



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-23:271	SUBJECT PROPERTY:	369 BARTON STREET E, HAMILTON
ZONE:	“C5a” (Mixed Use Medium Density – Pedestrian Focus)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: **Owner:** 14451384 CANADA INC. C/O EMEKA OBIENU
Agent: J.P. SAMUEL & ASSOCIATES INC. C/O JAMES SAMUEL

The following variances are requested:

1. A minimum of zero (0) parking spaces shall be permitted to be maintained instead of the minimum eight (8) parking spaces required.
2. A minimum zero (0) bicycle parking spaces shall be permitted to be maintained instead of the minimum five (5) bicycle parking spaces required.

PURPOSE & EFFECT: To facilitate the establishment of a medical clinic on within the front portion of the ground floor of the existing building.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, November 16, 2023
TIME:	9:25 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

HM/A-23:271

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:271, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: October 31, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

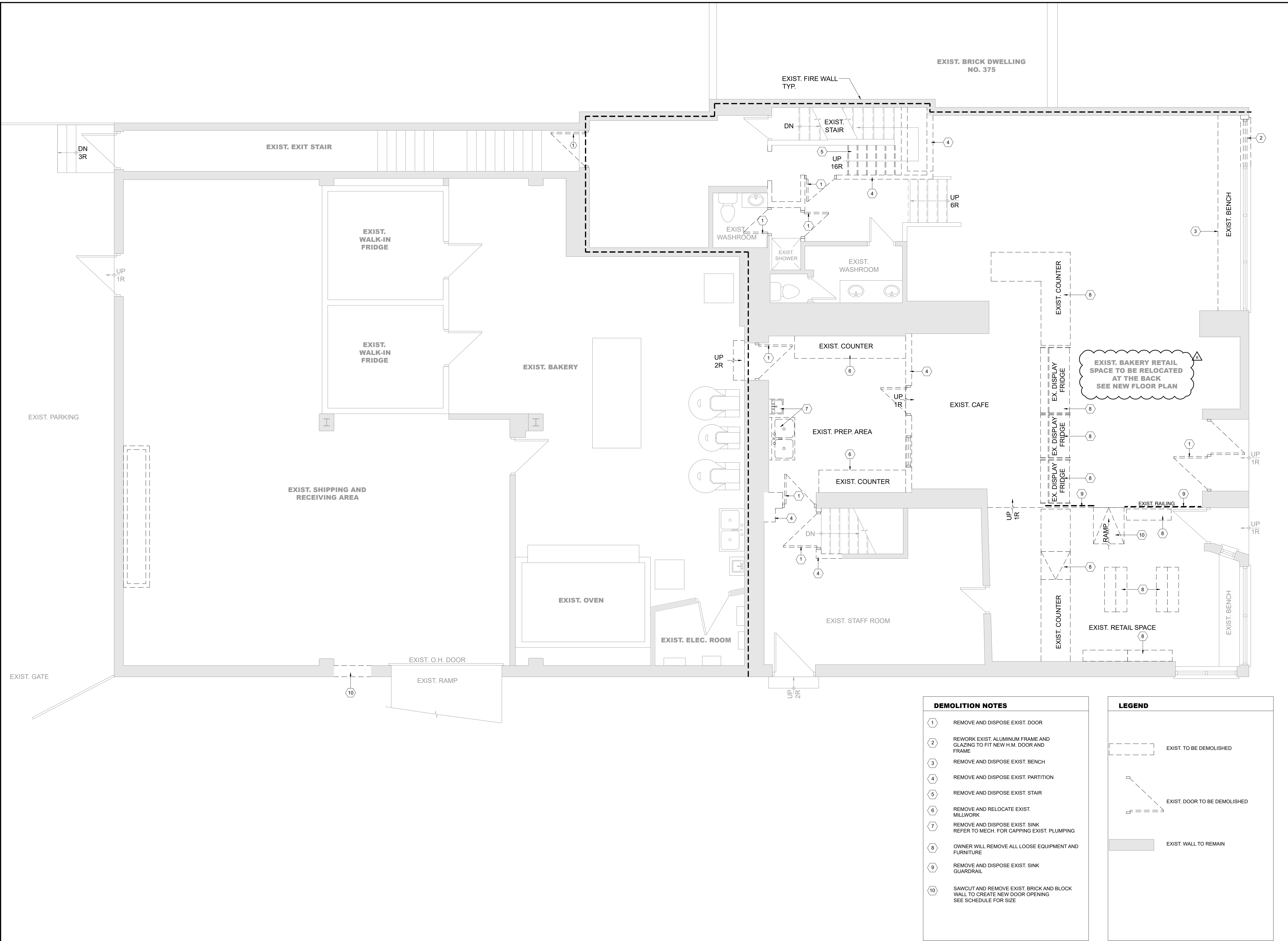
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



NOTE:
 CONFIRM ALL GRIDS, DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS.
 CONTACT ARCHITECT AND ENGINEER FOR ANY DISCREPANCIES.
 PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER AND MUST BE RETURNED UPON REQUEST. PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT WRITTEN PERMISSION OF THE ENGINEER.
 THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE ENGINEER.
 DATE: _____

NO	REVISIONS	DATE	BY
B	RE-ISSUED FOR PERMIT	02/10/2023	J.S.
A	ISSUED FOR PERMIT / TENDER	29/06/2023	J.S.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

CLIENT:

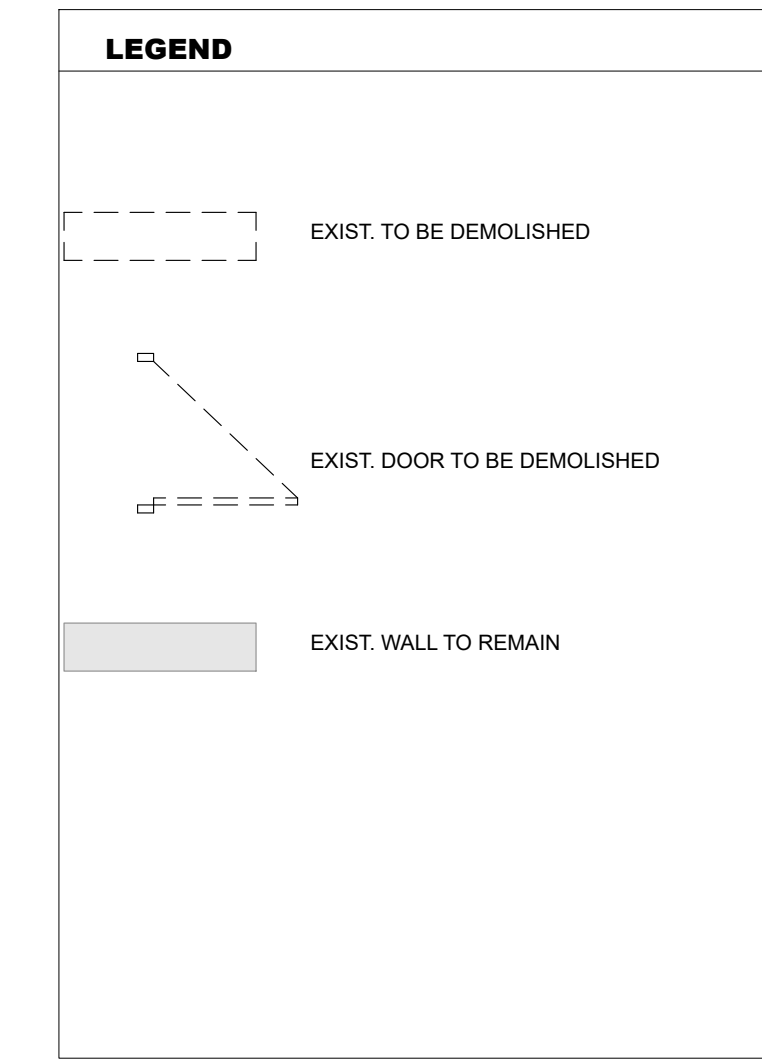
PROJECT:
INTERIOR RENOVATION
 373 BARTON ST E
 HAMILTON, ONTARIO

J. P. SAMUEL AND ASSOCIATES INC.
 STRUCTURAL ENGINEERS
 1040 Garner Road W, Suite C203
 Ancaster, ON L9G 0J2
 Tel: (647) 671-8530
 email: jsamuel@jpsamuel.com
 www.jpsamuel.com

Scale: AS NOTED

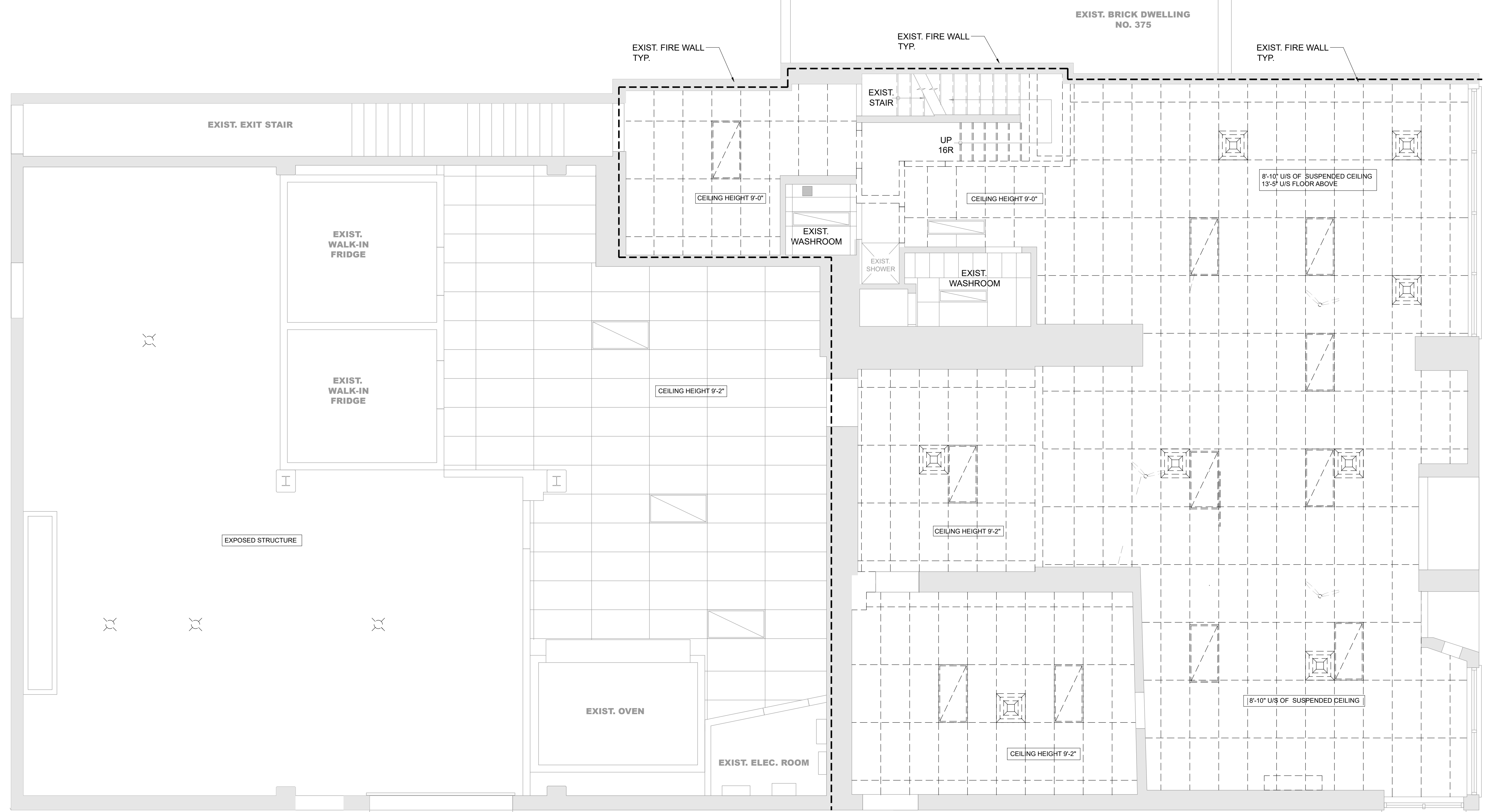
GROUND FLOOR DEMOLITION PLAN

- DEMOLITION NOTES**
- 1 REMOVE AND DISPOSE EXIST. DOOR
 - 2 REWORK EXIST. ALUMINUM FRAME AND GLAZING TO FIT NEW H.M. DOOR AND FRAME
 - 3 REMOVE AND DISPOSE EXIST. BENCH
 - 4 REMOVE AND DISPOSE EXIST. PARTITION
 - 5 REMOVE AND DISPOSE EXIST. STAIR
 - 6 REMOVE AND RELOCATE EXIST. MILLWORK
 - 7 REMOVE AND DISPOSE EXIST. SINK REFER TO MECH. FOR CAPPING EXIST. PLUMBING
 - 8 OWNER WILL REMOVE ALL LOOSE EQUIPMENT AND FURNITURE
 - 9 REMOVE AND DISPOSE EXIST. SINK GUARDRAIL
 - 10 SAWCUT AND REMOVE EXIST. BRICK AND BLOCK WALL TO CREATE NEW DOOR OPENING SEE SCHEDULE FOR SIZE



DRAWN BY:	S.K.	JOB No:	2023-JPS-063
CHECKED BY:	J.S.	DRAWING No:	D-100
DATE:	MAY 2023		
ISSUED:			





DEMOLITION LEGEND

	EXIST. MECH. SUPPLY AIR DIFFUSER TO BE REMOVED		EXIST. SUSPENDED GRID TO REMAIN
	EXIST. MECH. RETURN GRILL TO BE REMOVED		EXIST. LIGHT FIXTURE TO REMAIN
	EXIST. LIGHT FIXTURE TO BE REMOVED		EXIST. LIGHT FIXTURE TO REMAIN
	EXIST. CEILING FAN TO BE REMOVED		
	EXIST. SUSPENDED GRID AND TILE TO BE REMOVED		
	EXIST. LIGHT FIXTURE TO BE REMOVED		

NOTE:
 CONFIRM ALL GRIDS, DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS.
 CONTACT ARCHITECT AND ENGINEER FOR ANY DISCREPANCIES.
 PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER AND MUST BE RETURNED UPON REQUEST. PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT WRITTEN PERMISSION OF THE ENGINEER.
 THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE ENGINEER.
 DATE: _____

NO	REVISIONS	DATE	BY
B	RE-ISSUED FOR PERMIT	02/10/2023	J.S.
A	ISSUED FOR PERMIT / TENDER	29/06/2023	J.S.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

CLIENT:

PROJECT:
INTERIOR RENOVATION
 373 BARTON ST E
 HAMILTON, ONTARIO

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 Tel: (647) 671-8530
 email: jsamuel@jpsamuel.com
 www.jpsamuel.com

Scale: AS NOTED

REFLECTED CEILING DEMOLITION PLAN



DRAWN BY:	S.K.	JOB No.:	2023-JPS-063
CHECKED BY:	J.S.	DRAWING No.:	D-101
DATE:	MAY 2023		
ISSUED:			

GENERAL NOTES

- THE GENERAL NOTES MUST BE READ IN CONJUNCTION WITH THE DESIGN DRAWINGS AND SPECIFICATIONS OF ENGINEERS AND ARCHITECTURAL DISCIPLINES WHICH FORM PART OF THIS CONTRACT. THIS INCLUDES DRAWING SPECIFICATIONS AND SKETCHES. SHOULD THERE BE CONTRADICTORY INFORMATION BETWEEN DRAWINGS, SKETCHES AND SPECIFICATIONS, THE ONE WHICH CLEARLY DEFINES THE INTENT OF THE DESIGN TAKES PRECEDENCE.
- ALL DESIGN, DETAILING, CONSTRUCTION AND SHORING, MUST CONFORM TO THE PRESENT ONTARIO BUILDING CODE, OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS LATEST EDITION. ALL ASSOCIATED COST WITH THE DESIGN, SUPPLY AND INSTALLATION OF TEMPORARY SHORING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. GENERAL CONTRACTOR TO PROVIDE STAMPED, ENGINEERED SHORING DRAWINGS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE WORK OF ALL SUBCONTRACTORS.
- THE GENERAL CONTRACTOR MUST REVIEW ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF ALL WORK AND MUST REPORT ALL DISCREPANCIES TO THE ENGINEER/ARCHITECT.
- PROJECTS WHICH INCLUDE ANY DEMOLITION AND OR RENOVATION WORK, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND EXISTING CONSTRUCTION. SHOULD A DISCREPANCY ON EITHER BE FOUND, REPORT FINDINGS TO ENGINEER/ARCHITECT.
- CONTRACTOR TO THOROUGHLY CLEAN ALL SURFACES WITHIN THE WORK AREA AND REMOVE ALL CONSTRUCTION DEBRIS PRIOR TO COMPLETION.
- REPAIR AND MAKE GOOD ANY DAMAGES THAT OCCURS DURING THE DEMOLITION OF THIS CONTRACT.
- CONTRACTOR TO PROVIDE AN UPDATED SET OF CAD DRAWINGS ON DISC AND 2 HARD COPIES REFLECTING THE AS-BUILT CONDITIONS TO THE OWNER. UPDATED DRAWINGS INCLUDE ALL DISCIPLINES INVOLVED IN THE PROJECT.
- CONTRACTOR TO PROVIDE THE OWNER WITH A MAINTENANCE MANUAL FOR ALL MATERIALS AND EQUIPMENT USED DURING THE PROJECT. COORDINATE AND COLLECT INFORMATION FROM ALL DISCIPLINES. CUT SHEETS AND MANUFACTURER RECOMMENDED MAINTENANCE INFORMATION TO BE PROVIDED IN A BOUND DOCUMENT. DOCUMENT TO HAVE TITLE IDENTIFYING PROJECT ALONG WITH A TABLE OF CONTENTS IDENTIFYING EQUIPMENT AND DRAWING CROSS-REFERENCE. EXAMPLE: CEILING TILE LABELED MANUFACTURERS NAME AND IN BRACKETS DRAWING DESIGNATION (C1) PROVIDE TABBED SECTIONS TO FACILITATE LOCATING INFORMATION QUICKLY. DOCUMENT TO BE OF A PROFESSIONAL QUALITY MADE FROM ORIGINAL DOCUMENTS. PHOTOGRAPHED MATERIAL WILL NOT BE ACCEPTED. A PDF VERSION ON DISC IS TO BE INCLUDED IN THE MANUAL.

