



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-23:184	SUBJECT PROPERTY:	512 BAY STREET N, HAMILTON
ZONE:	D (Urban Protected Residential- one- and two-family Dwellings)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended

APPLICANTS: **Owner:** PAUL & GAIL PETIT
 Agent: CARROTHERS AND ASSOCIATES C/O NIKKI FUDGE

The following variances are requested:

1. A minimum front yard setback of 0.75m shall be permitted instead of the minimum 6.0m front yard setback required
2. A minimum rear yard setback of 6.31m shall be permitted instead of the minimum 7.29m rear yard setback required
3. A north easterly side yard setback of 0.47m shall be permitted instead of the minimum 0.9m side yard setback required for a lot of record
4. A minimum of 14.5% front yard landscaping shall be permitted instead of the minimum 50% front yard landscaping required
5. 0 on-site parking shall be required instead of the minimum 3 parking spaces required

PURPOSE & EFFECT: To permit the construction of a proposed new single detached dwelling with an internal secondary dwelling unit

Notes:

1. A “hobby workshop” is noted in the basement of the proposed dwelling. For purposes of this review, the space has been considered a personal hobby space and not a home occupation. If a home occupation is intended, the requirements and restrictions of Section 2.(2) H.(iii) of Hamilton Zoning By-law 6593 shall apply.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, November 16, 2023
TIME:	9:20 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:184, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: October 31, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

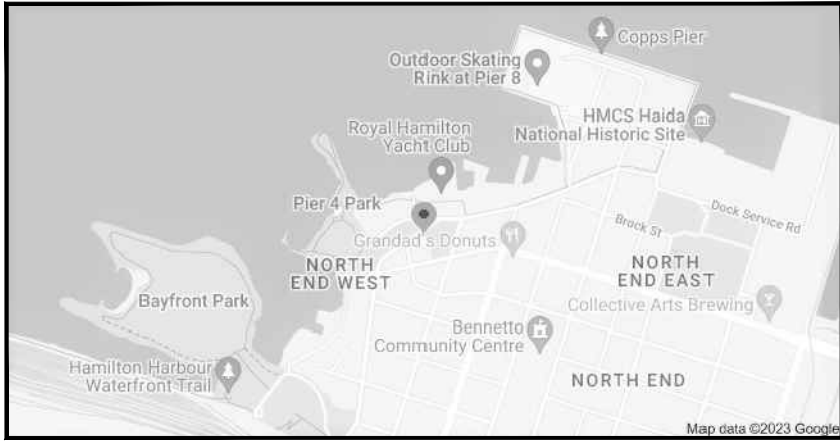
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

PRIVATE RESIDENCE

NEW CUSTOM SINGLE FAMILY DWELLING

512 BAY STREET NORTH, HAMILTON, ON. L8L 1N6

ISSUED FOR COMMITTEE OF ADJUSTMENT



LOCATION MAP:



NEW ELEVATION (FOR REF. ONLY):

BUILDING STATISTICS:

BUILDING FOOTPRINT = 1528.5 sq.ft (142.0 sqm)
 FRONT PORCH AREA = 60.1 sq.ft (5.6 sqm)
 RENTAL UNIT AREA = 755.0 sqft (70.1 sqm)
 GREEN/SOLAR ROOF AREA = 983.1 sqft (91.3 sqm)

MAIN FLOOR AREA = 1062.1 sq.ft (98.7 sqm)
 SECOND FLOOR AREA = 1443.8 sq.ft (134.1 sqm)
 THIRD FLOOR AREA = 1267.2 sq.ft (117.7 sqm)
 NEW TOTAL GFA = 3773.1 sq.ft (350.5 sqm)



EXISTING DWELLING (FOR REF. ONLY):



NEW ELEVATION (FOR REFERENCE ONLY):

ISSUED FOR
COMMITTEE OF
ADJUSTMENT

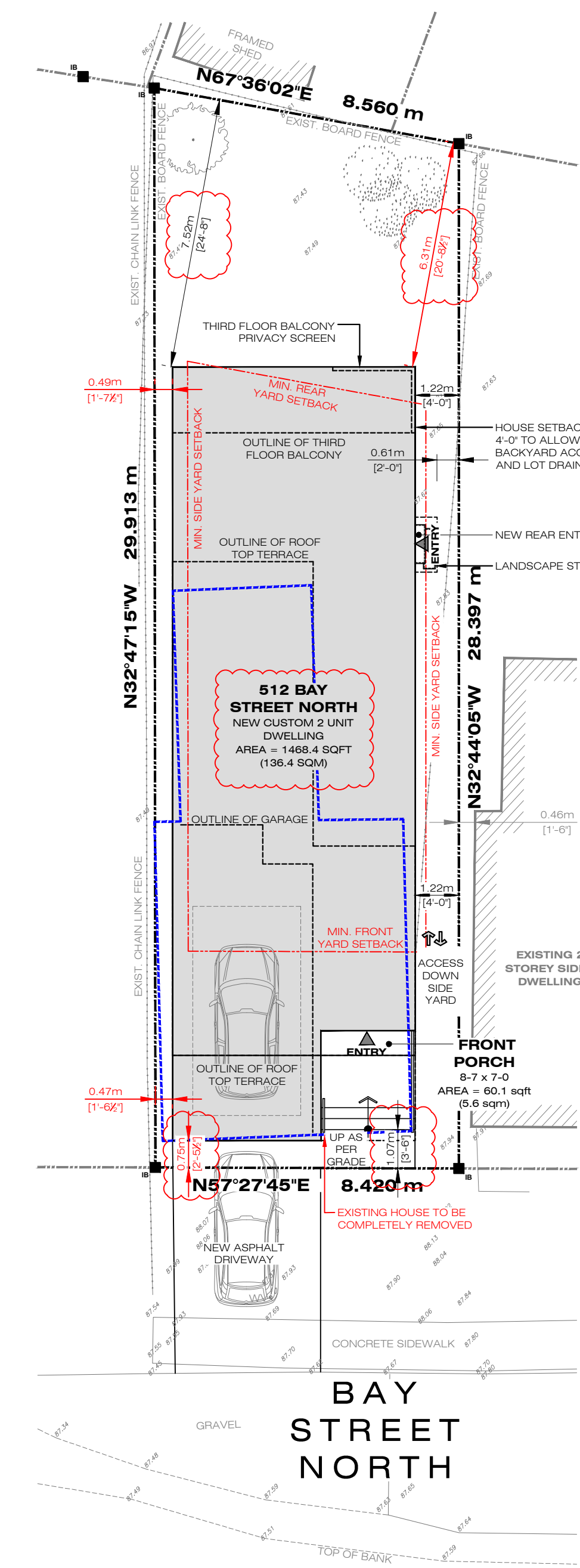
Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
512 BAY STREET NORTH
HAMILTON, ON. L8L 1N6

Sheet Title:
COVER PAGE AND
BUILDING STATISTICS

No.	Date:	Issue/Revision
5	SEP 26/23	ISSUED FOR C OF A
4	AUG 17/23	ISSUED FOR CLIENT REVIEW
3	JUL 10/23	ISSUED FOR C OF A
2	JUL 04/23	ISSUED FOR REVIEW
1	JUN 21/23	ISSUED FOR REVIEW

Drawn By:
Checked By:
Scale: N.T.S.
Date: SEPTEMBER 2023
Project No. 2022-81

A1



ZONING AND PROPERTY STATISTICS		
ADDRESS:	512 BAY STREET NORTH, HAMILTON, ON.	
ZONING:	D	
	BY-LAW:	EXISTING:
MIN. LOT AREA:	540.0 m ²	246.1 m ²
MIN. LOT FRONTAGE:	18.0 m	8.42 m

