



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Consent/Land Severance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>HM/B-23:63</b>	<b>SUBJECT PROPERTY:</b>	999 STONE CHURCH ROAD E, HAMILTON
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**APPLICANTS:**      **Owner:** AARON GAUDET & DERECK BEAUDIN

**PURPOSE & EFFECT:**      To permit the conveyance of a parcel of land to create a new residential building lot. The existing dwellings will be demolished to facilitate this application.

	<b>Frontage</b>	<b>Depth</b>	<b>Area</b>
<b>SEVERED LANDS (999B):</b>	9.14 m <sup>±</sup>	45.05 m <sup>±</sup>	411.98 m <sup>2</sup> <sup>±</sup>
<b>RETAINED LANDS (999A):</b>	9.14 m <sup>±</sup>	45.06 m <sup>±</sup>	412.31 m <sup>2</sup> <sup>±</sup>

Associated Planning Act File(s): HM/A-23:256

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, November 2, 2023</b>
<b>TIME:</b>	<b>10:45 a.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

## HM/B-23:63

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

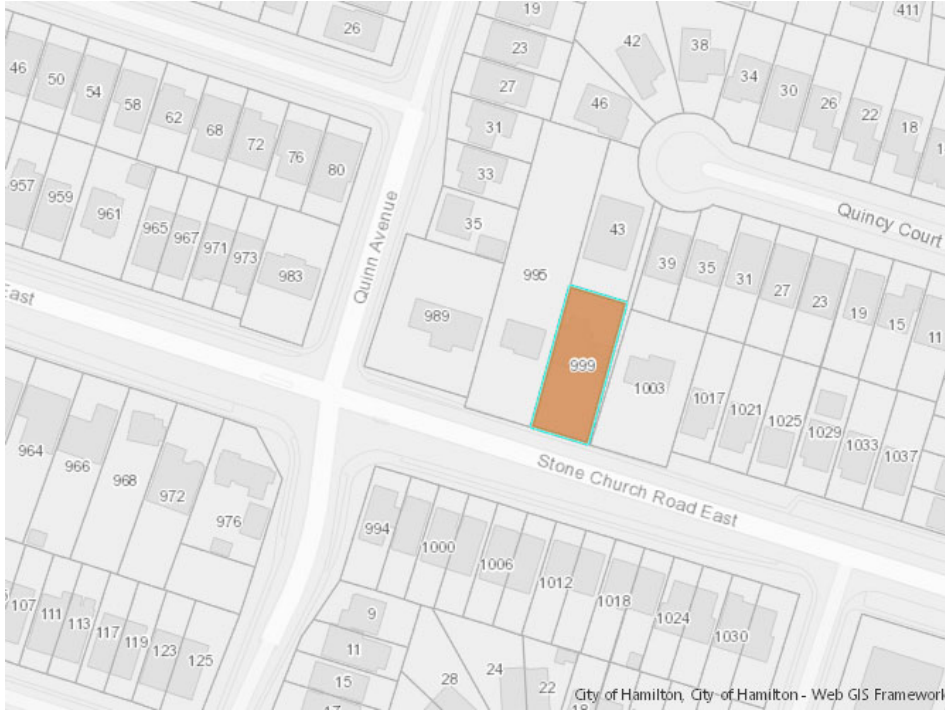
**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/B-23:63, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If a person or public body that files an appeal of a decision of The City of Hamilton Committee of Adjustment in respect of the proposed consent does not make written submissions to The City of Hamilton Committee of Adjustment before it gives or refuses to give a provisional consent, the Ontario Land Tribunal may dismiss the appeal.



 **Subject Lands**

DATED: October 17, 2023

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



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E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All comments received by noon two business days before the meeting will be forwarded to the Committee members.

Comments are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeefadjustment](http://www.hamilton.ca/committeefadjustment)

### Oral Submissions During the Virtual Meeting

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating through Webex via computer or phone. Participation in this format requires pre-registration in advance. **Interested members of the public must register by noon the day before the hearing.**

To register to participate by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221. The following information is required to register: Committee of Adjustment file number that you wish to speak to, the hearing date, name and address of the person wishing to speak, if they will be connecting via phone or video, and if applicable the phone number they will be using to call in. A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

All members of the public who register will be contacted by Committee Staff to confirm details of the registration prior to the Hearing and provide an overview of the public participation process.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

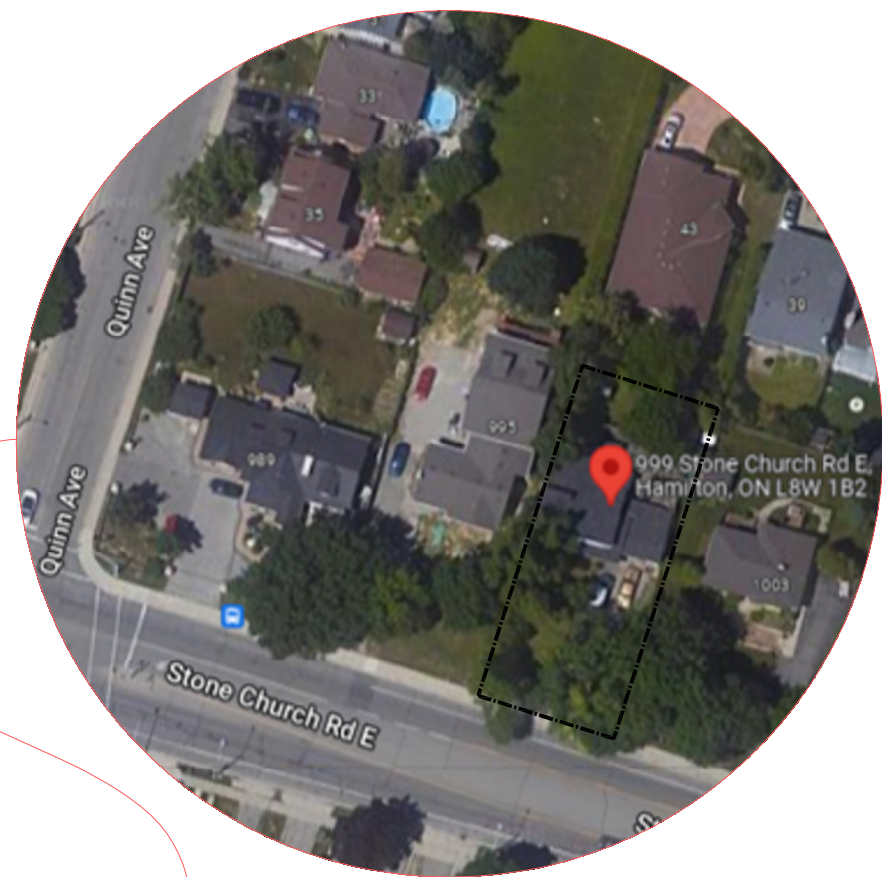
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File address: F:\Dropbox\Far Architect Inc.\Projects\Design\2021\21041 999 Stone Church Road, East Hamilton ON L8W 1B2\06 - Sheet\A0.00.dwg  
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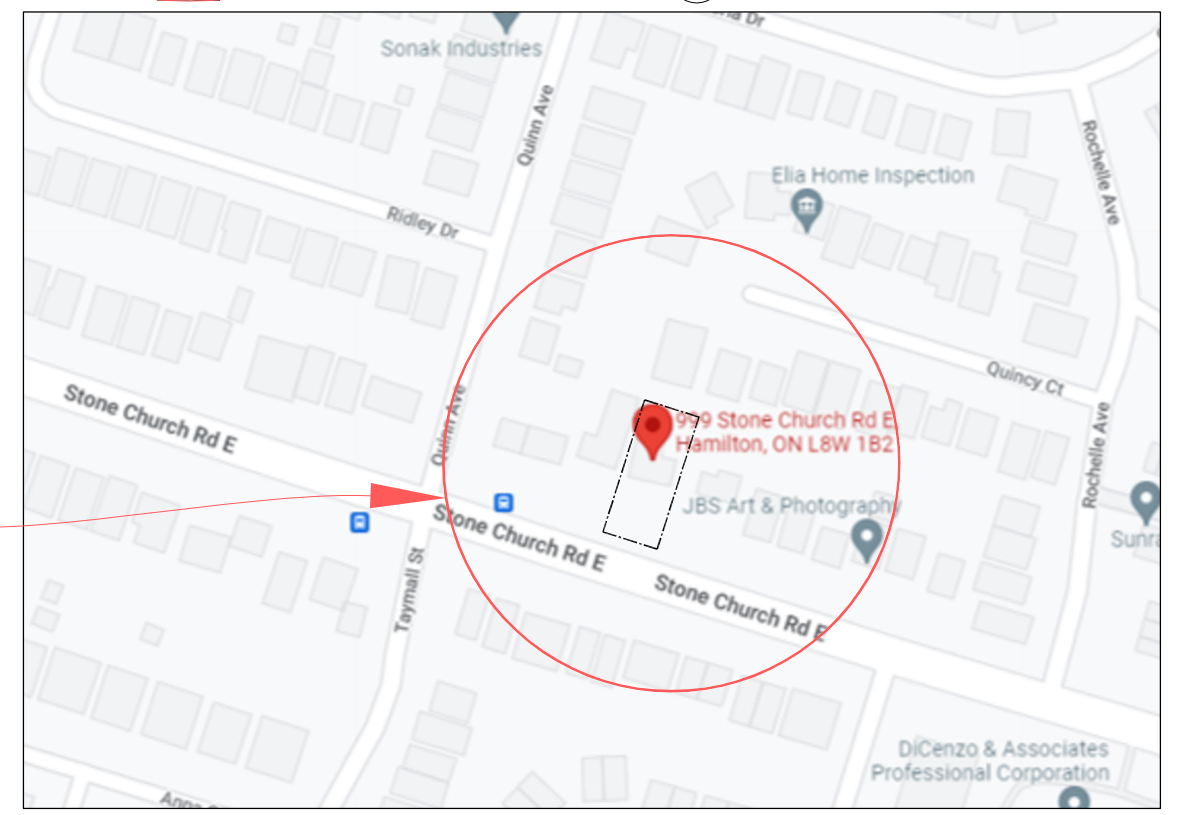
# 999 Stone Church Rd. E. Hamilton , ON. L8W 1B2

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**2 CONTEXTUAL MAP**  
SCALE: 1 : 1000

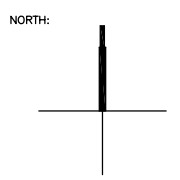


**1 LOCATION MAP**  
SCALE: 1 : 2500

Far Architect Inc.  
 77 GARDEN AVE.  
 RICHMOND HILL, ON, L4C 6L6  
 T.(416) 900-3566 F.(416) 900-3577  
 www.fararchitect.com



2	BUILDING PERMIT	2023-04-24
1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:



PROJECT NAME:  
 semi-detached dwelling  
 999 Stone Church Road East  
 Hamilton, ON L8W 1B2

DRAWING TITLE:  
**COVER SHEET**

SCALE:  
 VARIES

SHEET NO:  
**A0.00**

DRAWING NO:  
 A0.00

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 Plot date: Saturday, April 22, 2023 3:26:10 PM

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9				OBC REFERENCE						
					Part 3	Part 9					
1	Project Description	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use	<input type="checkbox"/> Alteration			2.1.1 9.10.1.3					
2	Major Occupancy(s)	"C" RESIDENTIAL OCCUPANCIES		3.1.2.1.(1)		9.10.2					
3	Building Area (m <sup>2</sup> )	Existing: 0.00 m <sup>2</sup>	New: 2X92.14 m <sup>2</sup>	Total: 184.28 m <sup>2</sup>	1.1.3.2	1.1.3.2					
4	Gross Area (m <sup>2</sup> )	Existing: 0.00 m <sup>2</sup>	New: 2X157.42 m <sup>2</sup>	Total: 314.84 m <sup>2</sup>	1.1.3.2	1.1.3.2					
5	Number of Storeys	Above Grade: 2	Below Grade: 1		3.2.1.1 & 1.1.3.2	2.1.1.3					
6	Height of Building (m)	7 m				2.1.1.3					
7	No. of Streets/Access Routes	1			3.2.2.10 & 3.2.5.5						
8	Building Classification	"C" Residential			3.2.2.20-83	9.10.4					
9	Sprinkler System Proposed	<input type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In Lieu of Roof Rafting <input checked="" type="checkbox"/> Not Required			3.2.2.20-83 3.2.1.5 3.2.2.17	9.10.8					
10	Standpipe Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.9						
11	Fire Alarm Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.4	9.10.7.2					
12	Water Service/Supply Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No									
13	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.6						
14	Permitt Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible			3.2.2.20-83	9.10.6					
14	Actual Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible									
15	Mezzanine(s) Area (m <sup>2</sup> )	-----			3.2.1.1.(3)-(8)	9.10.4.1					
16	Occupant Load Based on:	<input type="checkbox"/> m <sup>2</sup> /Person <input checked="" type="checkbox"/> Design of Building			3.1.1.6	9.9.1.3					
16	Basement	Occupancy -----	Load ----- 2 -----	Persons -----							
	1 <sup>ST</sup> Floor	Occupancy -----	Load -----	Persons -----							
	2 <sup>ND</sup> Floor	Occupancy -----	Load ----- 6 -----	Persons -----							
	3 <sup>RD</sup> Floor	Occupancy -----	Load -----	Persons -----							
17	Barrier-Free Design	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain): -----			3.8	9.5.2					
18	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.3.1.2(1) & 3.3.1.19(1)	9.10.1.3					
19	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours)		Listed Design No. or Description (SG-2)	3.2.2.20-.83 & 3.2.1.4	9.10.8 9.10.9					
		Floors -----	Hours -----	-----							
		Roofs -----	Hours -----	-----							
		Mezzanine -----	Hours -----	-----							
		FRR of Supporting Members		Listed Design No. or Description (SG-2)							
		Floors -----	Hours -----	-----							
Roofs -----	Hours -----	-----									
Mezzanine -----	Hours -----	-----									
20	Spetial Separation - Construction of Exterior Walls								3.2.3	9.10.14	
	Wall	Area of EBF (m <sup>2</sup> )	LD (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Constr. Nonc. Cladding	Non-Comb. Constr.
	North	48.44	14.80	1.85	100	44	N/A	N/A	COMB	N/A	N/A
	South	48.44	14.65	1.85	100	16	N/A	N/A	COMB	N/A	N/A
	East	94.32	2.65	1.86	100	3	N/A	N/A	COMB	N/A	N/A
West	94.32	2.65	1.86	100	3	N/A	N/A	COMB	N/A	N/A	
21	Other - Describe: -----										

