Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Consent/Land Severance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION	HM/B-23:63	SUBJECT	999 STONE CHURCH ROAD E,
NO.:		PROPERTY:	HAMILTON

APPLICANTS: Owner: AARON GAUDET & DERECK BEAUDIN

PURPOSE & EFFECT: To permit the conveyance of a parcel of land to create a new residential

building lot. The existing dwellings will be demolished to facilitate this

application.

	Frontage	Depth	Area
SEVERED LANDS (999B):	9.14 m [±]	45.05 m [±]	411.98 m ^{2 ±}
RETAINED LANDS (999A):	9.14 m [±]	45.06 m [±]	412.31 m ^{2 ±}

Associated Planning Act File(s): HM/A-23:256

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, November 2, 2023
TIME:	10:45 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed (viewing only) at
	www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

HM/B-23:63

- Visit www.hamilton.ca/committeeofadjustment
- Email Committee of Adjustment staff at cofa@hamilton.ca
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, <u>including deadlines</u> for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/B-23:63, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If a person or public body that files an appeal of a decision of The City of Hamilton Committee of Adjustment in respect of the proposed consent does not make written submissions to The City of Hamilton Committee of Adjustment before it gives or refuses to give a provisional consent, the Ontario Land Tribunal may dismiss the appeal.

HM/B-23:63



DATED: October 17, 2023

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Comments must be received by noon two days before the Hearing.

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All comments received by noon two business days before the meeting will be forwarded to the Committee members.

Comments are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions During the Virtual Meeting

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating through Webex via computer or phone. Participation in this format requires pre-registration in advance. **Interested members of the public must register by noon the day before the hearing.**

To register to participate by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221. The following information is required to register: Committee of Adjustment file number that you wish to speak to, the hearing date, name and address of the person wishing to speak, if they will be connecting via phone or video, and if applicable the phone number they will be using to call in. A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

All members of the public who register will be contacted by Committee Staff to confirm details of the registration prior to the Hearing and provide an overview of the public participation process.

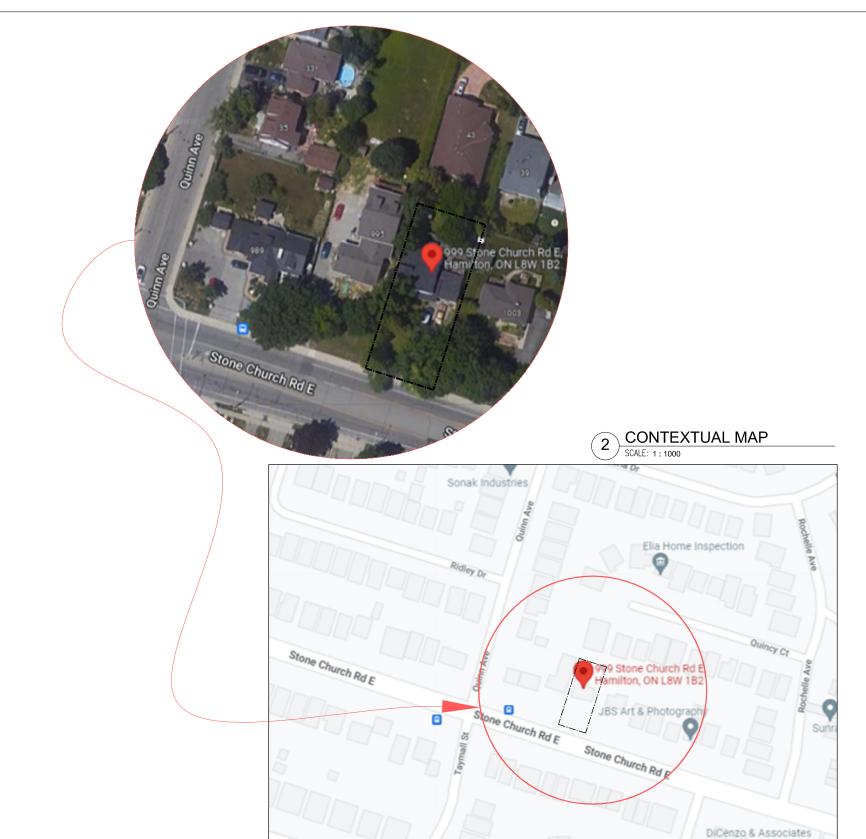
We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

999 Stone Church Rd. E. Hamilton, ON. L8W 1B2

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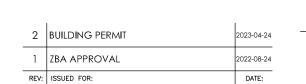
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LOCATION MAP







semi-detached dwelling 999 Stone Church Road East

Hamilton, ON L8W 1B2

COVER SHEET

VARIES SHEET NO:

A0.00

ITEM		ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9							OBC REFREN	CE	
						\boxtimes	New			Part 3	Part 9
1	Project D	escription					Addition				2.1.1
					☐ Change of U	Jse 🗆	Alteration				9.10.1.3
2	Major Oc	cupancy(s	ancy(s) "C" RESIDENTIAL OCCUPANCIES							3.1.2.1.(1)	9.10.2
3	Building /	Area (m²)			Existing: 0.00	0 m ² N	lew: 2X92.1	4 m ² To	tal: 184.28 m ²	1.1.3.2	1.1.3.2
4	Gross Ar	ea (m²)			Existing: 0.0	0 m ²	New:2X157	.42 m ² Tot	tal: 314.84 m ²	1.1.3.2	1.1.3.2
5	Number of	of Storeys	i			Above Grade	e: 2	Below Grade: 1		3.2.1.1 & 1.1.3.2	2.1.1.3
6	Height of	Building ((m)		7 m						2.1.1.3
7	No. of St	reets/Acce	ess Route	es	1					3.2.2.10 & 3.2.5.5	
8	Building (Classificat	ion		"C" Resident	ial				3.2.2.2083	9.10.4
							Entire Buil Basement	-		3,2,2,20-,83	9.10.8
9	Sprinkler	System F	roposed			_		Roof Rafting		3.2.1.5	
							Not Requi	-		3.2.2.17	
10	Standpip	e Require	d				Yes		l No	3.2.9	
11	Fire Alarr						Yes		l No	3.2.4	9.10.7.2
12	Water Se			uate			Yes		No	5.2.4	3.10.7.2
13	High Buil		piy ridoq	dato			Yes		l No	3.2.6	
10	Permitt C		n		M	Combustible		Non-Combustit		3.2.2.2083	9.10.6
14		onstruction				Combustible		Non-Combustit		3.2.2.20 100	3.10.0
15	Mezzanir					- CONTIDUCTION			510	3.2.1.1.(3)-(8)	9.10.4.1
		t Load Ba			Γ	☐ m²/Person		Design of Build	lina	3.1.1.6	9.9.1.3
		Basement Occupancy Load 2 Persons					3.1.1.13				
16		1 ST F			·	cy					
		2 ND F				cy					
		3 RD F			•	-					
17	Barrier-F				☐ Yes	⊠ No				3.8	9.5.2
18	Hazardou	ıs Substa	nces		☐ Yes	⊠ No	,			3.3.1.2(1) & 3.3.1.19(1)	9.10.1.3
					ontal Asemblie	es		Listed Design I		3.2.2.2083 & 3.2.1.4	9.10.8
		FRR (Hours) or Description (SG-2)					,		9.10.9		
		Floors									
	Required	Fire									
19	Resistan	ce	iviez								
	Rating (F	RR)	FRR of Supporting Listed Design No. Members or Description (SG-2)								
			Fle	oors		- Hours					
			Roof			Hours					
				zanine		Hours					
	Spetial S	eparation	- Constru	uction of l	Exterior Walls					3.2.3	9.10.14
		Area of		L/H	Permitted	Proposed		Listed Design		Comb, Constr.	
	Wall	EBF	LD (m)	or	Max. % of	% of	FRR	or	Comb Const	Nonc.	Non.Com
		(m ²)	(m)	H/L	Openings	Openings	(Hours)	Description		Cladding	Consrt.
20	North	48.44	14.80	1.85	100	44	N/A	N/A	COMB	N/A	N/A
	South	48.44	14.65	1.85	100	16	N/A	N/A	COMB	N/A	N/A
	East	94.32	2.65	1.86	100	3	N/A	N/A	COMB	N/A	N/A
	West	94.32	2.65	1.86	100	3	N/A	N/A	COMB	N/A	N/A
21	Other - D	escribe:			· 		· 	· 			

OBC MATRIX

77 GARDEN AVE. RICHMOND HILL, ON, L4C 6L6 T.(416) 900-3566 F.(416) 900-3577 www.fararchitect.com



2 BUILDING PERMIT 2023-04-24 ZBA APPROVAL 2022-08-24 REV: ISSUED FOR:

 $R_{O_{AD}}$

STONE CHURCH

SURVEY

SCALE: 1:250

semi-detached dwelling 999 Stone Church Road East Hamilton, ON L8W 1B2

SURVEY INFO. & OBC MATRIX

1:250 SHEET NO:

NOTE : THE INFORMATION FOR THIS SITE PLAN HAS BEEN OBTAINED FROM A SURVEY PLAN PREPARED BY BARICH GRENKIE SURVEYING LTD. DATED APRIL 12,2022

A0.01

1 - Excavation and Backfill(O.B.C. 2012, 4.2.) Excavation shall be undertaken in such a m utilities.(O.B.C.2012,4.2.5.2 & 9.2.1.4.(1))

Window wells shall be drained to the footing

not adversely affect adjacent properties

. Minimum 48" below finished grade

3.1 - Footing Size

Step Footings
 Vertical Rise

Horizontal Run

provisions shall be made to prevent soil erosion

1570 psi; unless otherwise stated on drawings.

· 2 rebar runs horizontal and vertical through keyway

9 %"

8"x18"

17 3/4"

23 5/8" Max. for firm soils

23 5/8" Min.

• Dampproofing shall be a heavy coat of bituminous material.

Min. 4" of free drainage granular material or.

• Provide 7 1/2" solid masonry under beams and columns

A drainage layer shall consist of:

• Foundation wall to extend minimum 5 7/8" above finished grade

Min 3/2 mineral fiber insulation with min, density of 3.6 lb/ft2

An approved system which provides equivalent performance

Foundation walls shall be braced or have the floor joists installed before backfilling

Inside back of wall to be parged and covered with No. 15 breather type asphalt paper.

. Minimum 3" thk. Placed on a minimum 4" of course clean, granular material

5 - Concrete Floor Slab

Garage, Carport, Exterior Slabs, and exterior steps shall be 4650 psi concrete with 5-8% air entrainment

constructed of 3 ½" brick, wall shall be bonded with header course every 6th course • Provide 2" solid masonry or continuous 1 ½" plate under all roof and floor framing members

Masonry wall to be tied to each tier of joist with 1 9/16"x3/16" corrosion resistant steel straps, keyed minimum 4" into masonry. When joists are parallel to wall, ties are to extend across at least 3 joists at 6".7" o.c. For reduced foundation walls to allow a brick facing while maintaining lateral support, tie minimum 3 %" backup block with corrosion resistant ties at least 0.028 in² in cross sectional area, spaced 7 7/8" vertically and 2'-11" horizontally, with joists

7 - Masonry Veneer • Minimum 2 ½" thick if joists are not raked and 3 ½" thick if joists are raked . Minimum 1" air space to sheathing • Provide weep holes at 31 ½" o.c. at the bottom of the cavity and over doors and windows • Direct drainage through weep holes with 20 mil poly flashing extending minimum 5 7/8" up behind the sheathing paper • Veneer ties minimum 0.030" thk, X 7/8" wide corrosion resistant straps spaced at 23 5/8" vertically and 15 %" horizontally • Fasten ties with corrosion resistant 0.125" diameter screw or spiral nails which penetrate at least 1.3/16" into studs.

8 - Wood Frame Construction

All lumber shall be spruce-pine fur No. 1 & 2 and shall be identified by a grade stamp

Maximum moisture content 19% at time of installation

Wood Framing members in contact with masonry or concrete shall be treated to prevent decay. (O.B.C. 2012, 9.23.2.2.) or separated from the concrete by min. 0.05mm polyethylene film or Type S roll roofing)O.B.C. 2012, 9.23.2.3.)

Structural wood elements shall be pressure-treated for termite and decay protection where the vertical clearance beto
the wood elements and the finished ground level is less than 150mm (O.B.C. 2012, 9.3.2.9.)

nner so as to prevent damage to existing structure, adjacent property and

The topsoil and vegetable matter in unexcavated areas under a building shall be removed. The areas under a building shall be removed. The bottom of excavation for foundations shall be free of all organic material. (0.8.C.2012, 9.12.1.1.(1))

• in excavated areas under a building and the clearance between untreated structural wood elements and the around shall

Backfill within (600mm) 23 5/8" for the foundation walls shall be free of deleterious debris and boulders over (250mm) 9 7/8" in

• 4" foundation drains shall be laid on level, undisturbed ground adjacent to the footings at or below the top of the basement

slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer

• The building sit shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will

• Footings shall be founded on natural undisturbed soil, rock or compacted granular fill with minimum bearing capacity of

9ft2 (3'x3')

10.9 ft²

• Increase footing width by 2 5/8" for each storey of brick veneer supported, and by 5 1/8" for each storey of masonry.