GROSS FLOOR AREA		
	BY-LAW:	PROPOSED:
BASEMENT FLOOR (NOT INCLUDED)		139.9 m ²
GARAGE		33.8 m ²
MAIN FLOOR		98.7 m ²
SECOND FLOOR		134.1 m ²
THIRD FLOOR		117.7 m ²
TOTAL GFA (1ST, 2ND & 3RD FLR):	N/A	350.5 m²

LOT COVERAGE		
	AREA:	PERCENTAGE:
BUILDING FOOTPRINT (GARAGE INCLUDED)	136.4 m ²	55.4%
FRONT PORCH	5.6 m ²	2.3%
TOTAL PROPOSED COVERAGE:	142.0 m²	57.7%

SETBACKS		
	BY-LAW:	PROPOSED:
FRONT YARD TO HOUSE	6.0 m	**0.75 m
REAR YARD TO HOUSE	7.29 m	**6.31m (0.98m DIF.)
RIGHT YARD TO HOUSE	0.9 m	1.22 m
RIGHT YARD CANOPY PROJECTION	0.45 m	0.61 m
LEFT YARD TO HOUSE	0.9 m	**0.47 m

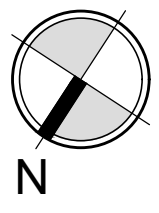
	BY-LAW:	PROPOSED:
MAX. BUILDING HEIGHT	14.0 m	±13.5 m
PARKING SPOTS	3	**0
SECONDARY DWELLING UNIT	1	1
FRONT YARD LANDSCAPING	50%	**14.5%

** MINOR VARIANCE REQUIRED

TO BE USED IN CONJUNCTION WITH PLAN OF SURVEY PREPARED BY A.T. MCLAREN LIMITED LEGAL AND ENGINEERING SURVEYS, DATED DECEMBER 13, 2022.

PLAN
SHOWING PARTS OF
LOT 11, BLOCK 12
REGISTERED PLAN 127
IN THE
CITY OF HAMILTON
REGIONAL MUNICIPALITY OF HAMILTON

LEGEND	
	EXISTING HOUSE
	PROPERTY LINE
	ZONING SETBACKS
	PROPOSED HOUSE



ISSUED FOR COMMITTEE OF ADJUSTMENT

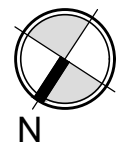
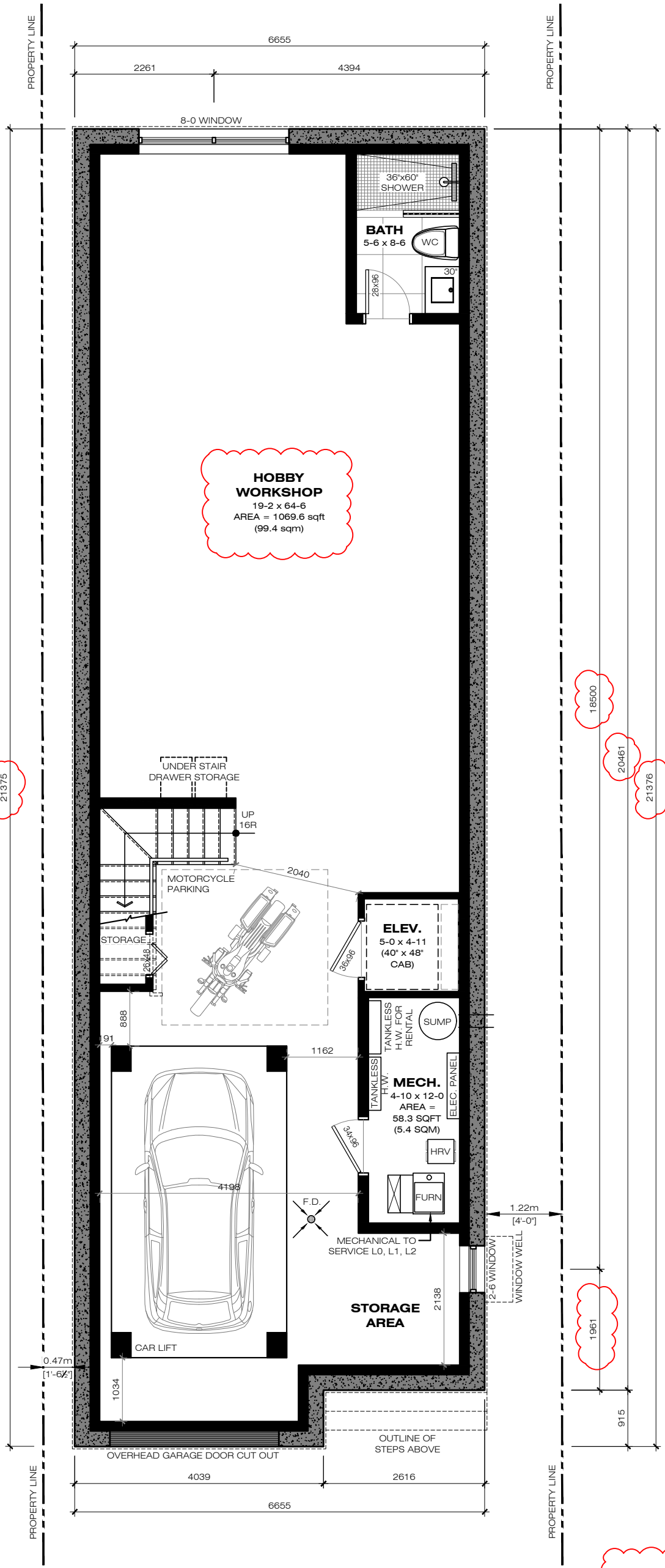
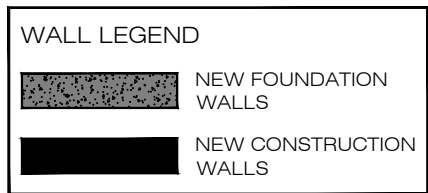
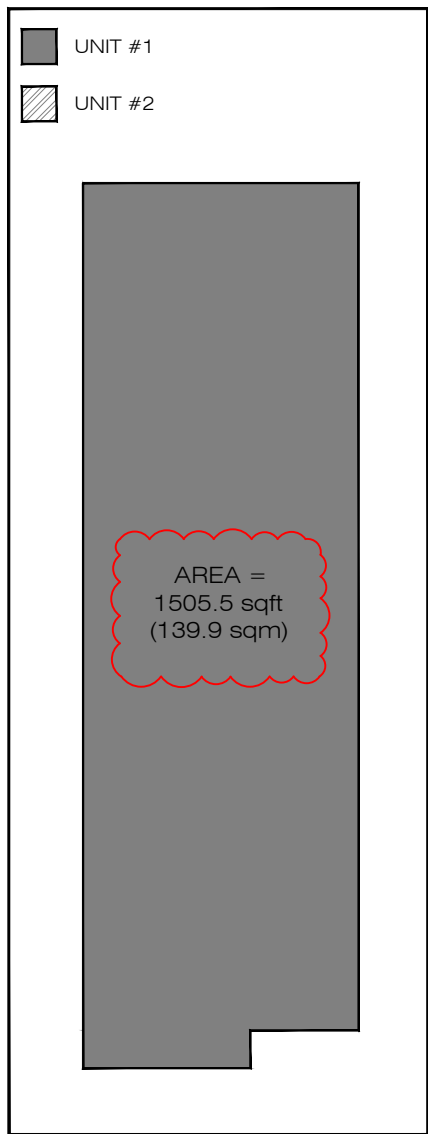
Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE FAMILY DWELLING
512 BAY STREET NORTH
HAMILTON, ON. L8L 1N6

Sheet Title:
SITE PLAN AND ZONING STATISTICS

No.	Date:	Issue/Revision
5	SEP 26/23	ISSUED FOR C OF A
4	AUG 17/23	ISSUED FOR CLIENT REVIEW
3	JUL 10/23	ISSUED FOR C OF A
2	JUL 04/23	ISSUED FOR REVIEW
1	JUN 21/23	ISSUED FOR REVIEW

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Checked By:
Scale: 1:125
Date: SEPTEMBER 2023
Project No. 2022-81

SP



LOWER LEVEL FLOOR PLAN
AREA = 1505.5 sqft (139.9 sqm)
CEILING HEIGHT = 12'-0" U.N.O.