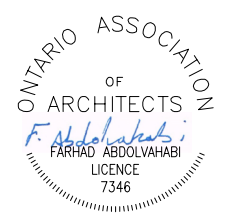
**1 OBC MATRIX**  
SCALE: NTS



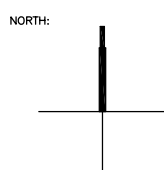
**2 SURVEY**  
SCALE: 1 : 250



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2	BUILDING PERMIT	2023-04-24
1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:



PROJECT NAME:  
 semi-detached dwelling  
 999 Stone Church Road East  
 Hamilton, ON L8W 1B2

DRAWING TITLE:  
 SURVEY INFO. & OBC MATRIX

SCALE:  
 1 : 250

DRAWING NO:  
**A0.01**



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Plot date: Saturday, April 22, 2023 4:49:20 PM

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**999A STONE CHURCH ROAD E.**  
 LOT AREA = 412.31 m<sup>2</sup>  
 LOT FRONTAGE = 9.15 m  
 LOT DEPTH = 45.06 m

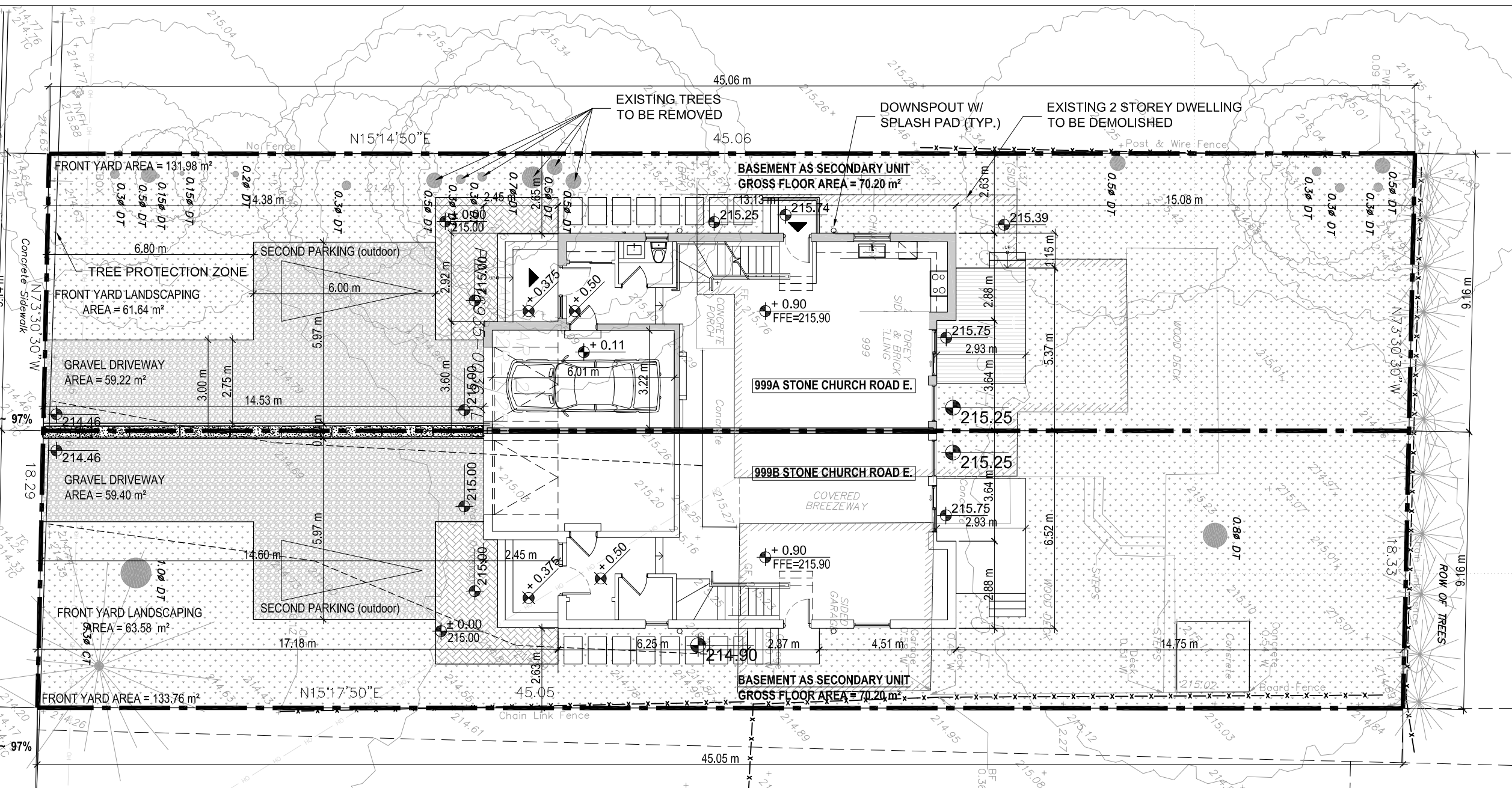
SITE COVERAGE = 97.99 m<sup>2</sup> ~ 24%  
 GROSS FLOOR AREA = 184.05 m<sup>2</sup>  
 GFA INDEX = 45%  
 FRONT YARD SETBACK = 14.38 m  
 SIDE YARD SETBACK = 2.65 m  
 BACK YARD SETBACK = 15.08 m

FRONT YARD LANDSCAPING  
 FRONT YARD AREA = 131.98 m<sup>2</sup>  
 TOTAL LANDSCAPING AREA = 131.98 m<sup>2</sup>, 100%  
 TOTAL HARD LANDSCAPING AREA = 3.78 m<sup>2</sup>  
 TOTAL SOFT LANDSCAPING AREA = 128.20 m<sup>2</sup> 97%

**999B STONE CHURCH ROAD E.**  
 LOT AREA = 411.98 m<sup>2</sup>  
 LOT FRONTAGE = 9.15 m  
 LOT DEPTH = 45.05 m

SITE COVERAGE = 97.99 m<sup>2</sup> ~ 24%  
 GROSS FLOOR AREA = 184.05 m<sup>2</sup>  
 GFA INDEX = 45%  
 FRONT YARD SETBACK = 14.60 m  
 SIDE YARD SETBACK = 2.65 m  
 BACK YARD SETBACK = 14.75 m

FRONT YARD LANDSCAPING  
 FRONT YARD AREA = 133.76 m<sup>2</sup>  
 TOTAL LANDSCAPING AREA = 133.76 m<sup>2</sup>, 100%  
 TOTAL HARD LANDSCAPING AREA = 3.78 m<sup>2</sup>  
 TOTAL SOFT LANDSCAPING AREA = 129.98 m<sup>2</sup> 97%



**1 SITE PLAN**  
 SCALE: 1:150

**PROJECT INFORMATION**

DATE	PROJECT NAME	PROJECT ADDRESS		
11/1/2022	SEMI-DETACHED DWELLING	999 STONE CHURCH Rd. EAST, HAMILTON, ON L8W 1B2		
LOT NO.	REGISTERED PLAN NO.	CITY	ZONE	BY-LAW NO.
PART OF LOT 5	62R-11250	HAMILTON	C	(PARENT BL 8593) 86-335

**SURVEY INFORMATION**

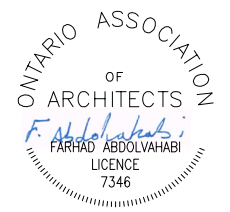
THE INFORMATION FOR THIS SITE PLAN HAS BEEN OBTAINED FROM A COPY OF A SURVEY PLAN PREPARED BY BARICH GRENKIE SURVEYING LTD. DATED APRIL 12, 2022.  
 THE INFORMATION SHOWN HEREON, INCLUDING GRADES SHALL NOT BE USED FOR ANY LEGAL, CONSTRUCTION OR ZONING PURPOSE WITHOUT CONFIRMING THE ACCURACY THEREOF BY REFERENCE TO THE APPLICABLE SURVEY.

**GENERAL SITE INFORMATION**

- REFER TO ALL APPLICABLE LANDSCAPING & SEPTIC SYSTEM PLANS & SPECIFICATIONS TO BE SUPPLIED BY OWNER FOR ADDITIONAL, DETAILED SITE RELATED WORKS AND INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION AND PERMITS REQUIRED FOR BUILDING SERVICES, INCLUDING ENTRANCES, HYDRO, WELL, SEPTIC, TELEPHONE, ETC. AS WELL AS THE INSTALLATION OF SUCH BUILDING SERVICES.
- ALL FILL & GRANULAR MATERIAL UNDER DRIVES, PARKING AREAS, AND SIDEWALKS SHALL BE COMPACTED TO 100% S.P.M.D.D. ( MIN. 8" GRANULAR )
- UNLESS OTHERWISE AGREED TO IN WRITING, THE OWNER ASSUMES RESPONSIBILITY FOR THE SUITABILITY OF ALL SOIL CONDITIONS. ALL DESIGNS HAVE BEEN BASED ON THE EXISTING UNDISTURBED SOIL HAVING AN ALLOWABLE BEARING CAPACITY OF 4000 P.S.F.
- ALL UTILITIES WHICH OBSTRUCT ENTRANCES SHALL BE RELOCATED AS REQUIRED TO APPLICABLE AUTHORITIES SPECIFICATIONS.
- ALL SITE WORKS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CITY OF HAMILTON STANDARDS, SPECIFICATIONS, AND DETAILS WHICH SHALL BE DEEMED TO FORM PART OF THIS SUBMISSION
- ALL SURFACE DRAINAGE SHALL BE CONFINED WITHIN THE BOUNDARIES OF THE OWNER'S PROPERTY EXCEPT AS SPECIALLY INDICATED.
- EXISTING GRADING & DRAINAGE PATTERNS SHALL NOT BE ALTERED OR DISTURBED IN ANY WAY EXCEPT AS SHOWN IN THE AREA OF THE NEW RESIDENCE AND ASSOCIATED DRIVEWAY, ETC.
- MINIMUM SLOPES FOR GRASSED AREAS 1.5%,
- MINIMUM SLOPES FOR PAVED OR SURFACED AREAS 1.0% (EXCEPT AS SHOWN OTHER WISE).



77 GARDEN AVE.  
 RICHMOND HILL, ON, L4C 6L6  
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NORTH:



PROJECT NAME:

semi-detached dwelling  
 999 Stone Church Road East  
 Hamilton, ON L8W 1B2

DRAWING TITLE:

SITE PLAN & ZONING INFO.

SCALE: 1:150

SHEET NO:

DRAWING NO:

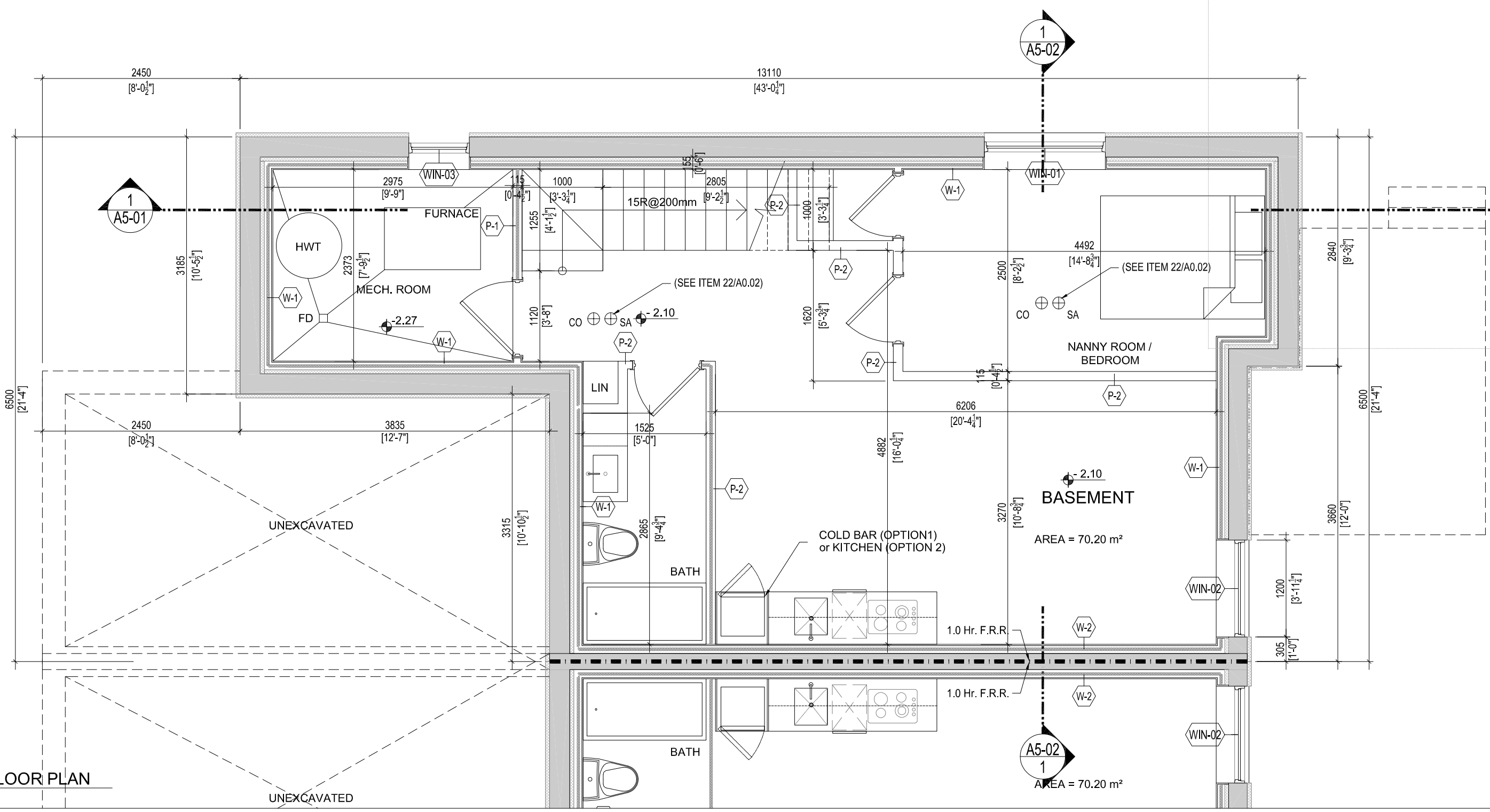
**A1.01**

2	BUILDING PERMIT	2023-04-24
1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:



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 Plot date: Saturday, April 22, 2023 4:50:38 PM