DEMOLITION

- GENERAL CONTRACTOR SHALL PROTECT AREAS TO BE DEMOLISHED WITH HOARDINGS, DUST CONTROL MEASURES ETC THAT ARE ACCEPTABLE WITH THE OWNER AND CONSULTANT.
- GENERAL CONTRACTOR SHALL CO-ORDINATE THE DEMOLITION INCLUDING APPROVED ACCESS ROUTES FOR REMOVAL OF MATERIALS FROM THE WORK SITE WITH THE OWNER.
- ANY ACCESS ROUTE USED BY THE CONTRACTOR SHALL BE REPAIRED AND MADE GOOD TO THE OWNERS APPROVAL. ALL SURFACE FINISHES SHALL BE REINSTATED TO THEIR PRE-DEMOLITION CONDITION.
- DEMOLITION AREAS SHALL BE MODIFIED TO MATCH EXISTING CONDITIONS. ALL WALL, FLOOR AND CEILING FINISHES SHALL MATCH EXISTING MATERIALS/COLORS/TEXTURES SHALL BE APPROVED BY THE OWNER PRIOR TO MATERIAL ORDERING.
- GENERAL CONTRACTOR SHALL MAKE GOOD ALL SURFACES AFFECTED BY THIS PROJECT TO THE OWNERS SATISFACTION.
- ALL FIRE RATED ASSEMBLIES SHALL BE MAINTAINED. NEW CONSTRUCTION, REQUIRED AFTER DEMOLITION SHALL MEET OR EXCEED THE EXISTING FIRE RATINGS.

GYPSUM BOARD SYSTEMS

- MATERIALS**
- STEEL STUDS FRAMING SHALL CONFORM TO ASTM C645.
- NON LOAD BEARING STUD SYSTEMS, AND FURRING CHANNELS, SHALL BE 20 GAUGE IN THICKNESS, HOT DIP GALVANIZED, SHEET STEEL, OF SIZES INDICATED ON PLANS.
- FLOOR AND CEILING TRACKS SHALL BE 1 1/2" FLANGE HEIGHT, OF SIZES INDICATED ON PLANS.
- GYPSUM BOARD FOR INTERIOR APPLICATIONS SHALL BE 1/2" THICK, UNLESS NOTED OTHERWISE, 4'-0" WIDE x MAXIMUM PRACTICAL LENGTH. ENDS SHALL BE CUT SQUARE AND EDGES SHALL BE TAPED.
- ACCESSORIES AND TRIM SHALL BE APPROPRIATE FOR EACH SPECIFIC APPLICATION IN ACCORDANCE WITH STANDARDS OF GOOD PRACTICE
- EXECUTION**
- INSTALL STEEL STUDS PLUMB, LEVEL AND FLUSH WITH EXISTING INSIDE WALL, AND SECURE TO FLOOR AND CEILING AT 2'-0" o.c. MAINTAIN CLEARANCE UNDER BEAMS AND STRUCTURAL SLABS TO AVOID TRANSMISSION OF LOADS BY PROVIDING DOUBLE TRACK DEFLECTION TRACKS.
- ATTACH STUDS TO TRACKS USING SCREWS (BOTH SIDES).
- PROVIDE TWO STUDS, FASTENED TOGETHER, FRAMING FROM FLOOR TO CEILING EACH SIDE OF OPENINGS.
- PROVIDE ALL BLOCKING, BRIDGING AND BRACING AS REQUIRED FOR STABILITY AND BY OTHER TRADES.
- PROVIDE ALL FURRING FOR ACCESS PANELS, BULKHEADS, AND WHERE OTHERWISE REQUIRED.
- DO NOT INSTALL GYPSUM BOARDS UNTIL INSULATION, VAPOUR BARRIER, ELECTRICAL AND MECHANICAL WORK ARE APPROVED.
- APPLY SINGLE LAYER GYPSUM BOARD WITH A MAXIMUM SCREW SPACING OF 12" o.c.
- INSTALL ACCESSORIES STRAIGHT, PLUMB OR LEVEL, USING FULL LENGTH PIECES WHERE POSSIBLE. MITRE AND FIT ALL CORNERS.
- INSTALL ACCESS DOORS TO ELECTRICAL AND MECHANICAL FIXTURES AS REQUIRED.
- FILL SCREW HEAD DEPRESSIONS WITH JOINTING COMPOUND AND TAPE ALL JOINTS. APPLY 3 COATS OF JOINTING COMPOUND, FEATHERING AND SANDING BETWEEN COATS. FINISHED SURFACE TO BE FREE FROM VISUAL DEFECTS, TOOL MARKS AND READY TO RECEIVE FINISHES. TOUCH UP AND SAND AS REQUIRED.
- INSTALLATION CONTRACTOR SHALL HAVE A MINIMUM FIVE YEARS PROVEN SATISFACTORY EXPERIENCE.
- COMPLETE WORK IN ACCORDANCE WITH ASTM 840-98, SPECIFICATION FOR APPLICATION AND FINISHING OF GYPSUM BOARD, UNLESS SPECIFIED ELSEWHERE
- DRYWALL TO BE INSTALLED AND FINISHED SMOOTH AND FREE FROM DEFECTS. DRYWALL PARTITIONS TO BE TAPED, FILLED, SANDED, PRIMED AND READY FOR FINISH. ALL WALLS TO BE TIGHTLY FITTED TO ALL PENETRATIONS C/W ACOUSTIC SEALANT, TYP. PREP ACCORDING TO MANUFACTURERS BEST PRACTICES.

STRUCTURAL STEEL STUDS

- ALL MATERIALS, COMPONENTS AND WORKMANSHIP SHALL CONFORM TO THE CURRENT CAN/CSA-S158-M89 (COLD FORMED STEEL STRUCTURAL MEMBERS).
- ALL STEEL SHALL MEET THE REQUIREMENTS OF ASTM A446 STANDARD SPECIFICATION FOR SHEET STEEL, ZINC COATED (GALVANIZED) BY THE HOT-DIP PROCESS, STRUCTURAL (PHYSICAL) QUALITY.
MINIMUM GRADES TO BE:
GRADE A, 228 MPa MINIMUM YIELD, FOR .048" MATERIAL OR THINNER.
GRADE D, 345 MPa MINIMUM YIELD, FOR .060" MATERIAL OR THICKER
- ALL STEEL TO BE A MINIMUM Z275 GALVANIZED OR EQUIVALENT METALLIC COATING.
- MINIMUM STEEL STUD THICKNESS TO BE 1.22mm. USE STEEL STUDS BY BAILEY, OR APPROVED EQUIVALENT.
- PROVIDE BRIDGING AT A MAXIMUM SPACING OF 1220(48") o.c.
- PROVIDE BRICK TIES WITH CORROSION RESISTANCE CONFORMING TO THE MINIMUM REQUIREMENTS OF CAN3-A370-M84 (CONNECTORS FOR MASONRY).
- USE BAILEY (WAT) 10-18 HOT-DIPPED GALVANIZED ADJUSTABLE MASONRY TIES OR EQUIVALENT, WRAPPED AROUND AND CONNECTED DIRECTLY TO THE STEEL STUDS. PROVIDE PROPER WATER TIGHT SEAL AROUND BRICK TIES. SEALS TO BE INSPECTED AND APPROVED BY AN INDEPENDENT INSPECTION COMPANY.
- PROVIDE DRILLED EXPANSION ANCHORS AT BOTTOM TRACK AT TYPICALLY 760(30") MAXIMUM SPACING.
- SUBMIT SHOP DRAWINGS FOR STRUCTURAL STEEL STUDS STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER.
- THE COMPLETED WALL ASSEMBLY SHALL BE INSPECTED BY A QUALIFIED INDEPENDENT INSPECTION COMPANY.

DOORS AND FRAMES

- SUBMIT COMPLETE, DETAILED SHOP DRAWINGS OF DOORS, HARDWARE INCLUDE DOOR AND FRAME SCHEDULES, MATERIALS, FINISHES, HARDWARE PREPARATIONS AND FRAME ANCHORAGE DETAILS.
- UNLESS SPECIFIED OTHERWISE, MEET THE REQUIREMENTS OF THE "CANADIAN MANUFACTURING SPECIFICATION FOR STEEL DOORS AND FRAMES" AND "RECOMMENDED DIMENSIONAL STANDARDS FOR COMMERCIAL STEEL DOORS AND FRAMES" PUBLISHED BY THE CANADIAN STEEL DOOR MANUFACTURERS ASSOCIATION (CDFMA).
- FIRE PROTECTION REQUIREMENTS: FIRE RATED DOORS AND FRAMES SHALL BEAR U/LC OR WHI LABEL FOR REQUIRED RATING AND SHALL BE INSTALLED WITH NFPA 80 - FIRE DOORS AND WINDOWS, CURRENT EDITION. PROVIDE TEMPERATURE RISE RATED ASSEMBLIES WHERE REQUIRED. HARDWARE FOR THESE DOORS SHALL MEET THE SAME FIRE RATINGS AS TO THE DOORS BEING INSTALLED ON.
- HOLLOW METAL FRAMES SHALL BE 16 GAUGE METAL REINFORCED TO RECEIVE HARDWARE. COORDINATE FRAME REQUIREMENTS WITH OTHER DIVISIONS AND PROVIDE ALL OTHER NECESSARY REQUIREMENTS FOR THE INSTALLATION OF OTHER TRADES. SHEET STEEL TO BE METALLIC COATED TO ASTM A924-M, HOT DIP GALVANNEALED TO ASTM A653-M, MIN. ZINC-IRON ALLOY COATING DESIGNATION ZF120 FOR INTERIOR FRAMES. PROVIDE APPROPRIATE ANCHORAGE TO FLOOR AND WALL CONSTRUCTION. MAXIMUM DIAGONAL DISTORTION: 1.5mm MEASURED WITH STRAIGHT EDGES, CROSSED CORNER TO CORNER. INSTALLATION TO BE IN ACCORDANCE WITH CSDFMA. FIRE LABELS TO BE METAL RIVETED.
- HOLLOW METAL DOORS SHALL BE 38mm THICK, FULLY INSULATED, USING 16 GAUGE METAL TACKED AND FILLED SEAMS. DOORS SHALL BE PREPARED TO RECEIVE HINGES, CYLINDRICAL OR MORTISE LOCK SETS ETC. PER ANSI A115 SERIES STANDARDS (REFER TO DOOR SCHEDULES). CORE MATERIALS FOR FIRE RATED DOORS IS IN ACCORDANCE WITH FIRE TEST REQUIREMENTS. INTERIOR DOORS EXCEPT FIRE RATED DOORS TO BE HONEYCOMB OF RIGID, PRE-EXPANDED RESIN IMPREGNATED KRAFT PAPER HAVING MAXIMUM 25mm HEXAGONAL SHAPED CELLS.

GLAZING SYSTEMS

GENERAL
COMPLETE ALL WORK IN ACCORDANCE WITH THE FLAT GLASS MANUFACTURERS ASSOCIATION GLAZING MANUAL.

PROVIDE SEALED GLASS UNIT MANUFACTURERS WARRANTY STATING THAT THE FACTORY SEALED GLASS UNITS ARE GUARANTEED AGAINST FAILURE OF THE SEAL AND DEPOSITS ON THE INNER FACE OF THE GLASS, FOR A PERIOD OF TEN (10) YEARS FROM THE DATE OF SUBSTANTIAL PERFORMANCE.

PROVIDE A WRITTEN WARRANTY FOR THE COMPLETE INSTALLATION OF FRAMES AGAINST DEFECTS IN WORKMANSHIP AND MATERIALS UNDER NORMAL USAGE FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF SUBSTANTIAL PERFORMANCE.

PROVIDE CONTINUITY OF THE BUILDING ENCLOSURE VAPOUR AND AIR BARRIERS USING THE INNER LITE OF MULTIPLE LITE SEALED UNITS

SUBMIT SHOP DRAWINGS OF FRAMES AND GLAZING FOR REVIEW.

MATERIALS
ACCEPTABLE MANUFACTURERS: KAWNEER, OR ALTERNATIVE APPROVED BY OWNER.

ALL PRODUCTS TO BE FROM ONE MANUFACTURER.

FLOAT GLASS TO CAN/CGSB-12.3, 6mm THICK.

TEMPERED SAFETY GLASS TO CAN/CGSB-12.1, TRANSPARENT, 6mm THICK.

WIRED GLASS TO CAN/CGSB-12.8, TYPE 1 POLISHED BOTH SIDES (TRANSPARENT), 6mm THICK, WIRE MESH STYLE SQUARE.

ARGON FILLED, SEALED INSULATING GLASS UNITS TO CAN/CGSB-12.8, DOUBLE UNIT, 22mm OVERALL THICKNESS, 5mm TEMPERED GLASS THICKNESS, FABRICATE IN ACCORDANCE WITH IGMCAC CERTIFICATION PROGRAM.

ALL FRAMES TO BE ALUMINIUM WITH CLEAR ANODIZED FINISH.

PROVIDE ALL NECESSARY SETTING BLOCKS, SHIMS, GLAZING TAPES, WEATHER-STRIPPING, MIRROR ATTACHMENTS, ETC. REQUIRED FOR A COMPLETE INSTALLATION, IN ACCORDANCE WITH STANDARDS OF GOOD PRACTICE.

EXECUTION
INSTALL FRAMES PLUMB AND LEVEL AND IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

FILL ALL EXTERIOR FRAMES WITH SPRAY-IN-PLACE POLYURETHANE INSULATION.

INSTALL GLAZING TAPE AND SEALANT TO ENSURE FULL PERIMETER SEAL BETWEEN GLASS AND FRAME.

INSTALL GLAZING UNITS WITH SETTING BLOCKS AT QUARTER POINTS, WITH EDGE BLOCKS 150mm FROM CORNERS.

INSTALL REMOVABLE STOPS WITH SPLINES BETWEEN GLAZING AND STOPS.

FOLLOWING INSTALLATION, MARK LITS WITH AN 'X' USING REMOVABLE PLASTIC TAPE.

PAINTING

- ALL SURFACES SHALL BE DRY, CLEAN, FREE FROM DUST, GREASE, ETC., WHICH COULD BE DETRIMENTAL TO A SATISFACTORY FINISH.
- ALL EXISTING WALLS BEING PAINTED ARE TO BE PATCHED, PRIMED AND FILLED AS REQUIRED TO PROVIDE A SMOOTH FINISH. EXISTING WALLS TO BE CLEANED PRIOR TO BEING PAINTED. CARE TO BE TAKEN WHEN EDGING TO PROVIDE NICE CLEAN BREAKS IN THE PAINT, MASK AS REQUIRED.
- PAINTING CONTRACTOR SHALL HAVE A MINIMUM FIVE YEARS PROVEN SATISFACTORY EXPERIENCE.
- COMPLETE ALL WORK IN ACCORDANCE WITH CANADIAN PAINTING CONTRACTORS ASSOCIATIONS (CPCA) ARCHITECTURAL SPECIFICATION MANUAL.
- PROVIDE A WRITTEN WARRANTY, IN THE NAME OF THE OWNER, STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE CPCA MANUAL, AND IS WARRANTED AGAINST DEFECTS IN MATERIAL AND/OR INSTALLATION, FOR A PERIOD OF TWO YEARS, COMMENCING AT DATE OF SUBSTANTIAL PERFORMANCE.
- PROVIDE COLOUR CARDS TO THE CONSULTANT. THE CONSULTANT WILL FURNISH COLOUR NUMBERS AND SCHEDULE AS THE JOB PROGRESSES.
- ALL LADDERS, GUARDS, BOLLARDS, GAS LINES, ETC. TO BE SAFETY YELLOW.

MATERIALS

- ALL PAINTS AND PRIMERS SHALL BE PREMIUM QUALITY PRODUCTS BY SHERWIN AND WILLIAMS OR ALTERNATIVE APPROVED BY OWNER.
- GYPSUM BOARD WALLS: 1 COAT ALKYD OIL BASE PRIMER AND 2 COATS ALKYD-OIL BASE SEMI-GLOSS PAINT.
- CONCRETE/BLOCK SURFACES: 1 COAT EXTERIOR ACRYLIC LATEX PRIMER AND 2 COATS EXTERIOR ALKYD SEMI-GLOSS PAINT.
- DOORS AND FRAMES: 1 COAT ALKYD PRIMER AND 2 COATS ALKYD ENAMEL, SEMI-GLOSS PAINT.

EXECUTION

- ALL SURFACES TO BE PREPARED IN ACCORDANCE WITH THE CPCA ARCHITECTURAL SPECIFICATION MANUAL.
- PROTECT ALL ADJACENT SURFACES FROM OVERSPRAY. REMOVE OR PROTECT ALL HARDWARE, ACCESSORIES, FIXTURES, SIGNAGE ETC. PRIOR TO PAINTING OPERATIONS.
- CARE IS TO BE TAKEN TO PROTECT EXISTING EQUIPMENT FROM PAINTING. COORDINATE WITH OWNER SHELTERS OR PROTECTION FOR EQUIPMENT AS REQUIRED. PROTECT FLOOR AND CEILING FINISHES FROM NEW PAINT IN ALL CASES. OWNER TO PROVIDE WRITTEN APPROVAL ON ALL EQUIPMENT PROTECTION PRIOR TO COMMENCING.
- PREPARE, PRIME, AND PAINT ALL SURFACES IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
- TOUCH-UP ALL SURFACES OR PROVIDE ADDITIONAL COATS WHERE REQUIRED TO PROVIDE UNIFORM FINISH AND COLOUR.