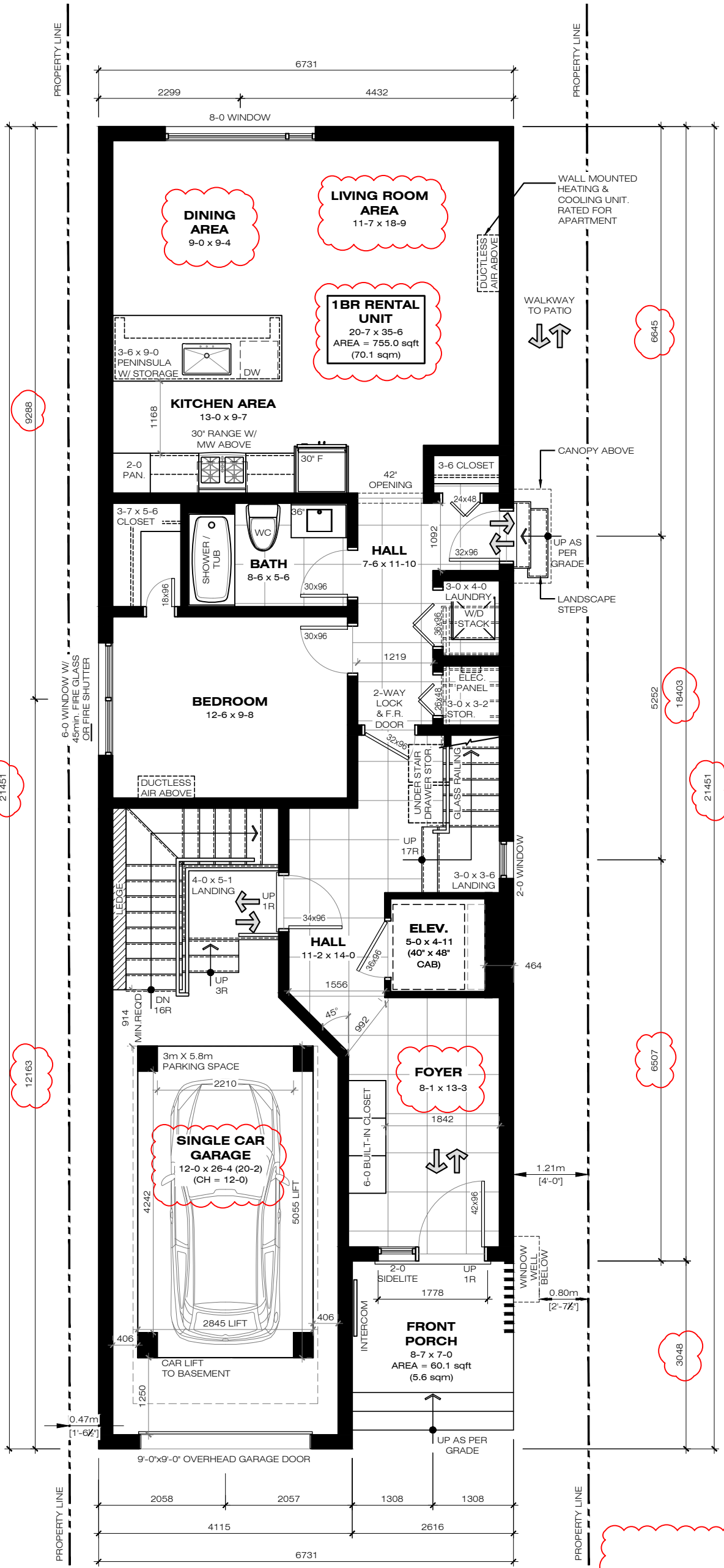
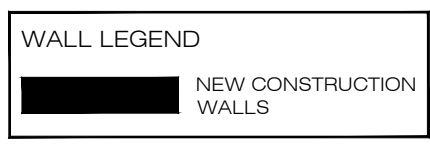
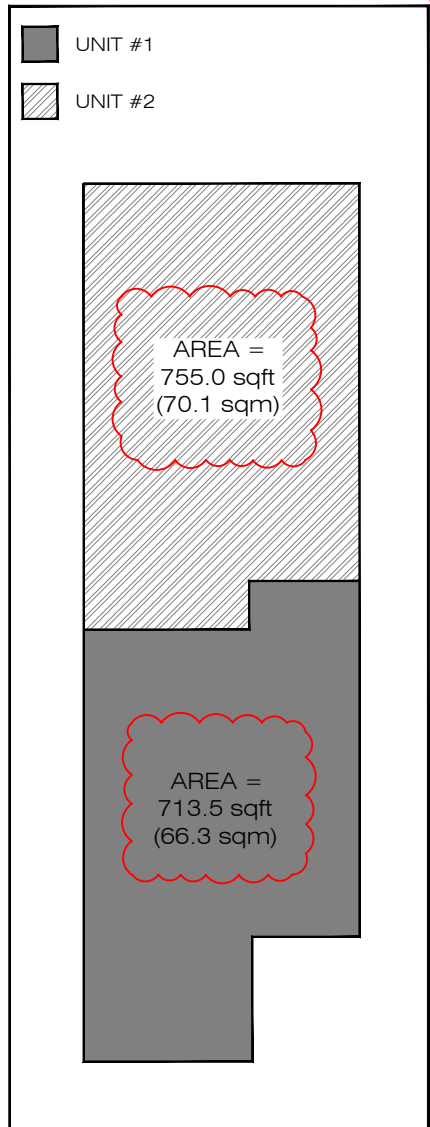
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Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE FAMILY DWELLING
512 BAY STREET NORTH
HAMILTON, ON. L8L 1N6

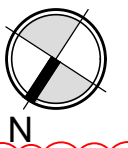
Sheet Title:
LOWER LEVEL FLOOR PLAN (UNIT #1)

No.	Date	Issue/Revision
5	SEP 26/23	ISSUED FOR C OF A
4	AUG 17/23	ISSUED FOR CLIENT REVIEW
3	JUL 10/23	ISSUED FOR C OF A
2	JUL 04/23	ISSUED FOR REVIEW
1	JUN 21/23	ISSUED FOR REVIEW

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Checked By:	
Scale:	1:75
Date:	SEPTEMBER 2023
Project No.:	2022-81
A2	



MAIN FLOOR PLAN
 AREA = 1062.1 sqft (98.7 sqm)
 GARAGE AREA = 363.3 sqft (33.8 sqm)
 BUILDING FOOTPRINT = 1528.5 sqft (142.0 sqm)
 CEILING HEIGHT = 10'-0" U.N.O.