**1** BASEMENT FLOOR PLAN  
 SCALE: 1 : 50

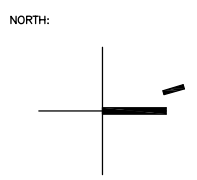
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2	BUILDING PERMIT	2023-04-24
1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:



PROJECT NAME:  
 semi-detached dwelling  
 999 Stone Church Road East  
 Hamilton, ON L8W 1B2

DRAWING TITLE:  
**BASEMENT FLOOR PLAN**

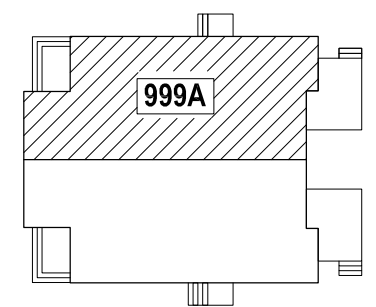
SCALE:  
 1 : 75

SHEET NO:  
**A2-01**

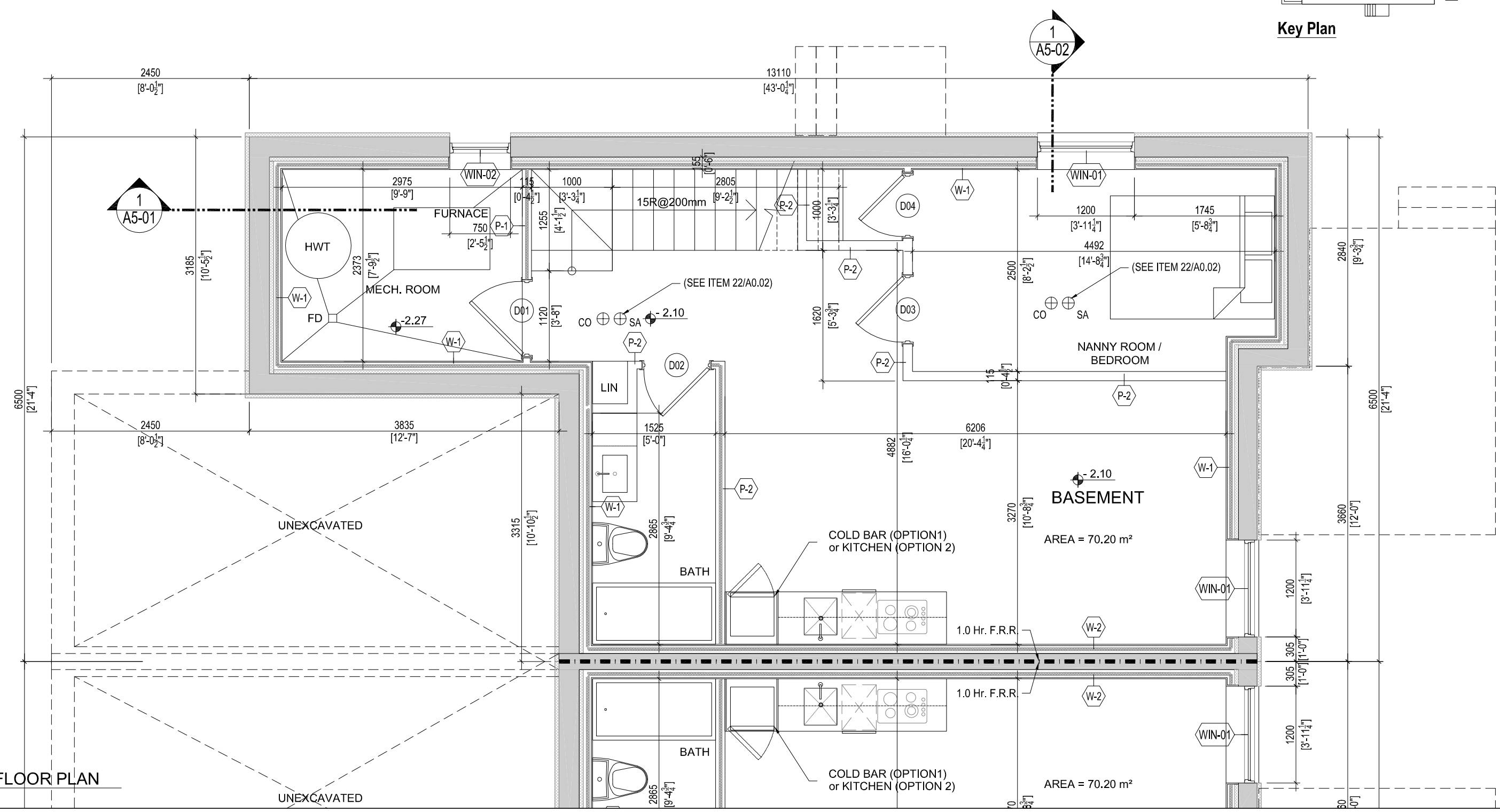
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 Plot date: Monday, April 24, 2023 8:36:25 PM



Key Plan



**1 BASEMENT FLOOR PLAN**  
 SCALE: 1 : 50

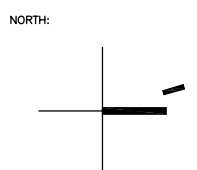
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2	BUILDING PERMIT	2023-04-24
1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:



PROJECT NAME:  
 semi-detached dwelling  
 999 Stone Church Road East  
 Hamilton, ON L8W 1B2

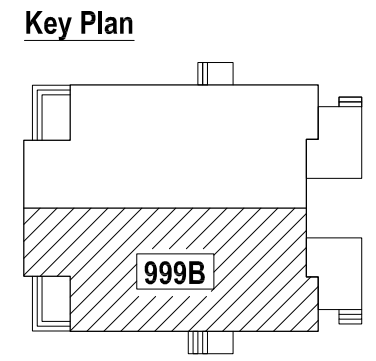
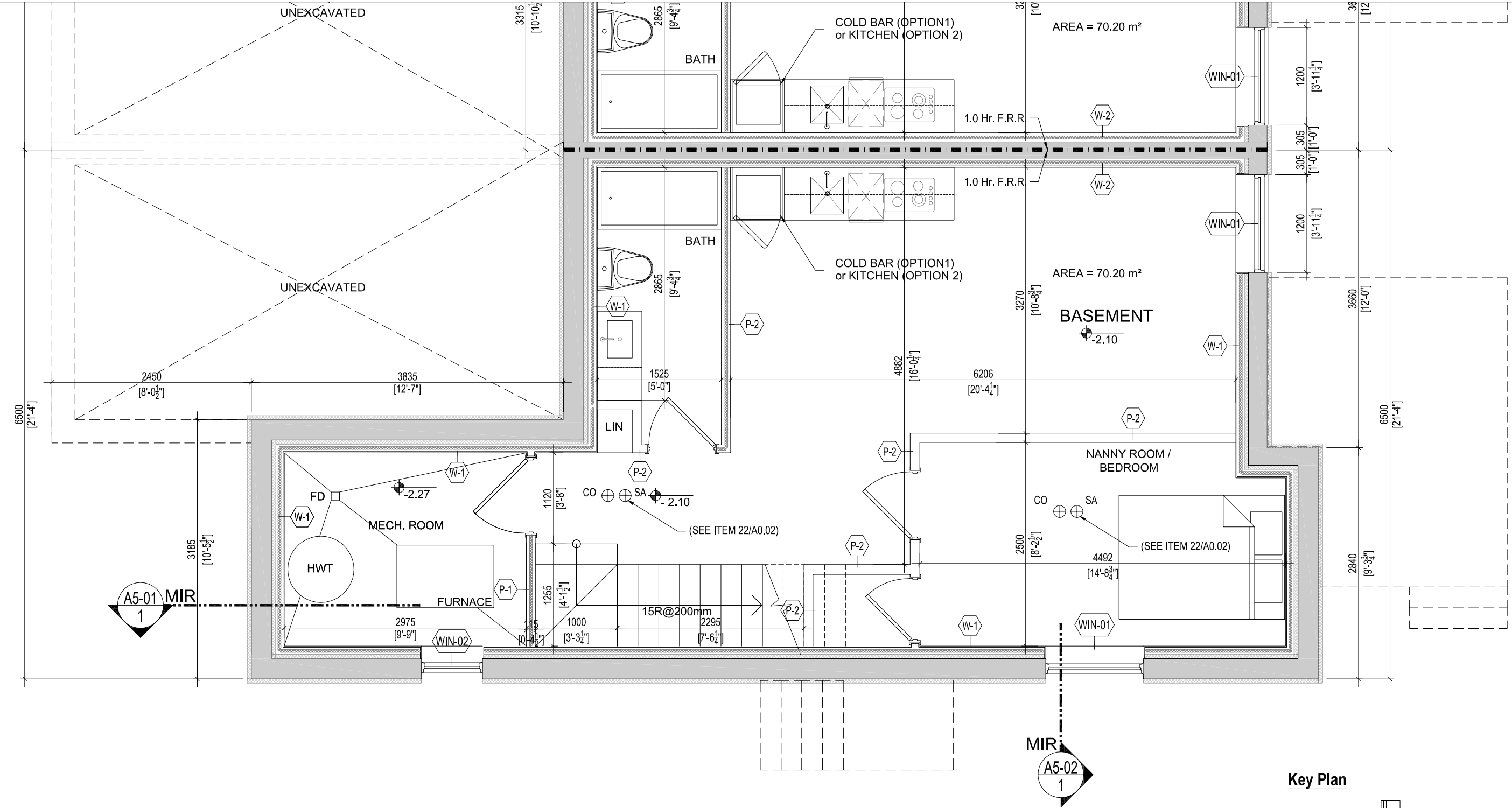
DRAWING TITLE:  
**BASEMENT FLOOR PLAN**  
 999A  
 DRAWING NO:  
**A2-01A**  
 SCALE:  
 1 : 75  
 SHEET NO:

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File address: F:\Dropbox\Far Architect Inc.\Projects\Design\2021\21041\_999 Stone Church Road, East Hamilton ON L8W 1B2\06 - Sheet\A2.01.dwg

Plot date: Monday, April 24, 2023 8:34:59 PM

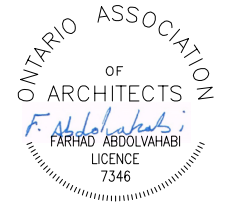
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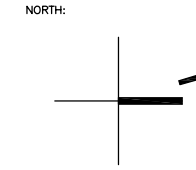
**1** BASEMENT FLOOR PLAN  
SCALE: 1 : 50



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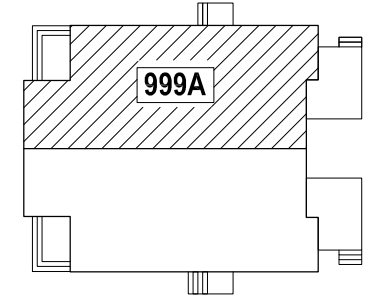
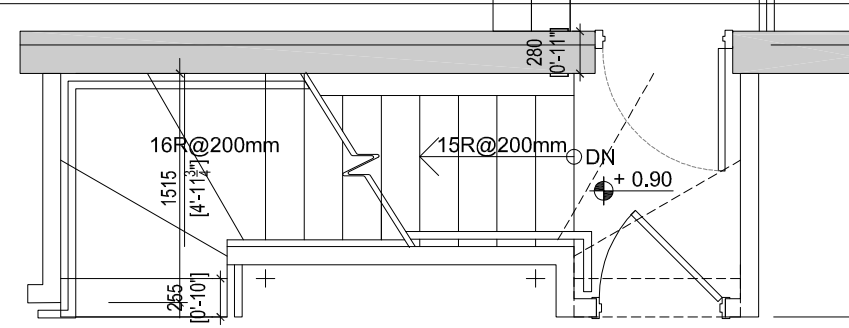
2	BUILDING PERMIT	2023-04-24
1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:



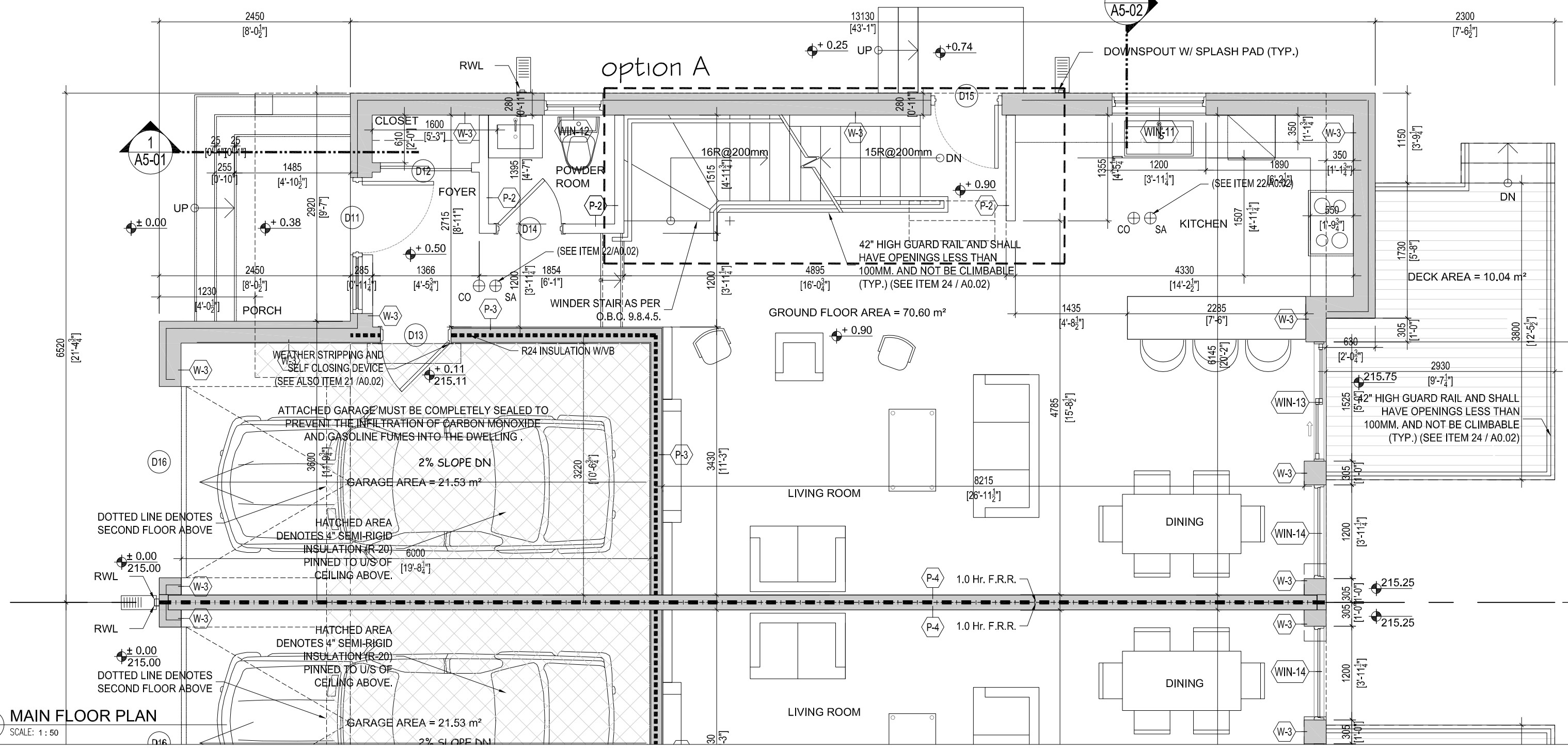
PROJECT NAME:  
semi-detached dwelling  
999 Stone Church Road East  
Hamilton, ON L8W 1B2