ACOUSTICAL SUSPENSION SYSTEM

MATERIAL

- BASIC MATERIALS FOR SUSPENSION SYSTEM: COMMERCIAL QUALITY COLD ROLLED STEEL.
- SUSPENSION SYSTEM, NON-FIRE RATED, TWO DIRECTIONAL EXPOSED TEE BAR GRID, REFER TO ACOUSTICAL CEILINGS FOR ACCEPTABLE MATERIAL.
- HANGER WIRE: GALVANIZED SOFT ANNEALED STEEL WIRE, 3.6mmØ FOR ACCESS TILE CEILINGS AND 2.6mmØ FOR OTHER CEILINGS.
- HANGER INSERTS: PURPOSE MADE.
- CARRYING CHANNELS: SIZE AND GAUGE TO SUIT LOADS.
- ACCESSORIES: SPLICES, CLIPS, WIRE TIES, RETAINERS AND WALL MOULDING REVEAL, TO COMPLEMENT SUSPENSION SYSTEM COMPONENTS, AS RECOMMENDED BY SYSTEM MANUFACTURER.

EXECUTION

- INSTALL SUSPENSION SYSTEM TO MANUFACTURERS INSTRUCTIONS.
- DO NOT ERECT CEILING SUSPENSION SYSTEM UNTIL WORK ABOVE CEILING HAS BEEN INSPECTED BY CONSULTANT.
- SECURE HANGERS TO OVERHEAD STRUCTURE.
- INSTALL HANGERS SPACED AT 4'-0" o.c. MAX. AND WITHIN 6" FROM ENDS OF MAIN TEES.
- LAYOUT SYSTEM ACCORDING TO REFLECTED CEILING PLAN.
- ENSURE SUSPENSION SYSTEM IS CO-ORDINATED WITH LOCATION OF RELATED COMPONENTS.
- INSTALL WALL MOULDING TO PROVIDE CORRECT CEILING HEIGHT.
- COMPLETED SUSPENSION SYSTEM TO SUPPORT SUPER-IMPOSED LOADS, SUCH AS LIGHTING FIXTURES, DIFFUSERS, GRILLES AND SPEAKERS.
- SUPPORT AT LIGHT FIXTURES, DIFFUSERS WITH ADDITIONAL CEILING SUSPENSION HANGERS WITHIN 6" OF EACH CORNER AND AT 2'-0" MAX. AROUND PERIMETER OF FIXTURE.
- ATTACH CROSS MEMBER TO MAIN RUNNER TO PROVIDE RIGID ASSEMBLY.
- FRAME AT OPENINGS FOR LIGHT FIXTURES, AIR DIFFUSERS, SPEAKERS AND AT CHANGES IN CEILING HEIGHTS.
- FINISHED CEILING SYSTEM TO BE SQUARE WITH ADJOINING WALLS AND LEVEL WITHIN 1:1000.

ACOUSTICAL CEILINGS

MATERIAL

- NEW GRID AND TILE 24" x 48" CEILING TILES SHALL BE SINFONIA SILENCIA RAL9010 BY OWA OR APPROVED EQUAL.
- INSTALL AS PER MANUFACTURERS RECOMMENDATIONS.
- STAPLES, NAILS AND SCREWS TO CSA B111 NON-CORROSIVE FINISH AS RECOMMENDED BY ACOUSTIC UNIT MANUFACTURER.

EXECUTION

- DO NOT INSTALL ACOUSTICAL PANELS AND TIES UNTIL WORK ABOVE CEILING HAS BEEN INSPECTED BY CONSULTANT.
- INSTALL ACOUSTICAL PANELS AND TILES IN CEILING SUSPENSION SYSTEM.
- INSTALL ACOUSTICAL UNITS PARALLEL TO BUILDING LINES WITH EDGE UNIT NOT LESS THAN 50% OF UNIT WIDTH AND WITH DIRECTIONAL PATTERN RUNNING IN THE SAME DIRECTION.
- SCRIBE ACOUSTICAL UNITS TO FIT ADJACENT WORK. BUTT JOINTS TIGHT, TERMINATE EDGES WITH TRIM PIECES.

NOTE: CONFIRM ALL GRIDS, DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. CONTACT ARCHITECT AND ENGINEER FOR ANY DISCREPANCIES. PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER AND MUST BE RETURNED UPON REQUEST. PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT WRITTEN PERMISSION OF THE ENGINEER. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE ENGINEER. _____ DATE _____			
B	RE-ISSUED FOR PERMIT	02/10/2023	J.S.
A	ISSUED FOR PERMIT / TENDER	29/06/2023	J.S.
NO	REVISIONS	DATE	BY

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

CLIENT:

- DO NOT INSTALL ACOUSTICAL PANELS AND TIES UNTIL WORK ABOVE CEILING HAS BEEN INSPECTED BY CONSULTANT.
- INSTALL ACOUSTICAL PANELS AND TILES IN CEILING SUSPENSION SYSTEM.
- INSTALL ACOUSTICAL UNITS PARALLEL TO BUILDING LINES WITH EDGE UNIT NOT LESS THAN 50% OF UNIT WIDTH AND WITH DIRECTIONAL PATTERN RUNNING IN THE SAME DIRECTION.
- SCRIBE ACOUSTICAL UNITS TO FIT ADJACENT WORK. BUTT JOINTS TIGHT, TERMINATE EDGES WITH TRIM PIECES.

PROJECT:

INTERIOR RENOVATION
373 BARTON ST E
HAMILTON, ONTARIO

 **J. P. SAMUEL AND ASSOCIATES INC.**
STRUCTURAL ENGINEERS
1040 Garner Road W, Suite C203
Ancaster, ON L9G 0J2
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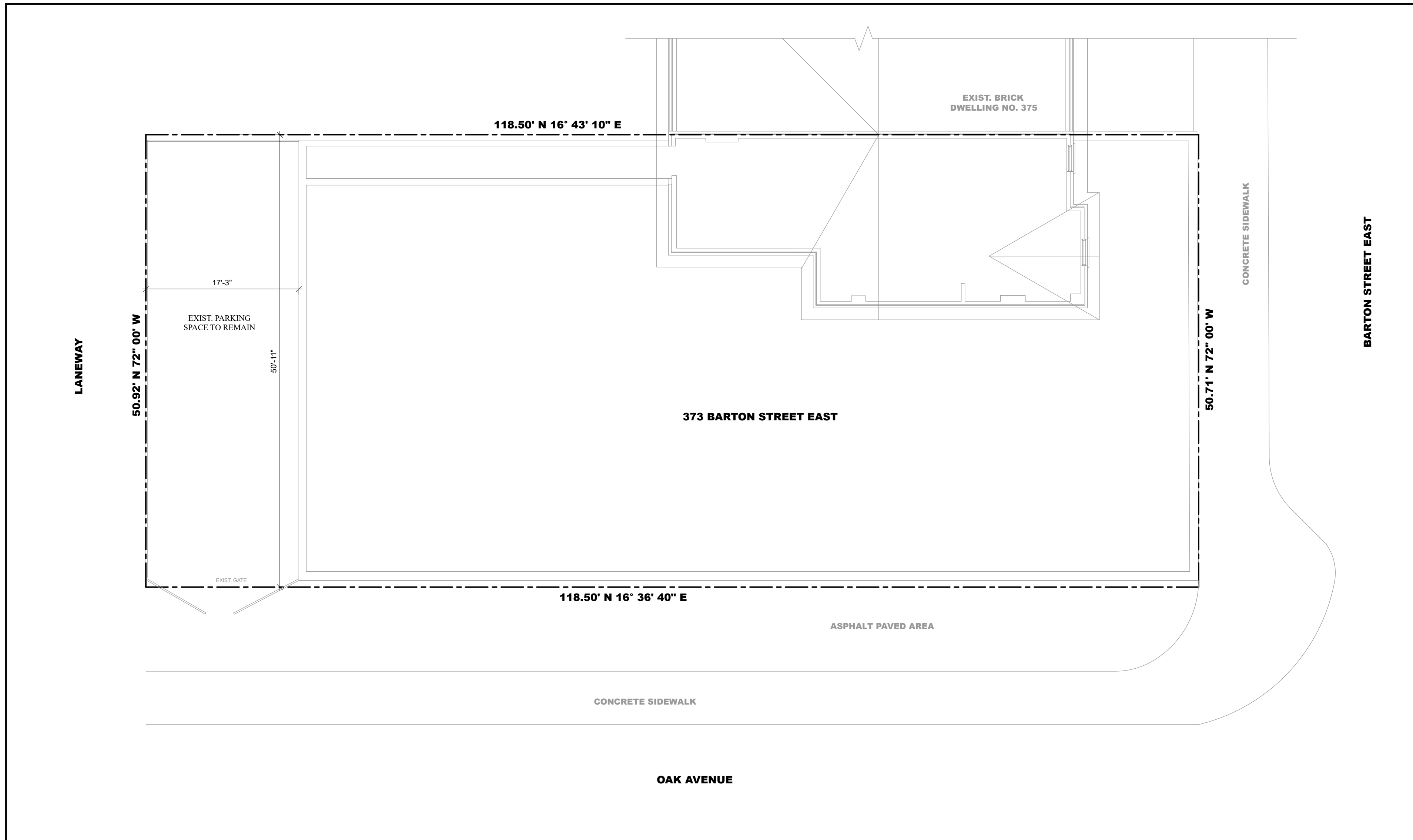
Scale: AS NOTED

GENERAL NOTES

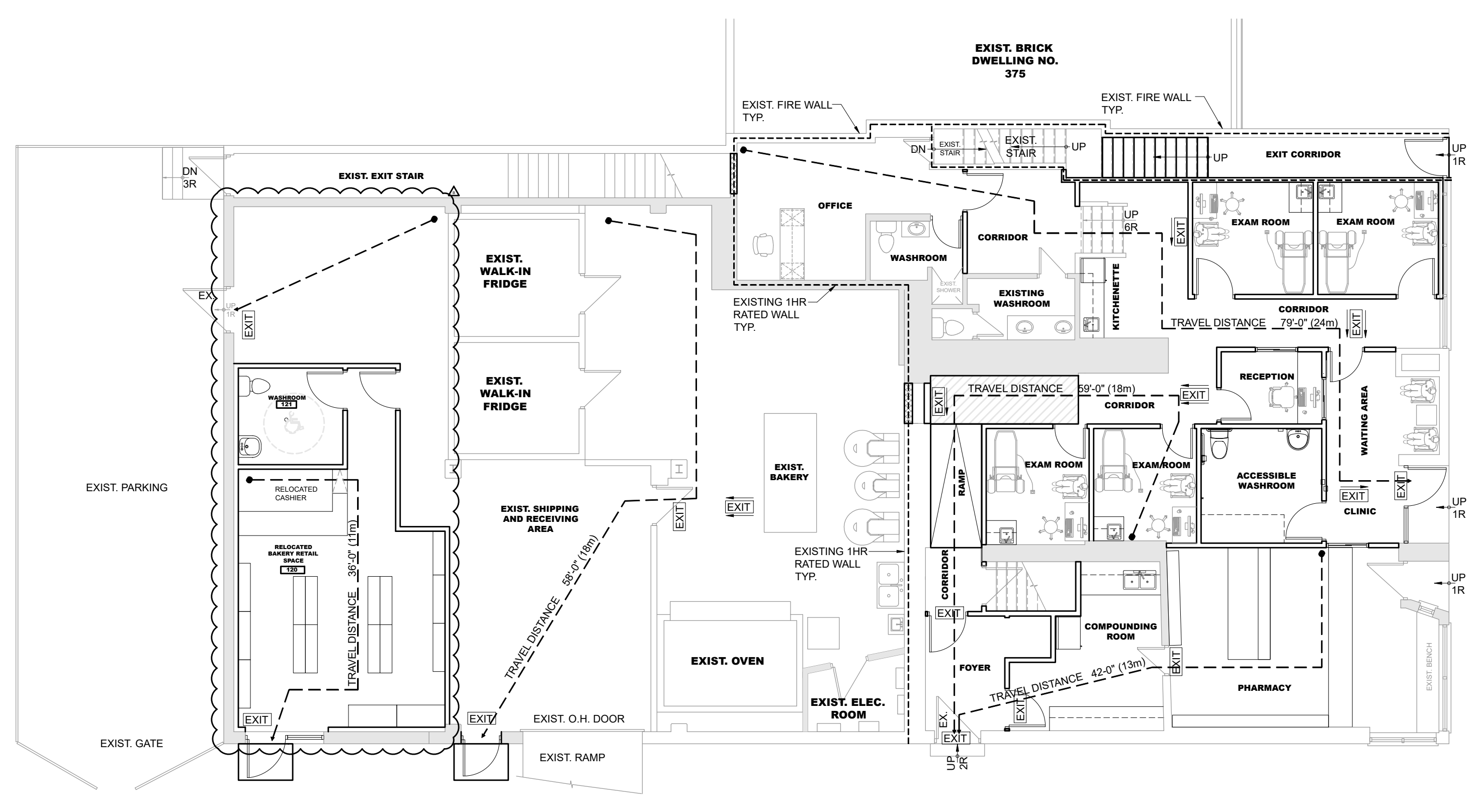


 **EXISTING GROUND FLOOR PLAN**
SCALE: 1/4"=1'-0"

DRAWN BY:	S.K.	JOB No.	2023-JPS-063
CHECKED BY:	J.S.	DRAWING No.	S-001
DATE:	MAY 2023		
ISSUED:			



1 SITE PLAN
SP-101 SCALE: 1/8"=1'-0"



2 LIFE SAFETY PLAN
SP-101 SCALE: 1/8"=1'-0"

FIRM NAME: J.P. SAMUEL AND ASSOCIATES INC. STRUCTURAL ENGINEERS
 1040 Garner Road W, Suite C203
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 email: jsamuel@jpsamuel.com
 www.jpsamuel.com

NAME OF PROJECT: PHARMACY & DOCTOR'S OFFICE RENOVATION
 LOCATION: 373 BARTON ST. E. HAMILTON, ON.

ONTARIO BUILDING CODE DATA MATRIX - PART 11 - RENOVATION OF EXISTING BUILDING

11.1	EXISTING BUILDING CLASSIFICATION	DESCRIBE EXISTING USE: BAKERY (GROUP E) CONSTRUCTION INDEX: n/a HAZARD INDEX: n/a <input type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1 11.2.1.1A 11.2.1.1K
11.2	ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION: <input checked="" type="checkbox"/> EXTENSIVE RENOVATION: <input type="checkbox"/> STRUCTURAL: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO BY INCREASE IN OCCUPANT LOAD: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO BY CHANGE IN MAJOR OCCUPANCY: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO PLUMBING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO SEWERAGE SYSTEM: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	11.3.1 11.3.2 11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.3	REDUCTION IN PERFORMANCE LEVEL		
11.4	COMPENSATING CONSTRUCTION	STRUCTURAL: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (EXPLAIN) INCREASE IN OCCUPANT LOAD: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (EXPLAIN) CHANGE OF MAJOR OCCUPANCY: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (EXPLAIN) PLUMBING: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (EXPLAIN) SEWERAGE SYSTEM: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	COMPLIANCE ALTERNATIVES PROPOSED	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (GIVE NUMBERS)	11.5.1

Item Ontario's 2012 Building Code Data Matrix Part 3 or 9 OBC Reference
 References are to Division B unless noted [A] for Division A or [C] for Division C

1	Project Description: Interior Renovation	<input type="checkbox"/> New <input checked="" type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input type="checkbox"/> Part 9	1.1.2. [A]	1.1.2. [A] & 9.10.1.3			
2	Major Occupancy(s) Group D (Medical Clinic / Pharmacy) & E (Bakery with retail)	<input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Alteration	3.1.2.1.(1)	9.10.2			
3	Building Area (m ²) Existing 474 sm New 0.0 sm Total 476 sm		1.4.1.2. [A]	1.4.1.2. [A]			
4	Area of this Building under this Permit Application: Group D (Medical clinic / Pharmacy / Exit corridor) = 220.0 SM Group E (Relocated retail space) = 70.70 SM		1.4.1.2. [A]	1.4.1.2. [A]			
5	Number of Storeys Above grade 3 Below grade 1		1.4.1.2. [A] & 3.2.1.1	1.4.1.2. [A] & 9.10.4			
6	Number of Streets/Fire Fighter Access 2		3.2.2.10 & 3.2.5.	9.10.20			
7	Building Classification Group - D (Medical Clinic / Pharmacy), Group - E (Exist. bakery with relocated retail space) Group - C (Exist. Residence)		3.2.2.20-83	9.10.2			
8	Sprinkler System Proposed	<input type="checkbox"/> entire building (Existing) <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required	3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX	9.10.82 INDEX			
9	Standpipe required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing	3.2.9	N/A			
10	Fire Alarm required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing	3.2.4	9.10.18			
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7	N/A			
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6	N/A			
13	Construction Restrictions	<input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible required <input type="checkbox"/> Both	3.2.2.20-83	9.10.6			
14	Mezzanine(s) Area m ²	N/A	3.2.1.1.(3)-(8)	9.10.4.1			
15	Occupant load based on	<input checked="" type="checkbox"/> m ² /person <input type="checkbox"/> design of building	3.1.17.	9.9.1.3			
Occupant Load 12 persons							
16	Barrier - Free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.8.2.3(5)	9.5.2			
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2. & 3.3.1.19	9.10.1.3(4)			
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies: 45Min At EXIT CORRIDOR Roof: N/A Mezzanine: N/A FRR of Supporting Members: N/A Roof: N/A Mezzanine: N/A	Listed Design No. or Description (SB-3) ----- N/A Existing Structure N/A Existing Structure Listed Design No. Or Description (SB-3) N/A Existing Structure N/A Existing Structure N/A	9.10.8. 9.10.9. 9.10.8.1 9.10.9.11(1) 9.10.8.1			
19	Spatial Separation - Existing	Wall Area of EBF (m ²) L.D. (m) L/H or H/L Permitted Max. % of Openings Proposed % of Openings FRR (Hours)	3.2.3.1.C.	9.10.14.			
		West Existing to Remain	n/a	n/a	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
		East Existing to Remain	n/a	n/a	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
		South Existing to Remain	n/a	n/a	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
		North Existing to Remain	n/a	n/a	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
20	Travel Distance:	max. 24m (79' - 0")	Actual: see plan	3.4.2.4			