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 COMMITTEE OF
 ADJUSTMENT**

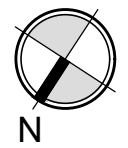
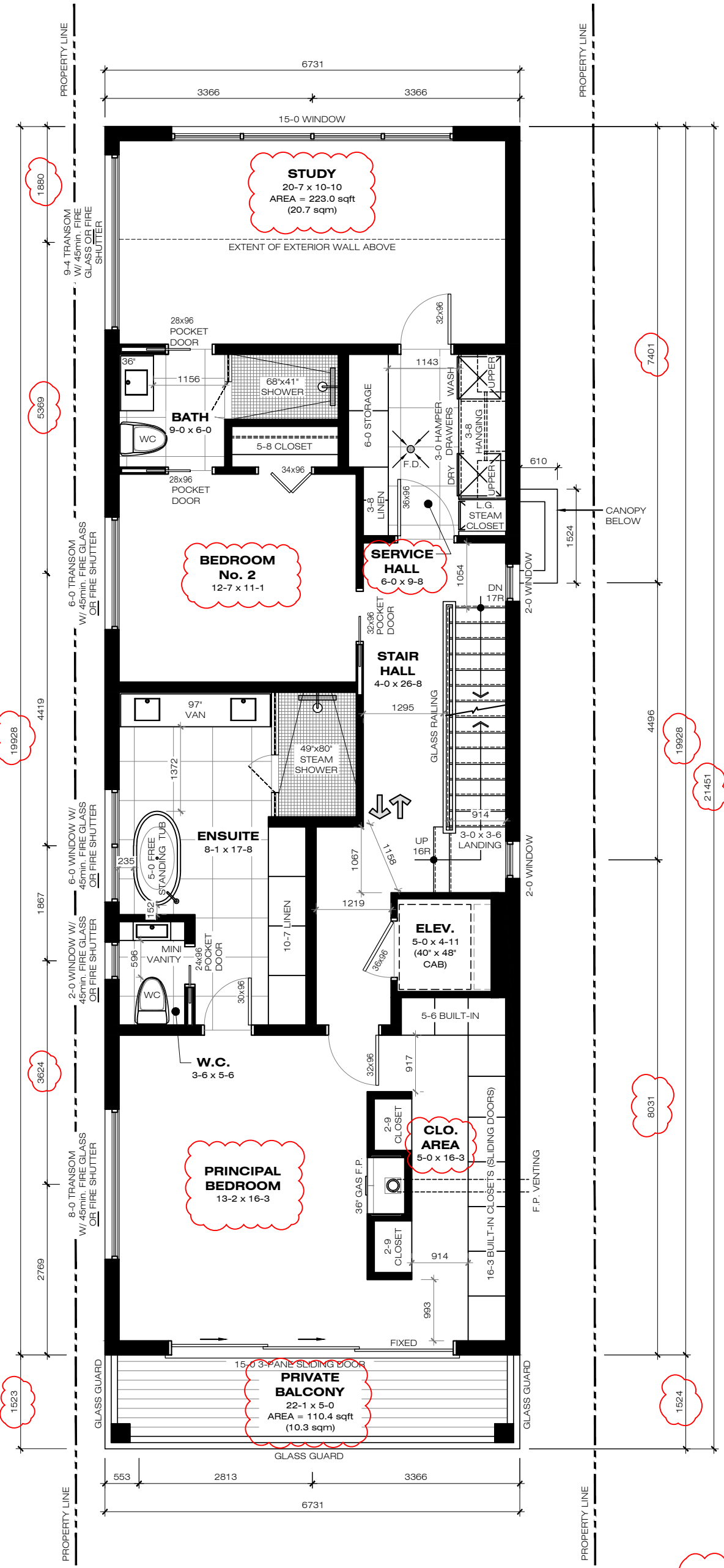
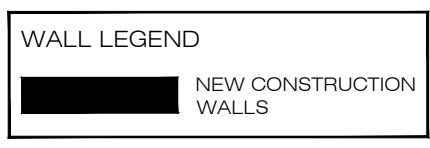
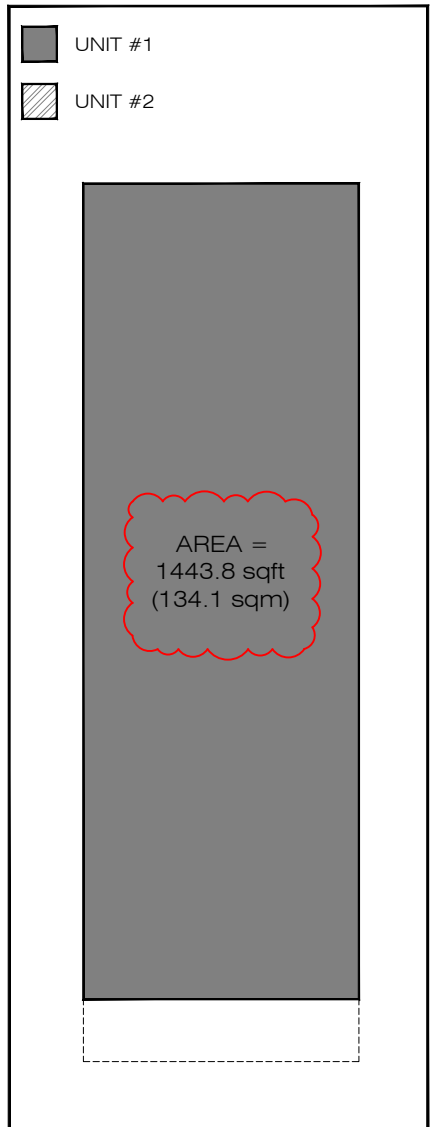
Project Name:
PRIVATE RESIDENCE
 NEW CUSTOM SINGLE
 FAMILY DWELLING
 512 BAY STREET NORTH
 HAMILTON, ON. L8L 1N6

Sheet Title:
**MAIN FLOOR PLAN
 (UNIT #1 & UNIT #2)**

No.	Date:	Issue/Revision
5	SEP 26/23	ISSUED FOR C OF A
4	AUG 17/23	ISSUED FOR CLIENT REVIEW
3	JUL 10/23	ISSUED FOR C OF A
2	JUL 04/23	ISSUED FOR REVIEW
1	JUN 21/23	ISSUED FOR REVIEW

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Scale:	1:75
Date:	SEPTEMBER 2023
Project No.:	2022-81

A3



SECOND FLOOR PLAN
 AREA = 1443.8 sqft (134.1 sqm)
 CEILING HEIGHT = 9'-0" U.N.O.