DRAWING TITLE:  
**BASEMENT FLOOR PLAN**  
999B  
DRAWING NO:  
**A2-01B**  
SCALE:  
1 : 75  
SHEET NO:

option B  
Secondary Unit Entrance



Key Plan



1 MAIN FLOOR PLAN  
SCALE: 1:50

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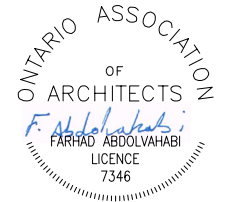
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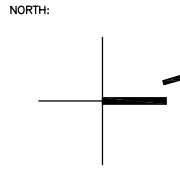
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1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:



PROJECT NAME:  
semi-detached dwelling  
999 Stone Church Road East  
Hamilton, ON L8W 1B2

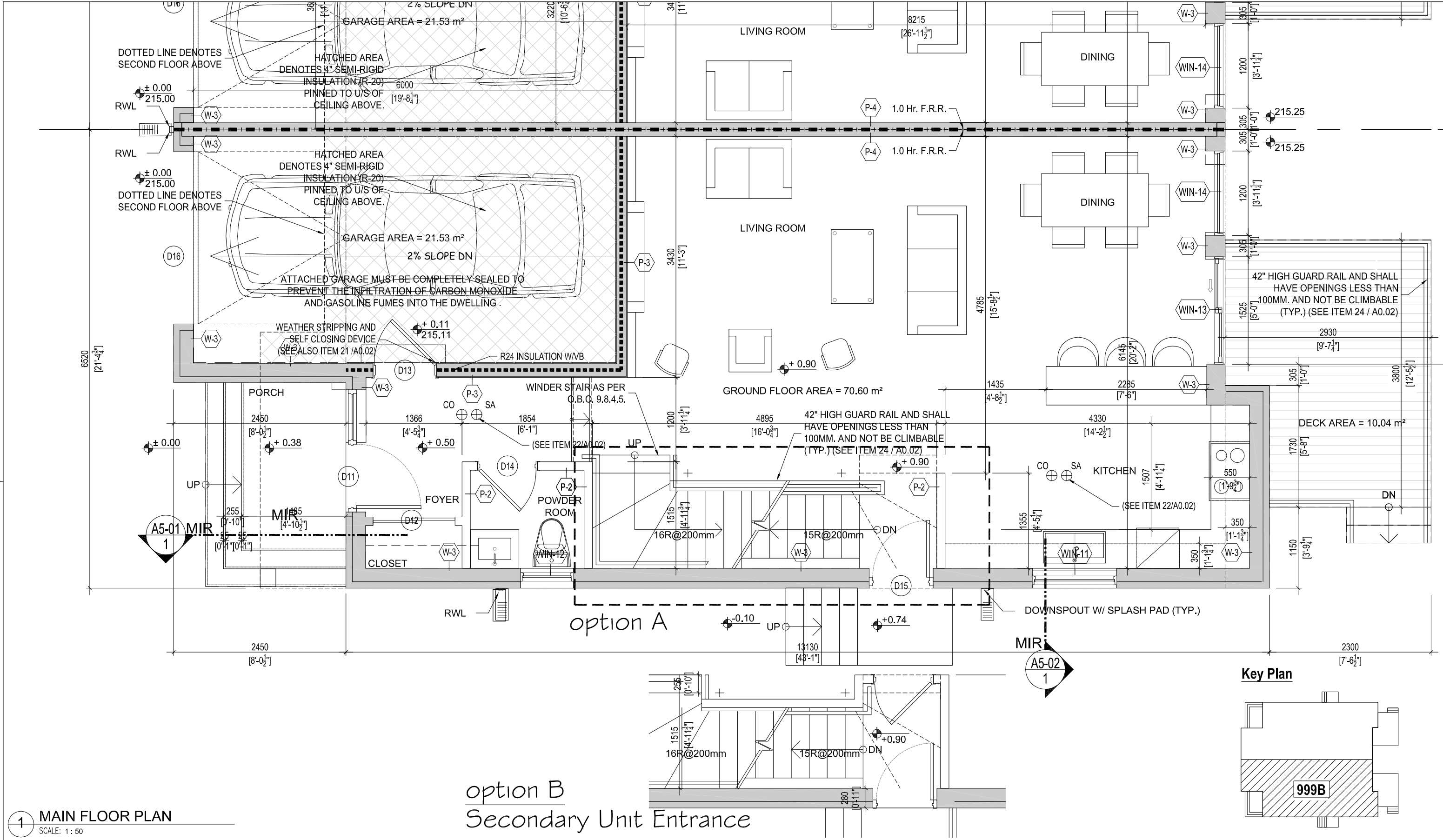
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MAIN FLOOR PLAN  
999 A  
DRAWING NO:  
A2-02A  
SCALE:  
1:50  
SHEET NO:

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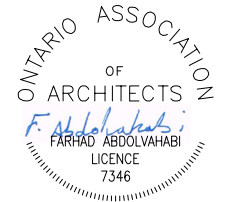


**1 MAIN FLOOR PLAN**  
SCALE: 1:50

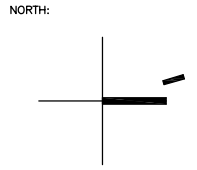
option B  
Secondary Unit Entrance



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1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:



PROJECT NAME:  
semi-detached dwelling  
999 Stone Church Road East  
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DRAWING TITLE:  
**MAIN FLOOR PLAN**  
999 B  
DRAWING NO:  
**A2-02B**

SCALE:  
1:50

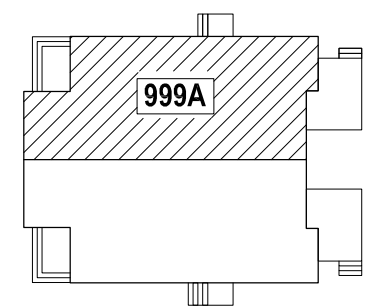
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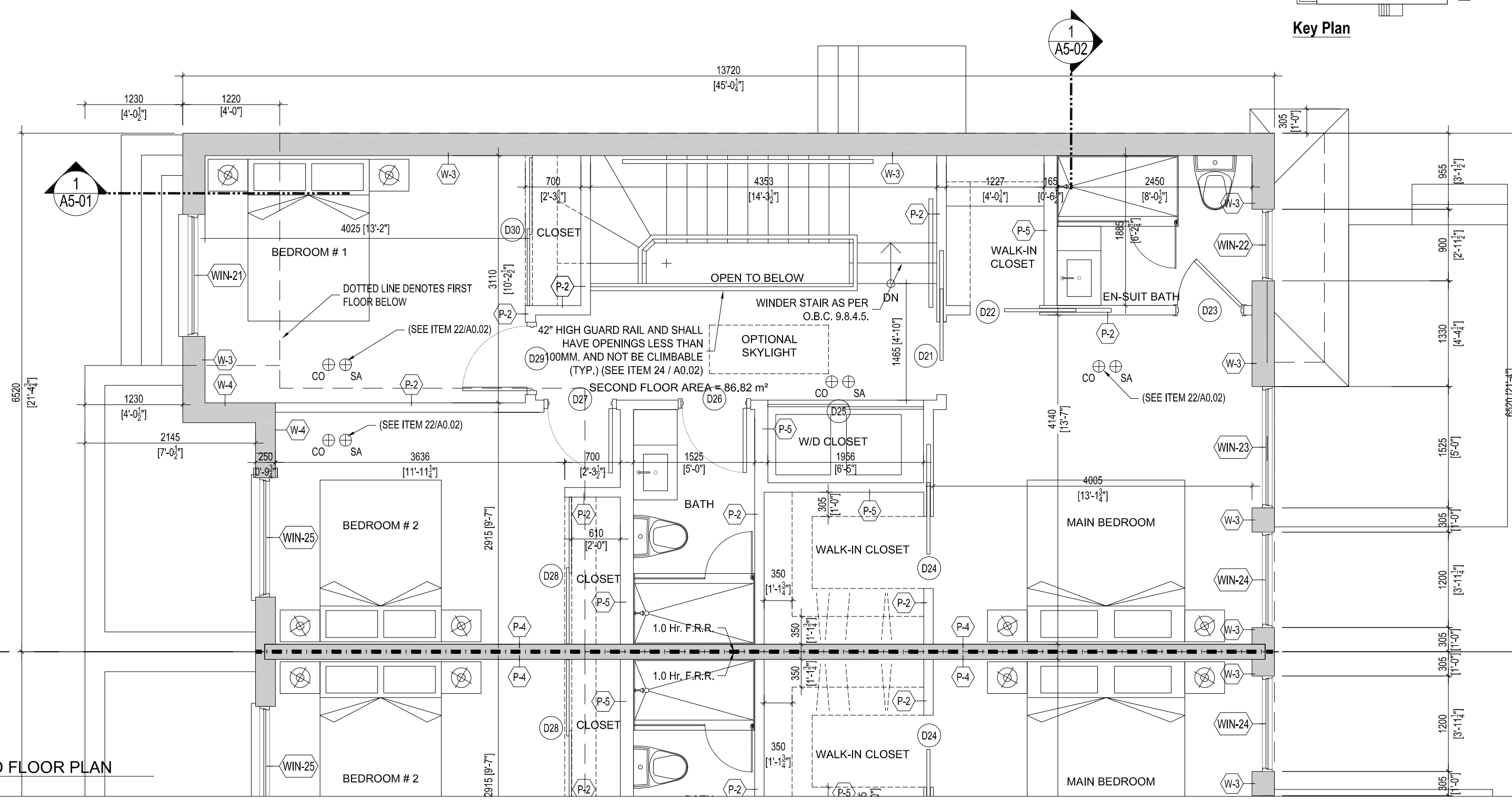
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Key Plan



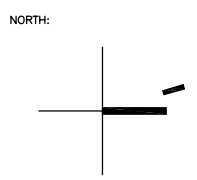
1 SECOND FLOOR PLAN  
SCALE: 1:50



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REV:	ISSUED FOR:	DATE:



PROJECT NAME:  
semi-detached dwelling  
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Hamilton, ON L8W 1B2

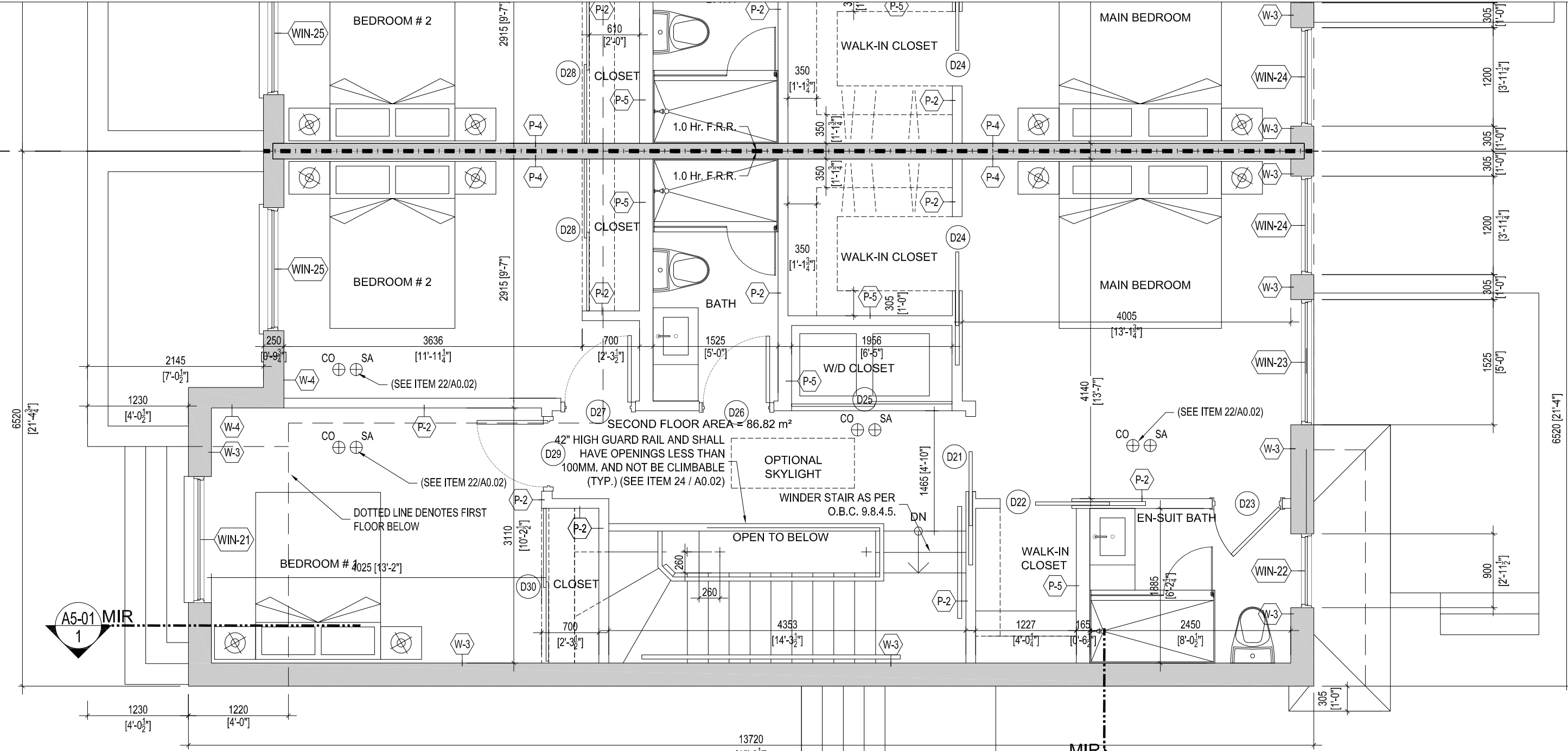
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SECOND FLOOR PLAN  
999 A  
DRAWING NO:  
A2-03A  
SCALE:  
1:50  
SHEET NO:

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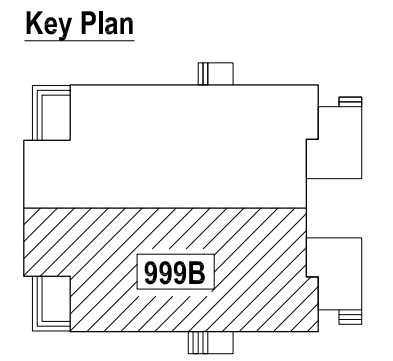
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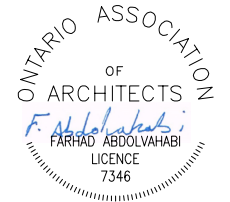
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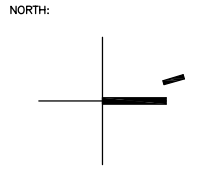
**1 SECOND FLOOR PLAN**  
SCALE: 1 : 50



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REV:	ISSUED FOR:	DATE:



PROJECT NAME:  
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Hamilton, ON L8W 1B2

DRAWING TITLE:  
**SECOND FLOOR PLAN**  
999 B  
DRAWING NO:  
**A2-03B**

SCALE:  
1 : 50

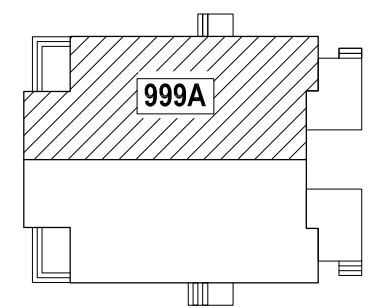
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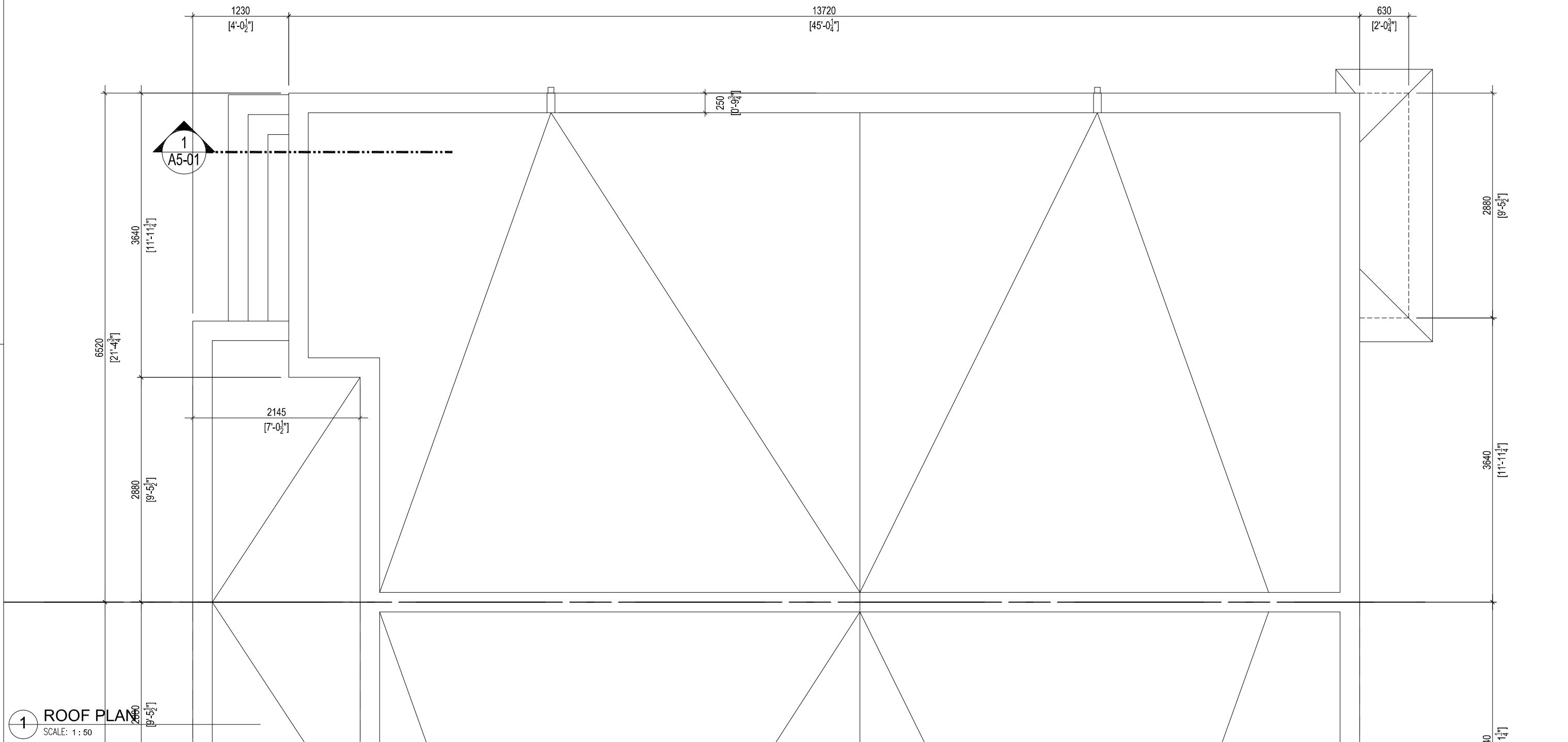
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Key Plan

999A



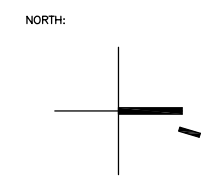
1 ROOF PLAN  
SCALE: 1 : 50



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1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:

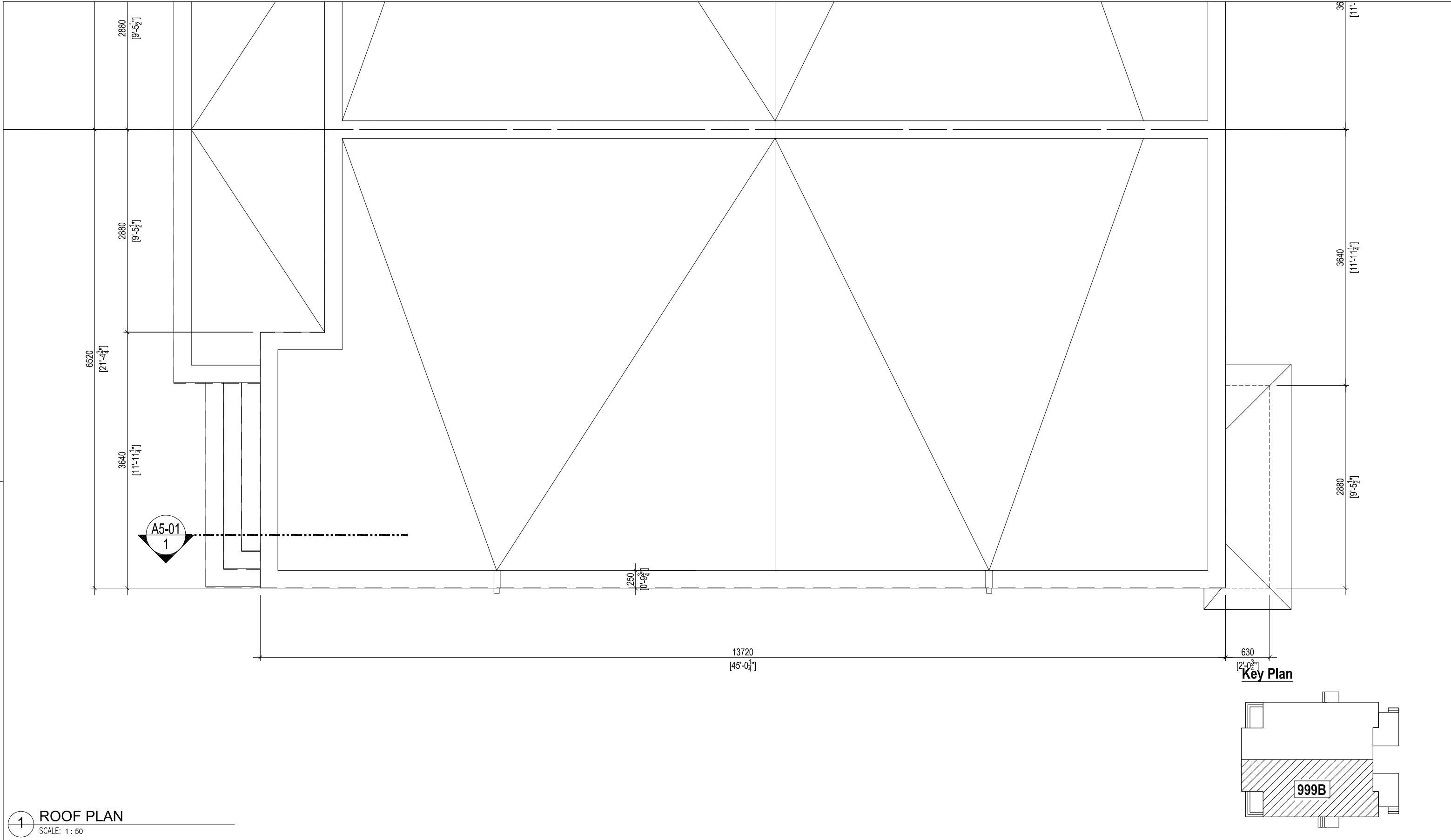


PROJECT NAME:  
semi-detached dwelling  
999 Stone Church Road East  
Hamilton, ON L8W 1B2

DRAWING TITLE:  
SCALE:  
SHEET NO:

ROOF PLAN  
999 A  
DRAWING NO:  
**A2-04A**

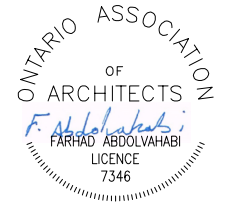




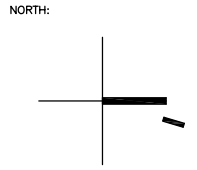
1 ROOF PLAN  
SCALE: 1 : 50



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2	BUILDING PERMIT	2023-04-24
1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:



PROJECT NAME:  
 semi-detached dwelling  
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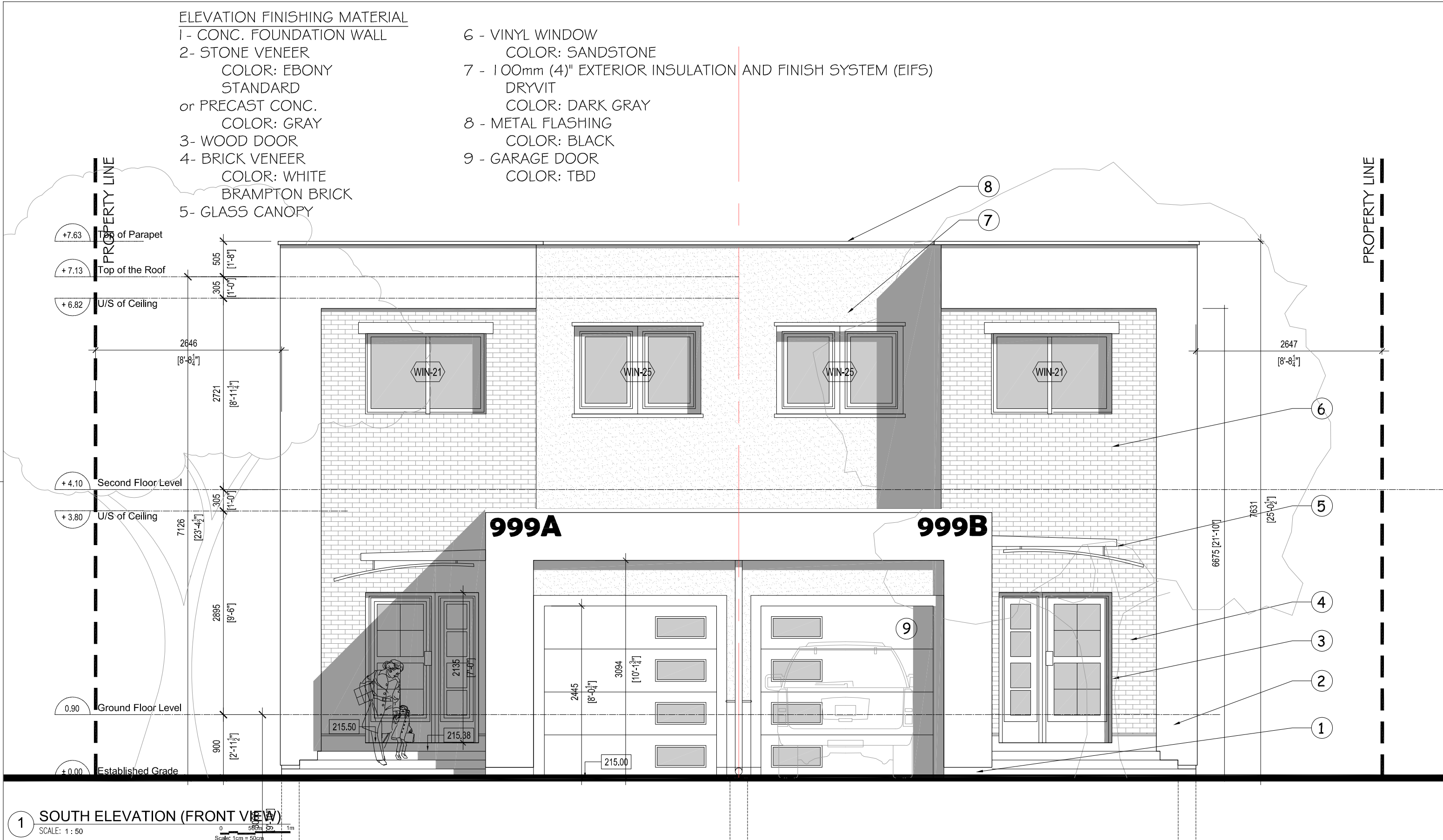
DRAWING TITLE:  
 SCALE:  
 SHEET NO:

ROOF PLAN  
 999 B  
 DRAWING NO:  
**A2-04B**

ELEVATION FINISHING MATERIAL

- 1- CONC. FOUNDATION WALL
- 2- STONE VENEER  
COLOR: EBONY  
STANDARD  
or PRECAST CONC.  
COLOR: GRAY
- 3- WOOD DOOR
- 4- BRICK VENEER  
COLOR: WHITE  
BRAMPTON BRICK
- 5- GLASS CANOPY

- 6 - VINYL WINDOW  
COLOR: SANDSTONE
- 7 - 100mm (4)" EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)  
DRYVIT  
COLOR: DARK GRAY
- 8 - METAL FLASHING  
COLOR: BLACK
- 9 - GARAGE DOOR  
COLOR: TBD



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1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:

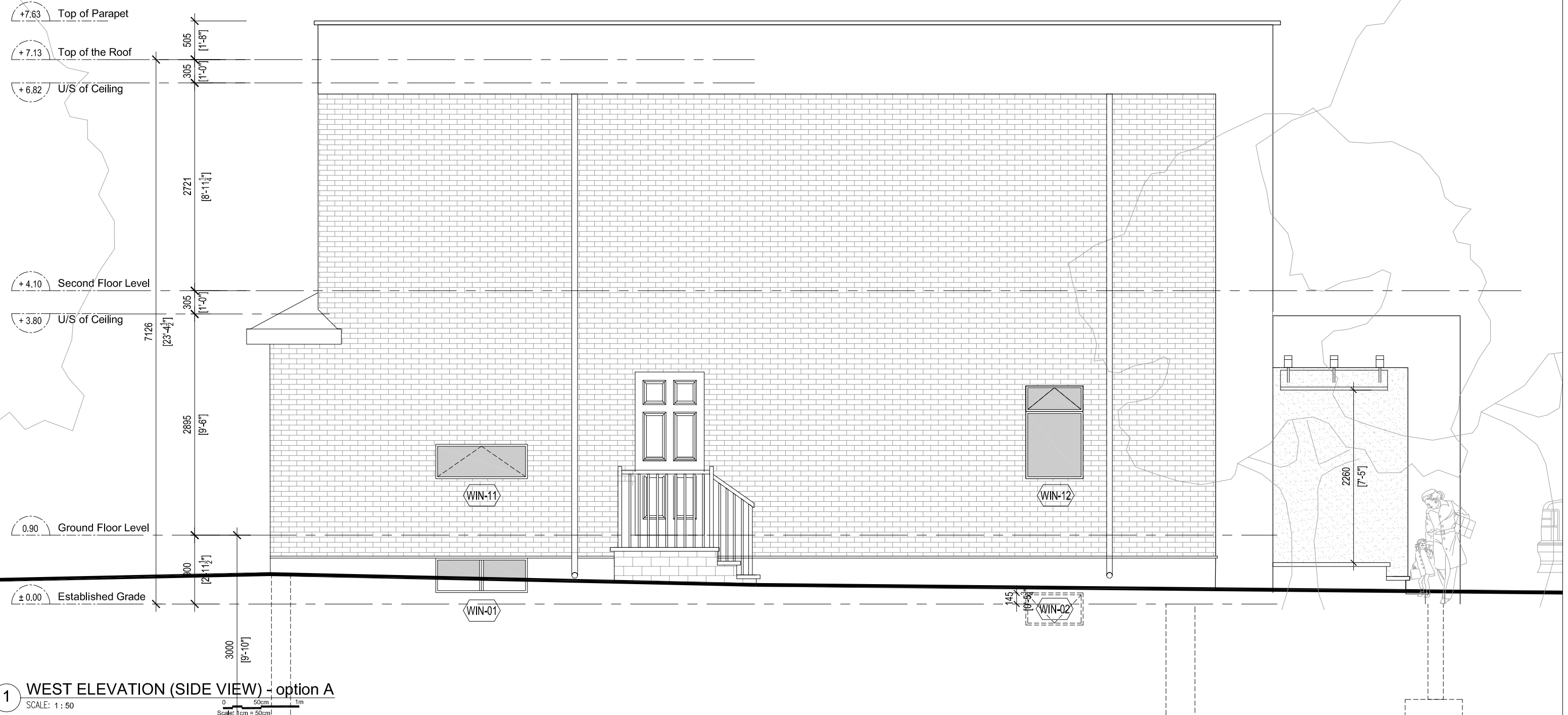
NORTH: PROJECT NAME:  
semi-detached dwelling  
999 Stone Church Road East  
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DRAWING TITLE:  
SOUTH ELEVATION (FRONT VIEW)  
SCALE: 1 : 50  
SHEET NO:  
DRAWING NO:  
A4-01

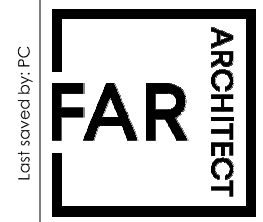
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1 WEST ELEVATION (SIDE VIEW) - option A  
 SCALE: 1 : 50



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1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:

NORTH:  
 PROJECT NAME:  
 semi-detached dwelling  
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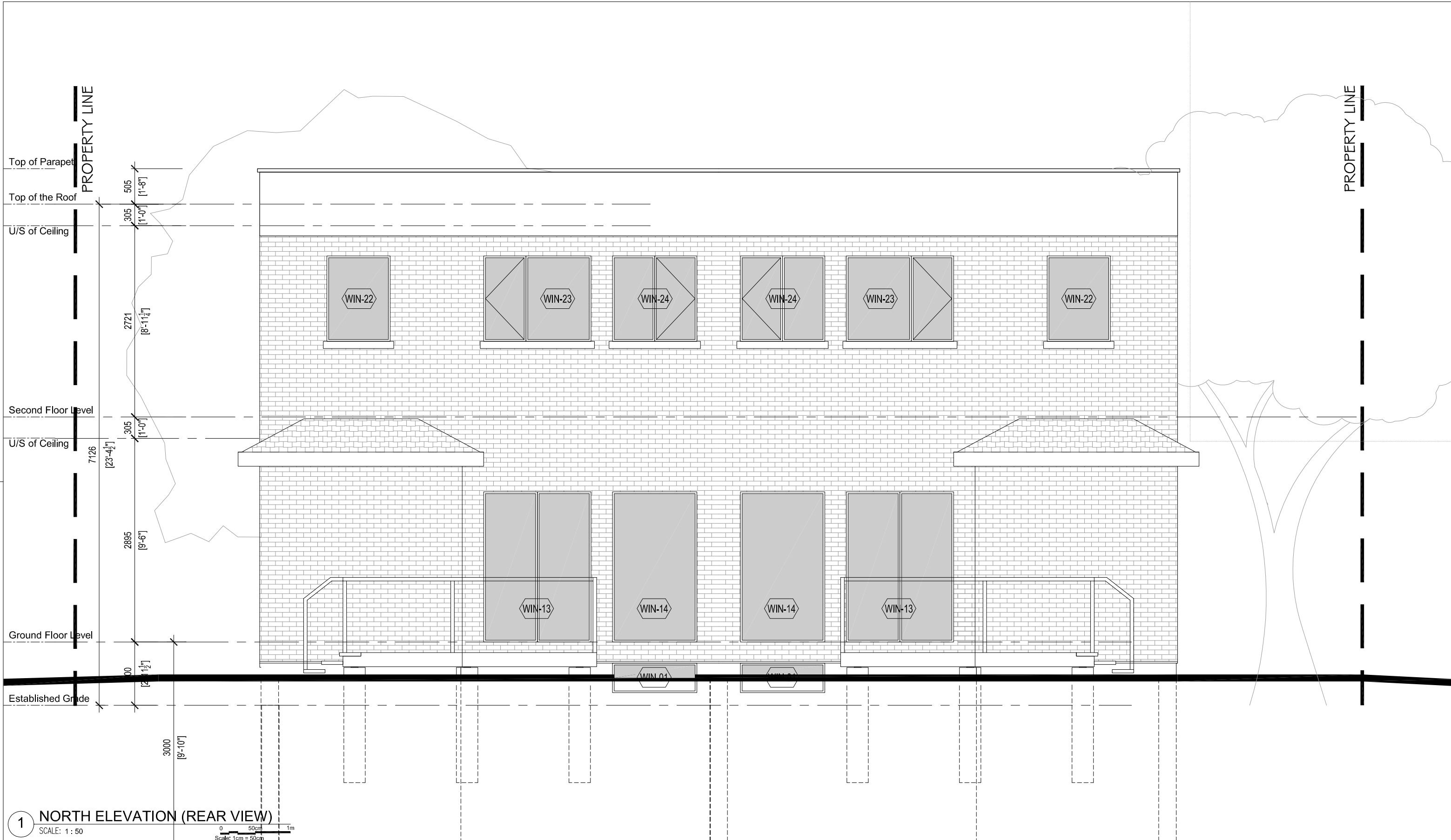
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 WEST ELEVATION (SIDE VIEW)  
 SCALE: 1 : 50  
 SHEET NO:  
 DRAWING NO:  
**A4-02**

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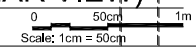
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1 NORTH ELEVATION (REAR VIEW)  
 SCALE: 1 : 50



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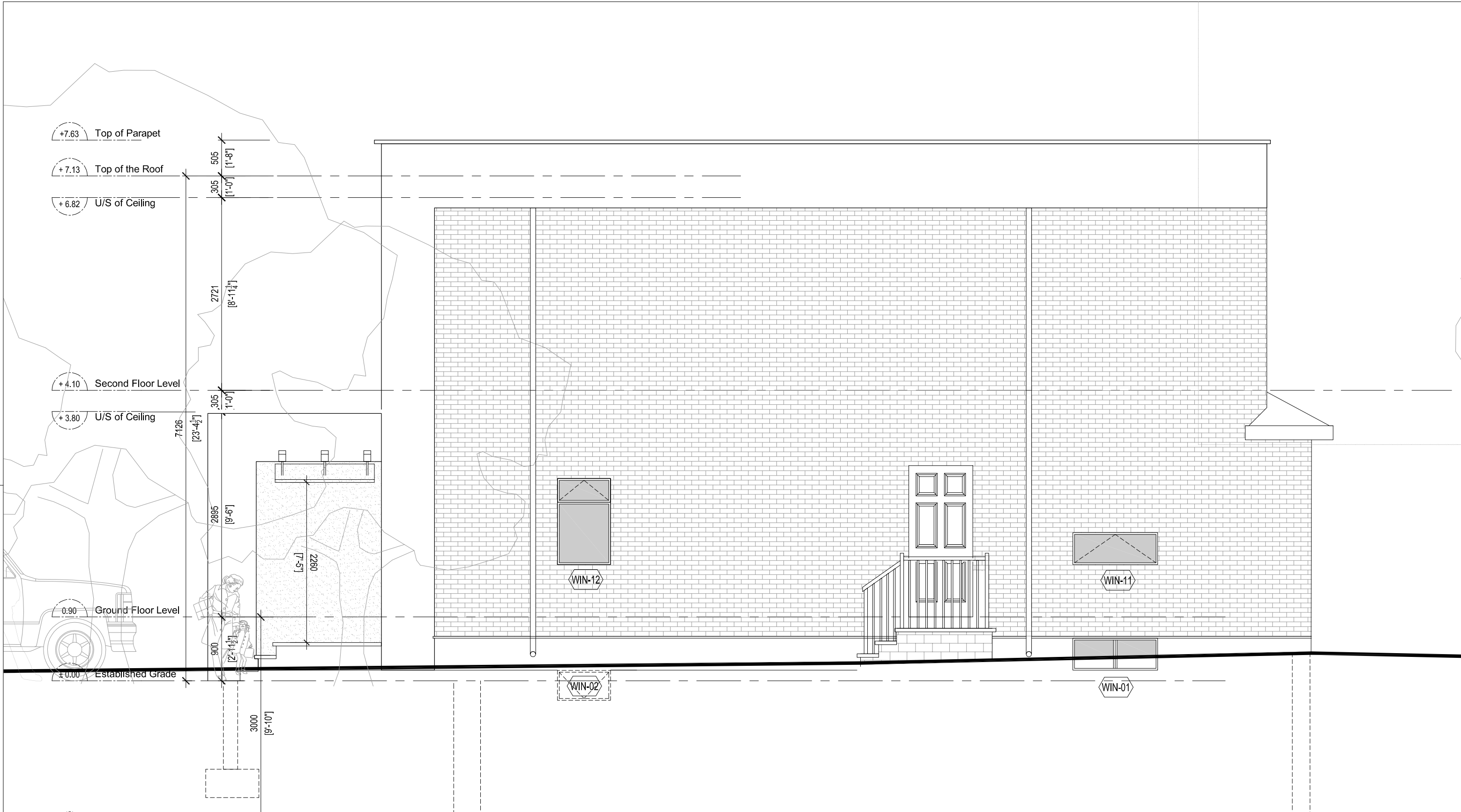
1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:

NORTH: PROJECT NAME: semi-detached dwelling  
 999 Stone Church Road East  
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DRAWING TITLE: NORTH ELEVATION (REAR VIEW)  
 SCALE: 1 : 50  
 SHEET NO: A4-03

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1 EAST ELEVATION (SIDE VIEW)  
SCALE: 1 : 50  
Scale: 1cm = 50cm