PARKING STATISTICS	REQUIRED HAMILTON ZONING BY-LAW 05200	PROVIDED	VARIANCE REQUIRED
MEDICAL CLINIC	1 FOR EACH 16.0 SQUARE METRES OF GROSS FLOOR AREA. PARKING CALCULATION AREA OF CLINIC 143m ² 143m ² / 16 = 8.9 REQUIRED PARKING = 9 SPACES	0	YES
RESIDENTIAL UNIT	1 FOR EACH UNIT	1 EXIST.	NO
PHARMACY	0 WHERE A USE IS LESS THAN 450.0 SQUARE METRES IN GROSS FLOOR AREA;	0	NO
BAKERY	0 WHERE A USE IS LESS THAN 450.0 SQUARE METRES IN GROSS FLOOR AREA;	0	NO

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A	ISSUED FOR PERMIT / TENDER	29/06/2023	J.S.
NO	REVISIONS	DATE	BY

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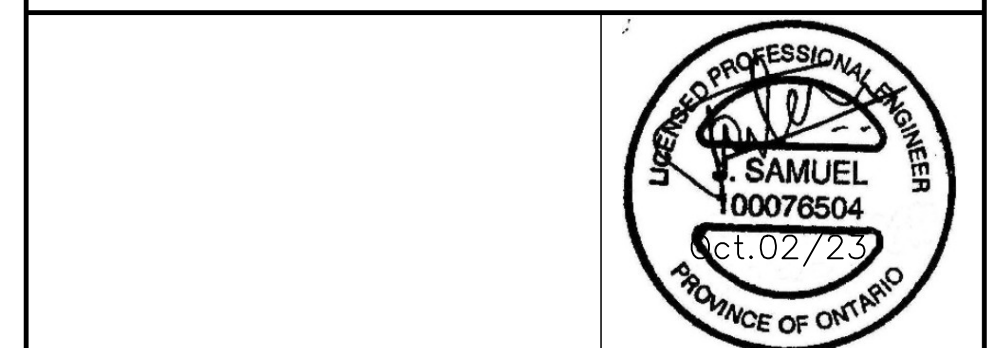
CLIENT:

PROJECT:
INTERIOR RENOVATION
 373 BARTON ST E
 HAMILTON, ONTARIO

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 STRUCTURAL ENGINEERS
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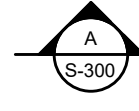
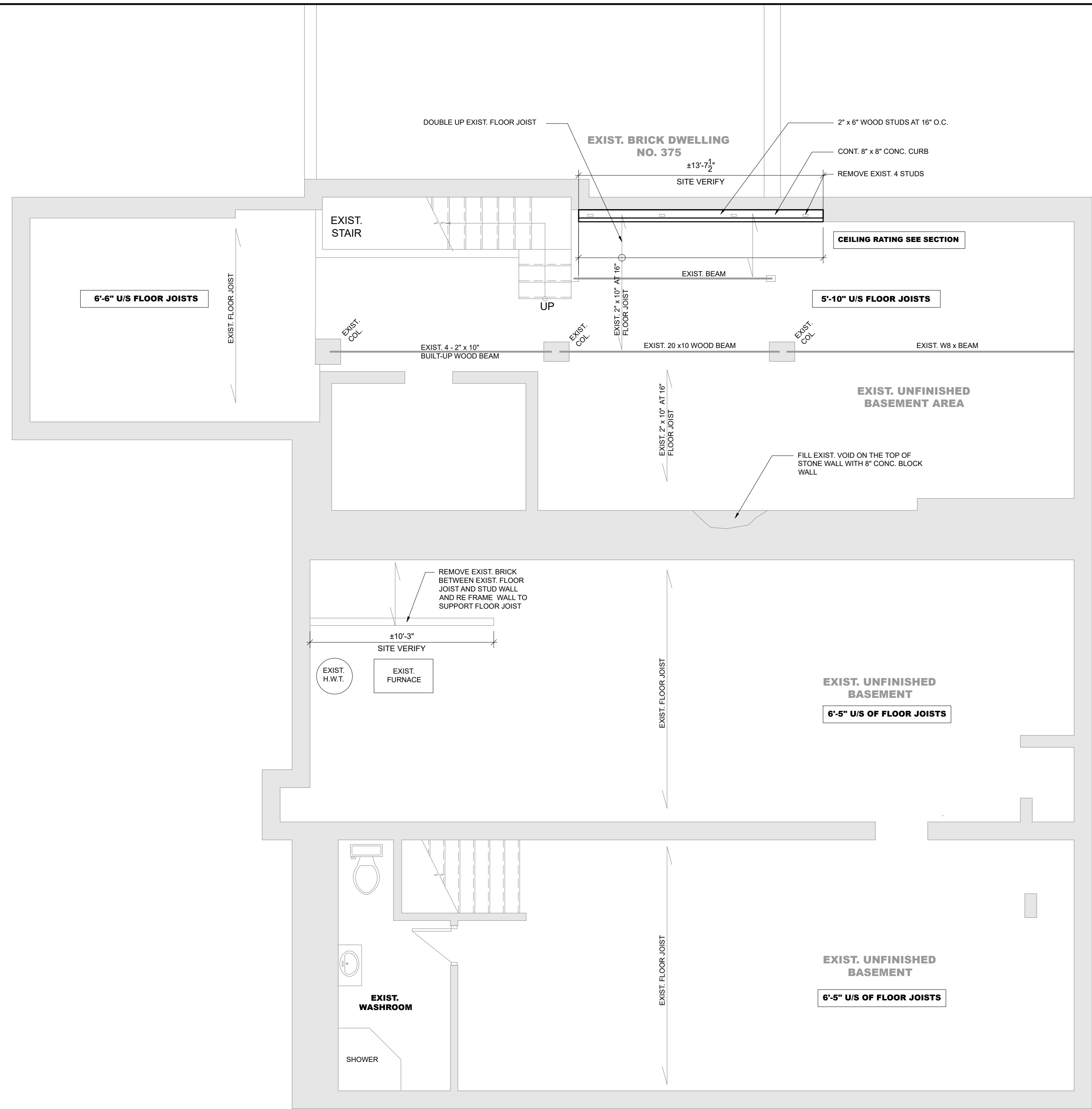
Scale: AS NOTED

OBC MATRIX AND LIFE SAFETY PLAN



DRAWN BY: S.K.
 CHECKED BY: J.S.
 DATE: MAY 2023
 ISSUED:

JOB No.: 2023-JPS-063
 DRAWING No.: **SP-101**



NOTE:
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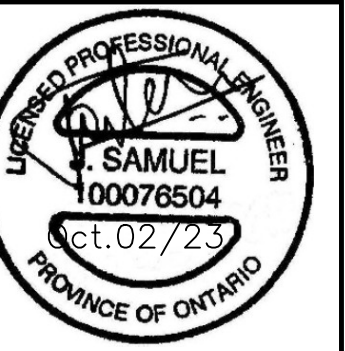
CLIENT:

PROJECT:
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 373 BARTON ST E
 HAMILTON, ONTARIO

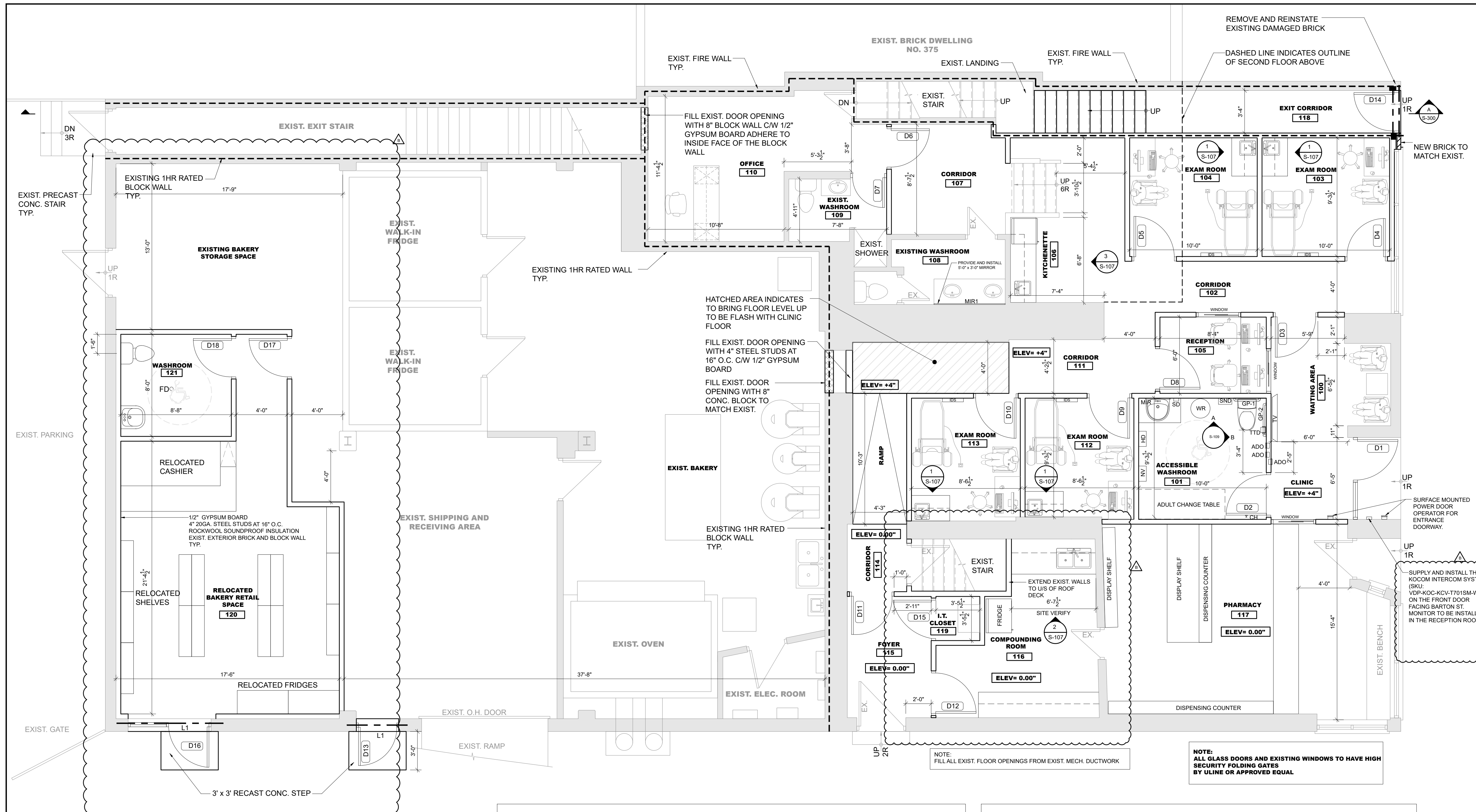
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 email: jsamuel@jpsamuel.com
 www.jpsamuel.com

Scale: AS NOTED

EXIST. BASEMENT FLOOR PLAN



DRAWN BY:	S.K.	JOB No.	2023-JPS-063
CHECKED BY:	J.S.	DRAWING No.	S-100
DATE:	MAY 2023		
ISSUED:			



NOTE:
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B	RE-ISSUED FOR PERMIT	02/10/2023	J.S.
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NO	REVISIONS	DATE	BY

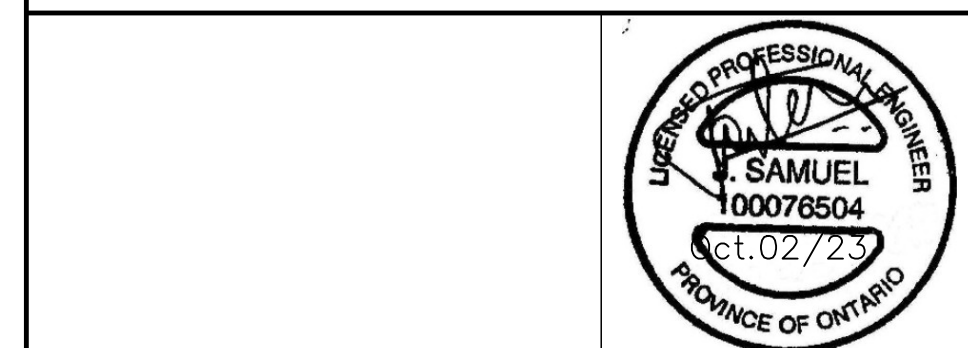
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Scale: AS NOTED

GROUND FLOOR PLAN



DRAWN BY:	S.K.	JOB No.	2023-JPS-063
CHECKED BY:	J.S.	DATE:	MAY 2023
ISSUED:		DRAWING No.	S-101

BARRIER FREE WASHROOM ACCESSORIES		
MARKED	DESCRIPTION	ALL WASHROOM ACCESSORIES SHALL BE BY BOBRICK
MIR	TILT MIRROR WITH STAINLESS STEEL FRAME	B-293
SD	SURFACE-MOUNTED SOAP DISPENSER FOR ANTIBACTERIAL SOAPS	818615
GP-1	32mm (1 1/4") DIAMETER STAINLESS STEEL GRAB BARS WITH SNAP FLANGE	B-5806
GP-2	1 1/2" (38mm) DIAMETER STAINLESS STEEL 30" X 30" (762 X 762mm) 90-DEGREE GRAB BAR	B-6888.99
CH	COAT HOOK WITH BUMPER	B-212
WR	FLOOR-STANDING LARGE-CAPACITY WASTE RECEPTACLE	B-2400
HD	SURFACE-MOUNTED AUTOMATIC HAND DRYER	B-710
TTD	SURFACE-MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	B-3588
NV	SURFACE-MOUNTED NAPKIN/TAMPON VENDOR	B-47069
SND	SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL	B-270

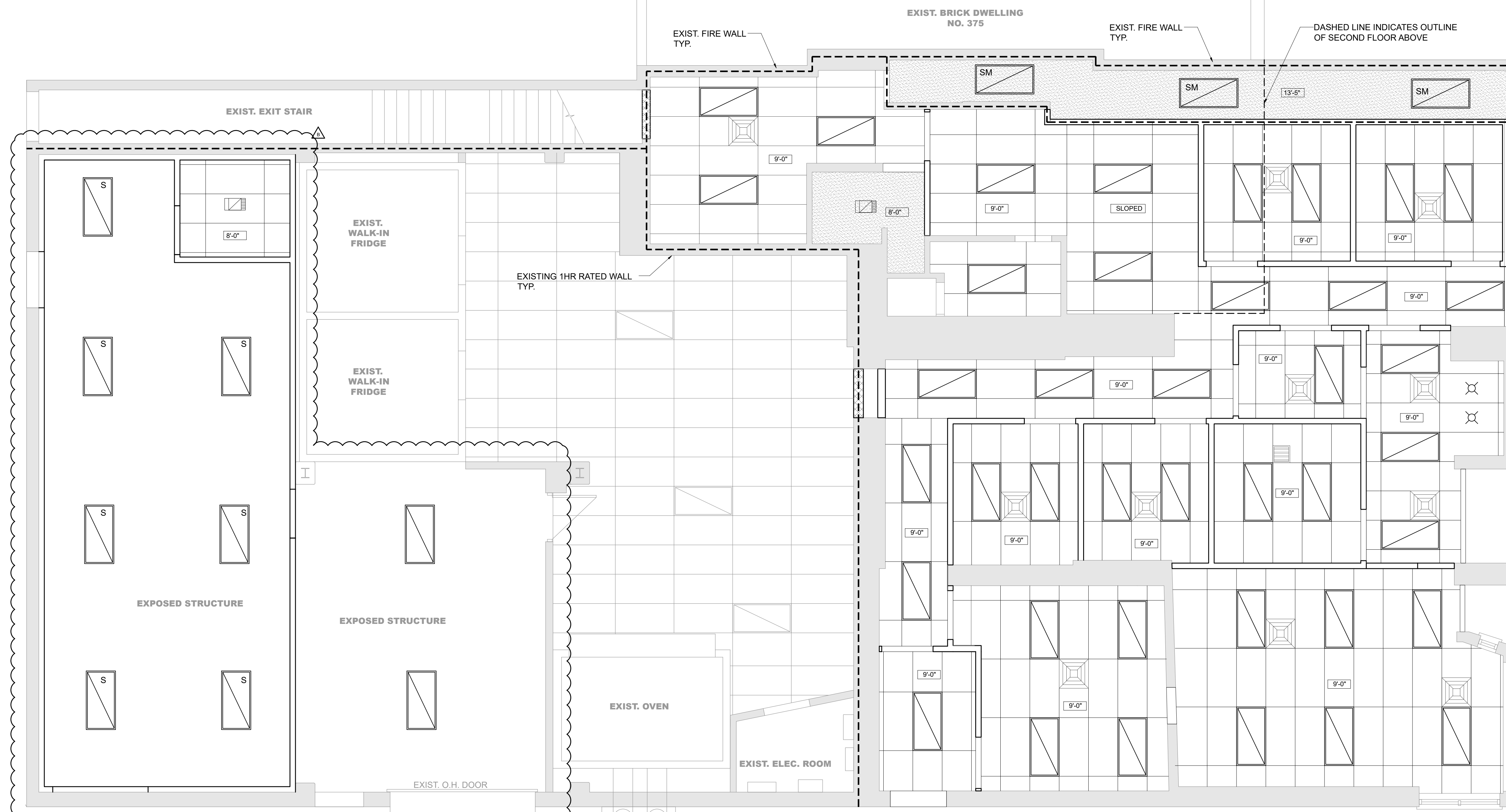
LEGEND

- EXISTING WALLS
- EXISTING RATED WALL
- PARTITION WALLS
1/2" GYPSUM BOARD
4" 20GA. STEEL STUDS AT 16" O.C.
ROCKWOOL SOUNDPROOF INSULATION
1/2" GYPSUM BOARD
EXTEND WALL TO U/S OF EXIST. ROOF/FLOOR DECK ABOVE
- PARTITION WALL ASSEMBLY ULC-W408
1/2" TYPE-X GYPSUM BOARD
4" 20GA. STEEL STUDS AT 16" O.C.
ROCKWOOL SOUNDPROOF INSULATION
1/2" TYPE-X GYPSUM BOARD
EXTEND WALL TO U/S OF EXIST. ROOF/FLOOR DECK ABOVE
- NEW DOOR
SEE DOOR SCHEDULE
- EXISTING DOOR
- INTEGRATED DIAGNOSTIC SYSTEM
PROVIDE POWER FOR THE WALL MOUNTED EQUIPMENT

1. VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO FABRICATING.

LINTEL SCHEDULE

MARKED	SIZE
L1	NEW LINTEL GALV. 2" L4" x 4" x 1/4" C/W C/W 1/4" BOTTOM PLATE + GALV. LOOSE LINTEL L3.5" x 5" x 1/4" FOR BRICK MIN. OF 8" BEARING



LEGEND

	NEW GRID AND TILE 24" X 48" CEILING TILES SHALL BE SINFONIA SILENCIA RAL9010 BY OWA OR APPROVED EQUAL CEILING HEIGHT 9'-0" FROM F.F.L.		RETURN GRILL (SEE MECH. DWGS.)
	1/2" GYPSUM CEILING CW 20GA STEEL STUDS AT 16" O.C.		24" X 48" FLAT DROP IN CEILING LED LIGHT FIXTURE REFER TO ELEC.
	EXHAUST FAN (REFER TO MECH.)		SURFACE MOUNTED 24" X 48" LED LIGHT FIXTURE REFER TO ELEC.
	DIFFUSER (SEE MECH. DWGS.)		SUSPENDED 24" X 48" LED LIGHT FIXTURE REFER TO ELEC.
			POT LIGHT REFER TO ELEC.
			EXIST. 24" X 48" DROP IN CEILING LIGHT FIXTURE

NOTE:
THIS DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL DRAWINGS.
PROVIDE AND INSTALL EMERGENCE LIGHTING AS REQUIRED BY CODE

NOTE:
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NO	REVISIONS	DATE	BY

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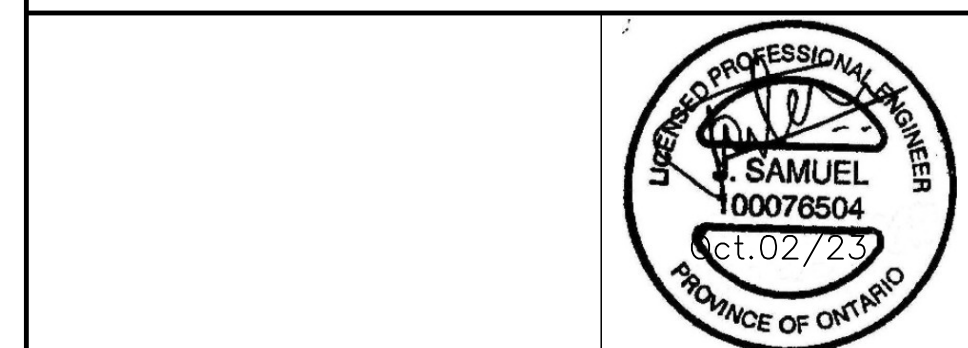
CLIENT:

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INTERIOR RENOVATION
373 BARTON ST E
HAMILTON, ONTARIO

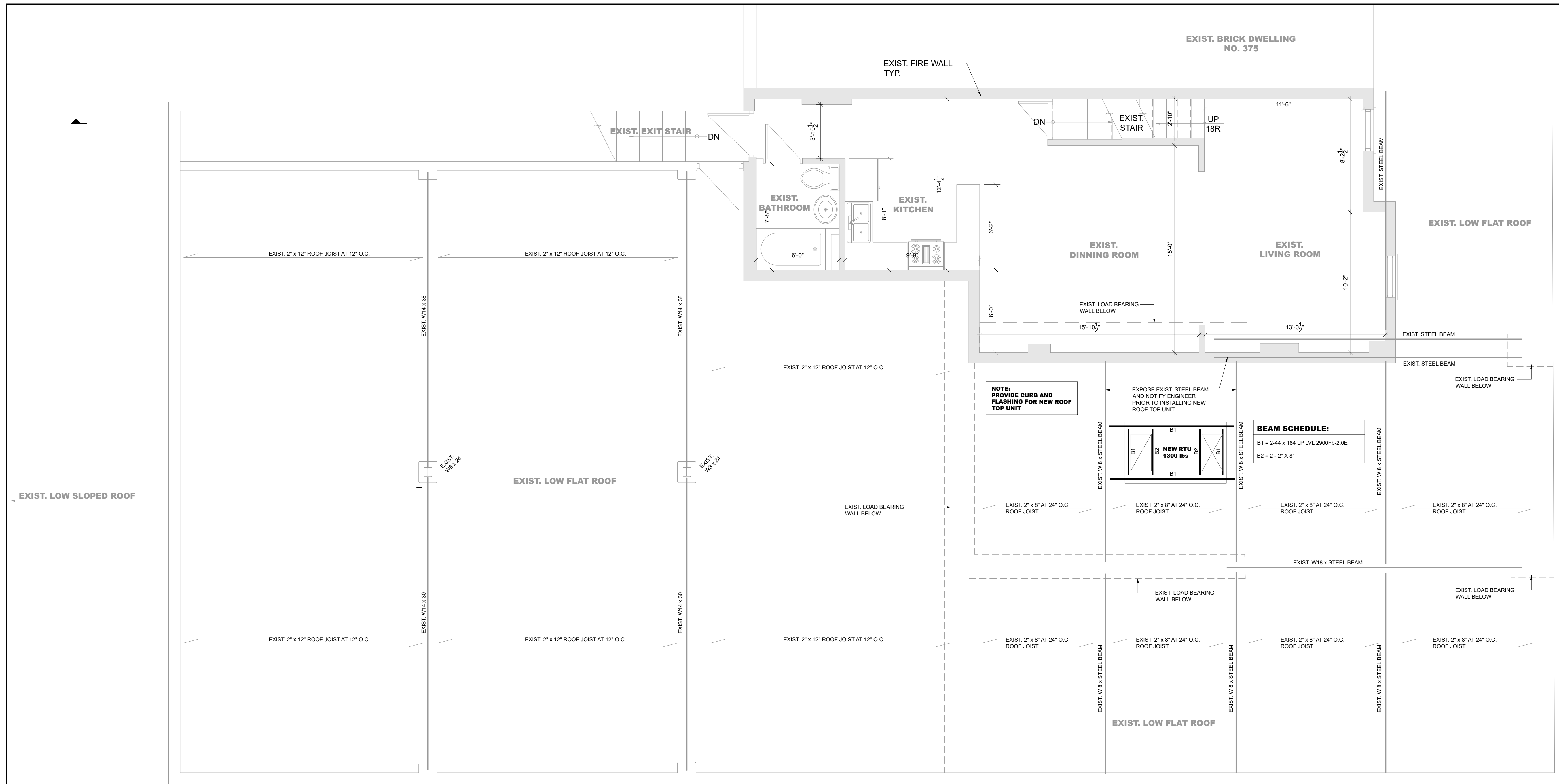
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Tel: (647) 671-8530
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Scale: AS NOTED

REFLECTED CEILING PLAN



DRAWN BY:	S.K.	JOB No.:	2023-JPS-063
CHECKED BY:	J.S.		
DATE:	MAY 2023	DRAWING No.:	S-102
ISSUED:			



**NO CHANGES TO EXIST.
2ND FLOOR**

NOTE:
CONFIRM ALL GRIDS, DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS.
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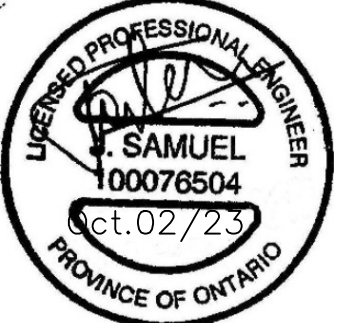
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HAMILTON, ONTARIO

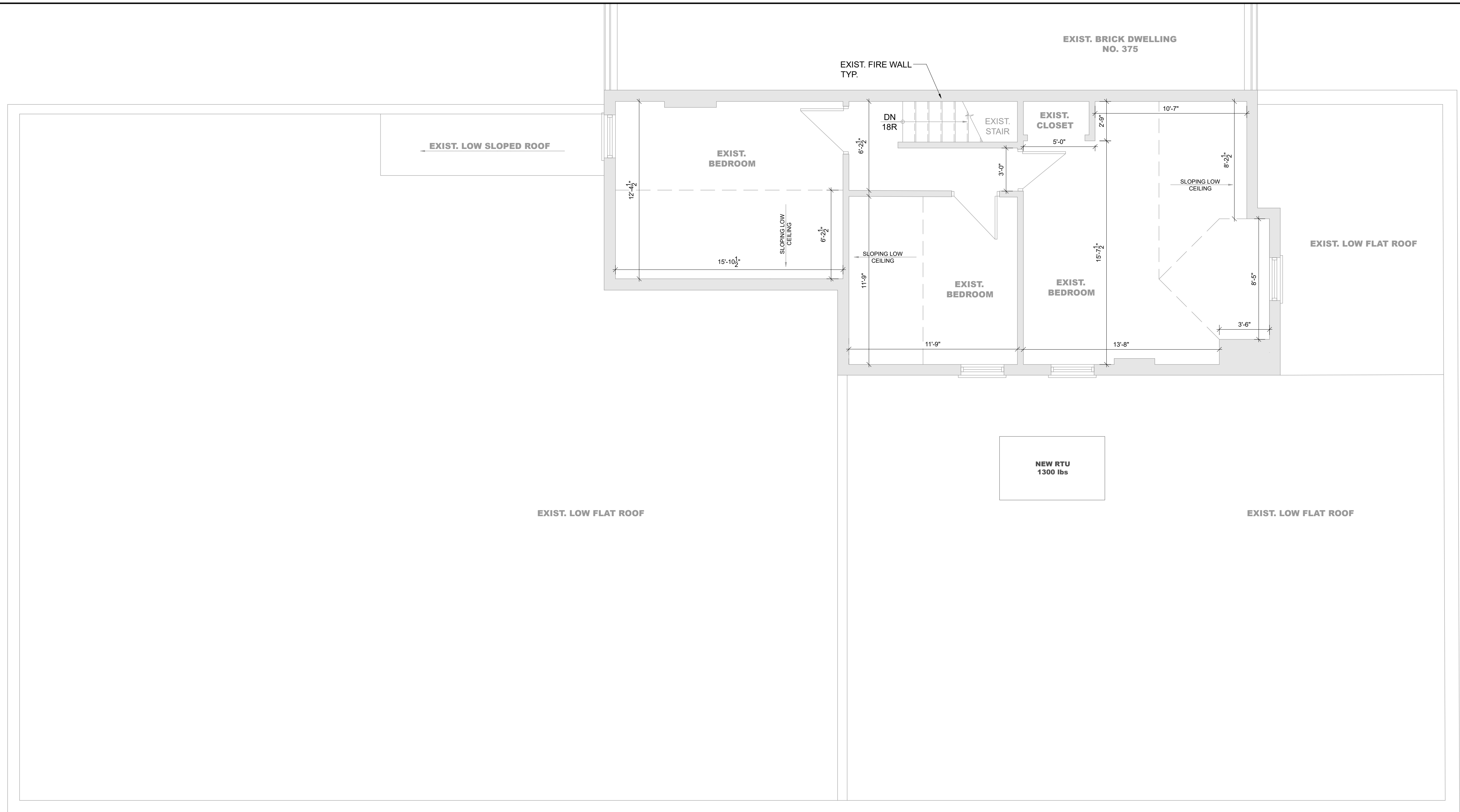
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Scale: AS NOTED

SECOND FLOOR / LOWER FLAT ROOF PLAN



DRAWN BY:	S.K.	JOB No.	2023-JPS-063
CHECKED BY:	J.S.	DATE:	MAY 2023
ISSUED:		DRAWING No.	S-103



EXIST. BRICK DWELLING
NO. 375

EXIST. FIRE WALL
TYP.

EXIST. STAIR

EXIST. CLOSET

EXIST. BEDROOM

EXIST. BEDROOM

EXIST. BEDROOM

EXIST. LOW SLOPED ROOF

EXIST. LOW FLAT ROOF

EXIST. LOW FLAT ROOF

EXIST. LOW FLAT ROOF

NEW RTU
1300 lbs

NO CHANGES TO EXIST. 3RD FLOOR

F
E
D
C
B
A

1
2
3
4
5
6
7


NOTE:
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DATE: _____

B	RE-ISSUED FOR PERMIT	02/10/2023	J.S.
A	ISSUED FOR PERMIT / TENDER	29/06/2023	J.S.
NO	REVISIONS	DATE	BY

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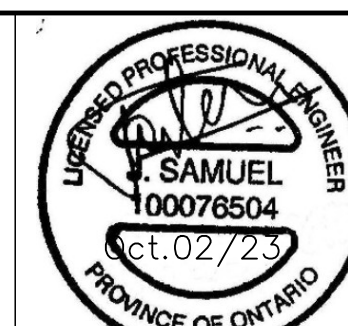
CLIENT:

PROJECT:
INTERIOR RENOVATION
373 BARTON ST E
HAMILTON, ONTARIO

 **J. P. SAMUEL AND ASSOCIATES INC.**
STRUCTURAL ENGINEERS
1040 Garner Road W, Suite C203
Ancaster, ON L9G 0J2
Tel: (647) 671-8530
email: jsamuel@jpsamuel.com
www.jpsamuel.com

Scale: AS NOTED

3RD FLOOR PLAN



DRAWN BY:	S.K.	JOB No.	2023-JPS-063
CHECKED BY:	J.S.	DRAWING No.	S-104
DATE:	MAY 2023		
ISSUED:			

ROOM FINISH SCHEDULE

ROOM No.	ROOM NAME	FLOOR							BASE				WALLS				CEILING			MISC.	REMARKS				
		EXPOSED CONC.	POLISHED CONCRETE	12mm LAMINATE WOOD FLOORING	LINOLEUM	VINYL TILE	CARPET	CARPET TILE	CERAMIC TILE	NORTH		EAST		SOUTH		WEST		EXPOSED STRUCTURE	ACOUSTIC TILE AND GRID			GYPSUM BOARD	PAINT	CEILING HEIGHT	
										GLASS	GYP. BD.	EXISTING	PAINT	GLASS	GYP. BD.	EXISTING	PAINT								GLASS
100	WAITING AREA																								
101	ACCESSIBLE WASHROOM																								
102	CORRIDOR																								
103	EXAM ROOM																								
104	EXAM ROOM																								
105	RECEPTION																								
106	KITCHENETTE																								
107	CORRIDOR																								
108	EXISTING WASHROOM																								
109	EXISTING WASHROOM																								
110	OFFICE																								
111	CORRIDOR																								
112	EXAM ROOM																								
113	EXAM ROOM																								
114	CORRIDOR																								
115	FOYER																								
116	COMPOUNDING ROOM																								
117	PHARMACY																								
118	EXIT CORRIDOR																								
119	I.T. ROOM																								
120	BAKERY RETAIL SPACE																								
121	WASHROOM																								

NOTE:
 COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES.
 NEW WALL TO BE INSTALLED FLUSH WITH EXISTING WALLS.
 PATCH AND FILL EXISTING WALLS AS REQUIRED TO REMOVE ALL BLEMISHES AND MARKS.
 DRYWALL TO BE INSTALLED AND FINISHED SMOOTH AND FREE FROM DEFECTS.
 DRYWALL PARTITIONS TO BE TAPED, FILLED, SANDED, PRIMED AND READY FOR FINISH.
 PRIME AND PAINT 2 COATS OF FINISH COLOR. (COLOUR TO BE SELECTION BY OWNER)
 ALL PENETRATIONS TO BE C/W ACOUSTIC SEALANT. PREP ACCORDING TO MANUFACTURERS BEST PRACTICES.