ISSUED FOR COMMITTEE OF ADJUSTMENT

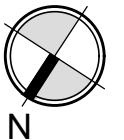
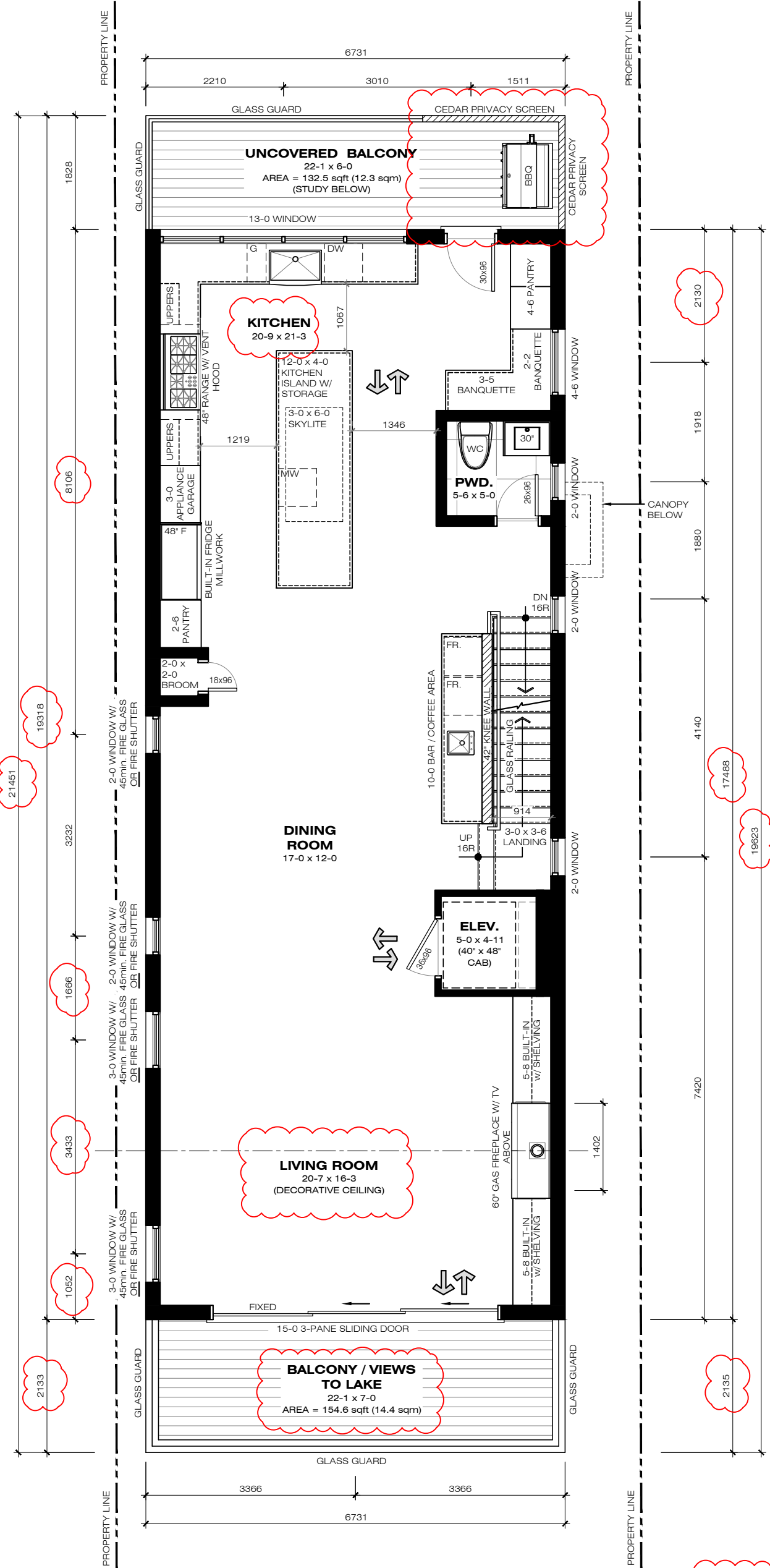
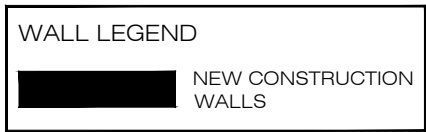
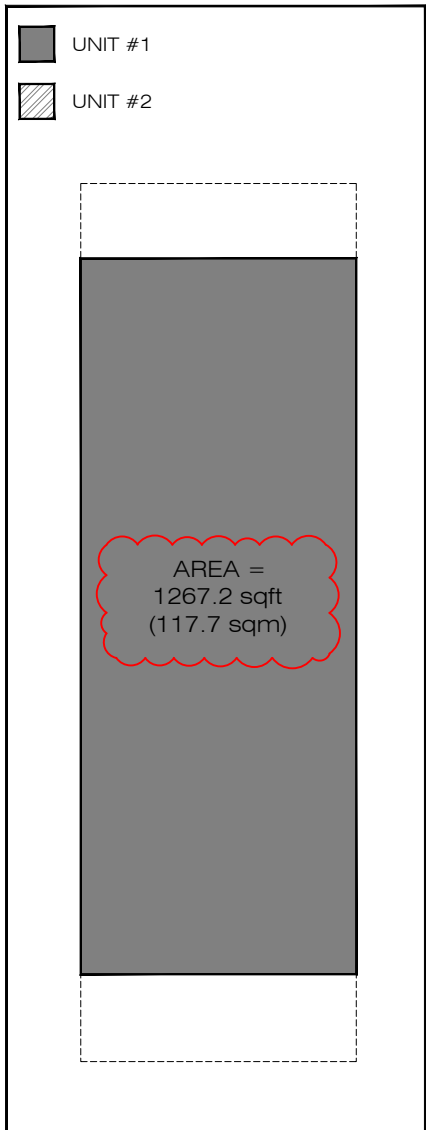
Project Name:
PRIVATE RESIDENCE
 NEW CUSTOM SINGLE FAMILY DWELLING
 512 BAY STREET NORTH
 HAMILTON, ON. L8L 1N6

Sheet Title:
SECOND FLOOR PLAN (UNIT #1)

No.	Date:	Issue/Revision
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2	JUL 04/23	ISSUED FOR REVIEW
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Drawn By:	
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Scale:	1:75
Date:	SEPTEMBER 2023
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A4



THIRD FLOOR PLAN
 AREA = 1267.2 sqft (117.7 sqm)
 CEILING HEIGHT = 9'-0" U.N.O.

ISSUED FOR
 COMMITTEE OF
 ADJUSTMENT

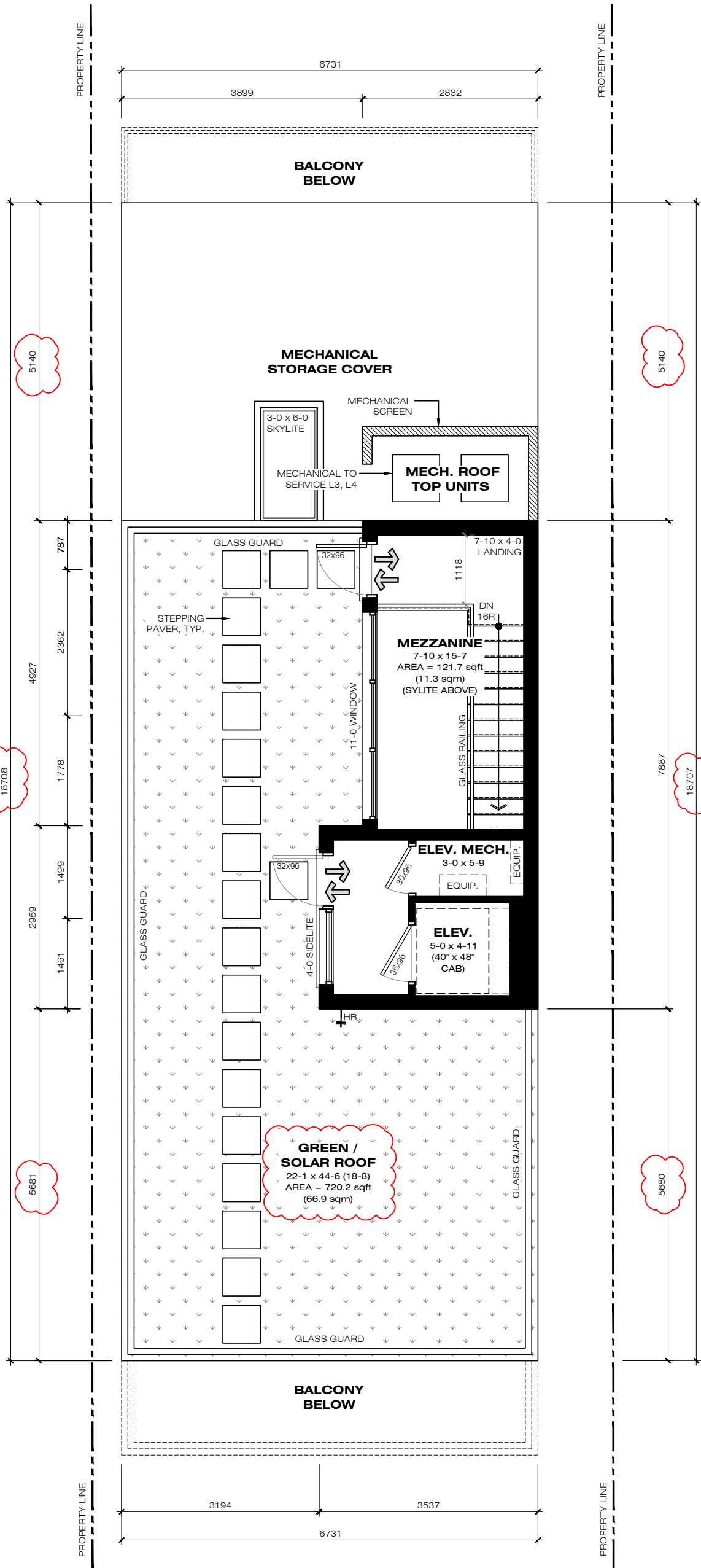
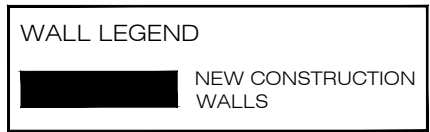
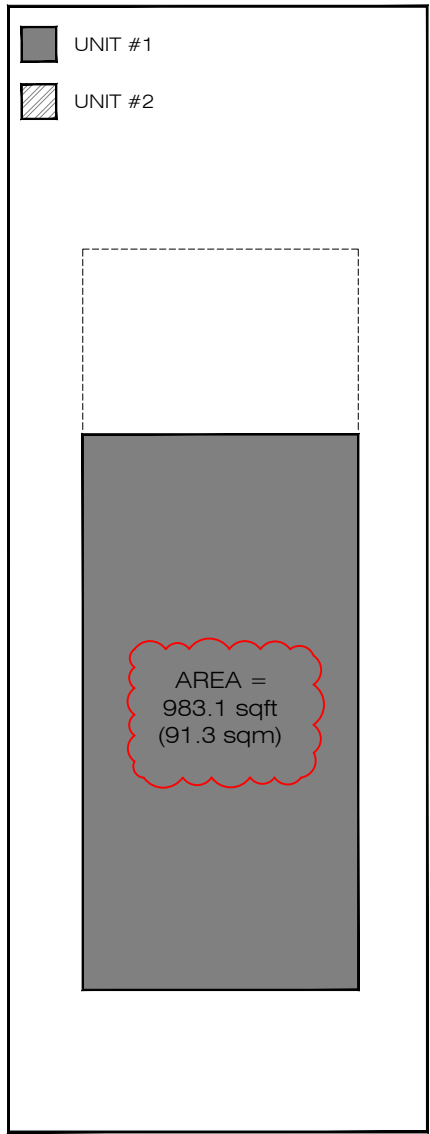
Project Name:
PRIVATE RESIDENCE
 NEW CUSTOM SINGLE
 FAMILY DWELLING
 512 BAY STREET NORTH
 HAMILTON, ON. L8L 1N6

