 firm bcfn 103416 individual bcfn 33001

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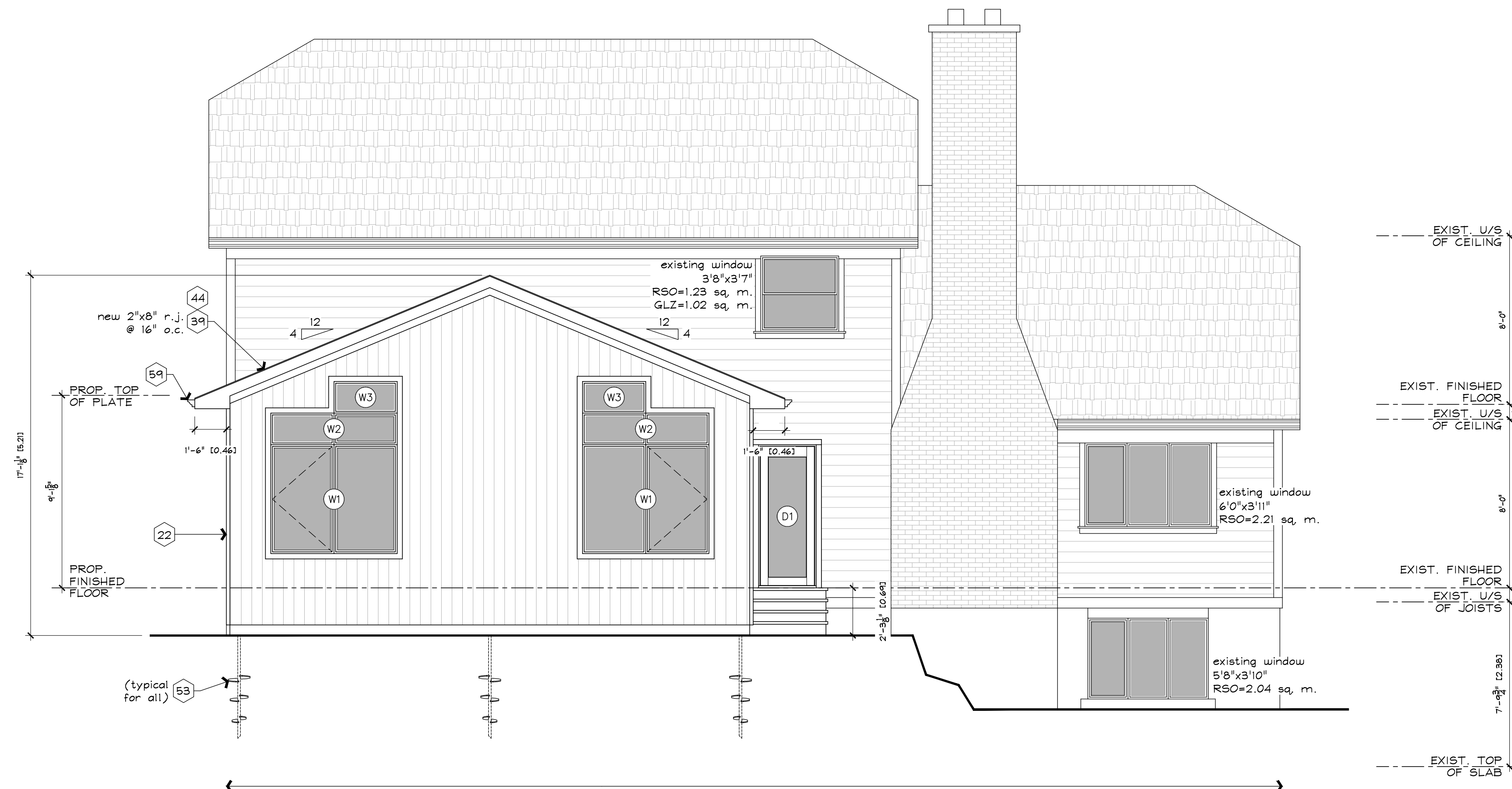
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PROPOSED  
 SECOND FLOOR  
 PLAN