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DOOR AND FRAME SCHEDULE

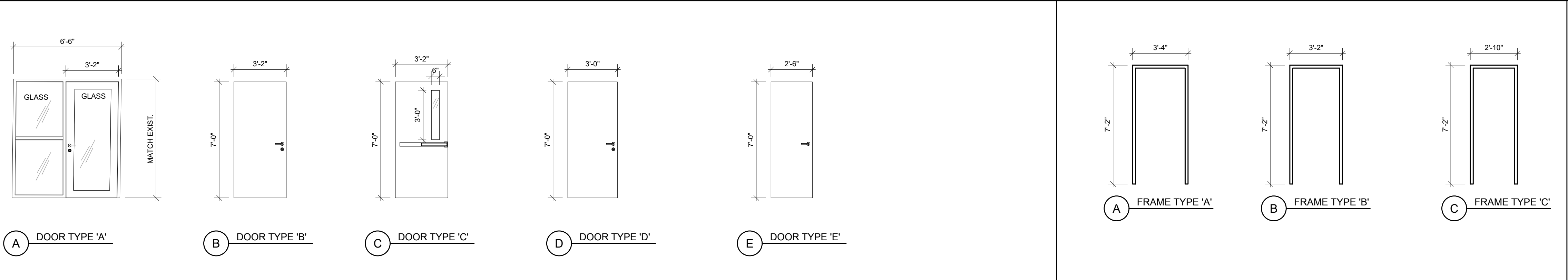
NO.	SIZE	TYPE	DOOR				FRAME				REMARKS	HARDWARE														
			MAT'L	FIN.	GLAZED	RATED	TYPE	MAT'L	FIN.	RATED		SELF CLOSING DEVICE LGN 4111	PANIC HDWR. ARRON'S 9900 SLS	KICK PLATE IVES 8400	LATCH LOCK SET 'SCHLAGE'	LATCH PASSAGE SET	PRIVACY LOCK	ELECTRIC LOCKING SYSTEM	PUSH PLATE	DOOR PULL	DOOR STOP	CARD READER	WEATHER STRIPPING	MAGLOCK		
D1	3'-2" x 7'-0"	A	ANODIZED ALUMINUM		Y	N	-	ANODIZED ALUMINUM																		
D2	3'-2" x 7'-0" x 1 3/4"	B	H.M.	PAINTED	N	N	A	H.M.	PAINTED																	
D3	3'-2" x 7'-0" x 1 3/4"	B	H.M.	PAINTED	N	N	A	H.M.	PAINTED																	
D4	3'-2" x 7'-0" x 1 3/4"	B	H.M.	PAINTED	N	N	A	H.M.	PAINTED																	
D5	3'-2" x 7'-0" x 1 3/4"	B	H.M.	PAINTED	N	N	A	H.M.	PAINTED																	
D6	3'-0" x 7'-0" x 1 3/4"	D	H.M.	PAINTED	N	N	B	H.M.	PAINTED																	
D7	2'-6" x 7'-0" x 1 3/4"	E	H.M.	PAINTED	N	N	C	H.M.	PAINTED																	
D8	3'-2" x 7'-0" x 1 3/4"	B	H.M.	PAINTED	N	N	A	H.M.	PAINTED																	
D9	3'-2" x 7'-0" x 1 3/4"	B	H.M.	PAINTED	N	N	A	H.M.	PAINTED																	
D10	3'-2" x 7'-0" x 1 3/4"	B	H.M.	PAINTED	N	N	A	H.M.	PAINTED																	
D11	3'-2" x 7'-0" x 1 3/4"	C	H.M.	PAINTED	Y	N	A	H.M.	PAINTED																	
D12	3'-2" x 7'-0" x 1 3/4"	B	H.M.	PAINTED	N	N	A	H.M.	PAINTED																	
D13	3'-0" x 7'-0" x 1 3/4"	D	H.M.	PAINTED	N	Y	B	H.M.	PAINTED																	
D14	3'-0" x 7'-0" x 1 3/4"	D	H.M.	PAINTED	N	Y	B	H.M.	PAINTED																	
D15	3'-0" x 7'-0" x 1 3/4"	D	H.M.	PAINTED	N	N	B	H.M.	PAINTED																	
D16	3'-2" x 7'-0"	A	ANODIZED ALUMINUM		Y	N	-	ANODIZED ALUMINUM																		
D17	3'-2" x 7'-0" x 1 3/4"	C	H.M.	PAINTED	N	N	B	H.M.	PAINTED																	
D18	3'-2" x 7'-0" x 1 3/4"	C	H.M.	PAINTED	N	N	B	H.M.	PAINTED																	

NOTES:
 1. ALL H.M. DOOR AND FRAME SHALL BE PAINTED WITH 1 COAT OF PRIMER AND 2 COATS OF FINISH. BY SHERWIN WILLIAMS. COLOUR TO BE SELECTED BY OWNER
 2. HARDWARE TO BE OF A COMMERCIAL GRADE. CONTRACTOR TO COORDINATE WITH OWNER AND SUPPLY AND INSTALL LOCKS
 3. DOOR TRIM TO BE PAINTED WITH BENJAMIN MOORE. 1 COAT OF PRIMER AND 2 COATS OF FINISH.
 4. GLAZING MUST MEET THE REQUIREMENTS OF: CAN/CGSB-12.1-M, 'TEMPERED OR LAMINATED SAFETY GLASS'
 5. ALL ITEMS TO BE INSTALL AS PER MANUFACTURERS RECOMMENDATIONS.

B	RE-ISSUED FOR PERMIT	02/10/2023	J.S.
A	ISSUED FOR PERMIT / TENDER	29/06/2023	J.S.
NO	REVISIONS	DATE	BY

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DOOR TYPE FRAME TYPE WINDOWS

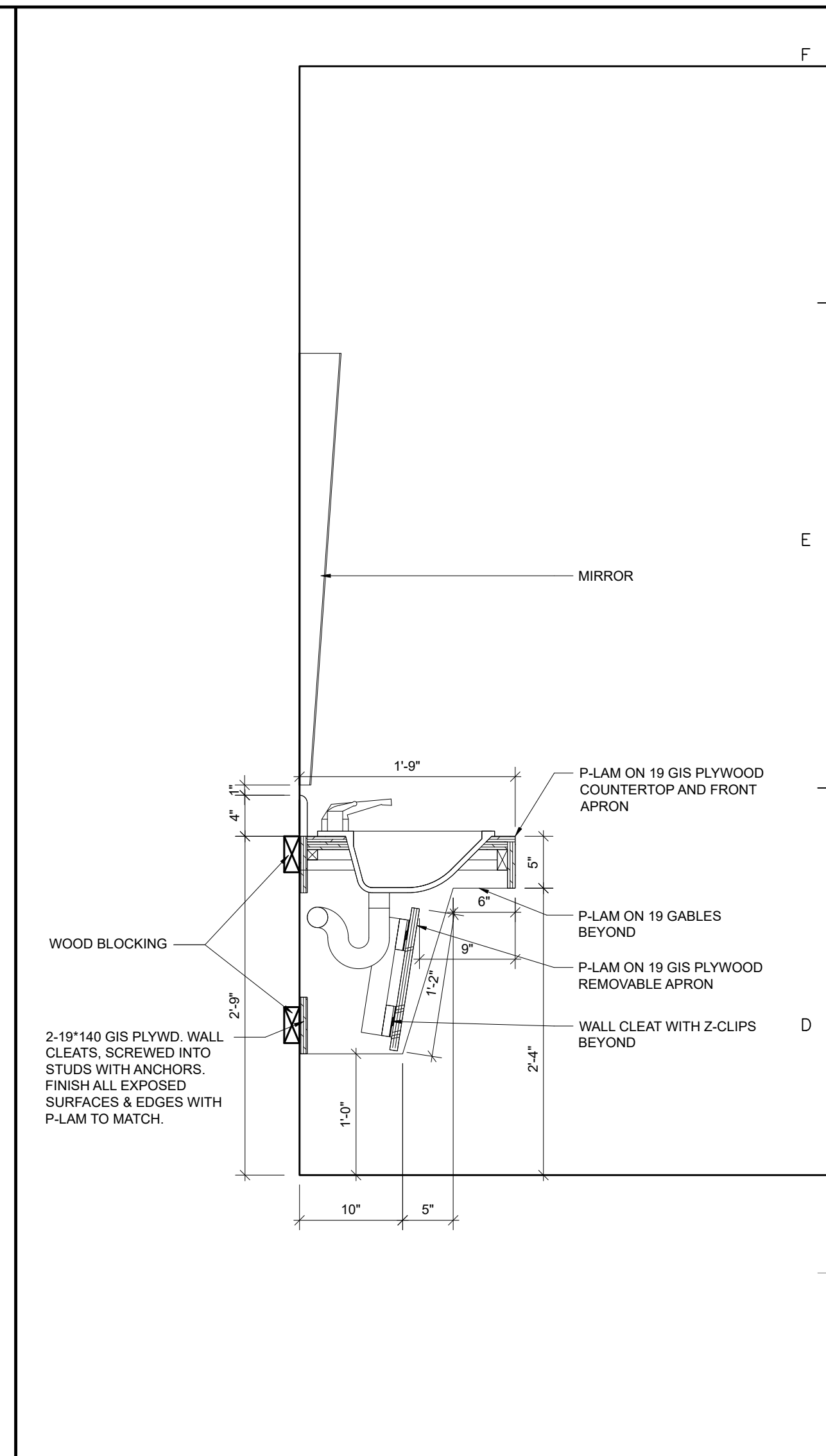
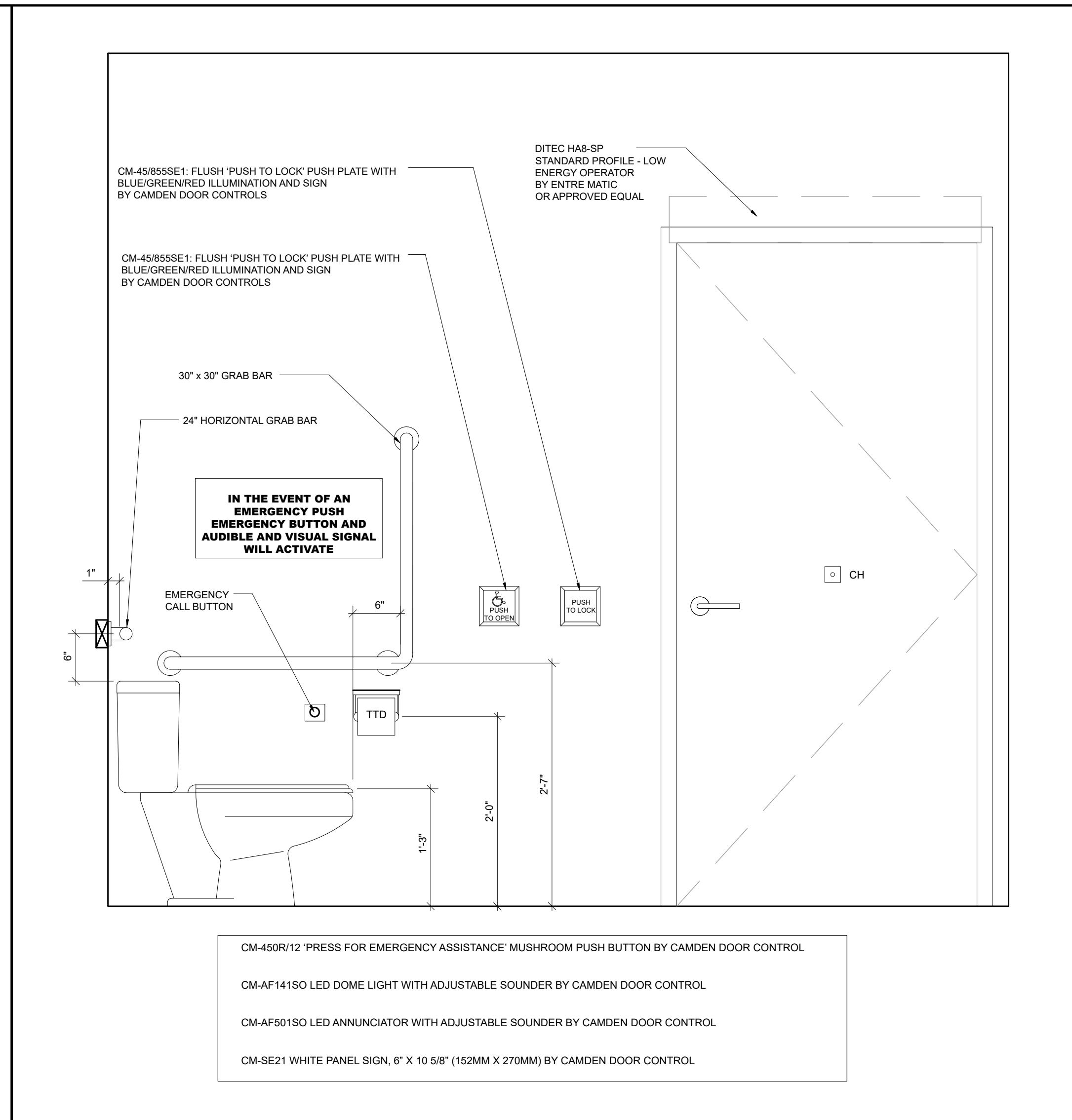
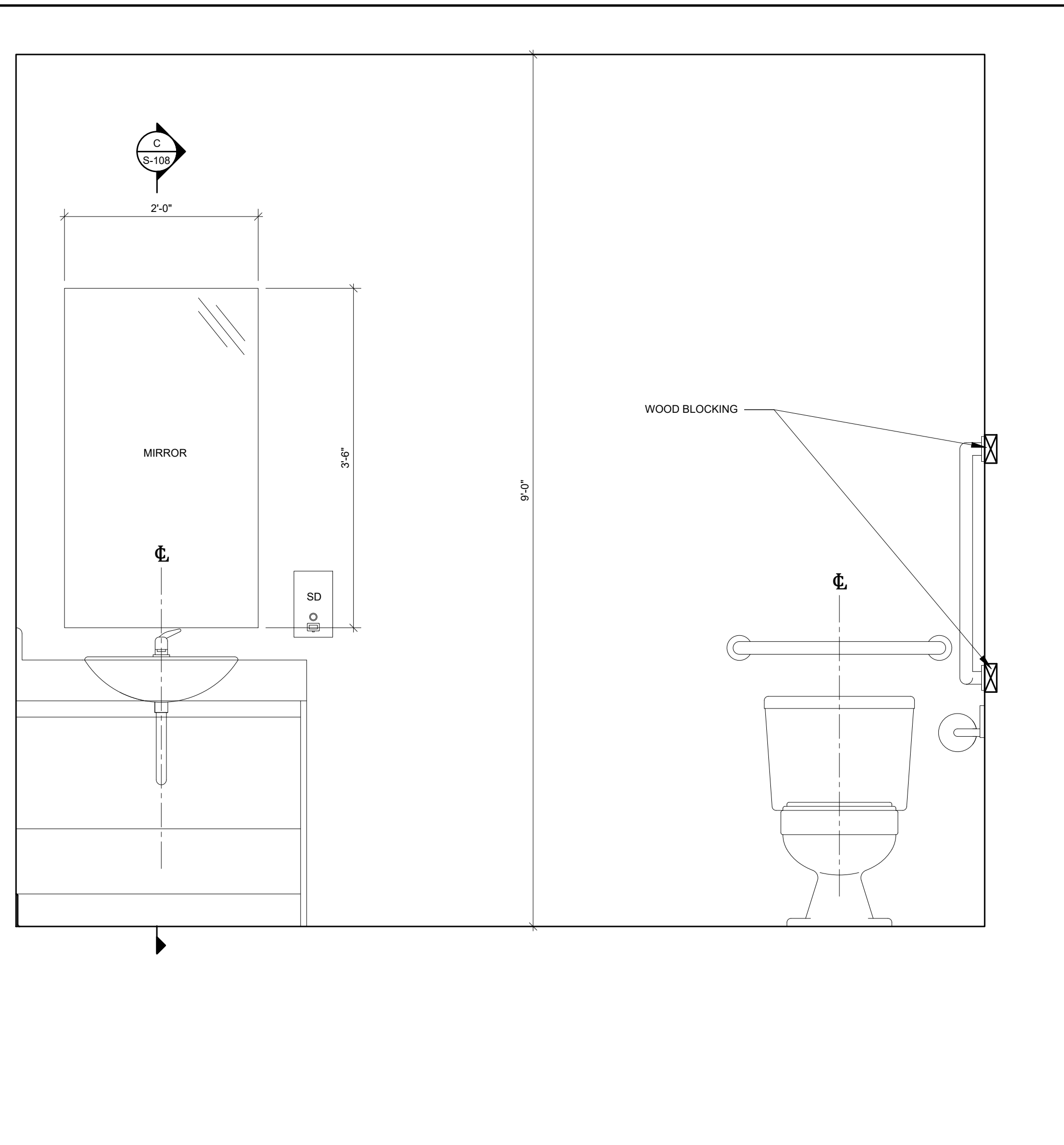


CLIENT:
 PROJECT:
INTERIOR RENOVATION
 373 BARTON ST E
 HAMILTON, ONTARIO
 J. P. SAMUEL AND ASSOCIATES INC.
 STRUCTURAL ENGINEERS
 1040 Garner Road W, Suite C203
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 Tel: (647) 671-8530
 email: jsamuel@jpsamuel.com
 www.jpsamuel.com
 Scale: AS NOTED

ROOM FINISH SCHEDULE AND DOOR AND FRAME SCHEDULE



1 DOOR SCHEDULE SCALE: 1/4"=1'-0"							
DRAWN BY:	S.K.	JOB No.	2023-JPS-063				
CHECKED BY:	J.S.	DATE:	MAY 2023				
ISSUED:		DRAWING No.	S-105				