Sheet Title:
THIRD FLOOR PLAN
 (UNIT #1)

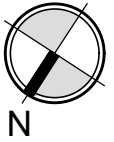
No.	Date:	Issue/Revision
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Scale:	1:75
Date:	SEPTEMBER 2023
Project No.:	2022-81

A5



GREEN/ SOLAR ROOFTOP
 AREA = 983.1 sqft (91.3 sqm)



**ISSUED FOR
 COMMITTEE OF
 ADJUSTMENT**

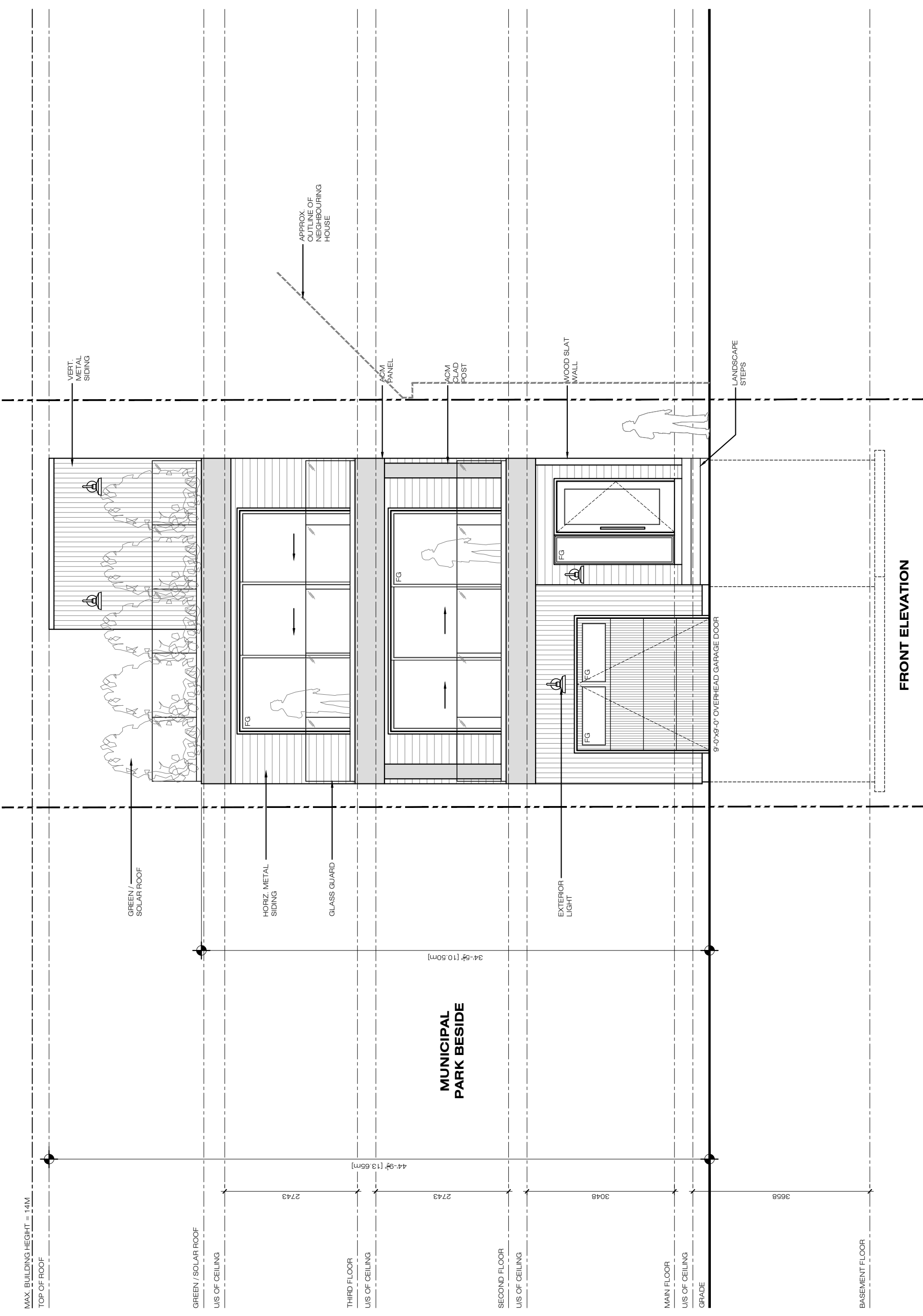
Project Name:
PRIVATE RESIDENCE
 NEW CUSTOM SINGLE
 FAMILY DWELLING
 512 BAY STREET NORTH
 HAMILTON, ON. L8L 1N6

Sheet Title:
**GREEN/SOLAR ROOF PLAN
 (UNIT #1)**

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2	JUL 04/23	ISSUED FOR REVIEW
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Checked By:	
Scale:	1:75
Date:	SEPTEMBER 2023
Project No.	2022-81