A drainage layer is required on the outside of a foundation wall where the interior insulation extends more than 2'-11" below exterior grade.

All fill other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support.

Masonry over openings shall be supported on corrosion resistant or prime painted steel lintels with a minimum of 5 77/8"

• Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building and

2 - Dampproofing and Drainage (SEE O.B.C.2012, 9.13.)

• In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be

. Masonry foundation walls shall be parged with 1/4" of mortar coved over the footing prior to dampproofing.

dampproofed. Where hydrostatic pressure occurs, a waterproofing system is required

Sup. Ext. wall Sup. Int. walls Column Area

To be poured concrete, unit masonry or preserved wood (see drawings for type and thickness).

9 1/2"

8"x18"

9 3/4"

• The projection of an un-reinforced footing beyond the wall supported shall not be greater than its thickness

Concrete slabs in attached garages shall be sloped to drain to the exterior.

3 - Footings (FOOTING SHALL BE DESIGNED ACCORDING TO O.B.C.2012,4.2.)

If termites are known to exist, all stumps, roots and wood debris shall be removed to a minimum depth of (300mm) 11 3/4"

- Joists shall bear on a sill plate fixed to foundation with ½" anchor bolts at 7'-10" o.c. . Header joists between 3'-11" and 10'-6" in length shall be doubled. Header joists exceeding 10'-6" shall be sized by
- Trimmer joists shall be doubled when supported header is between 2'-7" and 6'-7". Trimmer joists shall be sized by calculations when supported header exceeds 6'-7"Maximum moisture content 19% at time of installation
- 2x2 cross bridging required not more than 6'-11" from each support and from other rows of bridging Joists shall be supported on joist hangers or all flush beams, trimmers, and headers
- Joists located under parallel non -loadbearing partitions shall be doubled

- 11 Roof and Ceilings
 Hip and valley rafter shall be 2" deeper than common rafters
- 2x4 collar ties @ rafter spacing with 1x4 continuous brace at mid span if collar tie exceeds 7'-10" in length

- Holes in floor, roof and ceiling members to be maximum ¼" x actual depth of member and not less than 2" from edges Notches in floor, roof and ceiling members to be located on top of the member, within 1/2 the actual depth from the edge
- of bearing and not greater than 1/3 joist depth Wall studs may be notched or drilled provided that no less than 2/3 the depth of the studs remains, if load bearing and 1
- · Roof truss members shall not be notched, drilled or weakened unless accommodated in the design

- Roofing
 Fasteners for roofing shall be corrosion resistant
- . Roofing nails shall penetrate through or at least 1/2" into roof sheathing
- Eave protection shall extend 2'-11" up the roof slope from the edge, and at least 11 %" from the inside face of the exterio wall, and shall consist of type M or type S roll roofing laid with minimum 4" head and ends cemented together, or self-sealing composite membranes consisting of modified bituminous coated material. Eave protection is not required for
- unheated buildings, for roofs exceeding a slope of 1 in 1.5 or where a low slope asphalt shingle application is provided . Open valleys shall be finished with 1 layer of sheet metal or aluminum min 5/8" wide
- Flashing shall be provided at the intersection of shingle roofs with exterior wall and chimney
- Sheet metal flashing shall consist of not less than 1/16" sheet lead, 0.013" galvanized steel, 0.018" copper, 0.018" zinc, or
- complies with O.B.C. 2012, 9.26.4.3 (4)
- The 935mm (¾") plywood roof sheathing must have their edges supported when roof joists/truss spacing exceeds 406mm
- All roofing material shall conform to the standards listed in O.B.C. 2012, 9,26,2, and the slope application limits for the
- roofing materials must comply with Table 9.26.3.1. The weight of the all proposed roof assemblies including the finished roofing materials must comply with the designated

• Steel beams and columns shall be shop primed

- $\bullet\,$ Minimum 3 % " end bearing for wood and steel beams, with 7 7/8" solid masonry beneath the beam
- . Steel columns to have minimum outside diameter of 2 7/8" and minimum wall thickness of 3/16"
- Wood columns for carports and garages shall be minimum 3 ½"x3 ½"

In all other cases either 5 ½"x5 ½" or 7 ¼" round, unless calculations based on actual loads show lesser sizes are

- All columns shall be not less than the width of the supported member Masonry columns shall be a minimum of 11 3/8" x 11 3/8" or 9 ½"x 15"
- Provide solid blocking the full width of the supported member under all concentrated loads

15 - Insulation and Weatherproofing (SEE E.E.D.S. for more detail), FOR ADDITION AND EXTENSION SEE SB-12

	A1	A2	A3	A4	A5	A6
	MI	AZ	AJ	A4	AJ	AU
Ceiling with attic space	R60	R60	R50	R60	R50	R60
Ceiling without attic space	R31	R31	R31	R31	R31	R31
Exposed Floor	R31	R31	R35	R31	R35	R31
Wall above grade	R22	R19+5 ci	R14+7.5 ci	22+5 ci	R19+5 ci	R22+5 c
Basement walls	20 ci	R12+10 ci	20 ci	20 ci	R12+5 ci	20 ci
 Slab (all >600mm below grade) 	-	-	-	-	-	-
 Heated Slab or Slab =<600mm below grade 	R10	R10	R10	R10	R10	R10
• Edge of Below Grade Slab =<600mm below grade	R10	R10	R10	R10	R10	R10
 Insulation shall be protected with gypsum board of 6mm. poly is sufficient for fiberglass type insulation. 		lent interior f	inish, except	for unfinish	ed basement	s where
 Ducts passing through unheated space shall be managed. 	ade airtight	with tape or	sealant			

- Caulking shall be provided for all exterior doors and windows between the frame and exterior cladding
- Weather stripping shall be provided on all doors and access hatches to the exterior, except doors from a garage to the
- Exterior walls, ceilings and floor shall be constructed so as to provide a continuous barrier to the passage of water vapour from the interior and to the leakage of air from the exterior

- Tracular ventiliation
 Every roof space above an insulated ceiling shall be ventilated with unobstructed openings equal to not less than 1/300 of insulated area
- Insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/150
- Roof vents shall be uniformly distributed and designed to prevent the entry of rain, snow or insects
- Unheated crawl spaces shall be provided with 1.1ft² of ventilation for each 538 ft²
- Minimum natural ventilation areas, where mechanical ventilation is not provided are
- 0.97 ft² Bathrooms:
- Other rooms:
- Unfinished basement 0.2% of the floor area

- 17 Doors and Windows

 Every floor level containing a bedroom and not served by an exterior door shall contain at least 1 window having an unobstructed open area of 3.8 ft² an no dimension less than 15", which is operable from the inside without too
- Exterior house doors and windows within 6'-7" from grade shall be constructed to resist forced entry.
- Exterior Doors shall have a deadbolt lock
- . The principal entry door shall have either a door viewer, transparent glazing or a sidelight
- Main entrance doors and their components shall be designed, constructed and installed so that, when in the closed position, they control air leakage, resist the ingress of insects and vermin, resist forced entry as per O.B.C. 2012, 9.7.5.2. and are easily operable as per O.B.C. 2012, 9.7.3.
- Glass in doors shall conform to O.B.C. 2012, Table 9.6.1.3.
- Glass in sidelights >500mm wide that could be mistaken for doors within or at every entrance to a dwelling unit. Glass in

storm doors and sliding doors shall be safety glass of tempered or laminated type conforming to CAN/CGSB-12.1, "Tempered or Laminated Safety Glass" OR Wired glass. Conforming to CAN/CGSB-12.1-M " Wired Safety Glass".

• Window within 2m of adjacent ground level, shall provide resistance to forced entry.

- 18 Exterior Walls

 No windows or other unprotected openings are permitted in exterior walls less than 3'-11" from property lines
- 5/8" fire rated drywall shall be installed on the inside face of the attached garage exterior wall and gable ends of the roofs

19 - Ceramic Tile

• When ceramic tile applied to a mortar bed with adhesive, the bed shall be a minimum of %" thk and reinforced with galvanized diamond mesh lath applied over polyethylene on subflooring on joists at no more than $16^{\prime\prime}$ o.c. with ort least 2

20 - Access to attics & crawl spaces Sentence 9.19.2.1 [2]

• The hatch required in sentence (1) shall be not less than 550mm (21.5/8") by 800mm (2'-11") except that where the hatch serves a single dwelling unit, the hatch may be reduced to $0.32 \, \text{m}^2 \, (3.4 \, \text{ft}^2)$ in area with no dimension less than 545 mm (21)

- 21 Garage Gasproofing

 The walls and ceilings of an attached garage shall be constructed and sealed so as to provide an effective barrier to exhaust
- · All plumbing and other penetrations through the walls and ceiling shall be caulked
- . Doors between the dwelling and attached garage may not open into a bedroom and shall be weather-stripped and have a

- 22 Alarms and Detectors (O.B.C. 2012, 9.10.19.3.)

 Smoke alarms conforming to CAN/ULC-S531, "Smoke Alarms", shall be installed in each dwelling unit and in each sleeping room not within a dwelling unit. (O.B.C. 2012, 9.10.19.1.(1))
- Smoke alarms shall have a visual signaling component conforming to the requirements in 18.5.3. (Light, Color and Pulse Characteristics) of NFPA 72, "National Fire Alarm and Signaling Code".(O.B.C. 9.10.19.1.(2))
- Within dwelling units, sufficient smoke alarms shall be installed so that, there is at least one smoke alarm shall be installed on each storey, including basement, and on any storey of dwelling units containing sleeping rooms, a smoke alarm is
- •• in a location between the sleeping rooms and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway. (O.B.C. 9.10.19.3.(1)(a)(b)(i)(ii))
- Where more than one smoke alarm is required in a dwelling unit, the smoke alarms shall be wired so that the activation of one alarm will cause all alarms within the dwelling unit to sound.(O.B.C. 9.10.19.5.(1))
- Where a fuel-burning appliance is installed in a suite of residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping are in the suite.(O.B.C. 2012, 9.33.4.2.(1))

23 - Stairs (PRIVATE)

- 200mm (7 7/8") (O.B.C.2012, 9.8.4.1.(1))
- Minimum run 255mm (10") (O B C 2012 9 8 4 1 (1)) · Minimum headroom 1950mm (6'-5")(O.B.C.2012, 9.8.2.2.(3))
- 860mm (2'-10") (O.B.C.2012, 9.8.2.1.(2)) Minimum width
- Winders which converge to a point in stairs must turn through an angle of no more than 90°, with no less than 30° or more than 45° per tread.(O.B.C.2012, 9.8.4.5.(1))
- Sets of winders must be separated by 1200 along the run of the stair.(O.B.C.2012, 9.8.4.5.(2))
- A landing minimum 1100mm in length is required at the top of any stair leading to the principal entrance to a dwelling and other entrances with more than 3 risers

- 24 Handrail and Guards

 All guards and handrails must be designed and installed to meet minimum loading criteria as per O.B.C. 2012, Table 9.8.8.2. • A handrail is required for interior stairs containing more than 2 risers and exterior stairs containing more than 3 risers
- . Guards are required around every accessible surface which is more than 23 5/8" above the adjacent level
- Exterior guards shall be 3'-6" high where height above adjacent surface exceeds 5'-11"
- Guard openings shall comply with SB-7 of the O.B.C.
- Glass in guards and handrails (for exterior applications) must conform to SB-13. Glass to be heat strengthen laminated glass or heat soaked tempered glass dependent on the location of the panel from the edge of the floor.
- Stamped (engineered) shop drawings shall be submitted for the proposed glass guard and railing system and its anchorage method must be submitted to Toronto Building for review prior to erection or installation.

25 - Plumbing

• Every dwelling requires a kitchen sink, lavatory, water closet, bathtub or shower stall and the installation or availability of Jaundry facilities · A floor drain shall be installed in the basement, and connected to the sanitary sewer where gravity drainage is possible. in

- other cases, it shall be connected to a storm drainage system, ditch or dry well 26 - Electrical

 • An exterior light controlled by an interior switch is required at every entrance
- A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room. bath room, vestibule, hallway, Garage, and carport. A switched receptacle may be provided instead of a light in bed
- Stairs shall be lighted, and except where serving an unfinished basement shall be controlled by a 3 way switch at the head
- Basements require a light for each 323 ft², controlled by a switch at the head of the stairs

- A mechanical ventilation system is required with a total capacity at least equal to the sum of
- 10 cfm each for basement and master bedroom
- 5 cfm for each other room
- Supplemental exhaust shall be installed so that the total capacity of all kitchen, bathroom and other exhausts, less the principal exhaust, is not less than the total required
- A heat recovery ventilator may be employed in lieu of exhaust to provide ventilation. An HRV is required if any capacity · Supply air intakes shall be located so as to avoid solid fuel burning appliances are installed contamination from exhaust
- Bathrooms with no windows or non-operable windows shall have a bathroom exhaust fan as per O.B.C. 2012, 9.32.3.