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1	ZBA APPROVAL	2022-08-24
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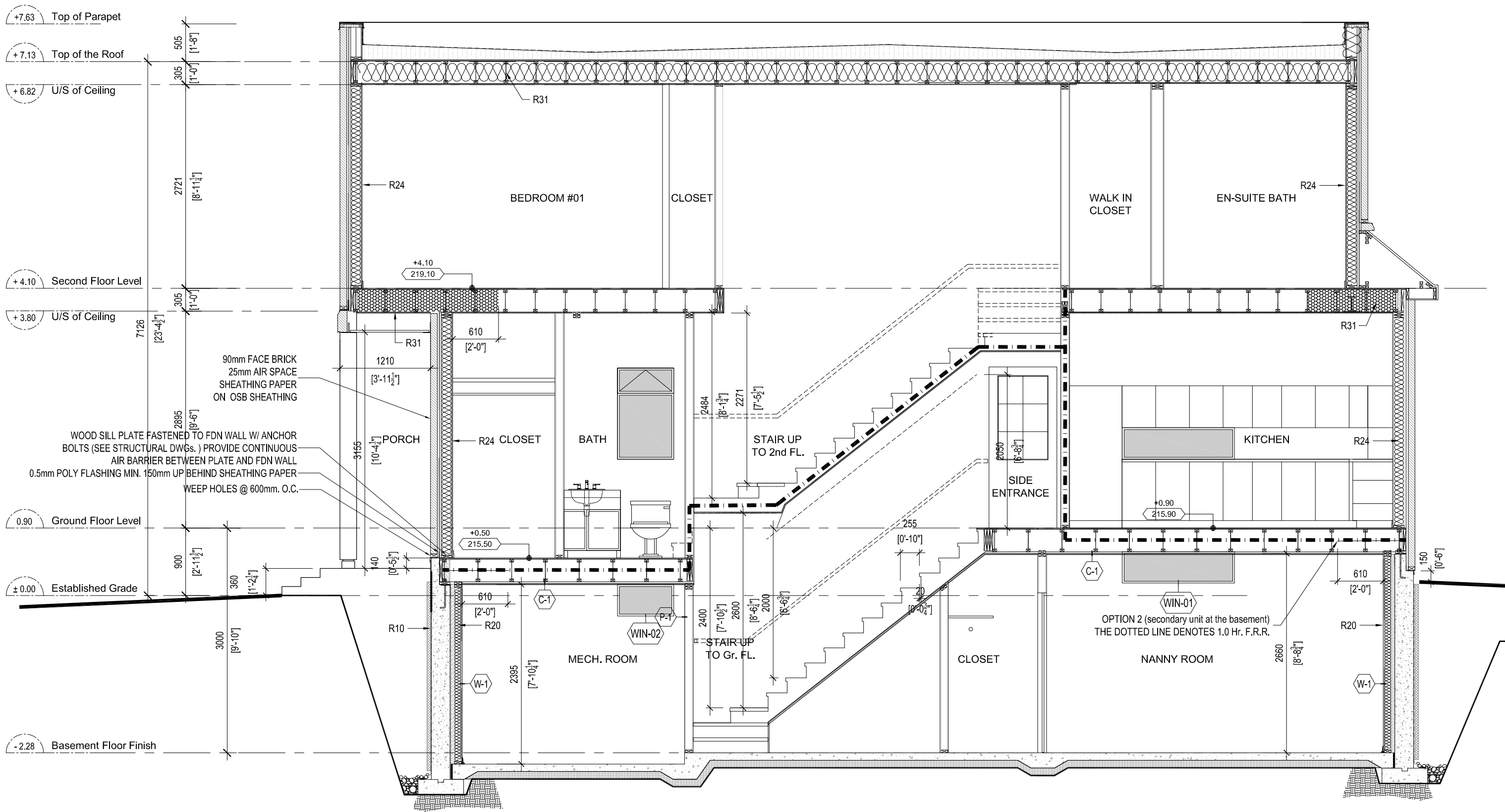
NORTH: PROJECT NAME: semi-detached dwelling  
999 Stone Church Road East  
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DRAWING TITLE: EAST ELEVATION (SIDE VIEW)  
DRAWING NO: A4-04

SCALE: 1 : 50  
SHEET NO:

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**1 WEST ELEVATION (SIDE VIEW)**  
 SCALE: 1 : 75  
 0 75cm 1.5m  
 Scale: 1cm = 75cm

Last saved by: PC



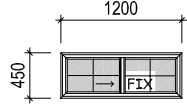
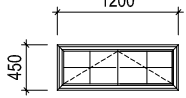
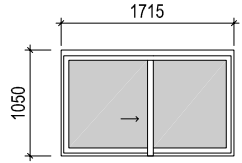
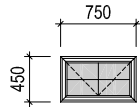
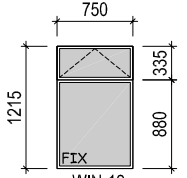
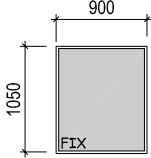
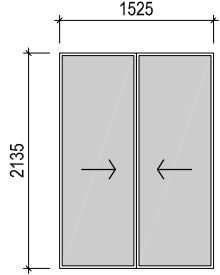
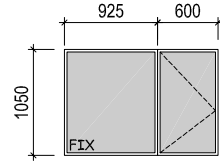
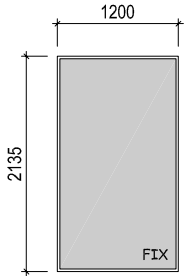
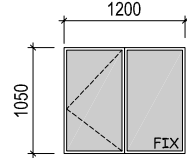
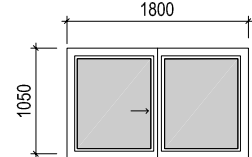
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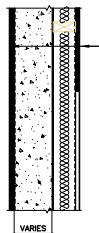
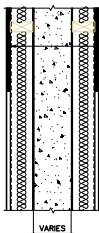
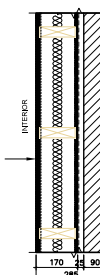
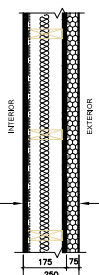
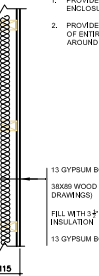
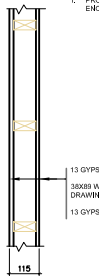
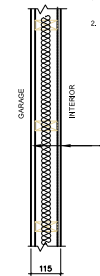
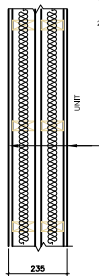
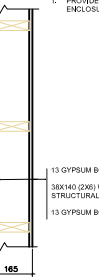
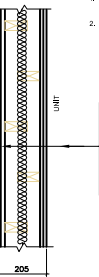



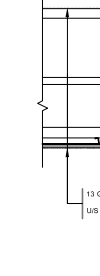
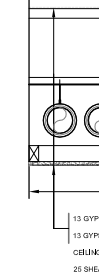
2	BUILDING PERMIT	2023-04-24
1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:

NORTH: PROJECT NAME: semi-detached dwelling  
 999 Stone Church Road East  
 Hamilton, ON L8W 1B2

DRAWING TITLE: SECTION (LONGITUDINAL)  
 SCALE: 1 : 50  
 SHEET NO: A5-01

BASEMENT WINDOWS	GROUND FLOOR	SECOND FLOOR
 <p>WIN-01 NO. = 2 WINDOW AREA = 0.54 m<sup>2</sup> GLAZING AREA = 0.48 m<sup>2</sup></p>	 <p>WIN-11 NO. = 1 WINDOW AREA = 0.54 m<sup>2</sup> GLAZING AREA = 0.48 m<sup>2</sup></p>	 <p>WIN-21 NO. = 1 WINDOW AREA = 2.06 m<sup>2</sup> GLAZING AREA = 1.85 m<sup>2</sup></p>
 <p>WIN-01 NO. = 1 WINDOW AREA = 0.37 m<sup>2</sup> GLAZING AREA = 0.33 m<sup>2</sup></p>	 <p>WIN-12 NO. = 1 WINDOW AREA = 0.90 m<sup>2</sup> GLAZING AREA = 0.81 m<sup>2</sup></p>	 <p>WIN-22 NO. = 1 WINDOW AREA = 1.09 m<sup>2</sup> GLAZING AREA = 0.98 m<sup>2</sup></p>
 <p>SLIDING WIN-13 NO. = 1 WINDOW AREA = 3.26 m<sup>2</sup> GLAZING AREA = 2.93 m<sup>2</sup></p>	 <p>WIN-23 NO. = 1 WINDOW AREA = 1.12 m<sup>2</sup> GLAZING AREA = 1.00 m<sup>2</sup></p>	
 <p>FIX WIN-14 NO. = 1 WINDOW AREA = 2.56 m<sup>2</sup> GLAZING AREA = 2.30 m<sup>2</sup></p>	 <p>WIN-24 NO. = 1 WINDOW AREA = 1.46 m<sup>2</sup> GLAZING AREA = 1.31 m<sup>2</sup></p>	
		 <p>WIN-25 NO. = 1 WINDOW AREA = 2.25 m<sup>2</sup> GLAZING AREA = 2.02 m<sup>2</sup></p>

1 window schedule  
SCALE: NTS

W1 DAMP-PROOFED FOUNDATION WALL	W2 COMMON FOUNDATION WALL	W3 MASONRY VENEER (BRICKSTONE) WITH 140mm (2X) WOOD STUDS	W4 E.J.F.S. CLADDING WITH 4" WOOD STUDS
 <p>NOTE: 1. Refer to Structural Engineering Drawings for concrete thickness and performance criteria. 2. All form finishes to be tied with mineral wool batts and UCC Stone Insulation.</p>	 <p>NOTE: 1. Refer to Structural Engineering Drawings for concrete thickness and performance criteria. 2. All form finishes to be tied with mineral wool batts and UCC Stone Insulation.</p>	 <p>NOTE: 1. MAX. HEIGHT 3000mm F UNRESISTED</p>	 <p>NOTE: 1. For details refer to main floor schedule. 2. EXTERIOR INSULATED FINISH SYSTEM (EIFS) SHALL BE PERFORMED IN ACCORDANCE WITH CANADIAN PRACTICE (REFER TO ARCHITECTURAL FINISH SCHEDULE) AND SHALL BE ACCEPTED BY THE ARCHITECT. ALL JOINTS SHALL BE FULLY SEALED TO PREVENT AIR AND WATER PENETRATION. REFER TO MECHANICAL DRAWINGS FOR DETAILS.</p>
 <p>NOTE: 1. PROVIDE BAKER-BOARD TO TILED ENCLOSURES. 2. PROVIDE ACOUSTIC SEALANT TO PERIMETER OF ENTIRE WALL AND CONTINUOUSLY AROUND ALL PENETRATIONS.</p>	 <p>NOTE: 1. PROVIDE BAKER-BOARD TO TILED ENCLOSURES.</p>	 <p>NOTE: 1. PROVIDE BAKER-BOARD TO TILED ENCLOSURES. 2. Provide FIRE-STOP AND SMOKE SEAL PROTECTION TO PERIMETER OF ENTIRE WALL AND CONTINUOUSLY AROUND ALL PENETRATIONS.</p>	 <p>NOTE: 1. PROVIDE BAKER-BOARD TO TILED ENCLOSURES. 2. Provide FIRE-STOP AND SMOKE SEAL PROTECTION TO PERIMETER OF ENTIRE WALL AND CONTINUOUSLY AROUND ALL PENETRATIONS.</p>
 <p>NOTE: 1. PROVIDE BAKER-BOARD TO TILED ENCLOSURES.</p>	 <p>NOTE: 1. PROVIDE BAKER-BOARD TO TILED ENCLOSURES. 2. Provide FIRE-STOP AND SMOKE SEAL PROTECTION TO PERIMETER OF ENTIRE WALL AND CONTINUOUSLY AROUND ALL PENETRATIONS.</p>	 <p>NOTE: 1. Refer to Site Engineering Report for specification of underlaid drainage medium and bearing capacity. 2. Refer to Mechanical Engineering drawings for underlaid drainage detail. 3. Refer to Architectural drawings for sliding concrete elevators to drain.</p>	
 <p>NOTE: - GROUND FLOOR, FLOOR TYPE WHEN THE BASEMENT IS NOT A SECONDARY SUITE.</p>	 <p>NOTE: - GROUND FLOOR, FLOOR TYPE WHEN THE BASEMENT IS SECONDARY SUITE.</p>	 <p>NOTE: 1. FLOOR FINISH (REFER TO ARCH. FINISH SCHEDULE) C.I.F. CONCRETE SLAB. REFER TO STRUCTURAL ENGINEERING DRAWINGS. MIN. 150mm (6") CLEAN STONE DRAINAGE COURSE OR COMPACTED FILL OR UNDISTURBED SOIL.</p>	 <p>NOTE: 1. US ON JOIST FINISH 2. ACCURATE SCRAP AT ALL PERIMETER JOINTS 3. UCC'S - SEE MECHANICAL DRAWINGS FOR DETAILS 4. CORNER BEAD 5. FINISHED WALL</p>

2 wall type  
SCALE: NTS



77 GARDEN AVE.  
RICHMOND HILL, ON, L4C 6L6  
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www.fararchitect.com



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1	ZBA APPROVAL	2022-08-24
REV:	ISSUED FOR:	DATE:

NORTH: PROJECT NAME: semi-detached dwelling  
999 Stone Church Road East  
Hamilton, ON L8W 1B2