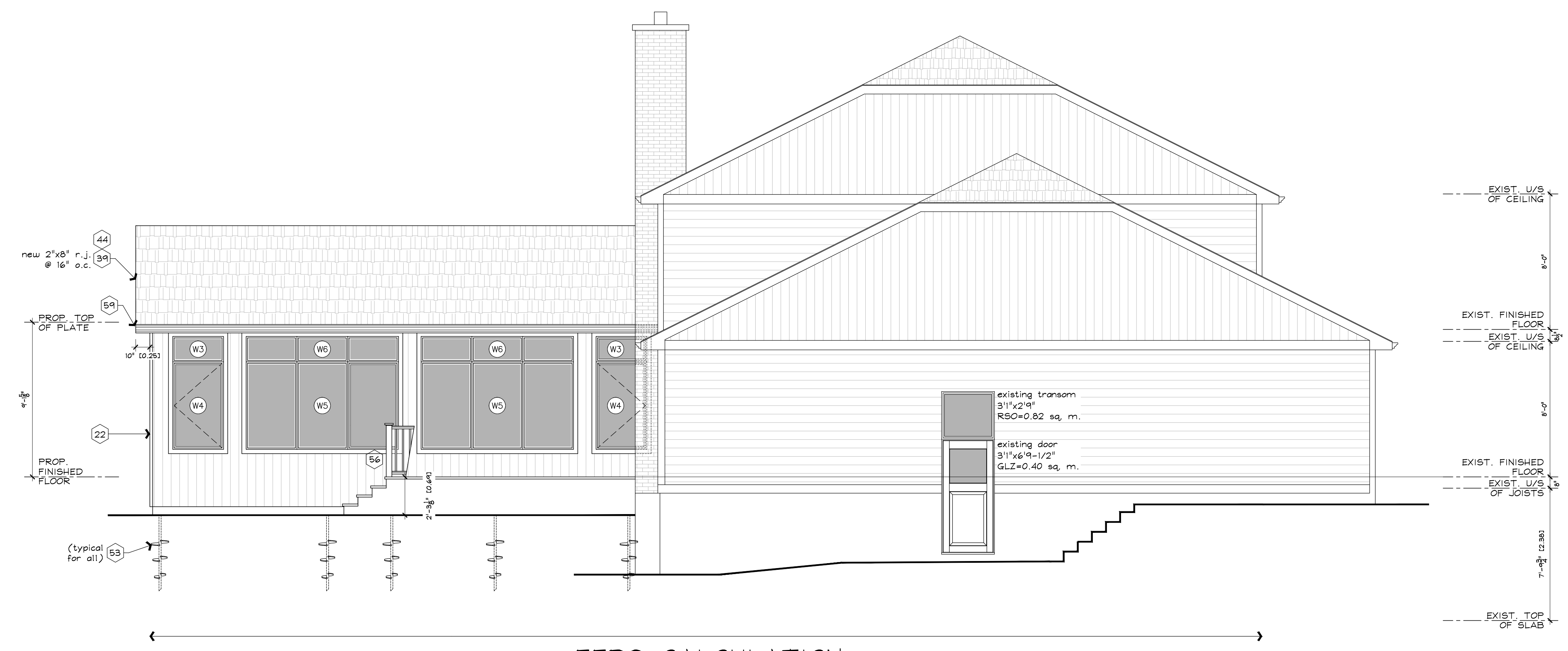
SHEET  
 A6  
 of 10



**EEDS CALCULATION**  
 WALL AREA = 81.17 sq. m.  
 WINDOW/DOOR AREA = 14.70 sq. m.

**FULL HOUSE EEDS CALCULATION**  
 WALL AREA = 355.40 sq. m.  
 WINDOW/DOOR AREA = 43.34 sq. m.  
 WINDOW/DOOR AREA % = 12.19%

1 PROPOSED REAR ELEVATION  
 A7 1/4" = 1'-0"



**EEDS CALCULATION**  
 WALL AREA = 104.59 sq. m.  
 WINDOW/DOOR AREA = 16.08 sq. m.

2 PROPOSED LEFT SIDE ELEVATION  
 A7 1/4" = 1'-0"

**THE BECKETT RESIDENCE**  
 3 CRAWFORD COURT  
 DUNDAS, ON  
 L9H 6G2

**J drafting + design**  
 193 East 43rd Street  
 Hamilton, ON  
 L8T 3C3  
 jbdraftinganddesign@live.ca  
 905.517.6027

*Judy Best*  
 09.21.23  
 Jennifer Bagyar reviews and takes responsibility for the design work described in this document  
 firm bcin 103416 individual bcin 33001

DATE	ISSUE DESCRIPTION
04.30.23	ISSUED FOR REVIEW
05.11.23	ISSUED FOR REVIEW
09.21.23	ISSUED FOR MV

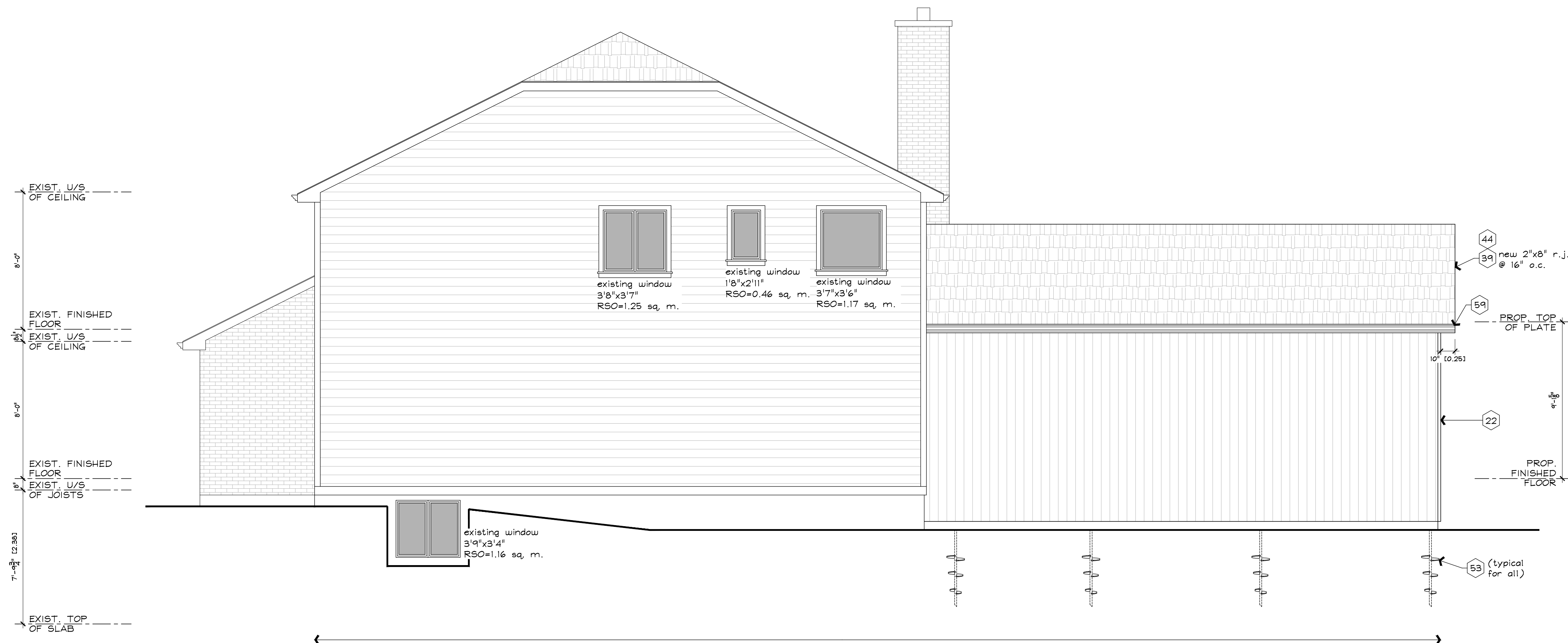
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FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