- Wall enclosing the main bathroom in a dwelling unit, shall have reinforcement to permit the future installation of a grab-bar on the wall adjacent to a water closet and a shower and bathtub. (See O.B.C. 2012, Vol: 2 Appendix. A-3.8.3.13.(4)) • Safety glass must be used for shower or bathtub enclosure(s) (O.B.C. 2012, 9.6.1.4.(6))
- Drain Water Heat Recovery Units shall be installed on at least two showers where there are two or more showers proposed, OR installed on all showers if only one shower proposed as per SB-12 3.1.1.12.

29 - Second floor Egress

- A window on the second floor must meet the minimum requirements for an egress window in accordance with O.B.C. 2012, The egress window's unobstructed opening must be min. 550mm x 1000mm (21 3/4 " x 39 1/2"), have a sill height not more
- than 1000mm (3'-3 1/4") above the interior finished floor and have a sill height not more than 7.0m (22'-11 1/2") above the

30 -Air and Vapour Barrier

- Air barrier shall conform to O.B.C. 2012, 9.25.3. and be continuous from the interior of the building into wall, floor , attic or roof spaces. Vapour Barrier shall conform to O.B.C. 2012, 9.25.4. and be provided on the warm side of the insulation to prev
- Vapour Barriers shall conform to O.B.C. 2012, 9.25.4. Where insulation functions as the vapour barrier, it shall be sufficiently
 thick as to have a permanence not greater than 60mg/(Pa.s.m2) measured in accordance with ASTM E96/E96M.

31 -Fire Blocking Requirements

- Fire blocks are required in all concealed spaces between interior and exterior walls, all interconnections between concealed vertical and horizontal spaces in ceilings and soffits, and the top and bottom of each run of stairs where they pass through a floor containing concealed space. Fire blocks shall be provided to block of concealed spaces within wall assemblies (where no insulation is installed) at each floor level and ceiling level so that the distance between fire blocks does not exceed 20m horizontally and 3m vertical. (O.B.C. 2012, 9.10.16.)
- Fire block material(s) shall remain in place and prevent the passage of flames for not less than 15min., when subject to CAN/ULC-5101 or comply with materials specified in O.B.C. 2012, 9.10.16.3.(2) and(3).
- Fire block not required in wall assembly with one concealed space with width <25mn

32 -Exterior Insulated Finish Systems (EIFS)

- EIFS shall conform to O.B.C. 2012, 9.25.5., 9.27.2. to 9.27.4. and 9.27.13.
- The EIFS materials must comply with CAN/ULC-S716.1. design requirements of CAN/ULC-S716.3 and insulation requirement
- The EIFS assembly must have a geometrically defined drainage cavity must be provided with a min, cavity depth of 6mm and open area equal to not less than 13% of the area of a full-sized exterior insulated finish system p

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BUILDING PERMIT 2023-04-24 ZBA APPROVAL 2022-08-24 REV: ISSUED FOR: DATE:

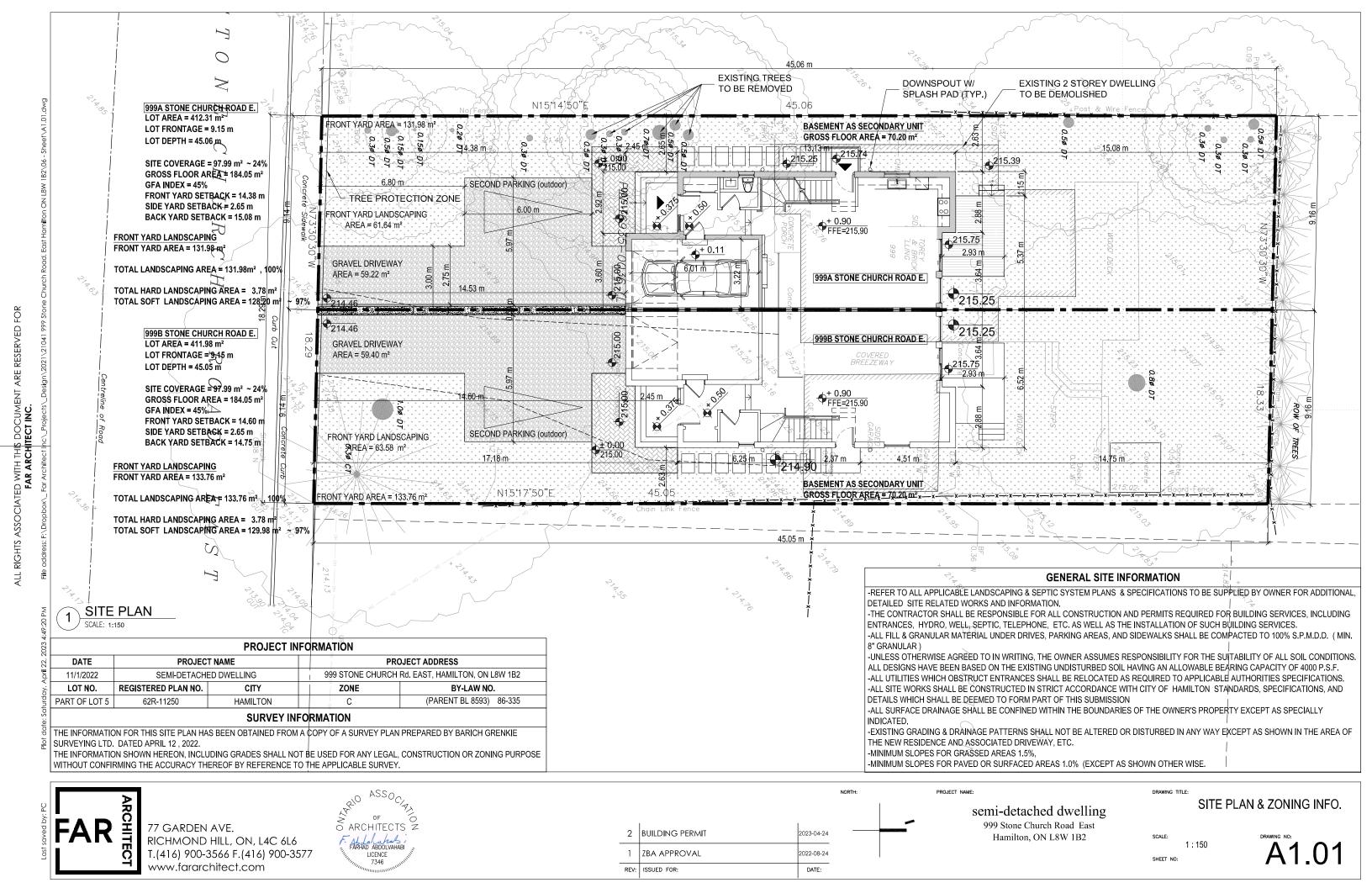
semi-detached dwelling 999 Stone Church Road East