A6



FRONT ELEVATION

MUNICIPAL
PARK BESIDE

ISSUED FOR
COMMITTEE OF
ADJUSTMENT

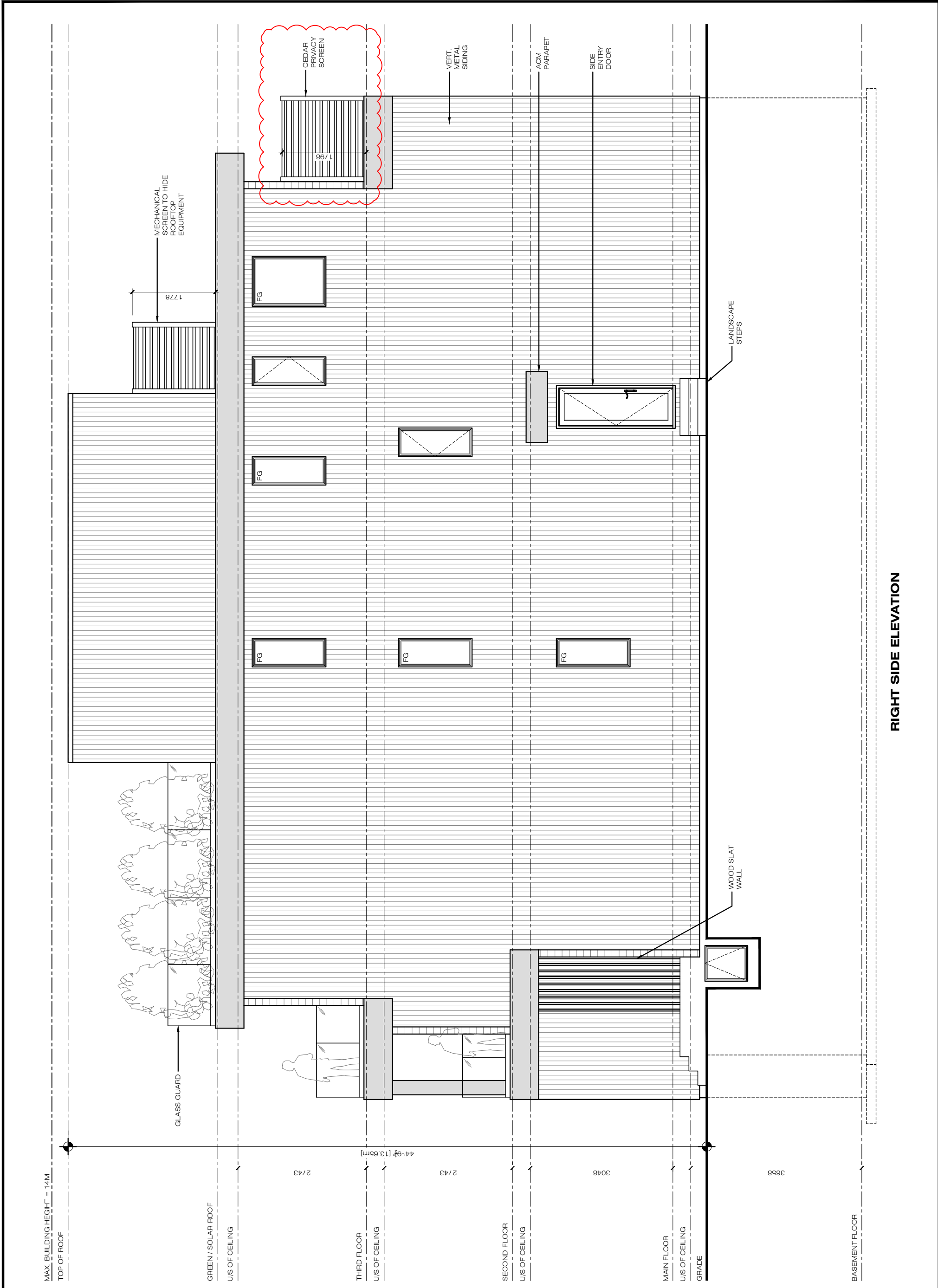
Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
512 BAY STREET NORTH
HAMILTON, ON. L8L 1N6

Sheet Title:
FRONT ELEVATION

No.	Date:	Issue/Revision
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Scale:	1:75
Date:	SEPTEMBER 2023
Project No.	2022-81

A7



RIGHT SIDE ELEVATION

ISSUED FOR
COMMITTEE OF
ADJUSTMENT

Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
512 BAY STREET NORTH
HAMILTON, ON. L8L 1N6

Sheet Title:
**RIGHT SIDE
ELEVATION**

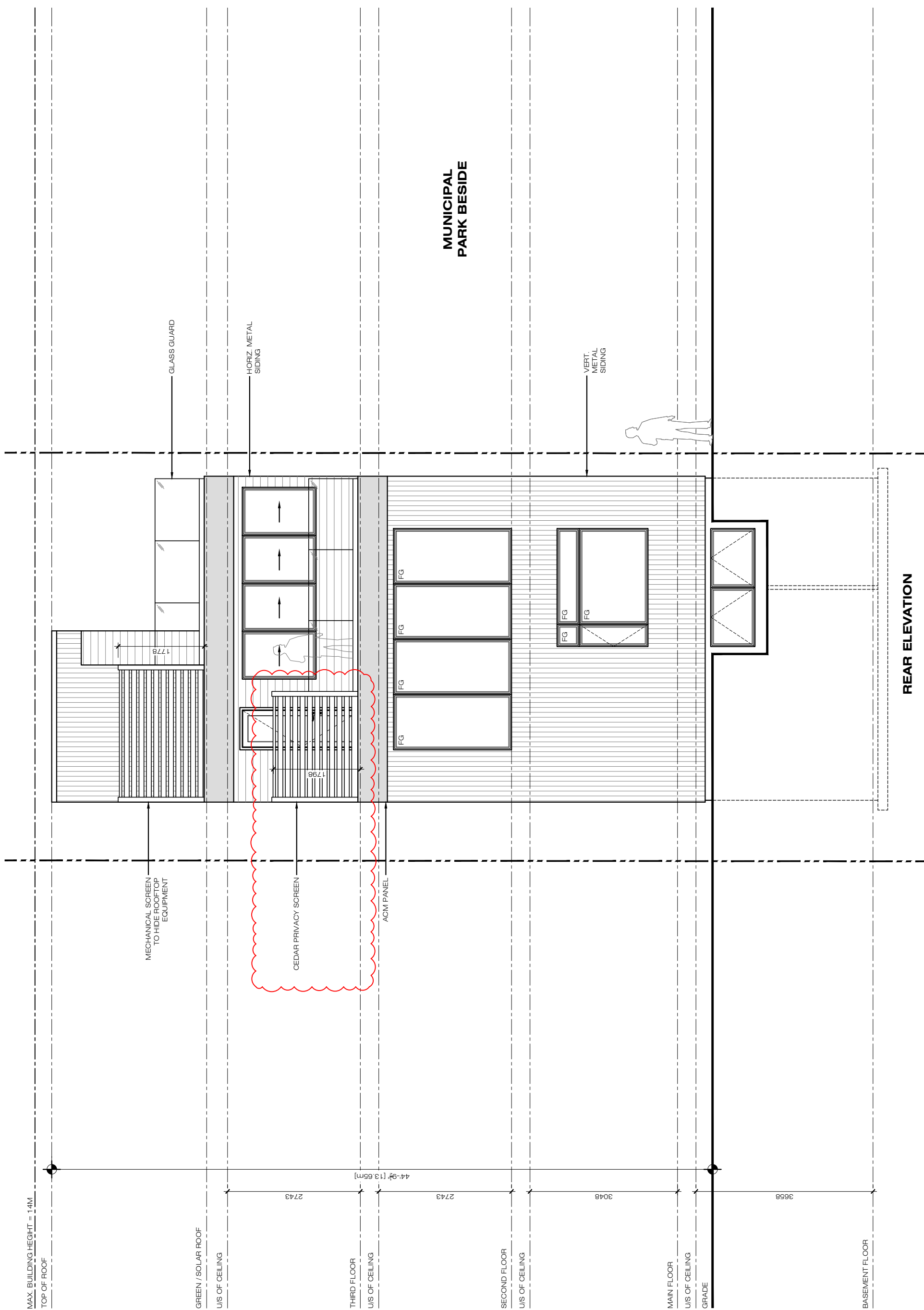
No.	Date:	Issue/Revision
5	SEP 26/23	ISSUED FOR C OF A
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3	JUL 10/23	ISSUED FOR C OF A
2	JUL 04/23	ISSUED FOR REVIEW
1	JUN 21/23	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:75
Date:	SEPTEMBER 2023
Project No.	2022-81