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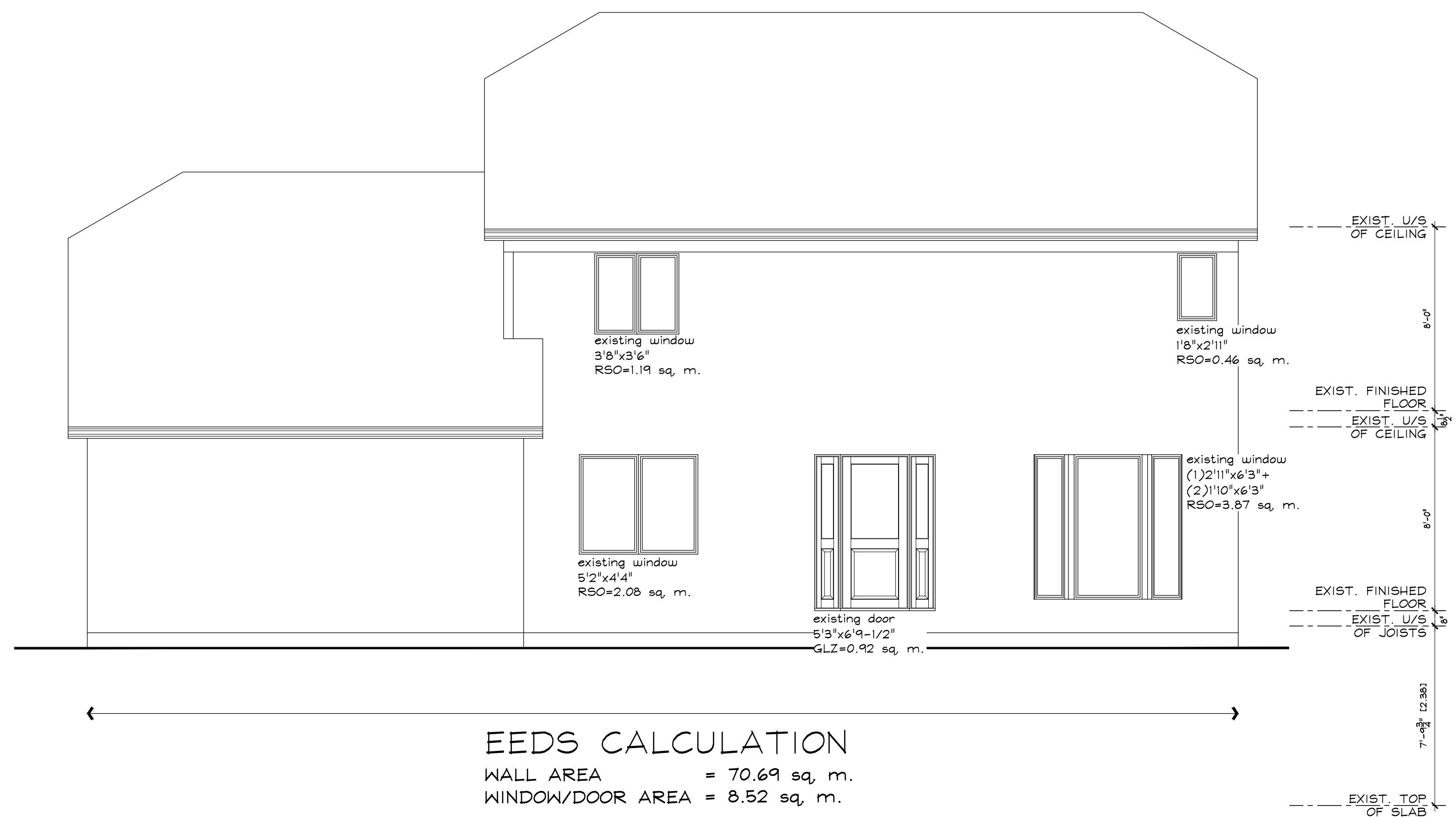
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PROPOSED ELEVATIONS



1 PROPOSED RIGHT SIDE ELEVATION  
A8 1/4" = 1'-0"

EEDS CALCULATION  
WALL AREA = 98.95 sq. m.  
WINDOW/DOOR AREA = 4.04 sq. m.