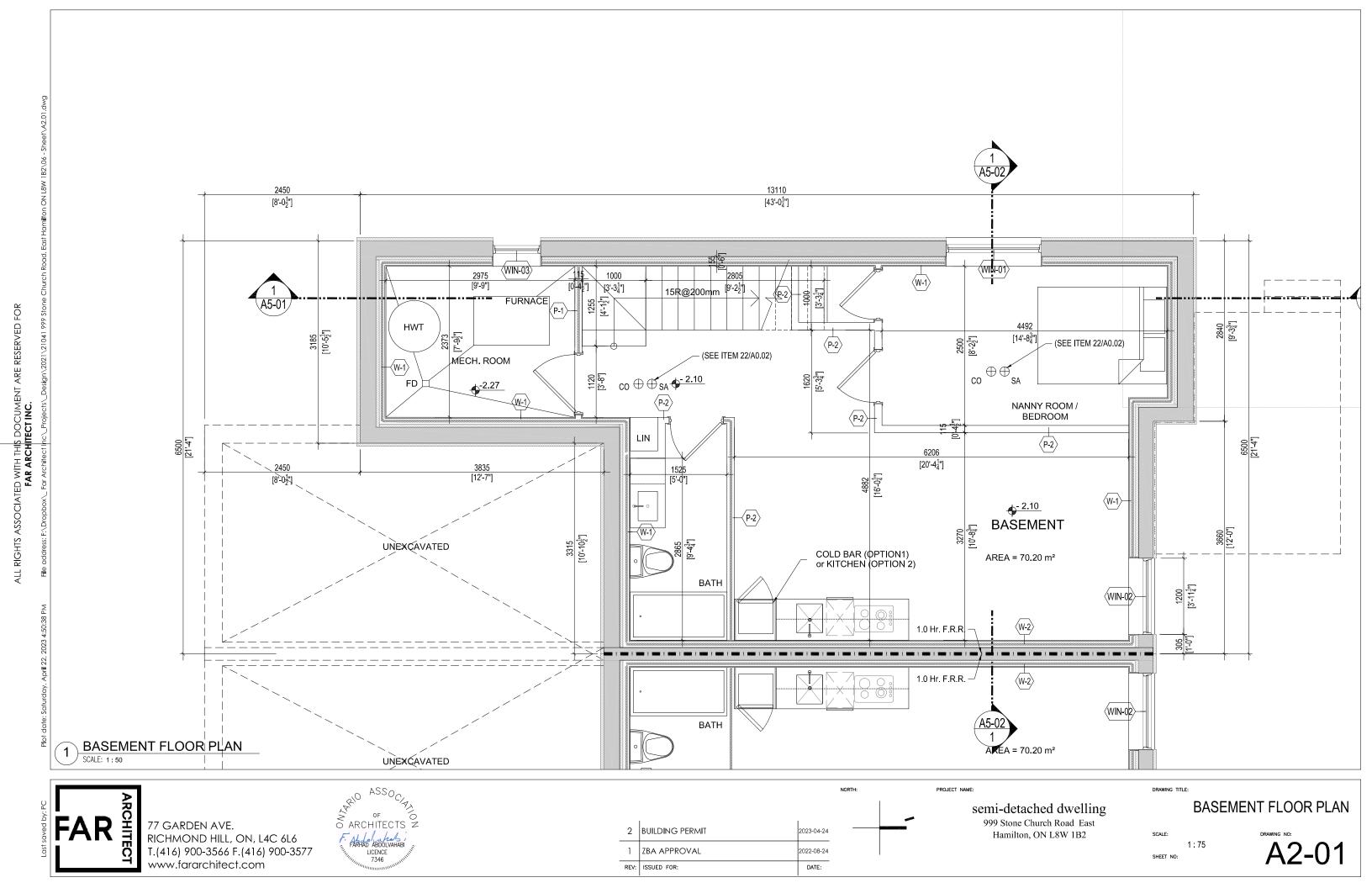
CONSTRUCTION NOTES

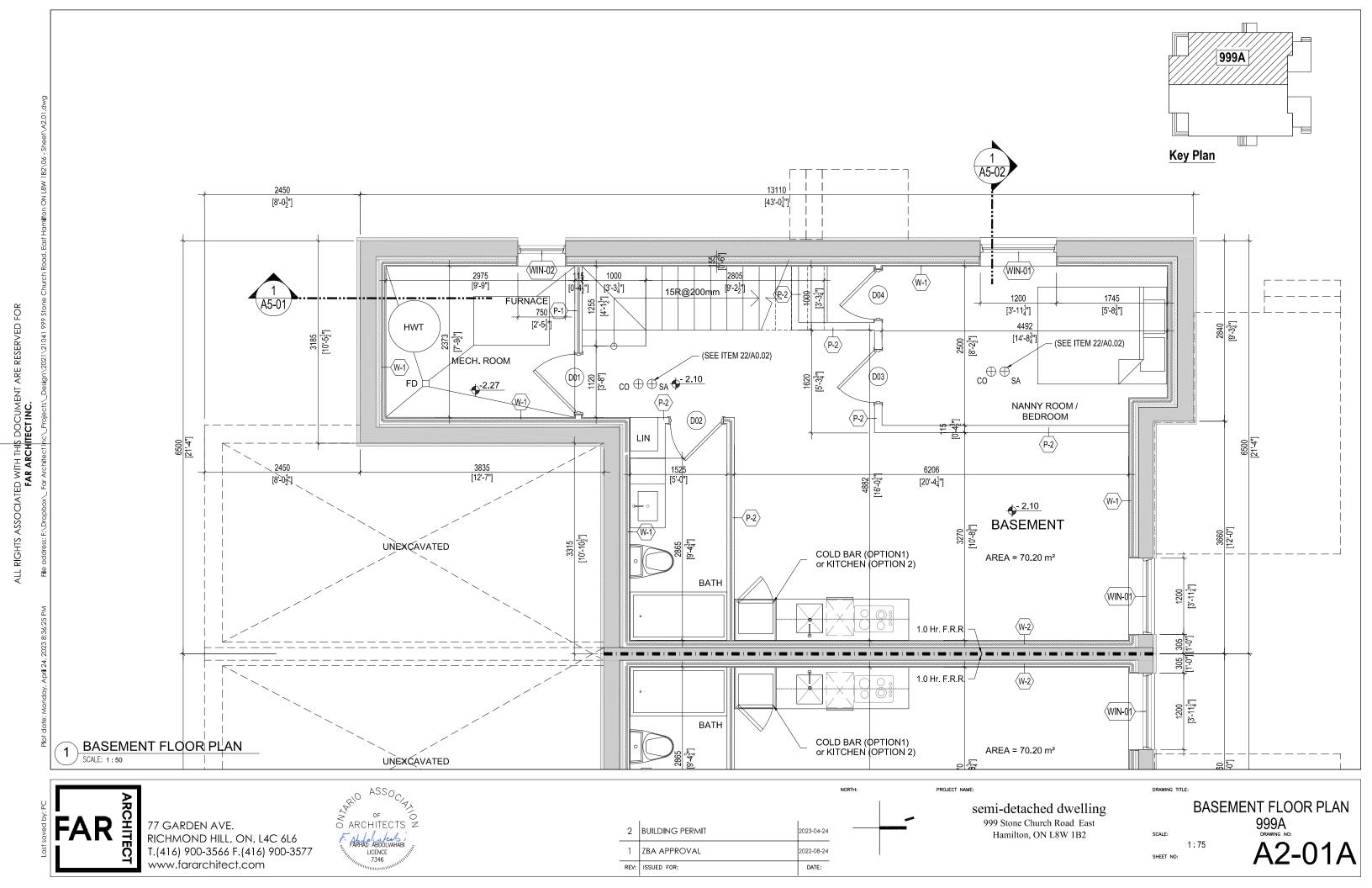
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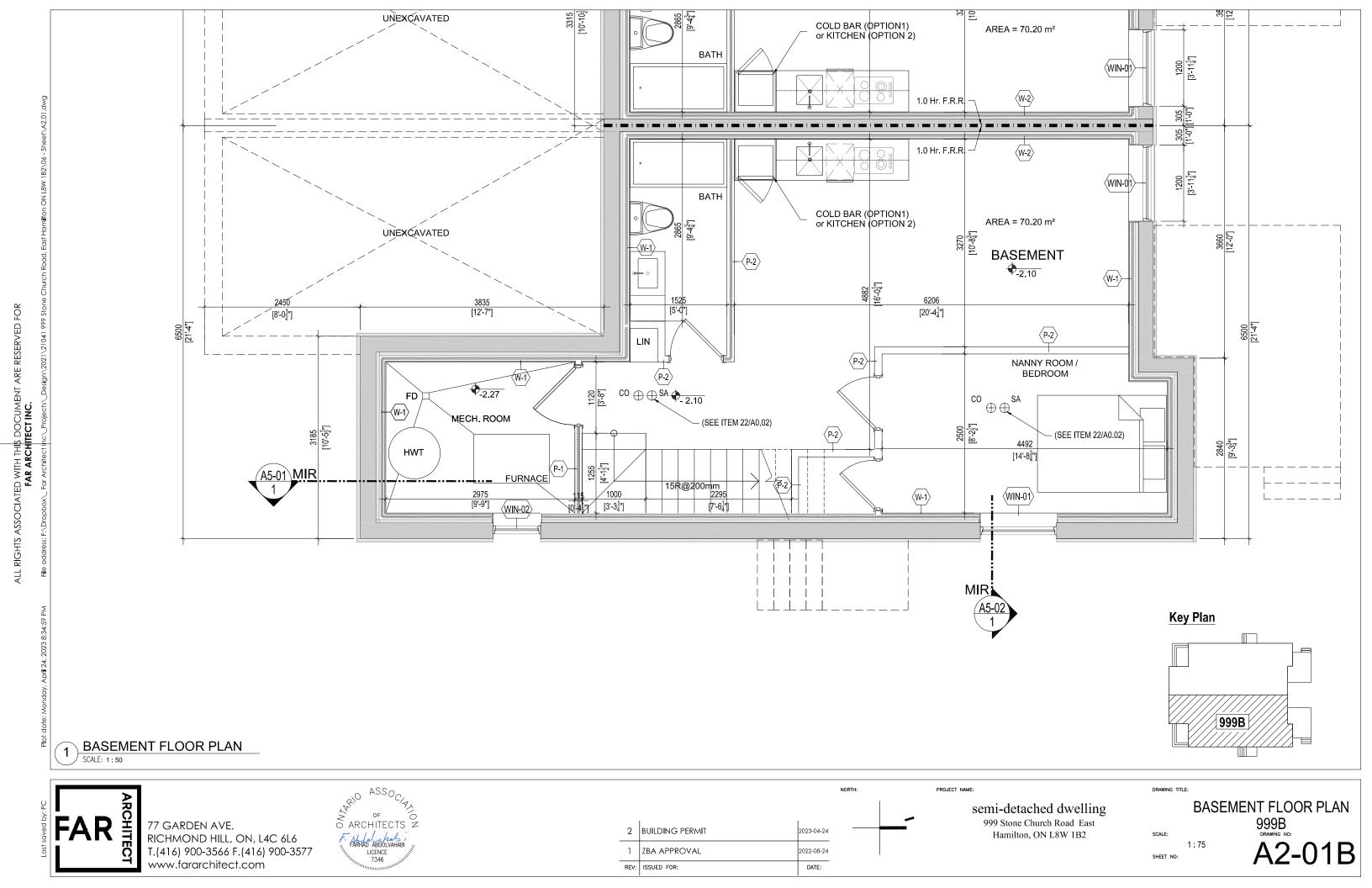
Hamilton, ON L8W 1B2

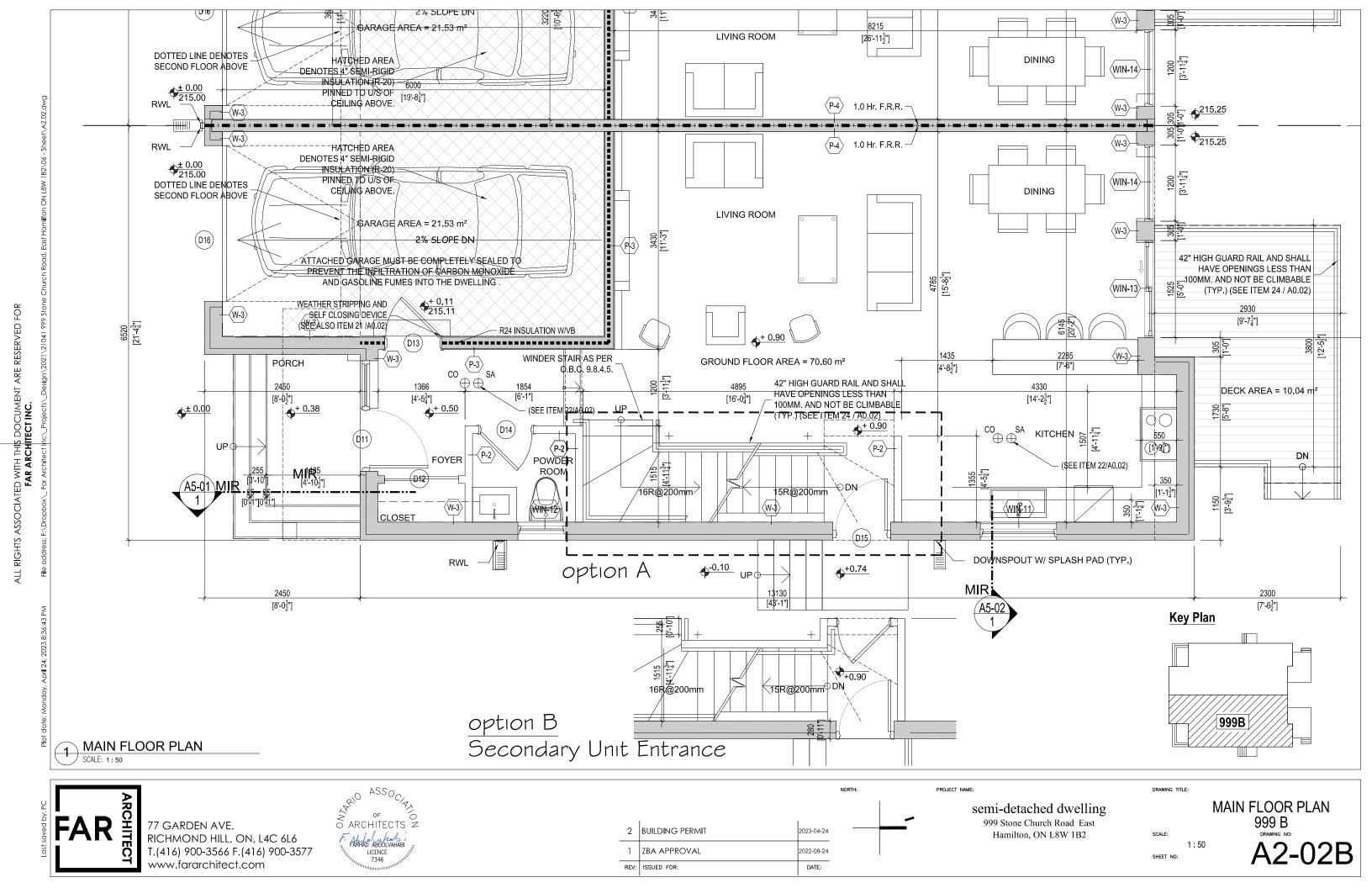
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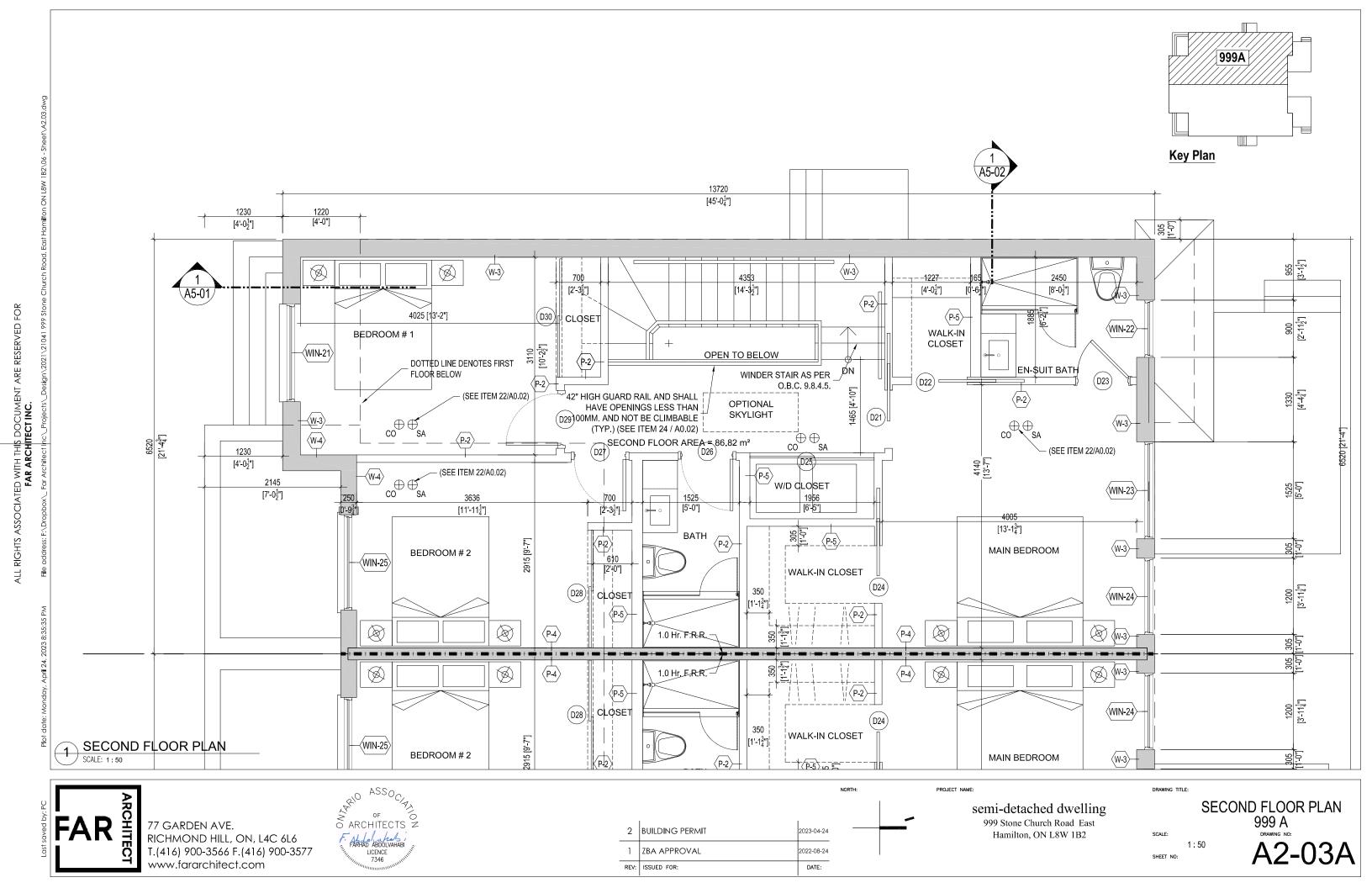