A8

MUNICIPAL
PARK BESIDE

REAR ELEVATION



ISSUED FOR
COMMITTEE OF
ADJUSTMENT

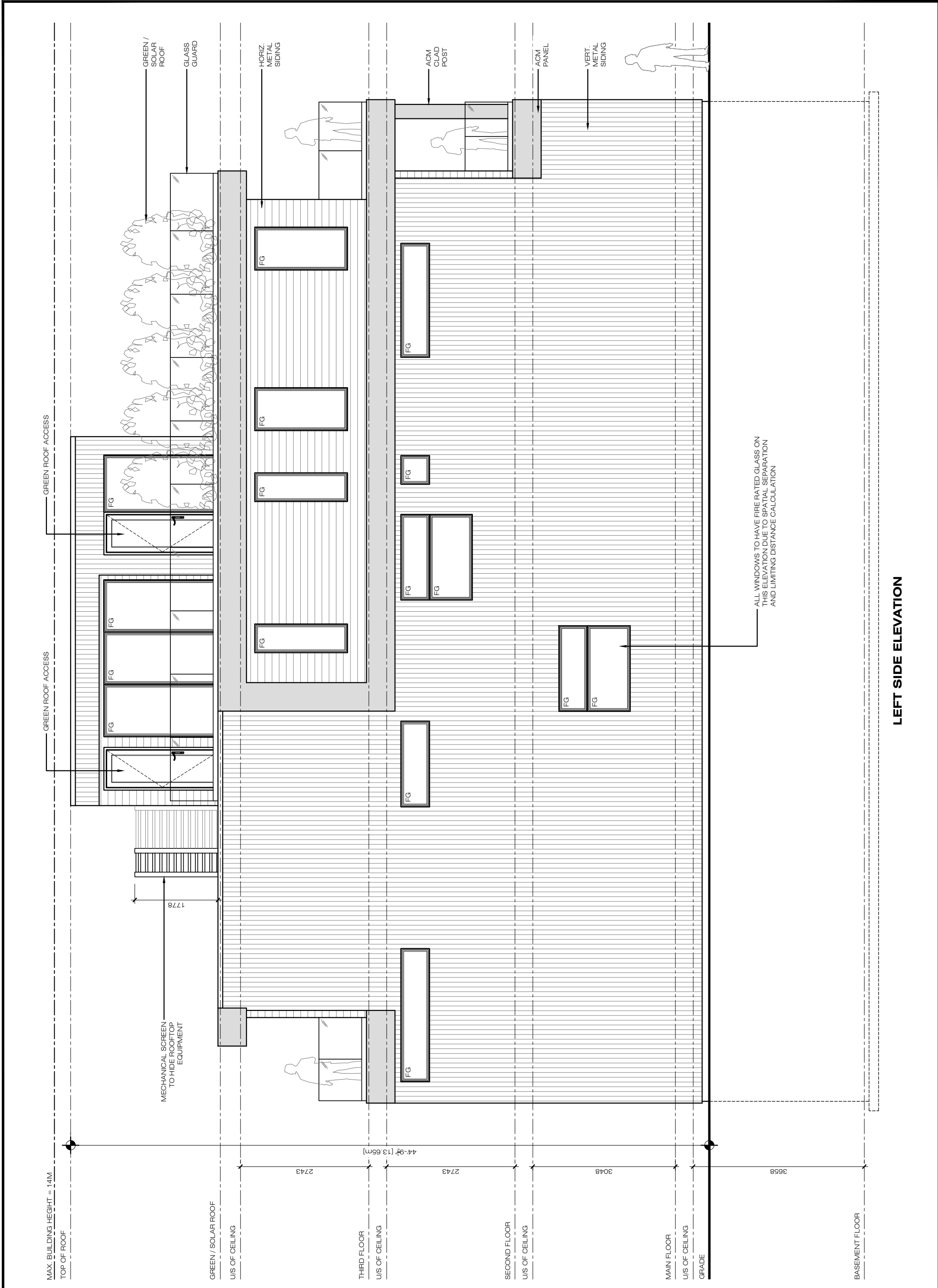
Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
512 BAY STREET NORTH
HAMILTON, ON. L8L 1N6

Sheet Title:
REAR ELEVATION

No.	Date:	Issue/Revision
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3	JUL 10/23	ISSUED FOR C OF A
2	JUL 04/23	ISSUED FOR REVIEW
1	JUN 21/23	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:75
Date:	SEPTEMBER 2023
Project No.	2022-81

A9



LEFT SIDE ELEVATION

ISSUED FOR
COMMITTEE OF
ADJUSTMENT

Project Name:
PRIVATE RESIDENCE
NEW CUSTOM SINGLE
FAMILY DWELLING
512 BAY STREET NORTH
HAMILTON, ON. L8L 1N6

Sheet Title:
**LEFT SIDE
ELEVATION**

No.	Date:	Issue/Revision
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3	JUL 10/23	ISSUED FOR C OF A
2	JUL 04/23	ISSUED FOR REVIEW
1	JUN 21/23	ISSUED FOR REVIEW

Drawn By:	
Checked By:	
Scale:	1:75
Date:	SEPTEMBER 2023
Project No.	2022-81

A10

From: [Alex Blanchard](#)
To: [Committee of adjustment](#)
Cc: [Nikki Fudge](#)
Subject: HM/A-23:184 - 512 Bay Street North, Hamilton
Date: Tuesday, October 10, 2023 9:23:39 AM
Attachments: [Bay Street Custom 09 26 2023.pdf](#)
[Resubmission - CofA Application.pdf](#)
[CofA Letter.pdf](#)

Hello,

Attached are our amended drawings, application form, and transmittal for our Minor Variance application at 512 Bay Street North.

Hard copies were dropped off this morning and the amendment fee was paid. Please schedule us for the next available hearing date.

Thank you,

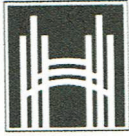
Alex Blanchard | Architectural Manager

Tel: 905-574-1504 ext. 3
Carrothers and Associates
505 York Boulevard Unit 3 Hamilton, Ontario L8R 3K4



Web: www.carrothersandassociates.com

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Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	Paul + Gail Petit	
Applicant(s)	Nikki Fudge Carrothers and Associates	
Agent or Solicitor	David Carrothers Carrothers and Associates	

1.2 All correspondence should be sent to

- Purchaser
- Applicant

- Owner
- Agent/Solicitor

1.3 Sign should be sent to

- Purchaser
- Applicant

- Owner
- Agent/Solicitor

1.4 Request for digital copy of sign

- Yes*
- No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email

- Yes*
- No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	512 Bay Street North		
Assessment Roll Number			
Former Municipality			
Lot	Lot 11, Block 12	Concession	
Registered Plan Number	127	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

- Front Yard Setback - Provided = 0.75m (Required = 6.0m)
 - Side Yard Setback - Provided = 0.47m (Required = 0.9m)
 - Rear Yard Setback - Provided = 6.31m (Required = 7.29m)
 - Front Yard Landscaping - Provided = 14.5% (Required = 50%)
- Parking Spaces
Provided = 0
(Required = 3)
- Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

See attached sheet

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
8.42m	29.17m	246.1m ²	4.42m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling	0.73m	12.78m	1.33m + 0.0m	+/- 1970

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling	0.75m	6.31m	1.22m + 0.47m	Spring 2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling	85.1m ²	145.4m ²	2	

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling	136.4m ²	350.5m ²	3	+/- 13.5m

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling + Parkland

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

November 2022

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Residential

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Residential

7.4 Length of time the existing uses of the subject property have continued:

50+ years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Central Hamilton

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? D

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: HM/A - 23:184 (Tabled)

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
- _____
- _____