2 EXISTING FRONT ELEVATION  
A8 1/4" = 1'-0"

EEDS CALCULATION  
WALL AREA = 70.69 sq. m.  
WINDOW/DOOR AREA = 8.52 sq. m.

THE BECKETT RESIDENCE  
3 CRAWFORD COURT  
DUNDAS, ON  
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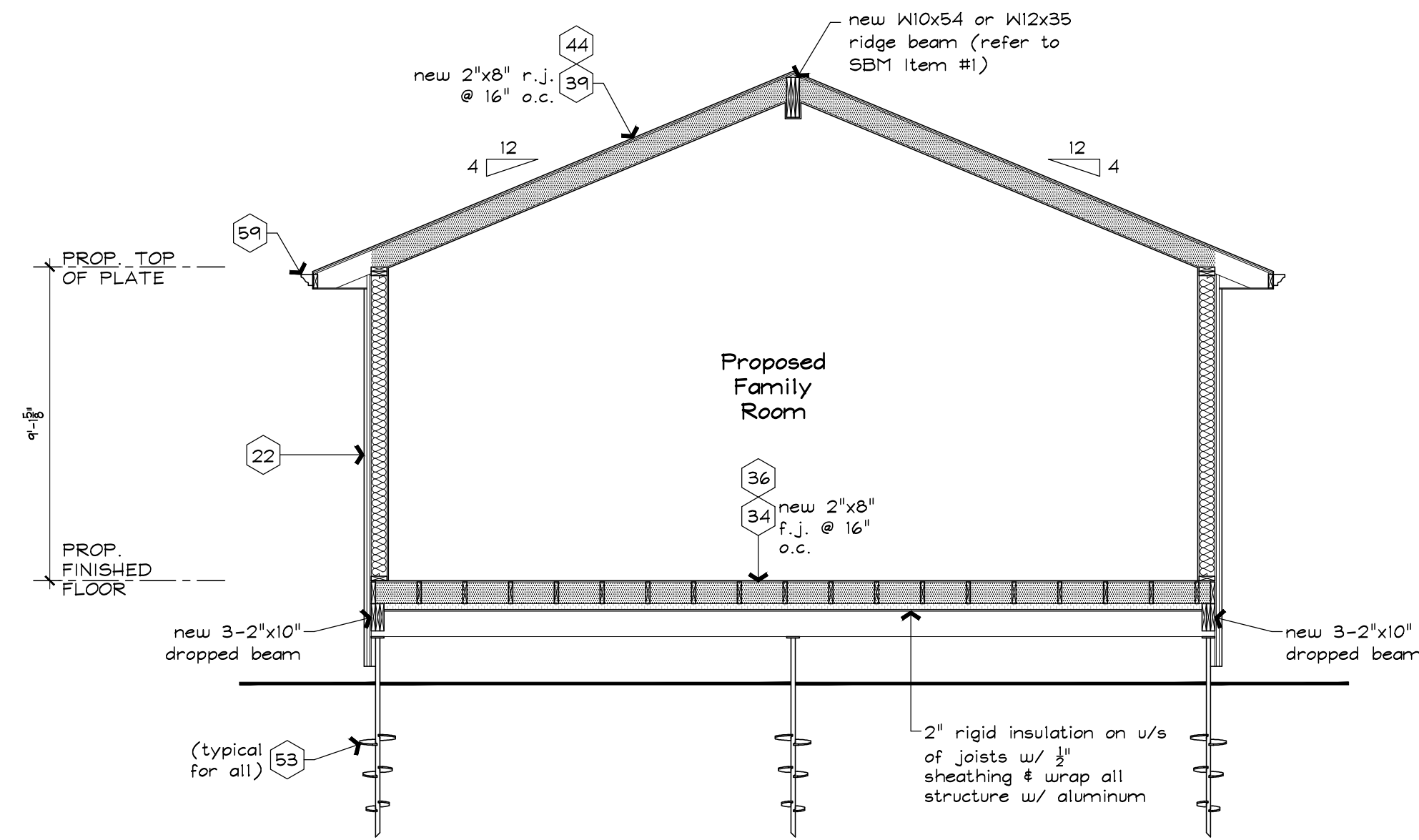
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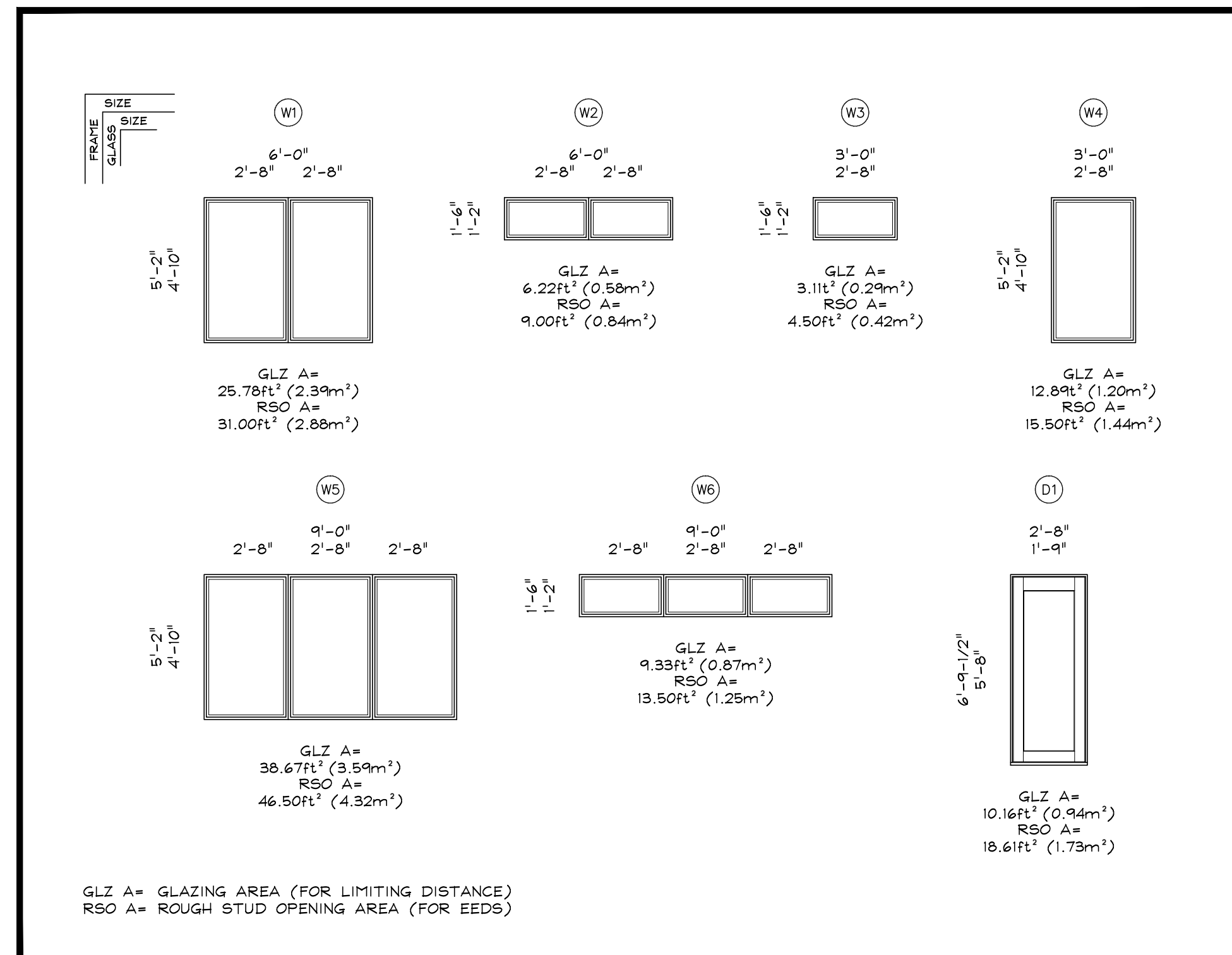
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PROPOSED ELEVATIONS  
2