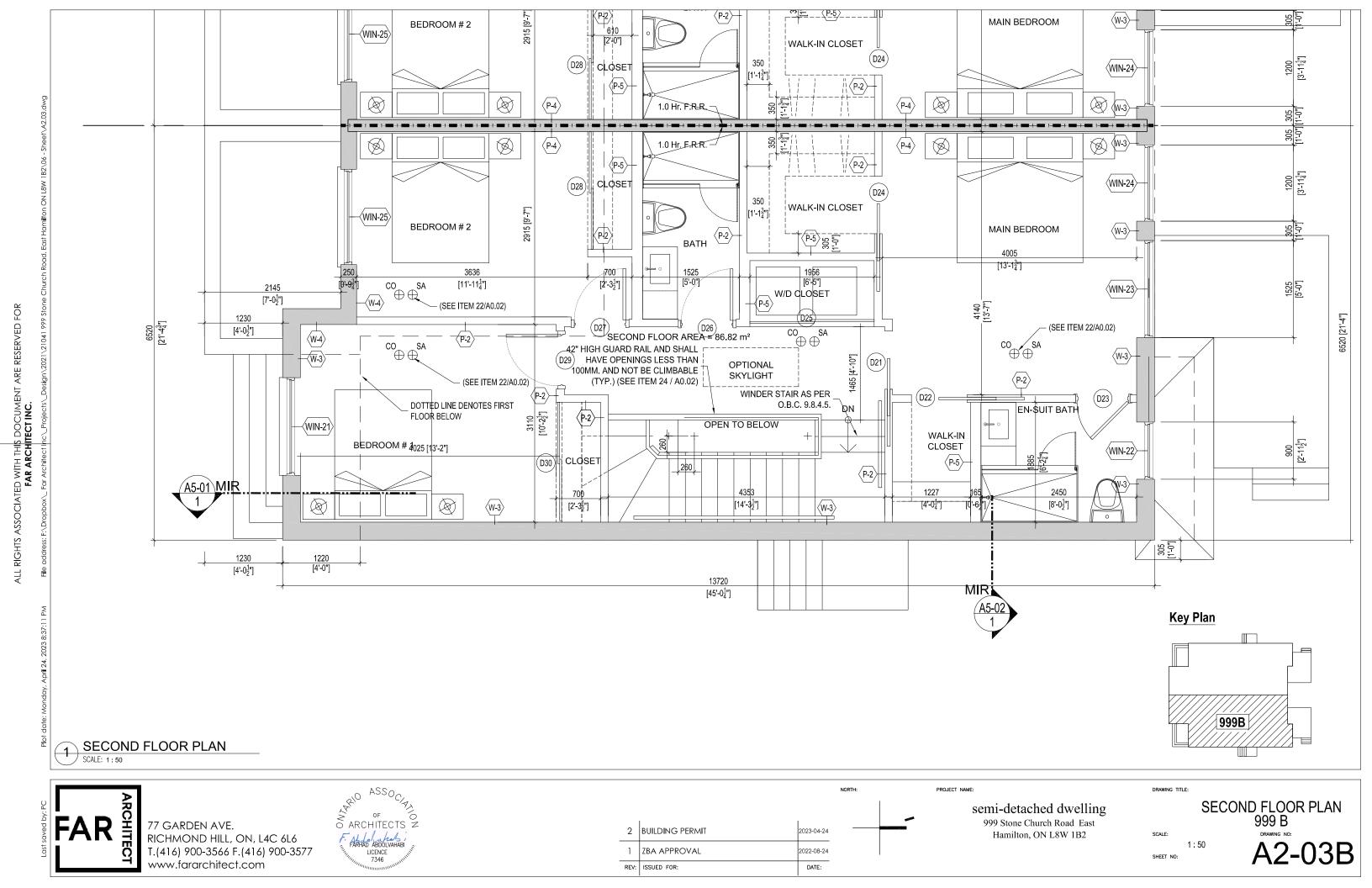


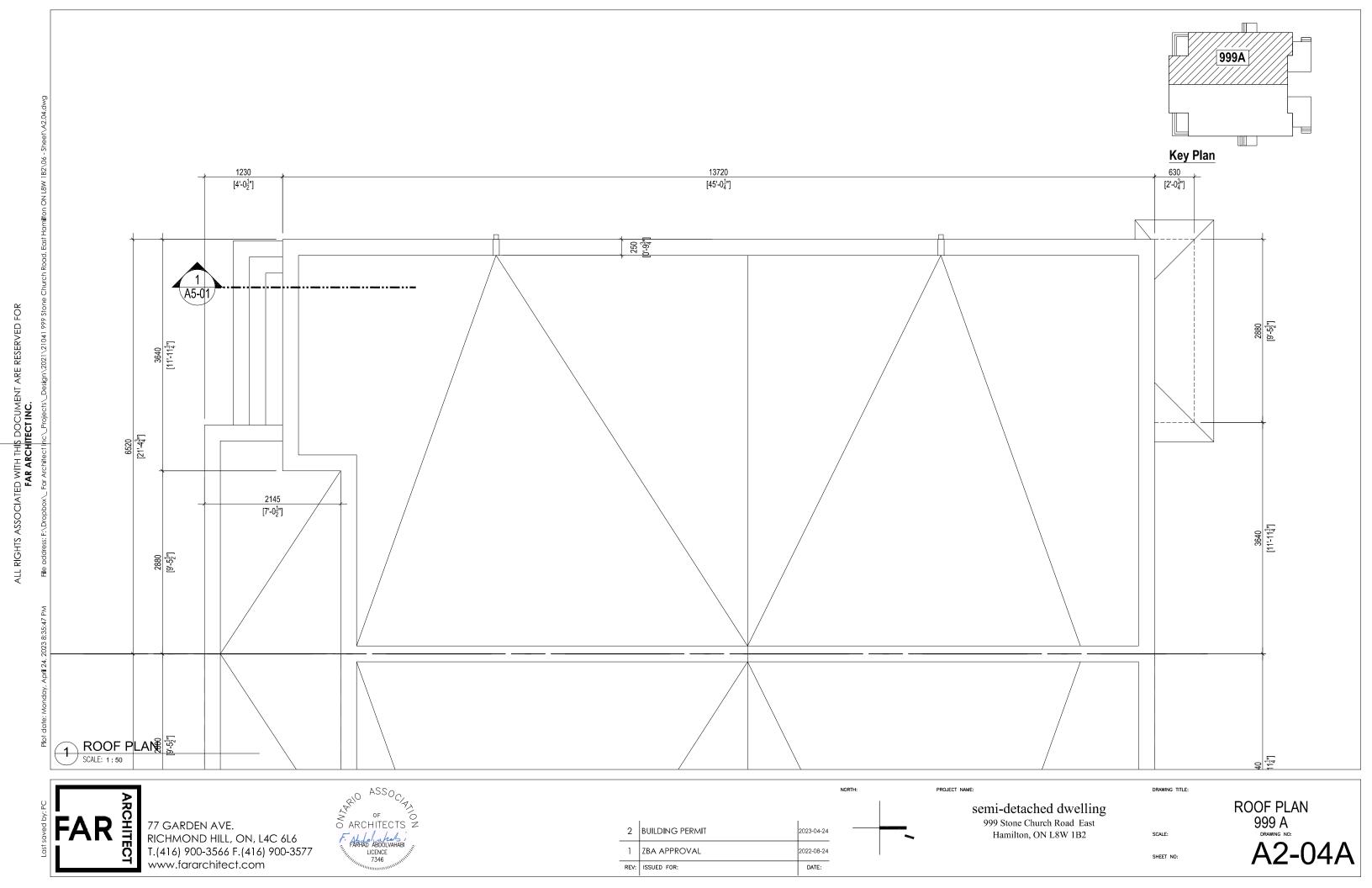


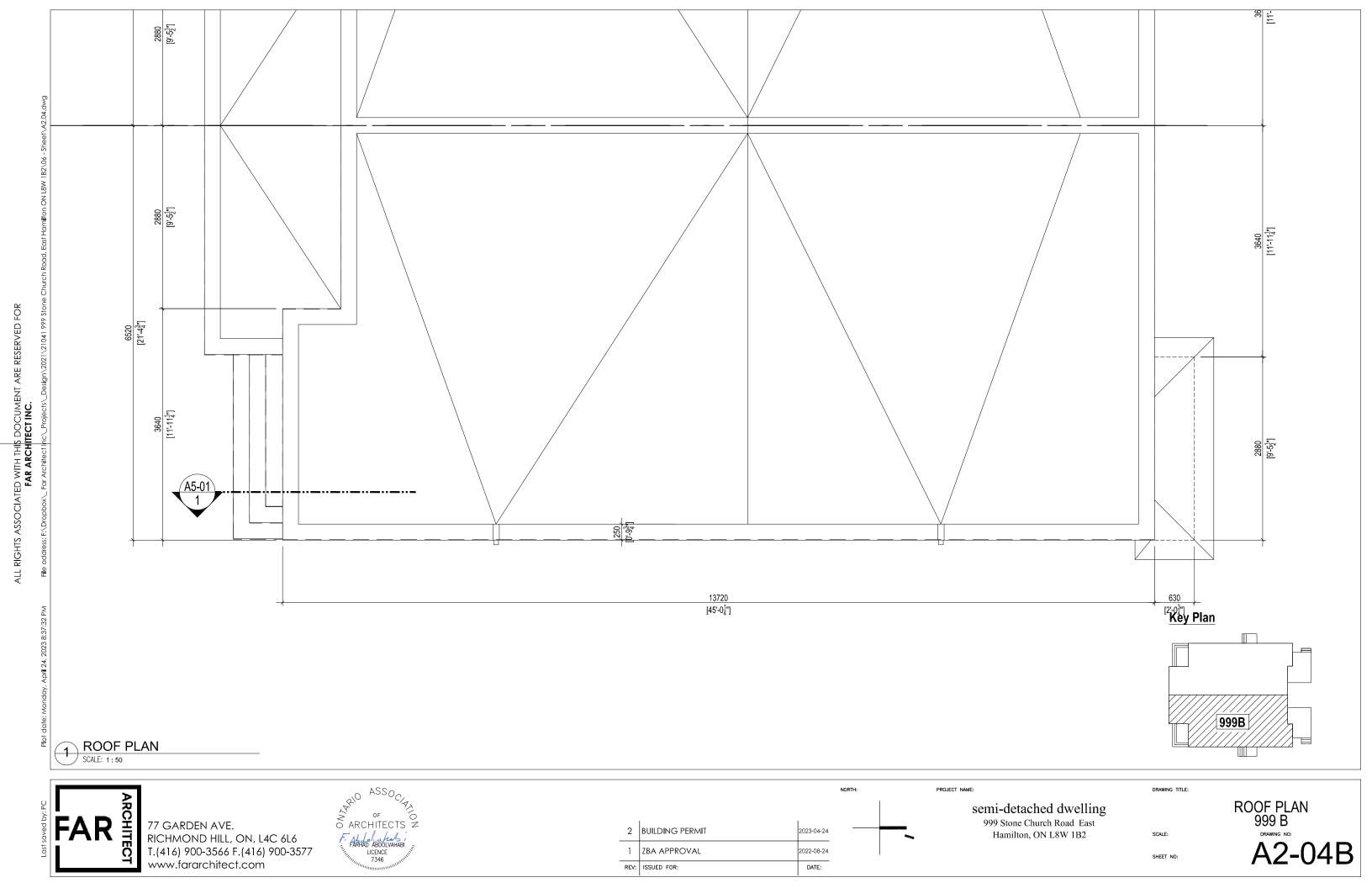


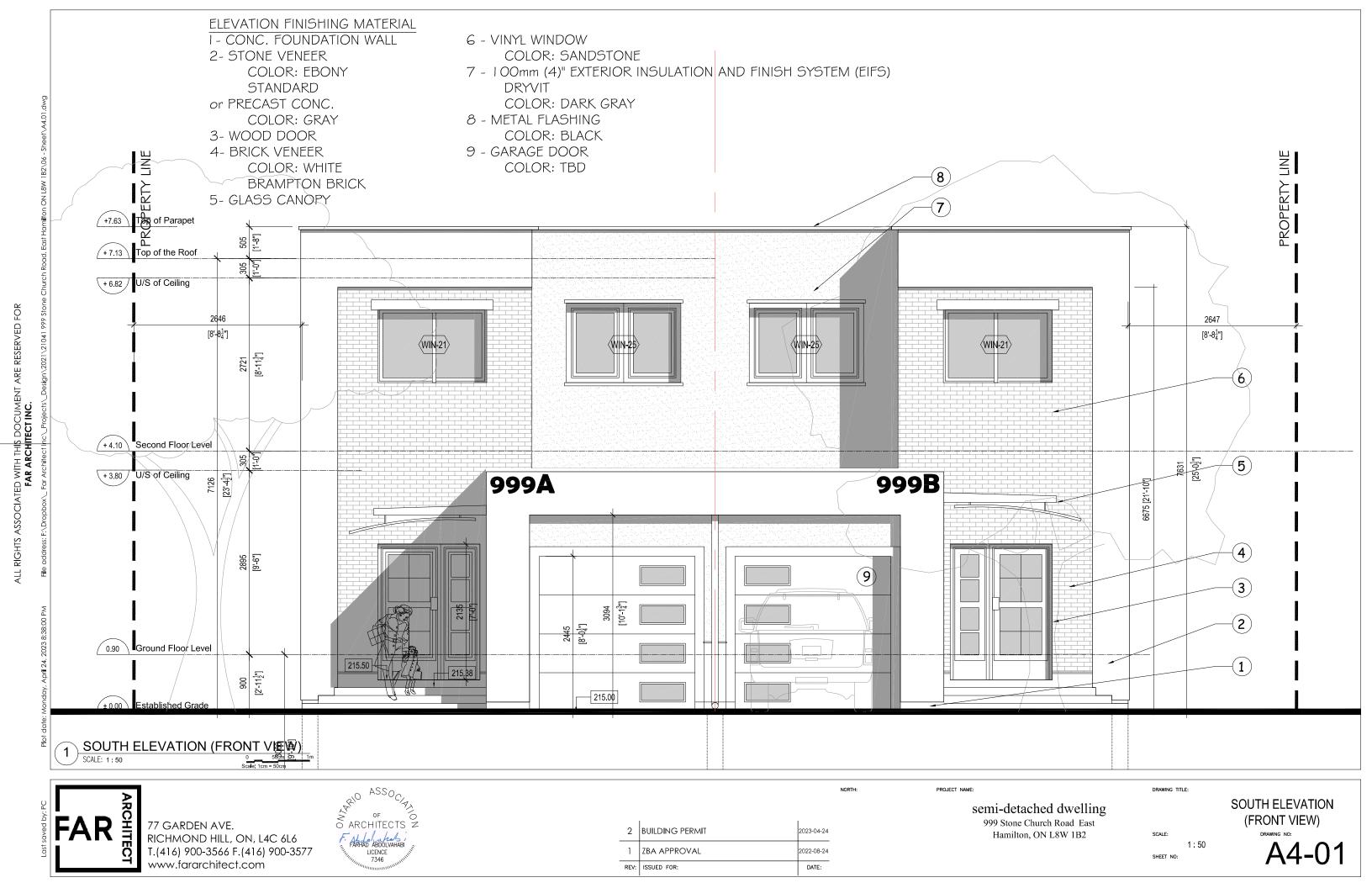


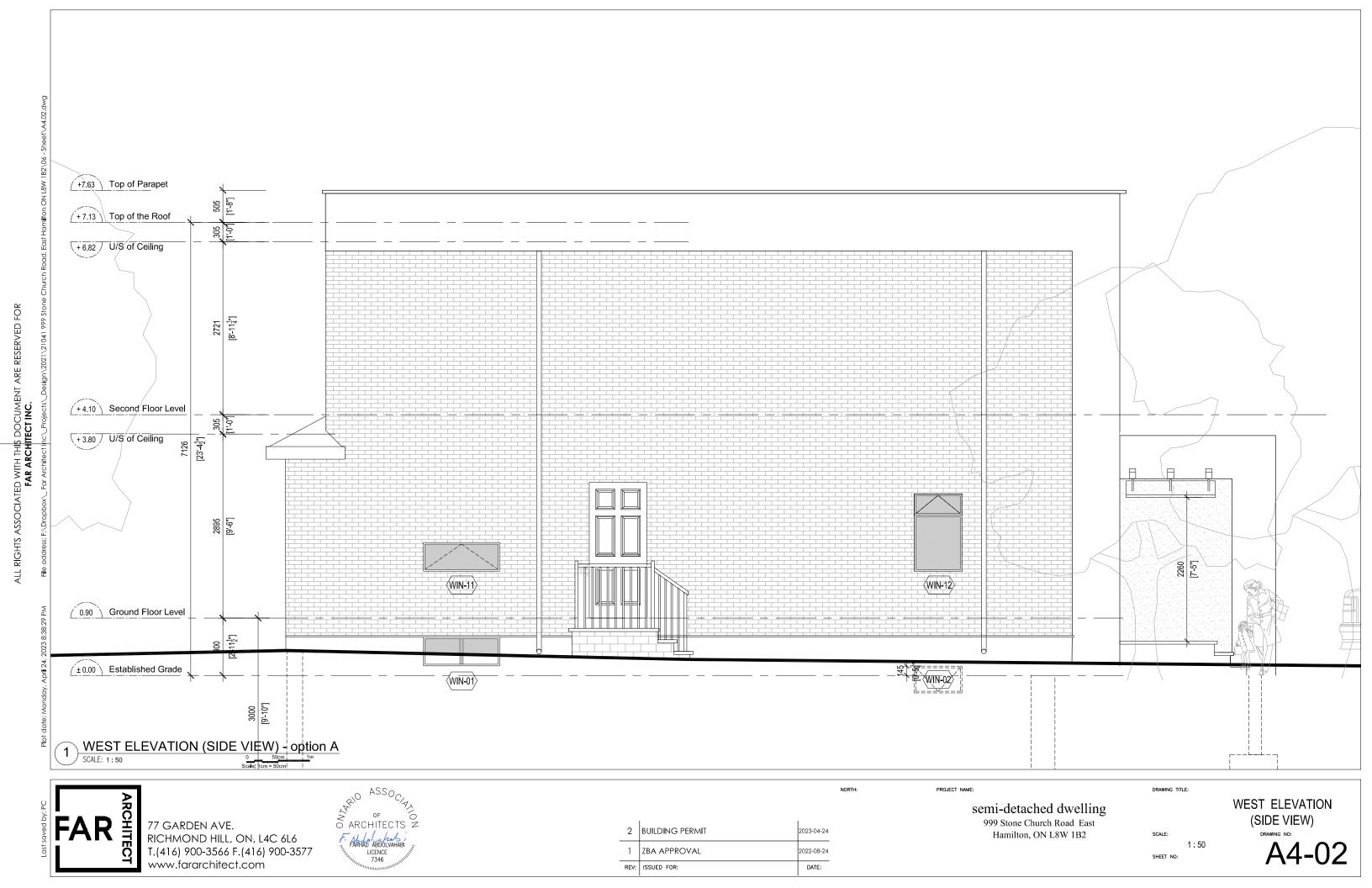


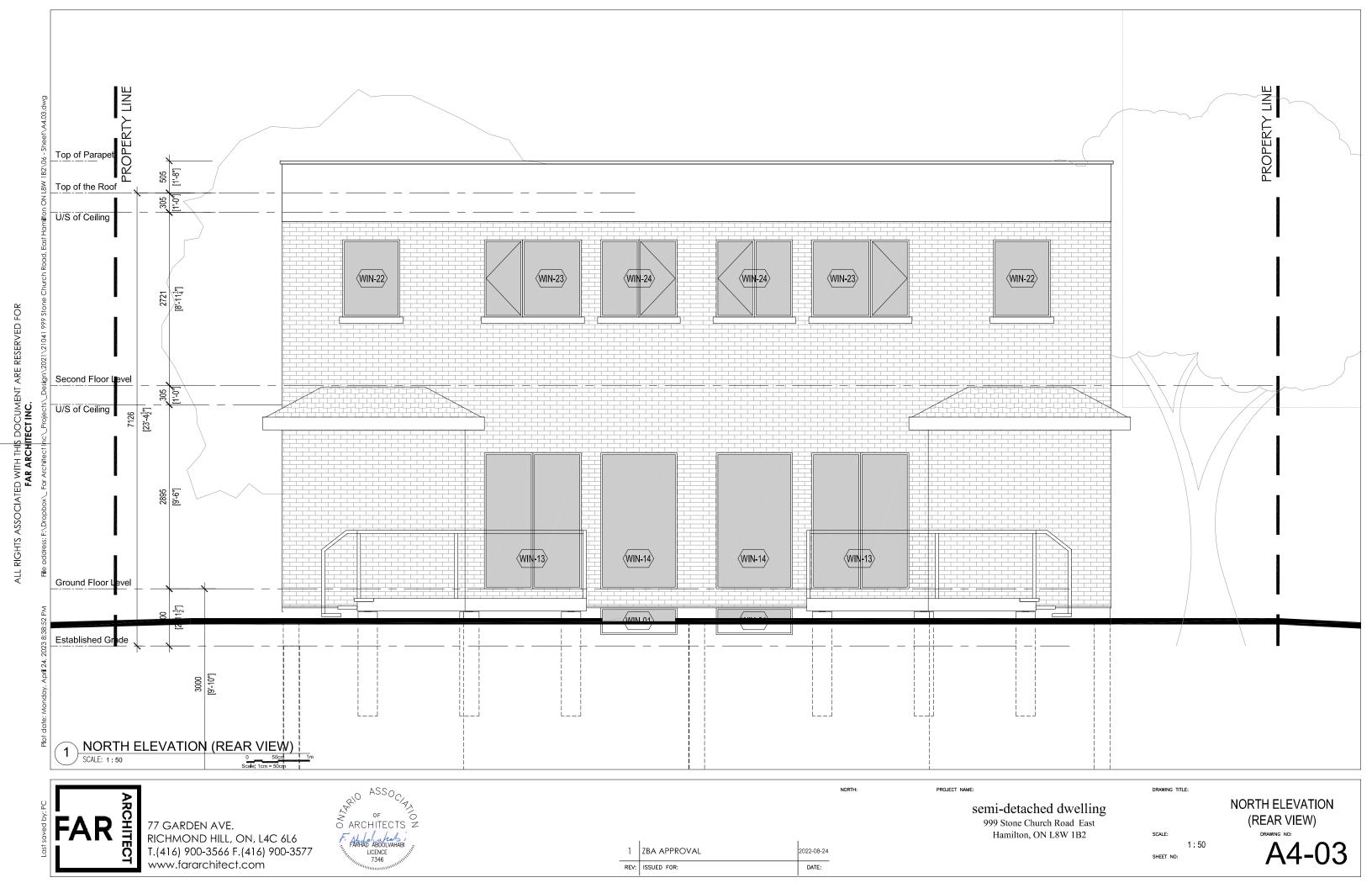


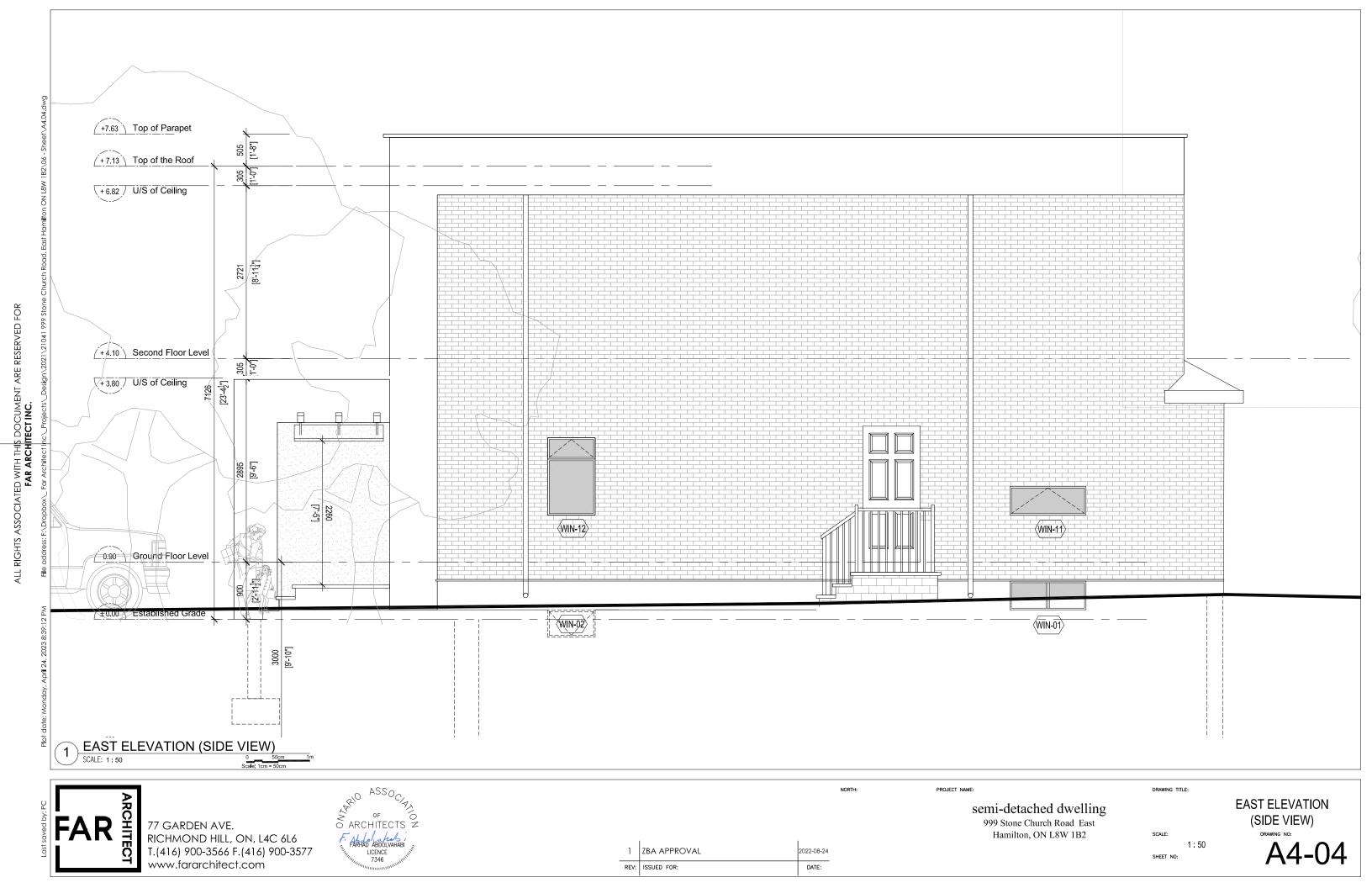


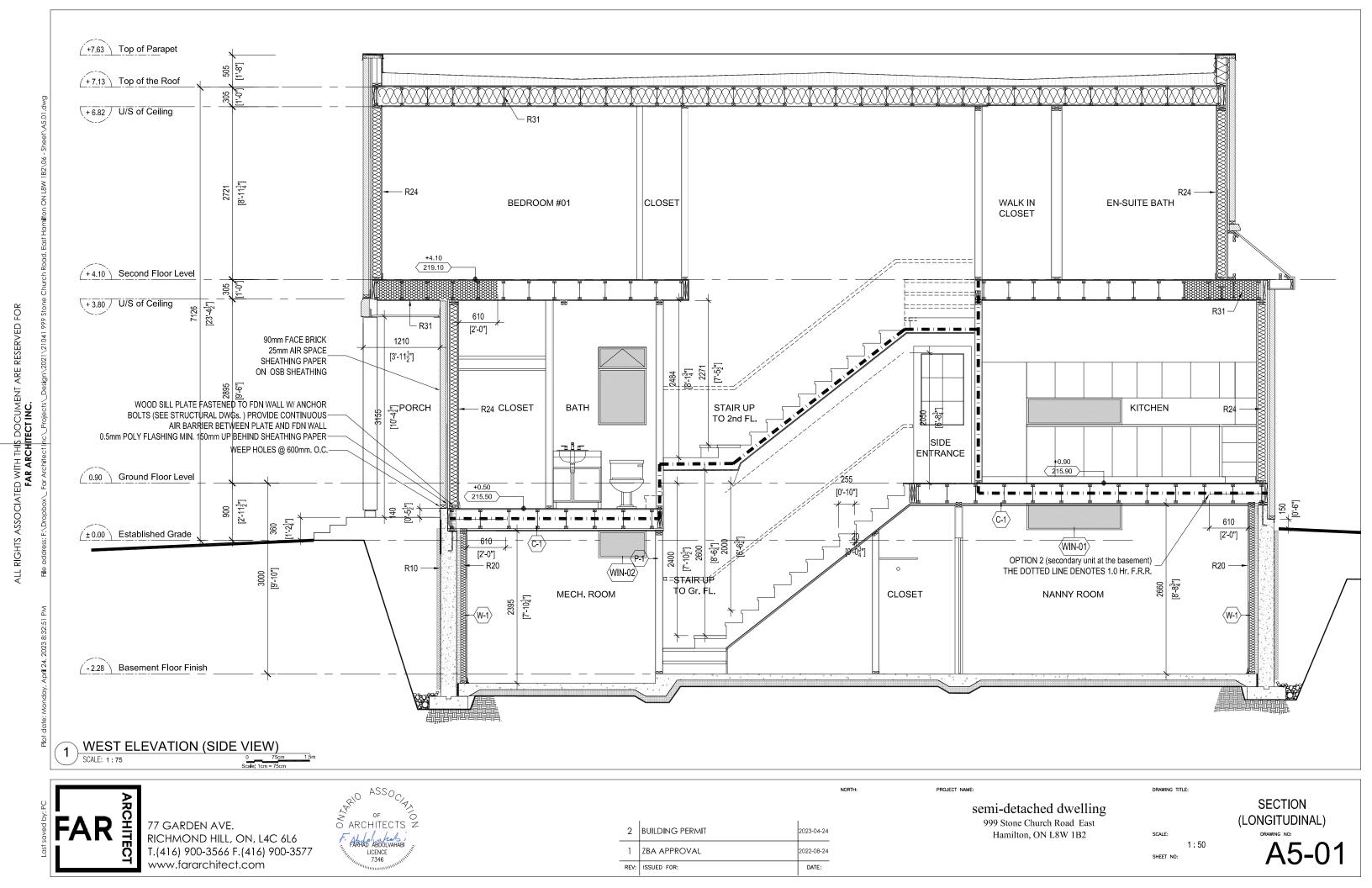












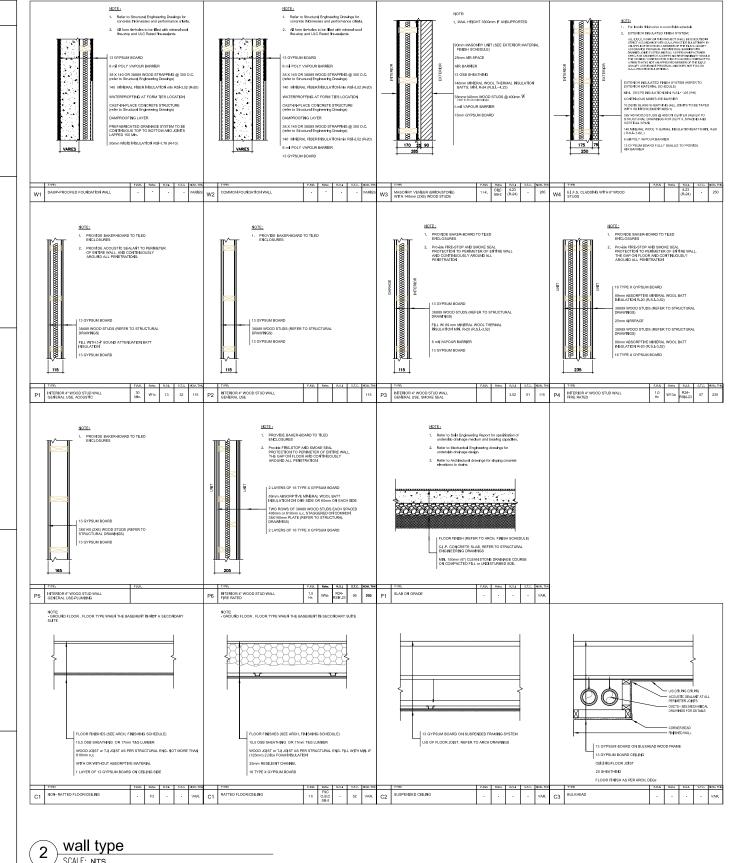


BASEMENT WINDOWS

1715 1200 WIN-01 WIN-11 NO. = 2 NO. = 1 WIN-21 NO. = 1 WINDOW AREA = 0.54 m² WINDOW AREA = 0.54 m² GLAZING AREA = 0.48 m² GLAZING AREA = 0.48 m² WINDOW AREA = 2.06 m² GLAZING AREA = 1.85 m² WIN-01 FIX NO. = 1 WIN-12 WIN-22 WINDOW AREA = 0.37 m² NO. = 1 NO. = 1 GLAZING AREA = 0.33 m² WINDOW AREA = 0.90 m² WINDOW AREA = 1.09 m² GLAZING AREA = 0.81 m² GLAZING AREA = 0.98 m² 1525 \longrightarrow \leftarrow WIN-23 SLIDING WIN-13 NO. = 1 WINDOW AREA = 1.12 m² WINDOW AREA = 3.26 m² GLAZING AREA = 1.00 m² GLAZING AREA = 2.93 m² 1200 FIX WIN-14 WIN-24 NO. = 1 NO. = 1 WINDOW AREA = 2.56 m² WINDOW AREA = 1.46 m² GLAZING AREA = 2.30 m² GLAZING AREA = 1.31 m² window schedule NO. = 1 WINDOW AREA = 2.25 m² GLAZING AREA = 2.02 m²

GROUND FLOOR

SECOND FLOOR



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REV: ISSUED FOR:

PROJECT NAME:

semi-detached dwelling 999 Stone Church Road East