NOTE:
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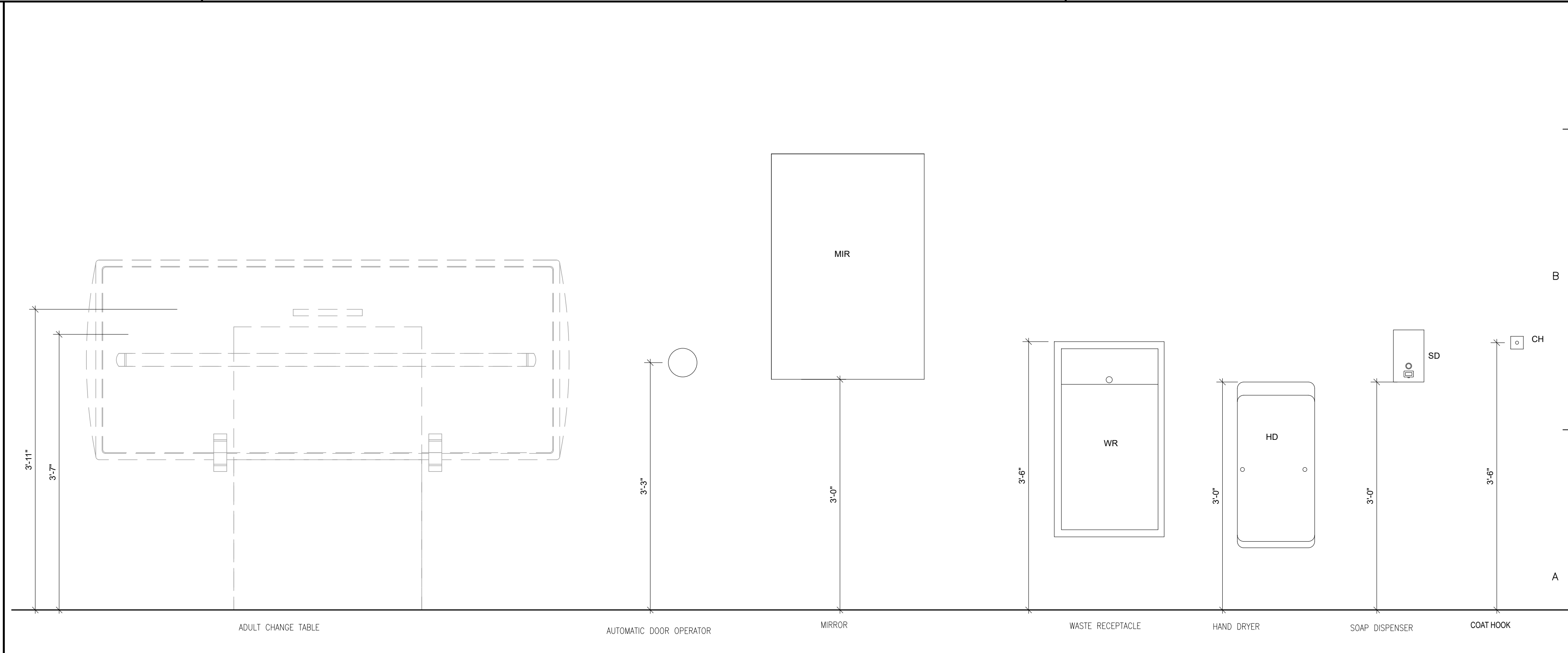
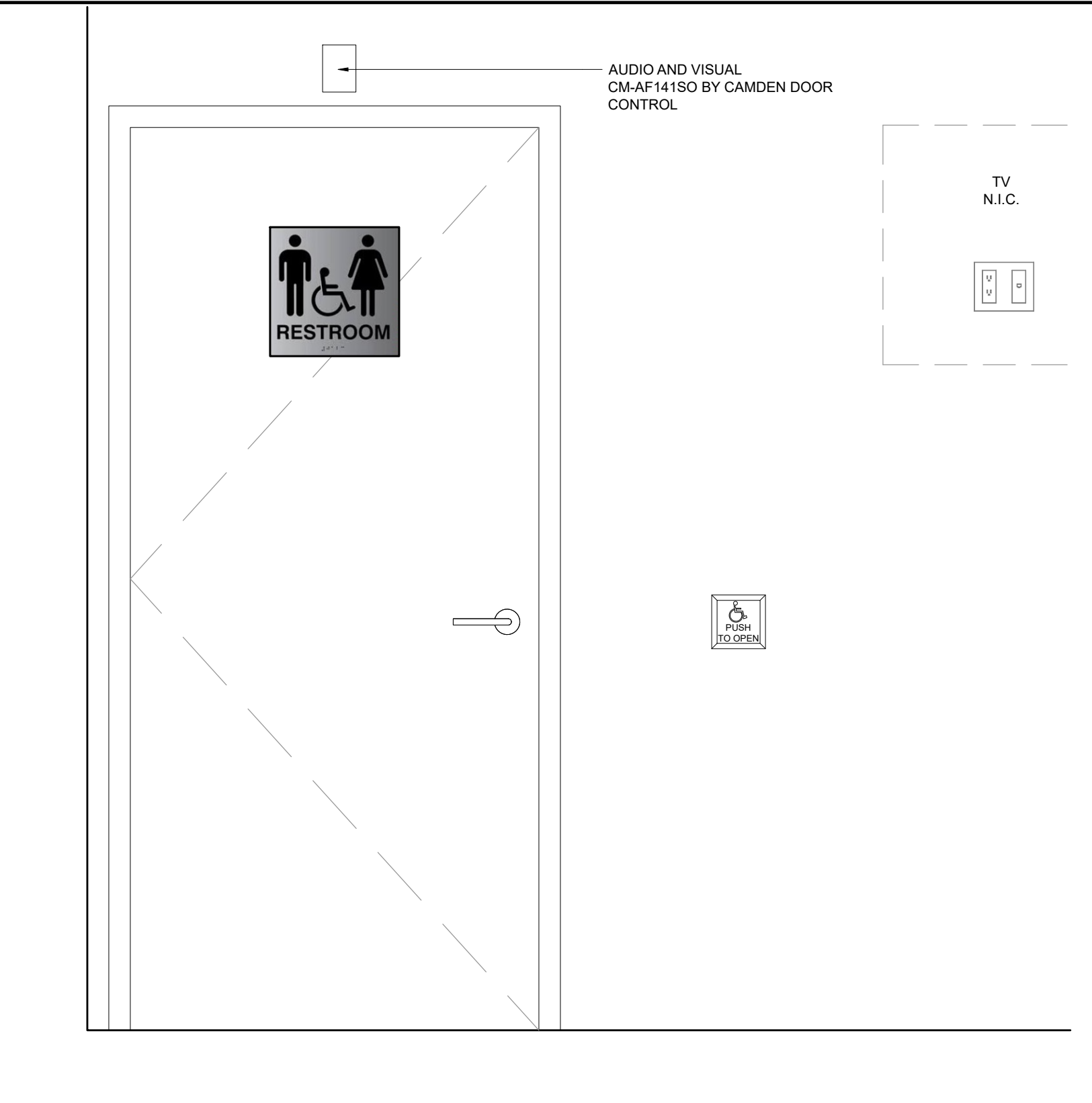
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

A INTERIOR ELEVATION
SCALE: 1"=1'-0"

B INTERIOR ELEVATION
SCALE: 1"=1'-0"

C SECTION
SCALE: 1"=1'-0"

CLIENT:



PROJECT:
INTERIOR RENOVATION
373 BARTON ST E
HAMILTON, ONTARIO

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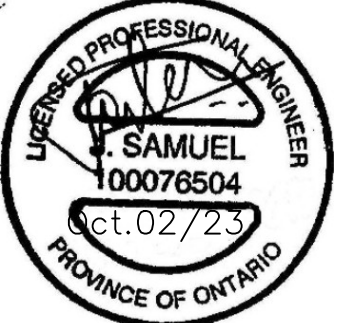
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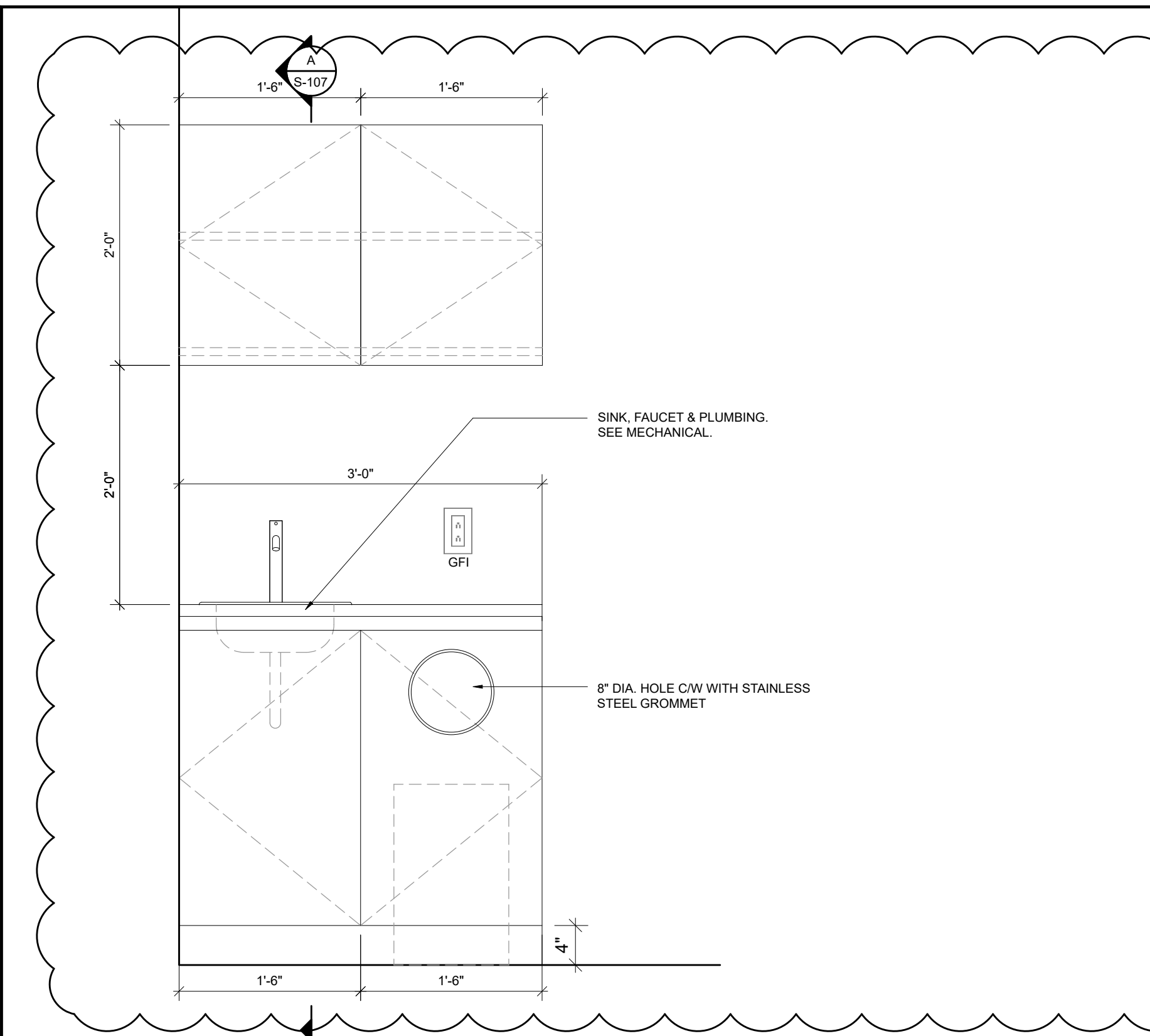
BARRIER FREE WASHROOM DETAILS

D EXTERIOR SIDE OF BARRIER FREE WASHROOM
SCALE: 1"=1'-0"

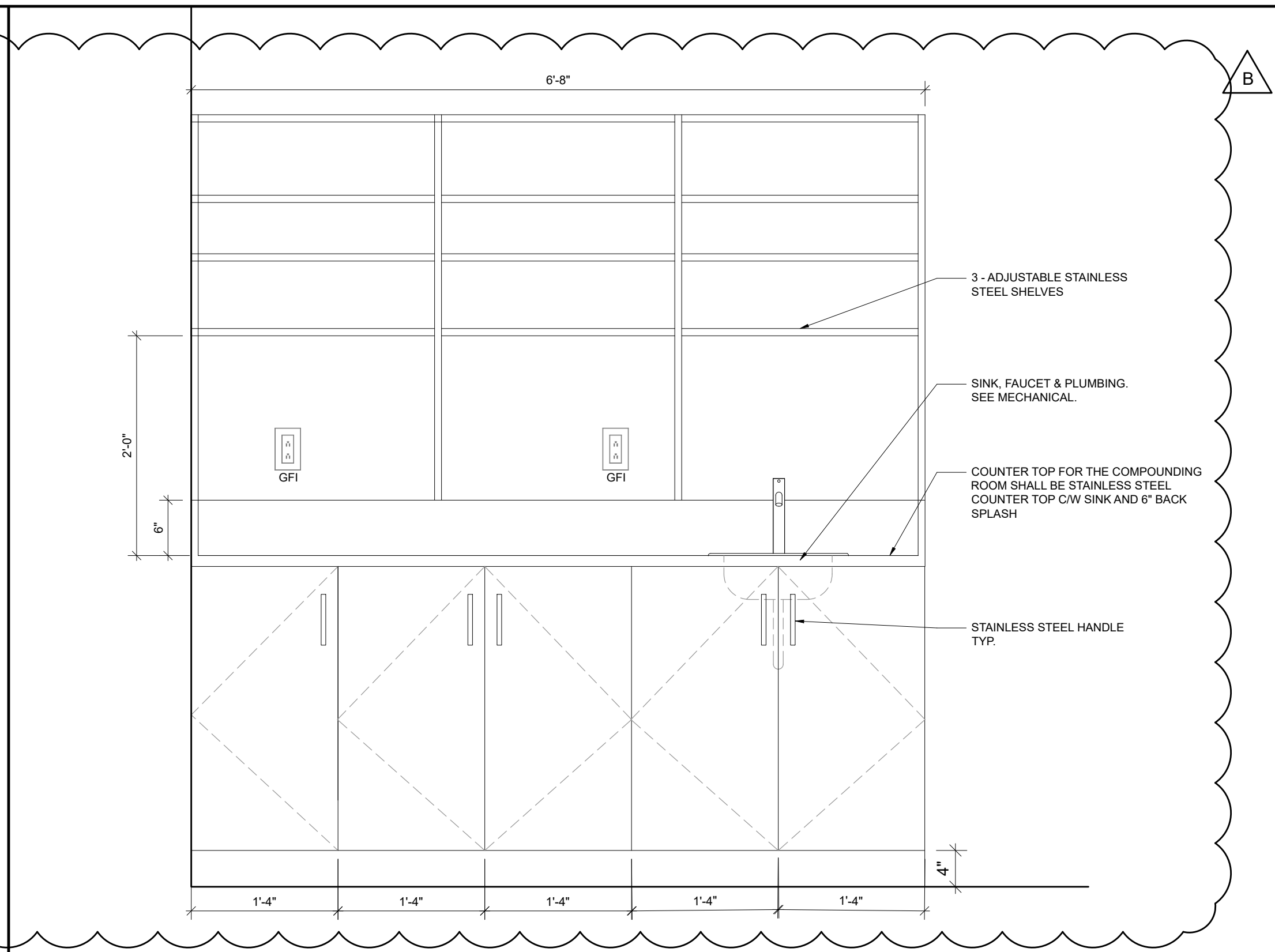
E TYP. MOUNTING DETAILS
SCALE: 1"=1'-0"

DRAWN BY:	S.K.	JOB No.	2023-JPS-063
CHECKED BY:	J.S.	DATE:	MAY 2023
ISSUED:		DRAWING No.	S-106





1 TYP. EXAM ROOM MILLWORK DETAIL
SCALE: 1"=1'-0"



2 COMPOUNDING ROOM MILLWORK DETAIL
SCALE: 1"=1'-0"

GENERAL NOTES

ALL MILLWORK CASING AND DOORS ARE TO BE CONSTRUCTED OF 3/4" MDF COVERED WITH WHITE MELAMINE FOIL WITH PLASTIC EDGING CONTRACTOR TO SUPPLY SAMPLES

SHELVES ARE TO BE 5/8" MDF COVERED WITH WHITE MELAMINE TO MATCH ABOVE.

DRAWER SIDES ARE TO BE CONSTRUCTED OF 3/4" MDF COVERED WITH WHITE MELAMINE FOIL WITH PLASTIC EDGING

INTERNAL EDGES MAY BE VENEER TAPE TO MATCH.

ALL ADJUSTABLE SHELVES ARE TO BE INSTALLED ON RECESSED PILASTER STRIPS.

ALL TRIMS, CASING & STOPS TO MATCH THE FACE VENEER.

ALL MILLWORK IS TO BE SECURELY FASTENED TO ABUTTING WALLS.

SEALANT TO BE PROVIDED & INSTALLED AT ALL JUNCTION OF CABINETS & COUNTER TOPS & ADJACENT WALLS.

COUNTERTOP

3/4" THICK BLACK CORIAN COUNTER TOP AND BACKSLASH WHERE NOTED.