SHEET  
A8  
of 10



1 CROSS SECTION  
A9 1/4" = 1'-0"



2 WINDOW/DOOR SCHEDULE  
A9 N.T.S.

ZONE 1 - TABLE 3.1.1.11.(IP) ADDITIONS	
COMPONENT	THERMAL VALUES MIN. NOMINAL R/MIN. NOMINAL RSI
CEILING WITH ATTIC SPACE	R.60/10.56
CEILING WITHOUT ATTIC SPACE	R.31/5.46
EXPOSED FLOOR	R.31/5.46
WALLS ABOVE GRADE	R.19+5ci/3.34+0.88ci
BASEMENT WALLS	R.12+10ci/2.11+1.76ci
BASEMENT GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-----
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	R.10/1.76
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	R.10/1.76
WINDOWS OR SLIDING GLASS DOORS	MAX. U 0.28/1.6

3 SB-12 PACKAGE  
A9 N.T.S.

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CROSS SECTION & DETAILS

SHEET  
A9  
of 10

## GENERAL STRUCTURAL NOTES:

- GENERAL**
- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, 2012 EDITION, INCLUDING ALL CURRENT REVISIONS, WITH ALL OTHER APPLICABLE REGULATIONS, AND WITH GOOD CONSTRUCTION PRACTICES AND METHODS.
  - CHECK ALL DIMENSIONS SHOWN ON STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND OTHER DRAWINGS AND REPORT ANY INCONSISTENCIES TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
  - DESIGN LIVE LOADS FOR EACH PORTION OF THE STRUCTURE ARE INDICATED ON THE DRAWINGS. DO NOT EXCEED THESE LOADS DURING CONSTRUCTION.
  - STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS.
  - STRUCTURES SHALL CONFORM TO O.B.C. PART 9, OF MOST RECENT VERSION, UNLESS OTHERWISE NOTED.
- FOUNDATIONS AND FORMED CONCRETE**
- ALL CONCRETE CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD A23.1-04.
  - CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS NOTED BELOW:
    - FOOTINGS - 30 MPa
    - PIERS AND WALLS - 25 MPa
  - INTERIOR SLABS - 25 MPa
  - DEICING SALTS EXPOSURE CONCRETE - 32 MPa C-2 EXP. CLASS
  - CONCRETE EXPOSED TO WEATHERING SHALL HAVE BS TO 75 ENTRAINED AIR.
  - CONCRETE COVER TO REINFORCING STEEL SHALL BE AS NOTED BELOW:
    - 3" - FOR CONCRETE EXPOSED TO EARTH AND WEATHER (AND AS OTHERWISE NOTED IN A23.1-04)
    - 3" - FOR CONCRETE PLACED AGAINST EARTH
    - 2" - FOR CONCRETE EXPOSED TO O.B.C. PART 9, OF MOST RECENT VERSION, UNLESS OTHERWISE NOTED IN A23.1-04
  - PROVIDE DEFORMED REINFORCING STEEL CONFORMING TO CSA STANDARD 430-B18.1. USE GRAD 600S BARS FOR STEELS AND TIES. PROVIDE 400S BARS FOR ALL OTHER REINFORCING.
  - ALL CONCRETE SHALL BEAR ON NATIVE UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUPPORTING:
    - 3000 PSF (SL)
    - 3000 PSF (SL)
  - CONTRACTOR IS TO VERIFY THIS PRIOR TO PLACING CONCRETE
  - NOT DIRECTLY UNDER FLOOR SLAB SHALL BE MECHANICALLY COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DENSITY.
  - DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS. FOR STEPPED FOOTINGS, USE STEPS NOT EXCEEDING 2'-0" IN HEIGHT.
  - PROVIDE A MINIMUM 4'-0" EARTH COVER TO THE UNDERSIDE OF ALL CONCRETE WALLS AND FOOTINGS FOR FROST PROTECTION. PROTECT SOIL FROM FREEZING AND AROUND ALL FOOTINGS.
  - ALL FOOTINGS SHALL BE CONFORMING TO NOTES 6, 8 AND 9 ABOVE AND BASED ON THE INFORMATION AVAILABLE AT THE TIME OF TENDER HAVE BEEN SHOWN ON THE DRAWINGS. IF UPON EXCAVATION TO THE LEVELS SHOWN, THESE CONDITIONS ARE NOT FULFILLED AS NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RAISED OR LOWERED, BUT ONLY WITH THE PERMISSION OF THE ENGINEER.
  - PROVIDE 3" SLOPE ON BOTH SIDES OF ALL FOOTINGS BELOW THE WATER TABLE.
  - DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (OTHER THAN CANTILEVERED WALLS) UNTIL THE FLOORS CONSTRUCTED AT THE TOP AND BOTTOM OF WALL ARE BUILT AND THE WALLS ARE PROTECTED AGAINST BACKFILL. BACKFILL AGAINST FOUNDATION WALLS IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 1'-6" DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL, EXCEPT WHERE TEMPORARY SUPPORT IS PROVIDED.

- UNIT MASONRY**
- ALL MASONRY CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD A31-04. ALL MASONRY REINFORCING AND TYING SHALL BE IN ACCORDANCE WITH CSA STANDARDS A310-04, AND A310-04, AND A310-04. ALL MASONRY AND REINFORCING SHALL BE IN ACCORDANCE WITH CSA STANDARDS A310-04.
  - CONCRETE MASONRY UNITS SHALL BE TYPE M15 A/M NORMAL WEIGHT BLOCKS UNLESS OTHERWISE NOTED.
  - MORTAR FOR EXTERIOR MASONRY SHALL BE:
    - TYPE S - LOAD BEARING BELOW GRADE, AND
    - TYPE N - LOAD BEARING ABOVE GRADE.
 MORTAR FOR INTERIOR MASONRY SHALL BE:
    - TYPE S - LOAD BEARING, AND
    - TYPE N - NON-LOAD BEARING.
  - CONCRETE GROUT FOR REINFORCED MASONRY SHALL CONSIST OF ONE PART PORTLAND CEMENT AND THREE PARTS SAND WITH WATER TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH OF 10 MPa AT 28 DAYS. MAXIMUM AGGREGATE SIZE SHALL BE 1/4" SLURP FOR THE GROUT SHALL BE 8" TO 10".
  - WHERE BEAMS, JOISTS OR LINTELS ARE SUPPORTED ON MASONRY WALLS, BUILD SOLID MASONRY TIGHT AROUND MEMBERS AT THEIR POINT OF BEARING. INSTALL STEEL BEARING PLATES COMPLETE WITH ANCHORS INTO THE MASONRY WALL THE SPECIFIED ELEVATION. FILL JOISTS IN MASONRY UNITS BELOW THE JOIST WITH CONCRETE GROUT AND 1-1/2" BAR IN EACH CELL (MIN. 2 CELLS) TO FULL HEIGHT OF THE WALL BELOW THE BEARING LEVEL.
  - VERTICAL CONTROL JOINTS SHALL BE LOCATED AT MAXIMUM SPACING OF 16' TO 20' OR AS LOCATED ON THE DRAWINGS.
  - COVER ALL OPENINGS OR RECESSES IN THE MASONRY WALLS, INCLUDING THOSE REQUIRED FOR MECHANICAL OR ELECTRICAL EQUIPMENT, PROVIDE AND INSTALL. HORIZONTAL REINFORCING AS NOTED ON THE DRAWINGS. FOR OPENINGS LESS THAN 16", PROVIDE 1/2" THICK MILD STEEL FLATE LINTEL.
  - TRIM ALL OPENINGS IN MASONRY WALLS WITH 1-1/2" BARS GROUTED VERTICALLY INTO THE BLOCK VOIDS. TYPICAL UNLESS OTHERWISE NOTED.
  - VERTICAL REINFORCING AND LINTEL REINFORCING AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS:
    - 8" CONCRETE BLOCK:
      - VERTICAL REINFORCING - 15M @ 32" O.C.
      - HORIZONTAL REINFORCING - HEAVY DUTY TRUSS TYPE EVERY SECOND BLOCK COURSE
    - 10" CONCRETE BLOCK:
      - VERTICAL REINFORCING - 20M @ 24" O.C.
      - HORIZONTAL REINFORCING - HEAVY DUTY TRUSS TYPE EVERY SECOND BLOCK COURSE
- STRUCTURAL STEEL**
- ALL STRUCTURAL STEEL WORK, INCLUDING DESIGN OF ALL COMPONENTS, SHALL BE CARRIED OUT IN ACCORDANCE WITH CAN/CSA-S16-01 EXCEPT WHERE OTHERWISE NOTED.
  - PROVIDE NON-STRUCTURAL STEEL CONFORMING WITH CSA STANDARD 440-21-04. PROVIDE GRADE 50W FOR CORNERS AND PLATES, AND GRADE 50W FOR HOLLOW STRUCTURAL SECTIONS. ALL STRUCTURAL STEEL SHALL BE PAINTED CONFORMING TO CAN/CSA-S16-01. ALL STRUCTURAL STEEL SHALL BE PAINTED CONFORMING TO CAN/CSA-S16-01. ALL STRUCTURAL STEEL SHALL BE PAINTED CONFORMING TO CAN/CSA-S16-01.
  - ALL BOLTS SHALL BE ASTM A325 OR BETTER HIGH STRENGTH BOLTS. ANCHOR BOLTS SHALL BE ASTM A307.
  - ALL BEAM-TO-BEAM AND BEAM-TO-COLUMN CONNECTIONS SHALL BE DOUBLE ANGLE UNLESS OTHERWISE NOTED.
  - WELD ALL BEAM-TO-BEAM AND BEAM-TO-COLUMN CONNECTIONS TO BEARING PLATES OR SUPPORTING MEMBERS UNLESS OTHERWISE NOTED.