Hamilton, ON L8W 1B2

WALL TYPES - DOOR & WINDOW SCHEDULE

NTS SHEET NO:

2023-04-24 2022-08-24

DATE:

NORTH:

2 BUILDING PERMIT ZBA APPROVAL

SCALE: NTS

TYPICAL LEVEL - DOOR & FRAME SCHEDULE DOOR GENERAL NOTES IN = INSULATED
GOO = GARAGE DOOR OPENER
SBP = STEEL BENT PLATE AROUND OPENING
PL = PRIVACY LOCK FOR BATHROOM ONLY
LS = LOCK SET
TG = TEMPERED GLAZING . ALL THRESHOLDS TO BE ALUMINUM UNLESS OTHERWISE NOTED. FIRE RATING 2. ALL INSULATED DOORS TO BE DOUBLE GLAZED. REMARKS LEGEND SS = SMOKE SEAL
DB = DEADBOLT
DS = DOOR SEAL
PH = PEEPHOLE
CG = CLEAR GLASS DOOR TYPE: FINISHES & MATERIALS: ALUMINUM ANOD CLEAR ANODIZED YES IN 2135 WD HM
 D02
 810
 2135
 45
 G
 HC
 PT
 F3
 WD
 PT

 D03
 860
 2135
 45
 G
 HC
 PT
 F3
 WD
 PT
 HOLLOW METAL GLASS SOLID CORE FIRELITE GLASS D03 860 2135 45 G HC PT F3 WD PT SEMI-SOLID CORE TG MTL METAL GWG GEORGIAN WIRED GLASS OVERHEAD DOOR MDF MEDIUM DENSITY FIBREBOARD WD WOOD PLAM PLASTIC LAMINATE D12 2X610 22135 45 F - PRE -- PRE STEEL PAINTED STAINED D14 810 2135 45 A WD PT F3 WD PT - PL - PRIVACY LOCK FOR BATHROOM WOOD VENEER D15 860 2135 45 P WD/IN PRE - HM PT PLASTIC PRE FINISHED D22 810 2135 45 H WD PT F3 WD MARBLE D23 810 2135 45 G WD PT F3 WD PT PL - PRIVACY LOCK FOR BATHROOM PURCHASER SELECTED
 D24
 810
 2135
 45
 H
 WD
 PT
 F3
 WD