DRAWING TITLE: WALL TYPES - DOOR & WINDOW SCHEDULE  
SCALE: NTS  
SHEET NO: A8-01

**TYPICAL LEVEL - DOOR & FRAME SCHEDULE**

DOOR #	DOOR						FRAME						FIRE RATING	TEMPERATURE RISE LABEL	PANIC BAR	SELF CLOSURE	THRESHOLD	WEATHER STRIPPING	REMARKS
	SIZE			TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	DETAIL									
	WIDTH	HEIGHT	THICKNESS							HEAD	JAMB	SILL							
BASEMENT																			
D01	915	2135	45	A	WD	PT	F1	HM	PT	-	-	-	-	-	-	-	YES	YES	IN
D02	810	2135	45	G	HC	PT	F3	WD	PT	-	-	-	-	-	-	-	-	-	PL - PRIVACY LOCK FOR BATHROOM
D03	860	2135	45	G	HC	PT	F3	WD	PT	-	-	-	-	-	-	-	-	-	-
D03	860	2135	45	G	HC	PT	F3	WD	PT	-	-	-	-	-	-	-	-	-	-
FIRST FLOOR																			
D10	2450	2135	45	P	WD	PRE	-	HM	PT	-	-	-	-	-	-	-	-	YES	IN - GDO
D11	945+795	2135	45	B	WD	PT	F3	WD	PT	-	-	-	-	-	-	-	YES	YES	IN-LS-TG-DB-DS-CG
D12	2X810	22135	45	F	-	PRE	-	-	PRE	-	-	-	-	-	-	-	-	-	-
D13	860	2135	45	A	HM	PT	F3	HM	PT	-	-	-	-	-	-	-	YES	YES	IN, DB, DS, SS
D14	810	2135	45	A	WD	PT	F3	WD	PT	-	-	-	-	-	-	-	-	-	PL - PRIVACY LOCK FOR BATHROOM
D15	860	2135	45	P	WD/IN	PRE	-	HM	PT	-	-	-	-	-	-	-	YES	YES	IN-LS-TG-DB-DS-CG
2ND FL.																			
D21	915	2135	45	H	WD	PT	F3	WD	PT	-	-	-	-	-	-	-	-	-	-
D22	810	2135	45	H	WD	PT	F3	WD	PT	-	-	-	-	-	-	-	-	-	-
D23	810	2135	45	G	WD	PT	F3	WD	PT	-	-	-	-	-	-	-	-	-	PL - PRIVACY LOCK FOR BATHROOM
D24	810	2135	45	H	WD	PT	F3	WD	PT	-	-	-	-	-	-	-	-	-	-
D25	2-965	2135	20	F	-	PRE	-	-	PRE	-	-	-	-	-	-	-	-	-	-
D26	810	2135	45	G	WD	PT	F3	WD	PT	-	-	-	-	-	-	-	-	-	PL - PRIVACY LOCK FOR BATHROOM
D27	810	2135	45	G	WD	PT	F3	WD	PT	-	-	-	-	-	-	-	-	-	-
D28	2-910	2135	20	F	-	PRE	-	-	PRE	-	-	-	-	-	-	-	-	-	-
D29	810	2135	45	G	WD	PT	F3	WD	PT	-	-	-	-	-	-	-	-	-	-

**DOOR GENERAL NOTES**

- ALL THRESHOLDS TO BE ALUMINUM UNLESS OTHERWISE NOTED.
- ALL INSULATED DOORS TO BE DOUBLE GLAZED.

**LEGEND**

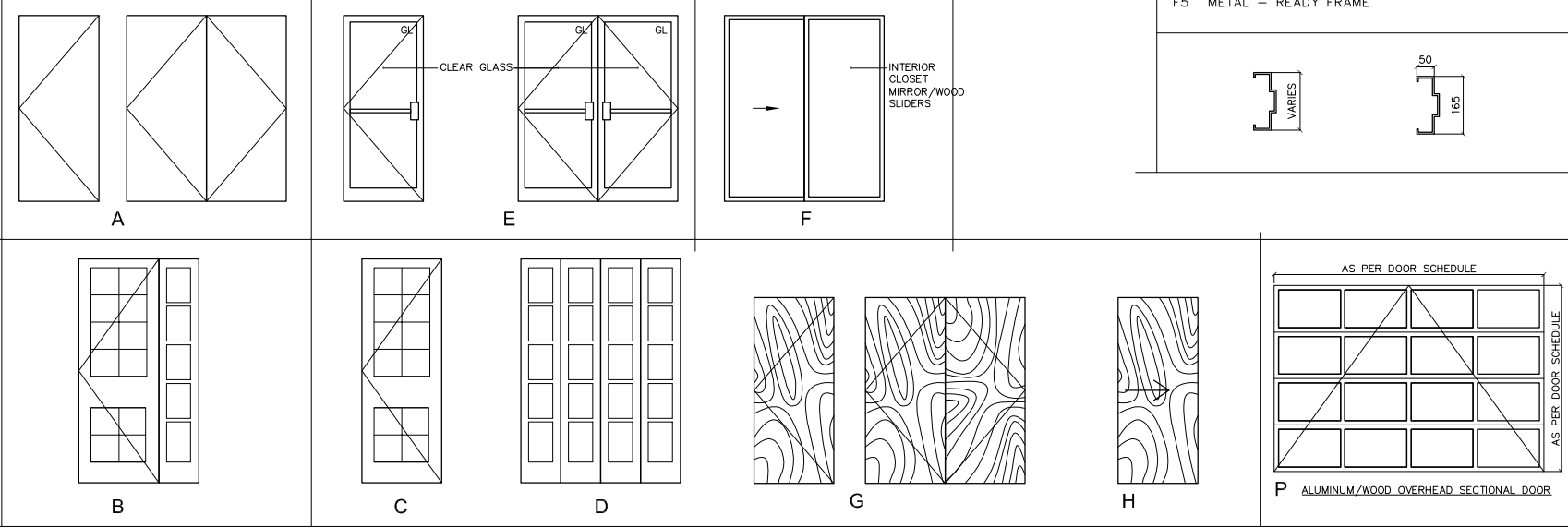
<b>DOOR TYPE:</b>	<b>FINISHES &amp; MATERIALS:</b>
AL ALUMINUM	ANOD CLEAR ANODIZED
HC HOLLOW CORE	GALV GALVANIZED
HM HOLLOW METAL	GL GLASS
SC SOLID CORE	F/GL FIRELITE GLASS
SSC SEMI-SOLID CORE	TG TEMPERED GLASS
MTL METAL	GWG GEORGIAN WIRED GLASS
O/H OVERHEAD DOOR	MDF MEDIUM DENSITY FIBREBOARD
WD WOOD	PLAM PLASTIC LAMINATE
STL STEEL	PT PAINTED
	STN STAINED
	WV WOOD VENEER
	VN VINYL
	P PLASTIC
	PRE PRE FINISHED
	MAR MARBLE
	X PURCHASER SELECTED
	IGU INSULATED GLASS UNIT

**FRAME TYPES:**

- F1 HOLLOW METAL IN BLOCK/CONCRETE/DRYWALL
- F2 ALUMINUM
- F3 WOOD SIZE VARIES TO PARTITION
- F4 HOLLOW METAL THERMALLY BROKEN
- F5 METAL - READY FRAME



**DOOR TYPES:**



**1 DOOR SCHEDULE**  
SCALE: 1:75



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REV:	ISSUED FOR:	DATE:

NORTH: PROJECT NAME: semi-detached dwelling  
999 Stone Church Road East  
Hamilton, ON L8W 1B2

DRAWING TITLE: DOOR SCHEDULE  
SCALE: NTS  
SHEET NO: A8-02





Hamilton


Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR CONSENT TO SEVER LAND  
and VALIDATION OF TITLE  
UNDER SECTION 53 & 57 OF THE PLANNING ACT**

Please see additional information regarding how to submit an application, requirements for the required sketch and general information in the Submission Requirements and Information.

**1. APPLICANT INFORMATION**

	NAME	MAILING ADDRESS	
Purchaser*			Phone:
			E-mail:
Registered Owners(s)	Dereck Beaudin		
	Aaron Grudet		
Applicant(s)**			Phone:
			E-mail:
Agent or Solicitor			Phone:
			E-mail:


\*Purchaser must provide a copy of the portion of the agreement of purchase and sale that authorizes the purchaser to make the application in respect of the land that is the subject of the application.

\*\* Owner's authorisation required if the applicant is not the owner or purchaser.

1.2 All correspondence should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent 

1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:

Municipal Address	999 stonechurch rd e		
Assessment Roll Number	2518060701062500000		
Former Municipality	city of hamilton		
Lot	part of lot 5	Concession	7
Registered Plan Number	62R-11250	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

---

**3 PURPOSE OF THE APPLICATION**

3.1 Type and purpose of proposed transaction: (check appropriate box)

- creation of a new lot(s)
- addition to a lot
- an easement
- validation of title (must also complete section 8)
- cancellation (must also complete section 9)
- creation of a new non-farm parcel (must also complete section 10)  
( i.e. a lot containing a surplus farm dwelling  
resulting from a farm consolidation)
- concurrent new lot(s)
- a lease
- a correction of title
- a charge

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

N/A

3.3 If a lot addition, identify the lands to which the parcel will be added:

N/A

3.4 Certificate Request for Retained Lands:  Yes\*

\* If yes, a statement from an Ontario solicitor in good standing that there is no land abutting the subject land that is owned by the owner of the subject land other than land that could be conveyed without contravening section 50 of the Act. (O. Reg. 786/21)

**4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION**

4.1 Description of subject land:

All dimensions to be provided in metric (m, m<sup>2</sup> or ha), attach additional sheets as necessary.

	Retained (remainder)	Parcel 1	Parcel 2	Parcel 3*	Parcel 4*
--	----------------------	----------	----------	-----------	-----------

Identified on Sketch as:		999A stonechur	999B stonechur		
Type of Transfer	N/A				
Frontage		9.14	9.14		
Depth		45.06	45.05		
Area		412.31	411.98		
Existing Use		single family	single family		
Proposed Use		semi-detached	semi-detached		
Existing Buildings/ Structures		single family house	single family house		
Proposed Buildings/ Structures		semi-detached	semi-detached		
Buildings/ Structures to be Removed		single family house	single family house		

\* Additional fees apply.

#### 4.2 Subject Land Servicing

a) Type of access: (check appropriate box)

provincial highway

municipal road, seasonally maintained

municipal road, maintained all year

right of way

other public road

b) Type of water supply proposed: (check appropriate box)

publicly owned and operated piped water system

privately owned and operated individual well

lake or other water body

other means (specify)

c) Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage system

privately owned and operated individual septic system

other means (specify) \_\_\_\_\_

#### 4.3 Other Services: (check if the service is available)

electricity

telephone

school bussing

garbage collection

### 5 CURRENT LAND USE

#### 5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) neighborhoods

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

5.2 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval?  
 Yes       No       Unknown

If YES, and known, provide the appropriate file number and status of the application.

5.3 What is the existing zoning of the subject land? c/s-1822

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number?

5.4 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision?  
 Yes       No       Unknown

If YES, and known, provide the appropriate file number and status of the application.

5.5 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate distance)
An agricultural operation, including livestock facility or stockyard * Submit Minimum Distance Separation Formulae (MDS) if applicable	<input type="checkbox"/>	
A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	
A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

## 6 HISTORY OF THE SUBJECT LAND

6.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?

Yes  No  Unknown

If YES, and known, provide the appropriate application file number and the decision made on the application.

---

6.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

N/A

6.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land?

Yes  No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of the transferee and the land use.

---

6.4 How long has the applicant owned the subject land?

15 years

6.5 Does the applicant own any other land in the City?  Yes  No

If YES, describe the lands below or attach a separate page.

827 upper Wellington, 223 Braithwaite ave.

---

## 7 PROVINCIAL POLICY

7.1 Is this application consistent with the Policy Statements issued under Section 3 of the *Planning Act*?

Yes  No (Provide explanation)

---

7.2 Is this application consistent with the Provincial Policy Statement (PPS)?

Yes  No (Provide explanation)

---

7.3 Does this application conform to the Growth Plan for the Greater Golden Horseshoe?

Yes  No (Provide explanation)

---

7.4 Are the subject lands subject to the Niagara Escarpment Plan?

Yes  No (Provide explanation)

subject address isn't highlighted on the map for Niagara Escarpment plan

7.5 Are the subject lands subject to the Parkway Belt West Plan?

Yes  No (Provide explanation)

subject address isn't highlighted on the map for Parkway Belt West plan

7.6 Are the subject lands subject to the Greenbelt Plan?

Yes  No (Provide explanation)

subject address isn't highlighted on the map for the Greenbelt plan

7.7 Are the subject lands within an area of land designated under any other provincial plan or plans?

Yes  No (Provide explanation)

## 8 ADDITIONAL INFORMATION - VALIDATION

8.1 Did the previous owner retain any interest in the subject land?

Yes  No (Provide explanation)

8.2 Does the current owner have any interest in any abutting land?

Yes  No (Provide explanation and details on plan)

8.3 Why do you consider your title may require validation? (attach additional sheets as necessary)

N/A

## 9 ADDITIONAL INFORMATION - CANCELLATION

9.1 Did the previous owner retain any interest in the subject land?

Yes  No (Provide explanation)

9.2 Does the current owner have any interest in any abutting land?

Yes  No (Provide explanation and details on plan)

9.3 Why do you require cancellation of a previous consent? (attach additional sheets as necessary)

N/A

**10 ADDITIONAL INFORMATION - FARM CONSOLIDATION**

**10.1 Purpose of the Application (Farm Consolidation)**

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate if the consolidation is for:

- Surplus Farm Dwelling Severance from an Abutting Farm Consolidation
- Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation

**10.2 Location of farm consolidation property:**

Municipal Address			
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

**10.3**

**Rural Hamilton Official Plan Designation(s)**  
 If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm consolidation property.

**10.4**

**Description of farm consolidation property:**

Frontage (m):	Area (m <sup>2</sup> or ha):
---------------	------------------------------

Existing Land Use(s): \_\_\_\_\_ Proposed Land Use(s): \_\_\_\_\_

**10.5**

**Description of abutting consolidated farm (excluding lands intended to be severed for the surplus dwelling)**

Frontage (m):	Area (m <sup>2</sup> or ha):
---------------	------------------------------

Existing Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

**10.7**

**Description of surplus dwelling lands proposed to be severed:**

Frontage (m): (from Section 4.1)	Area (m <sup>2</sup> or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: \_\_\_\_\_

- a) Date of construction:
  - Prior to December 16, 2004
  - After December 16, 2004
- b) Condition:
  - Habitable
  - Non-Habitable

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application Form
- Signatures Sheet

### 11.2 Validation of Title

- All information documents in Section 11.1
- Detailed history of why a Validation of Title is required
- All supporting materials indicating the contravention of the Planning Act, including PIN documents and other items deemed necessary.

### 11.3 Cancellation

- All information documents in Section 11.1
- Detailed history of when the previous consent took place.
- All supporting materials indicating the cancellation subject lands and any neighbouring lands owned in the same name, including PIN documents and other items deemed necessary.

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study

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