## GENERAL WORK NOTES:

- ALL CONSTRUCTION TO MEET OR EXCEED THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
- CONTRACTOR TO INSPECT SITE PRIOR TO BID SUBMISSION AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
- ENSURE THAT ALL CONSTRUCTION MATERIALS, METHODS OR CONSTRUCTION AND TEMPORARY BRACING COMPLY WITH REQUIREMENTS OF JURISDICTIONAL AUTHORITY.
- CONTRACTOR TO ENSURE PROPER SHORING/TEMPORARY WALLS ARE PROVIDED FOR EXCAVATION OF LOAD BEARING WALLS/BEAMS OR STRUCTURE.
- CONTRACTOR/EXCAVATOR TO PROVIDE ALL NECESSARY SHORING FOR FOUNDATION REMOVAL, FOR ALL SURROUNDING STRUCTURES.
- MAKE GOOD ALL AREAS OF WORK AND SURFACES DISTURBED BY CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT.
- CONTRACTOR SHALL COORDINATE STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK IN ORDER TO ENSURE THAT THE PARTS OF THE WORK COME TOGETHER PROPERLY.
- SITE VERIFY ALL DIMENSIONS AND MAKE MODIFICATIONS TO SUIT EXISTING CONDITIONS AT THE DIRECTION OF THE DESIGNER.
- CABINET FABRICATOR TO WORK WITH OWNER AND SUPPLY SHOP DRAWINGS FOR ALL RELATED WORK.
- WINDOW SUPPLIER TO WORK WITH OWNER AND SUPPLY SHOP DRAWINGS FOR ALL RELATED WORK.
- OWNER WILL PAY THE COST OF BUILDING PERMITS, THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL OTHER PERMITS, AND FEES REQUIRED FOR CONSTRUCTION AND INSTALLATION OF SERVICES, EQUIPMENT, SIGNAGE, TEMPORARY HYDRO, AND OCCUPANCY.
- PLANS SHOWN HERE DO NOT REPRESENT THE FULL LIMIT OF THE SCOPE OF THE WORK. PROVIDE BLOCKING CUTTING, PATCHING AND ALL REMEDIAL WORK IN ORDER TO ENSURE ALL PARTS OF THE WORK PERFORMED INTERFACE PROPERLY.
- ALL FINISHES TO BE MADE GOOD IN ALL AREAS DAMAGED BY WORK OR RENOVATED AFTER CONSTRUCTION TO DETAIL EXISTING OR FINISH EXISTING CONDITIONS AND THE DESIGNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- ELECTRICAL CONTRACTOR TO ASSESS EXISTING INCOMING SERVICE AND MAKE ANY NECESSARY MODIFICATIONS TO THE SERVICE.
- ELECTRICAL AND GENERAL CONTRACTOR TO CONDUCT WALL THROUGH WITH OWNER AND CONTRACTOR TO COMPLETE TO DETERMINE EXACT LOCATION OF ALL ELECTRICAL OUTLETS ON SITE.
- ALL EXISTING STRUCTURE, HVAC, & ELECTRICAL HAS BEEN ASSUMED TO BE ADEQUATE TO CARRY ALL LOADING, OR ITS PURPOSE ALIKE SHOWN ON THE DRAWINGS. IF HOWEVER, SINCE CERTAIN STRUCTURAL MEMBERS, HVAC, ELECTRICAL CANNOT BE INSPECTED PRIOR TO EXPOSURE OF THE SUBSTRATE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY INFORMATION NOT ADEQUATE TO CARRY THE LOADING OR O.B.C. REQUIREMENTS OR IT'S PURPOSE ON THE DRAWINGS, THEN THE CONTRACTOR IS TO NOTIFY THE DESIGNER IMMEDIATELY FOR ENGINEERING EXAMINATION & REDESIGN OF, OR REMEDIAL ACTION TO BRING THE INADEQUATE STRUCTURE UP TO CODE BEFORE PROCEEDING WITH FURTHER WORK ON THE AREA IN QUESTION, AT THE OWNER'S EXPENSE.