 PT

 D25
 2-965
 2136
 20
 F
 PRE
 PRE

 D26
 810
 2135
 45
 G
 WD
 PT
 F3
 WD
 PT
 INSULATED GLASS UNIT PL - PRIVACY LOCK FOR BATHROOM
 D27
 810
 2135
 45
 G
 WD
 PT
 F3
 WD
 PT

 D28
 2-910
 2135
 20
 F
 PRE
 PRE

 D29
 810
 2135
 45
 G
 WD
 PT
 F3
 WD
 PT
 FRAME TYPES: F1 HOLLOW METAL IN BLOCK/CONCRETE/DRYWALL F2 ALUMINUM F3 WOOD SIZE VARIES TO PARTITION F4 HOLLOW METAL THERMALLY BROKEN DOOR TYPES: F5 METAL - READY FRAME INTERIOR CLOSET MIRROR/WOOD SLIDERS Α F AS PER DOOR SCHEDULE P ALUMINUM/WOOD OVERHEAD SECTIONAL DOOR G С D В

DOOR SCHEDULE SCALE: 1:75



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2 BUILDING PERMIT ZBA APPROVAL REV: ISSUED FOR:

PROJECT NAME:

NORTH:

2023-04-24

2022-08-24

DATE:

semi-detached dwelling

999 Stone Church Road East Hamilton, ON L8W 1B2

SCALE:

DRAWING TITLE:

NTS SHEET NO:

SCHEDULE

DOOR



Purchaser*

Committee of Adjustment

City Hall, 5th Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Phone:

Email: cofa@hamilton.ca

APPLICATION FOR CONSENT TO SEVER LAND and VALIDATION OF TITLE

UNDER SECTION 53 & 57 OF THE PLANNING ACT

MAILING ADDRESS

Please see additional information regarding how to submit an application, requirements for the required sketch and general information in the Submission Requirements and Information.