## GENERAL BATHROOM NOTES:

- ALL PLUMBING LINES TO BE "PIPEX" OR EQUAL.
- IN FLOOR ELECTRICAL RADIANT HEATING TO BE "NUHEAT" DIRECTLY WIRED TO ELECTRICAL PANEL OR EQUAL.
- EXHAUST FANS FOR BATHROOMS AND POWDER ROOMS TO BE "PANASONIC" WITH 24HR. RUN CAPABILITY.
- FLOOR JOISTS UNDER TUBS TO BE A MAX. OF 12" O.C. OR SUPPLEMENTARY BLOCKING ADDED BELOW TUB.
- EXTERIOR WALLS OF BATHROOMS AND POWDER ROOMS TO BE GLAD WITH "QUIET BLOCKING" ADDED BELOW TUB.
- INTERIOR WALLS OF BATHROOMS AND POWDER ROOMS TO BE BOARDED WITH "ROCK" GYPSUM BOARD AND SEALED WITH ACOUSTIC CAULKING.
- ALL INTERIOR WALLS AROUND SHOWERS AND TUBS TO BE CONCRETE BOARD "GEORGIA PACIFIC DENSAR PLUS DRYWALL".
- GEORGIA PACIFIC DENSAR PLUS DRYWALL.
- INSTALL "KERDI" WATERPROOFING MEMBRANE WITH NON-MODIFIED THIN SET PORTLAND CEMENT BOARD.
- FOR TUBS, INSTALL CEMENT BOARD TO TOP OF TUB LIP ONLY. FILL IN THE REMAINING 1" GAP WITH THINSET AND EXTEND "KERDI" DOWN TO TUB.
- FOR ALL SHOWER FLOORS, INSTALL "SCHLUTERS SHOWER KIT".
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- FOR TUBS, INSTALL CEMENT BOARD TO TOP



Hamilton

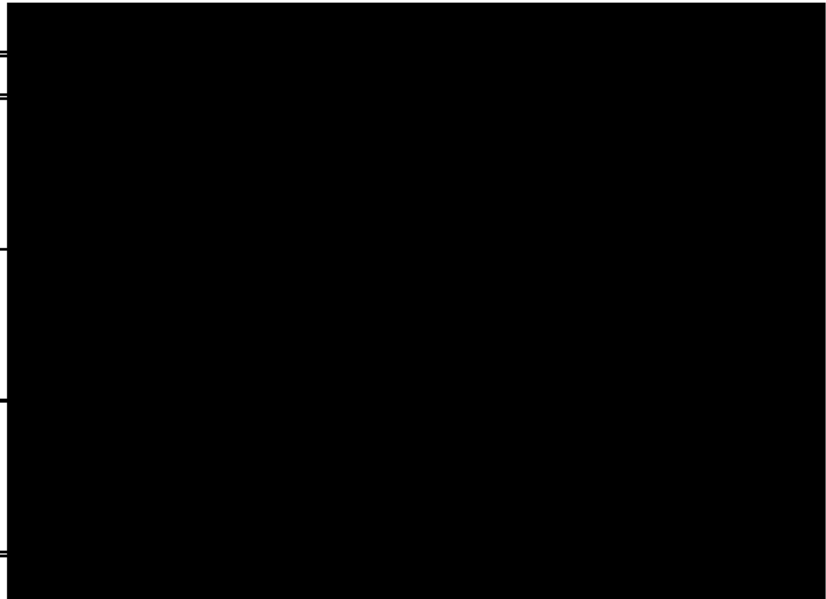
Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION  
UNDER SECTION 45 OF THE PLANNING ACT**

**1. APPLICANT INFORMATION**

	NAME
<b>Registered Owners(s)</b>	Jason Beckett & Annie Delguidice
<b>Applicant(s)</b>	Jenny Bognar
<b>Agent or Solicitor</b>	As per Applicant



1.2 All correspondence should be sent to

- Purchaser
- Applicant
- Owner
- Agent/Solicitor

1.3 Sign should be sent to

- Purchaser
- Applicant
- Owner
- AgentSolicitor

1.4 Request for digital copy of sign

- Yes\*
- No

If YES, provide email address where sign is to be sent \_\_\_\_\_

1.5 All correspondence may be sent by email

- Yes\*
- No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:



Municipal Address	3 Crawford Court		
Assessment Roll Number			
Former Municipality	Dundas		
Lot	30	Concession	
Registered Plan Number	M-189	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

### 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

See attached

Second Dwelling Unit  Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

See attached

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
18.29 m.	36.41 m.	626.57 sq. m.	17.0 m.

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling	7.11 m.	14.62 m.	1.36 m./ 1.39 m.	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling w/ addition	n/a	5.80 m.	8.80 m./0.93 m.	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling	179.60 sq. m.	292.17 sq. m.	2	8.43 m.

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling w/ addition	249.27 sq. m.	361.85 sq. m.	2	5.21 m. to addition

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year \_\_\_\_\_

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Single family detached dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single family detached dwelling

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

February 2018

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single family detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single family detached dwelling

7.4 Length of time the existing uses of the subject property have continued:

always

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: \_\_\_\_\_

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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes  No

If yes, please provide the file number: \_\_\_\_\_

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes  No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
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