NAME

APPLICANT INFORMATION

1				E-mail:				
	gistered vners(s)							
O	viiers(s)	Dereck Beaudin						
		Arron Grudet	CD0 (1)					
Ap	pplicant(s)**			Phone:				
				E-mail:				
Ag	gent or			Phone:				
Sc	licitor			E-mail:				
the	purchaser to make	e the application in resp	n of the agreement of pure lect of the land that is the cant is not the owner or pu	chase and sale that authorizes subject of the application. Irchaser.				
1.2	All corresponden	ce should be sent to	☐ Purchaser ☐ Applicant	☑ Owner☐ Agent/Solicitor				
1.3	Sign should be se	ent to	☐ Purchaser ☐ Applicant	☑ Owner☐ Agent/Solicitor				
1.4	Request for digital	al copy of sign	☑ Yes* ☐ No					
1838.18			n is to be sent					
1.5	If YES, provide email address where sign is to be sent 1.5 All correspondence may be sent by email If Yes* □ No If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.							
ADE	LICATION FOR CON	SENT TO SEVER LAND (S	entember 1 2022)	Page 1 of 10				

2. LOCATION OF SUBJECT LAND

2.1	Complete the applicable	e sectio	ons:					
Municipal Address			999 stonechurch rd e					
Assessment Roll Number			2518060701062500000					
Former Municipality			city of hamilton					
Lot		pai	part of lot 5 Concession		7	100		
Re	gistered Plan Number	621	R-11250	Lot(s)				
Re	ference Plan Number (s	s)		Part(s)				
2.2	.2 Are there any easements or restrictive covenants affecting the subject land? ☐ Yes ☑ No If YES, describe the easement or covenant and its effect:							
3	PURPOSE OF THE A	PPLICA	ATION					
3.1	Type and purpose of p	ropose	d transaction: (ch	neck appropriate l	box)			
	☐ concurrent new lot(s) ☐ addition to a lot ☐ an easement ☐ validation of title (must also complete section 8) ☐ cancellation (must also complete section 9 ☐ creation of a new non-farm parcel (must also complete section 10) (i.e. a lot containing a surplus farm dwelling resulting from a farm consolidation)							
3.2	Name of person(s), if k charged:	known,	to whom land or	interest in land is	to be transferred	d, leased or		
	N/A							
3.3	If a lot addition, identify	y the la	nds to which the	parcel will be add	led:			
	N/A							
3.4	.4 Certificate Request for Retained Lands: Yes* * If yes, a statement from an Ontario solicitor in good standing that there is no land abutting the subject land that is owned by the owner of the subject land other than land that could be conveyed without contravening section 50 of the Act. (O. Reg. 786/21)							
4	DESCRIPTION OF SU	JBJEC	T LAND AND SE	RVICING INFOR	RMATION			
4.1	1.1 Description of subject land:							
All	dimensions to be provid	led in n	netric (m, m² or h	a), attach additior	nal sheets as neo	essary.		
	Retained Parcel 1 Parcel 2 Parcel 3* Parcel 4*							

Identified on Sketch as:		999A stonechur	999B stonechur			
Type of	N/A					
Transfer		0.11	0.44			
Frontage		9.14	9.14			
Depth		45.06	45.05			
Area		412.31	411.98			
Existing Use		single family	single family			
Proposed Use		semi-detached	semi-detached			
Existing Buildings/ Structures		single family house	single family house			
Proposed Buildings/ Structures		semi-detached	semi-detached			
Buildings/ Structures to be Removed		single family house	single family house			
* Additional fees	apply					
☐ provincial ☑ municipal ☐ municipal b) Type of wa ☑ publicly ov	a) Type of access: (check appropriate box) provincial highway municipal road, seasonally maintained municipal road, maintained all year b) Type of water supply proposed: (check appropriate box) publicly owned and operated piped water system privately owned and operated individual well right of way other public road lake or other water body other means (specify)					
c) Type of sewage disposal proposed: (check appropriate box) publicly owned and operated sanitary sewage system privately owned and operated individual septic system other means (specify)						
4.3 Other Service	ces: (check if the	service is availat	ole)			
✓ electricity	y □ tele	ephone \square	school bussing	☑ garbag	ge collection	
5 CURRENT	LAND USE					
5.1 What is the	existing official p	lan designation o	f the subject land	?		
Rural Hamilton Official Plan designation (if applicable):						

Rural Settlement Area:

ŧ	Urban Hamilton Official Plan designation (if applicable)	neighbo	vrhoods	_
	Please provide an explanation of how the application con Official Plan.	forms with	a City of Hamilton	
5	s the subject land currently the subject of a proposed offices submitted for approval? ☐ Yes ☐ No ☐ Unknown	cial plan ar	mendment that has been	ľ
1	If YES, and known, provide the appropriate file number a	nd status o	of the application.	
5.3 \	What is the existing zoning of the subject land? c/s-1822			
ĵ	If the subject land is covered by a Minister's zoning order, wh	nat is the O	ntario Regulation Number	?
	Is the subject land the subject of any other application for amendment, minor variance, consent or approval of a pla ☐ Yes ☐ No ☐ Unknown			oy-law
	If YES, and known, provide the appropriate file number a	nd status o	of the application.	
5.5 .	If YES, and known, provide the appropriate file number a Are any of the following uses or features on the subject la land, unless otherwise specified. Please check the appro-	and or with	in 500 metres of the sub	— ject
5.5 .	Are any of the following uses or features on the subject la	and or with	in 500 metres of the sub	 ject
An sto	Are any of the following uses or features on the subject la land, unless otherwise specified. Please check the appround the subject land, unless otherwise specified. Please check the appround the subject land, unless otherwise specified. Please check the appround the subject land, unless otherwise specified. Please check the appround the subject land, unless otherwise specified. Please check the appround the subject land, unless otherwise specified. Please check the appround the subject land, unless otherwise specified. Please check the appround the subject land, unless otherwise specified. Please check the appround the subject land, unless otherwise specified. Please check the appround the subject land, unless otherwise specified. Please check the appround the subject land, unless otherwise specified. Please check the appround the subject land, unless otherwise specified.	ond or with priate box On the Subject	in 500 metres of the sub es, if any apply. Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate	— ject
An sto	Are any of the following uses or features on the subject la land, unless otherwise specified. Please check the appround use or Feature Use or Feature agricultural operation, including livestock facility or ockyard * Submit Minimum Distance Separation mulae (MDS) if applicable	On the Subject	in 500 metres of the sub es, if any apply. Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate	 ject
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An sto	Are any of the following uses or features on the subject la land, unless otherwise specified. Please check the appround unless of the specified. Please check the appround of the second of the second of the subject land and fill sewage treatment plant or waste stabilization plant.	On the Subject	in 500 metres of the sub es, if any apply. Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate	— ject
An sto For A I A S A F A F	Are any of the following uses or features on the subject la land, unless otherwise specified. Please check the appround use or Feature Use or Feature agricultural operation, including livestock facility or ockyard * Submit Minimum Distance Separation mulae (MDS) if applicable and fill sewage treatment plant or waste stabilization plant provincially significant wetland provincially significant wetland within 120 metres lood plain	On the Subject	in 500 metres of the sub es, if any apply. Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate	 ject
An sto For A I A S A F A F	Are any of the following uses or features on the subject la land, unless otherwise specified. Please check the appround use or Feature Use or Feature agricultural operation, including livestock facility or ockyard * Submit Minimum Distance Separation mulae (MDS) if applicable and fill sewage treatment plant or waste stabilization plant provincially significant wetland provincially significant wetland within 120 metres	On the Subject	in 500 metres of the sub es, if any apply. Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate	— ject
An sto For A I A S A R An An An	Are any of the following uses or features on the subject la land, unless otherwise specified. Please check the appround use or Feature Use or Feature agricultural operation, including livestock facility or ockyard * Submit Minimum Distance Separation mulae (MDS) if applicable and fill sewage treatment plant or waste stabilization plant provincially significant wetland provincially significant wetland within 120 metres lood plain	On the Subject	in 500 metres of the sub es, if any apply. Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate	 ject

HISTORY OF THE SUBJECT LAND 6.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the Planning Act? □ Unknown □ Yes ₩ No If YES, and known, provide the appropriate application file number and the decision made on the application. 6.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application. N/A 6.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land? ☐ Yes ☑ No If YES, and if known, provide for each parcel severed, the date of transfer, the name of the transferee and the land use. 6.4 How long has the applicant owned the subject land? 15 years ✓ Yes ΠNo 6.5 Does the applicant own any other land in the City? If YES, describe the lands below or attach a separate page. 827 upper Wellington, 223 Braithwaite ave. PROVINCIAL POLICY 7.1 Is this application consistent with the Policy Statements issued under Section 3 of the Planning Act? Yes П No (Provide explanation) 7.2 Is this application consistent with the Provincial Policy Statement (PPS)? (Provide explanation) П No ✓ Yes 7.3 Does this application conform to the Growth Plan for the Greater Golden Horseshoe? ✓ Yes П No (Provide explanation) 7.4 Are the subject lands subject to the Niagara Escarpment Plan? (Provide explanation) ☐ Yes ₩ No subject address isn't highlighted on the map for Niagara Escarpment plan

7.5	Are the subject land ☐Yes	ds subject to t ☑ No	he Parkway Belt West Plan? (Provide explanation)
	subject address isn't	highlighted or	n the map for Parkway Belt West plan
7.6	□Yes	☑ No	the Greenbelt Plan? (Provide explanation) the map for the Greenbelt plan
7.7	Are the subject land ☐ Yes	ds within an a ☑ No	rea of land designated under any other provincial plan or plans? (Provide explanation)
8	ADDITIONAL INFO	ORMATION -	VALIDATION
8.1	Did the previous ov	vner retain an	y interest in the subject land?
	☐Yes	☑N o	(Provide explanation)
8.2	Does the current or	wner have an	y interest in any abutting land?
	□Yes	☑ No	(Provide explanation and details on plan)
8.3	Why do you consid	er your title m	ay require validation? (attach additional sheets as necessary)
	N/A		
9	ADDITIONAL INFO	ORMATION -	CANCELLATION
9.1	Did the previous ov	vner retain ar	y interest in the subject land?
	□Yes	☑ No	(Provide explanation)
9.2	Does the current or	wner have an	y interest in any abutting land?
	☐Yes	☑ No	(Provide explanation and details on plan)
9.3	- 1000 E	cancellation	of a previous consent? (attach additional sheets as necessary)
	N/A		

	10	ADDITIONAL INFORMATION - FARM CONSOLIDATION							
	10.1	Purpose of the Application (Farm Consolidation) If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate							
		If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicating the consolidation is for:							
		☐ Surplus Farm Dwelling Severance from an Abutting Farm Consolidation							
		☐ Surplus Farm Dw	a Non-Abutting Farm C	Consolidation					
	10.2	Location of farm consoli	dation property:						
	Muni	cipal Address							
	Asse	ssment Roll Number				Suite the second			
	Form	er Municipality							
	Lot				Concession				
	Regis	stered Plan Number			Lot(s)				
	Refe	rence Plan Number (s)			Part(s)				
10.4		the existing land use de	signation of the a	buttii		n consolidation, indicate consolidation property.			
		Frontage (m):		Are	a (m² or ha):				
		Existing Land Use(s): _		Pro	posed Land Use(s):				
10.5		Description of abutting consolidated farm the surplus dwelling)			eluding lands intended to	be severed for			
		Frontage (m):		Area (m² or ha):					
10.6		Existing Land Use:		Proposed Land Use:					
10.7		Description of surplus d	welling lands pro	pose	d to be severed:				
		Frontage (m): (from Se	ection 4.1)	Area (m² or ha): (from Section 4.1)					
		Front yard set back:							
		a) Date of construction:	er 16, 2004		After December 16, 20	004			
		b) Condition: ☐ Habitable		E	☐ Non-Habitable				

COMPLETE APPLICATION REQUIREMENTS 11.1 All Applications Application Fee Site Sketch Complete Application Form ☐ Signatures Sheet 11.2 Validation of Title All information documents in Section 11.1 Detailed history of why a Validation of Title is required All supporting materials indicating the contravention of the Planning Act, including PIN documents and other items deemed necessary. 11.3 Cancellation All information documents in Section 11.1 Detailed history of when the previous consent took place. All supporting materials indicating the cancellation subject lands and any neighbouring lands owned in the same name, including PIN documents and other items deemed necessary. 11.4 Other Information Deemed Necessary Cover Letter/Planning Justification Report ☐ Minimum Distance Separation Formulae (data sheet available upon request) Hydrogeological Assessment Septic Assessment Archeological Assessment ☐ Noise Study

Parking Study