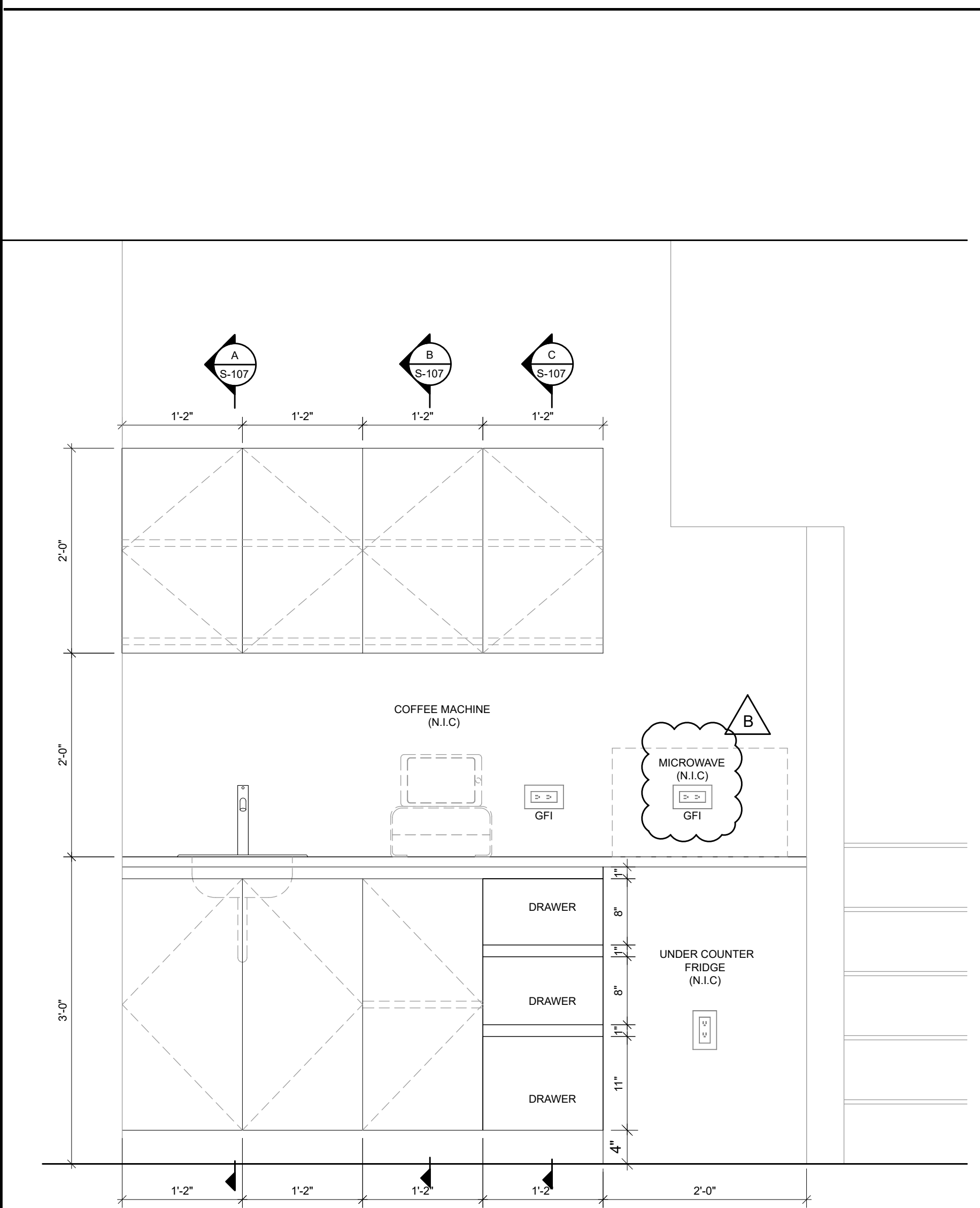
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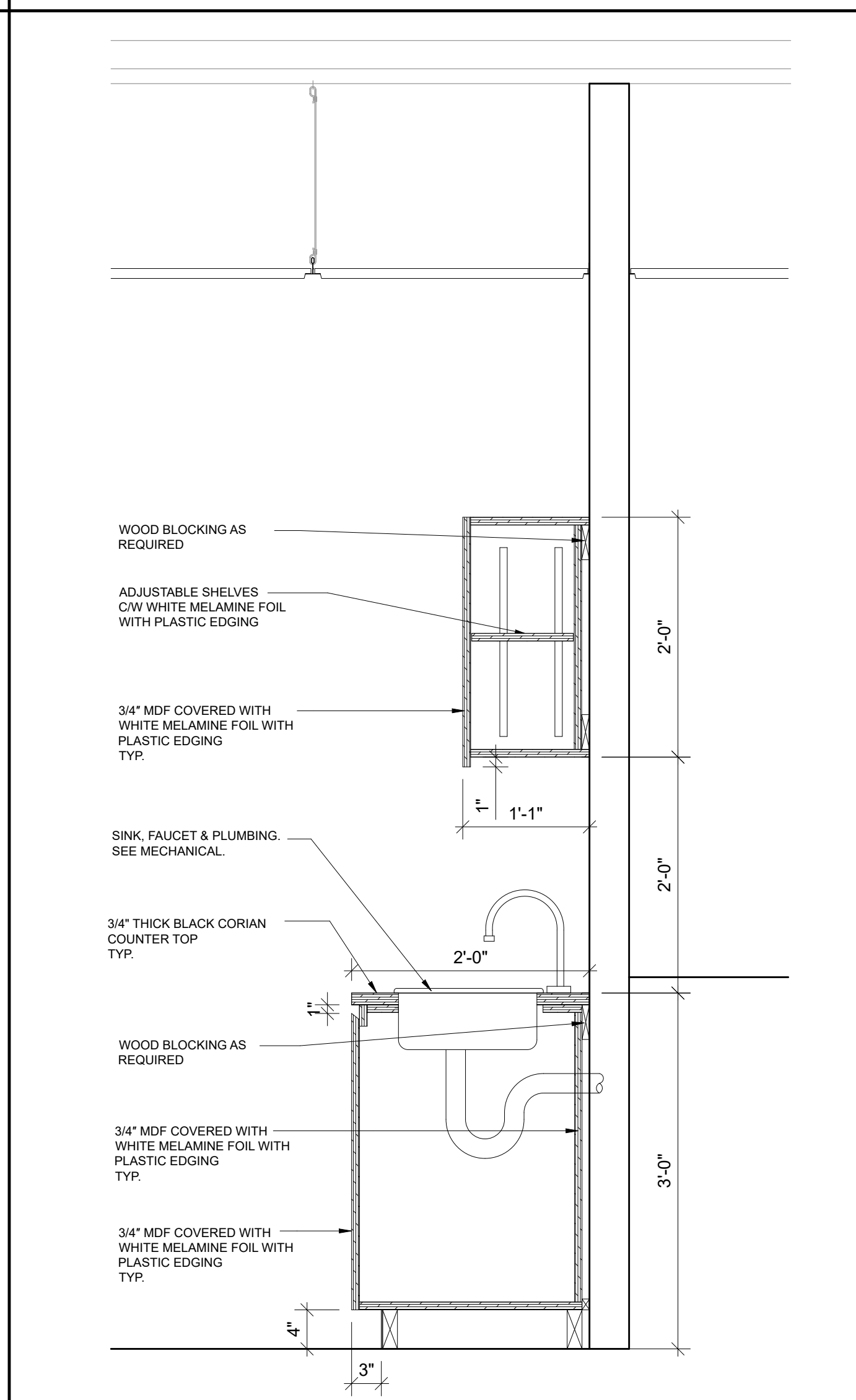
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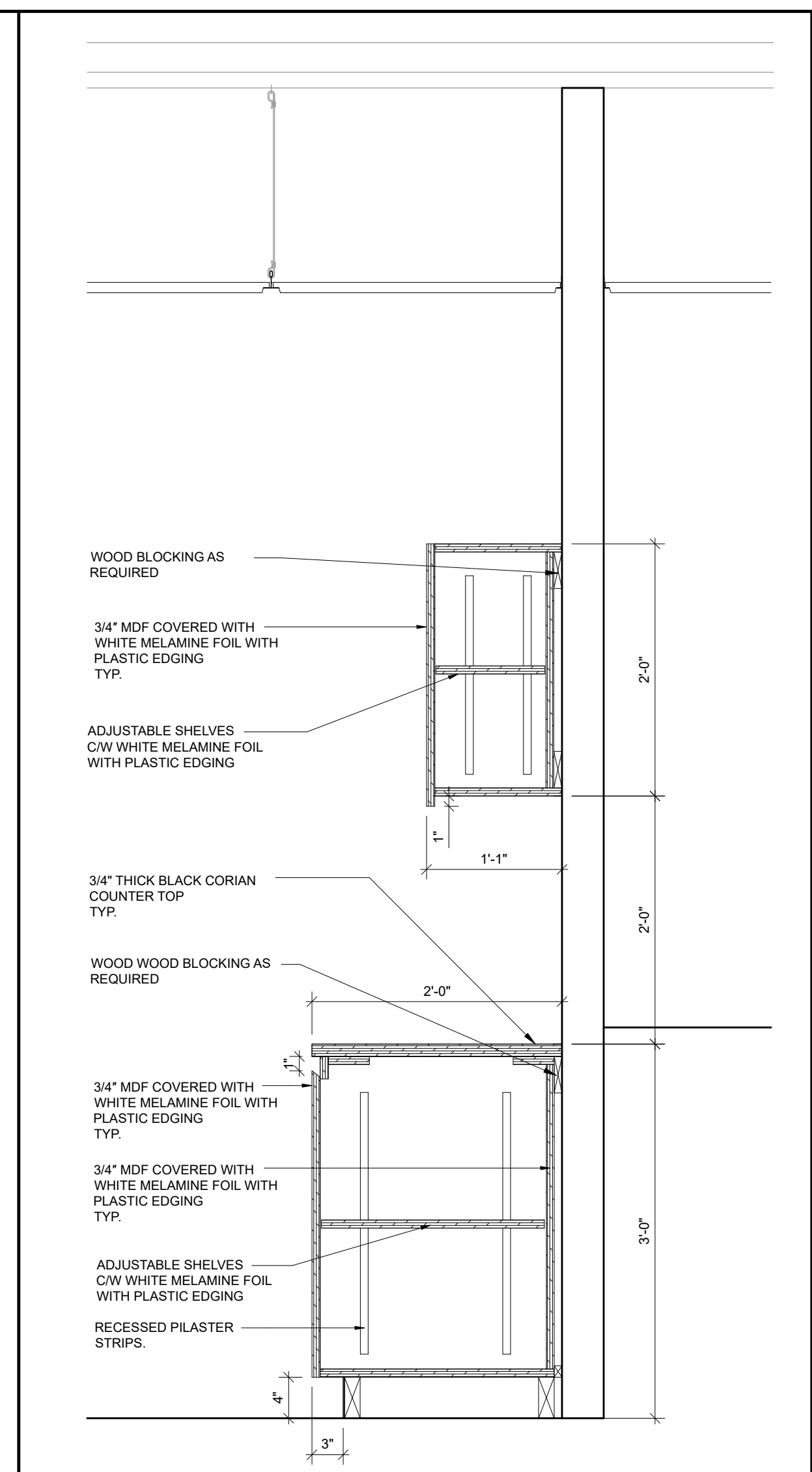
DATE: _____



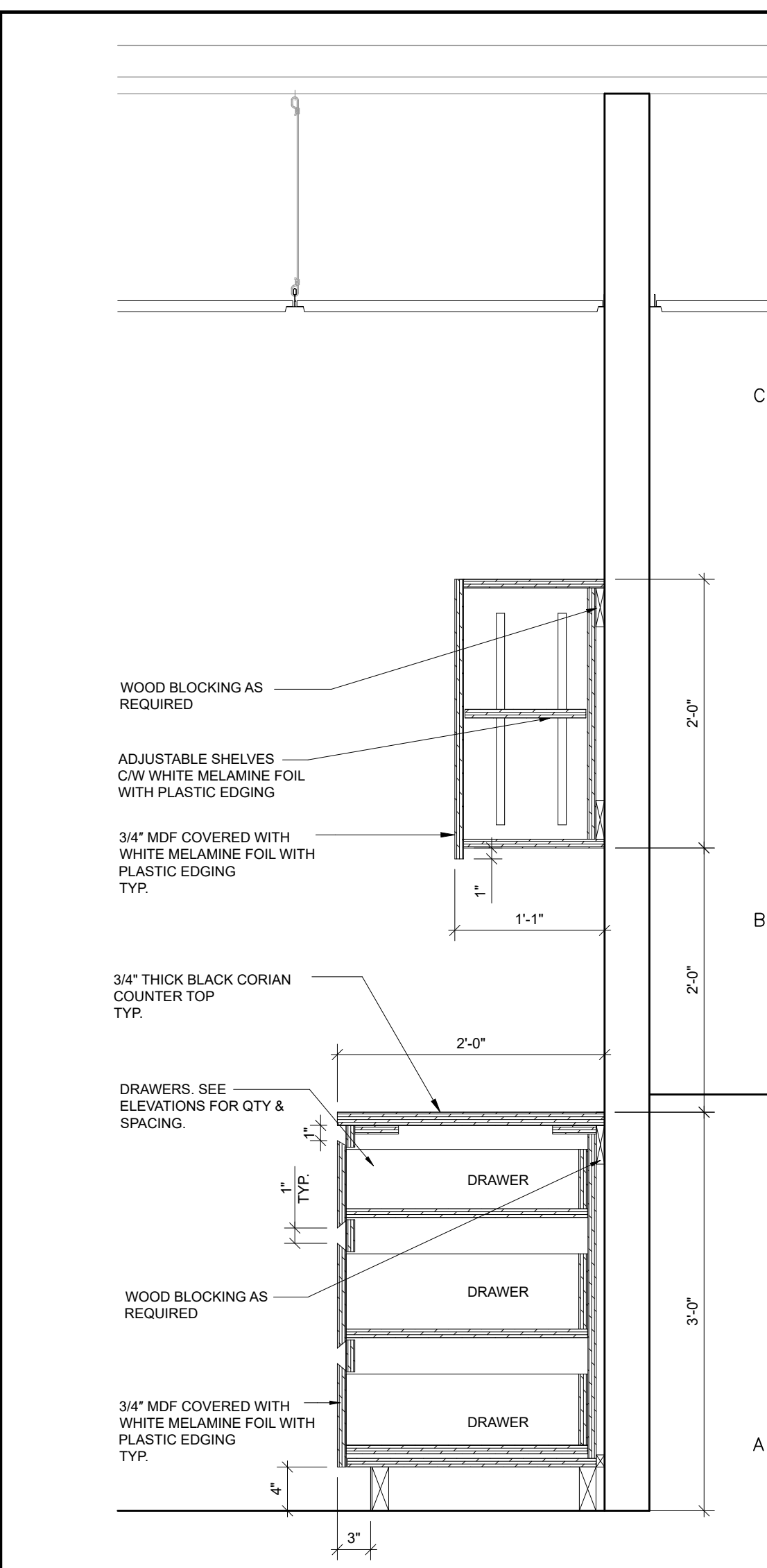
3 INTERIOR ELEVATION
SCALE: 1"=1'-0"



4 INTERIOR ELEVATION
SCALE: 1"=1'-0"



5 SECTION
SCALE: 1"=1'-0"



6 SECTION
SCALE: 1"=1'-0"

NO	REVISIONS	DATE	BY
B	RE-ISSUED FOR PERMIT	02/10/2023	J.S.
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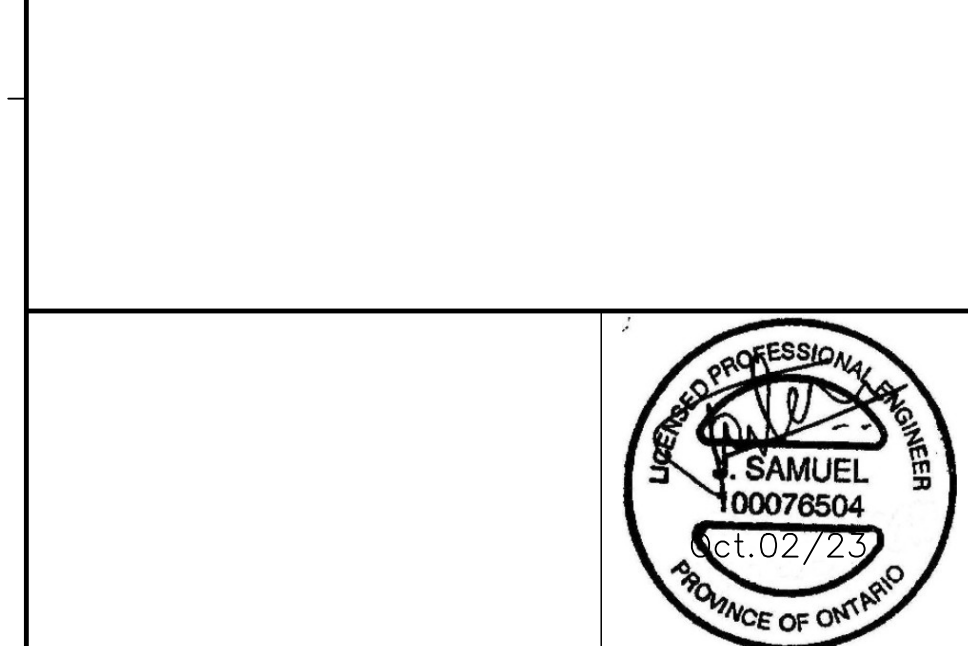
CLIENT:

PROJECT:
INTERIOR RENOVATION
373 BARTON ST E
HAMILTON, ONTARIO

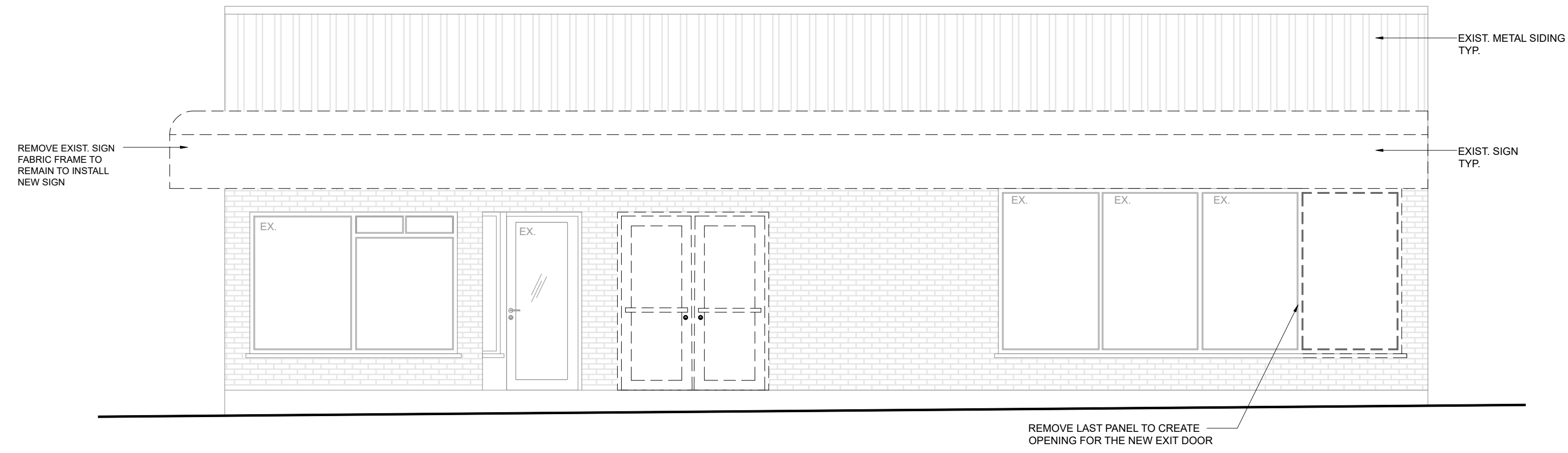
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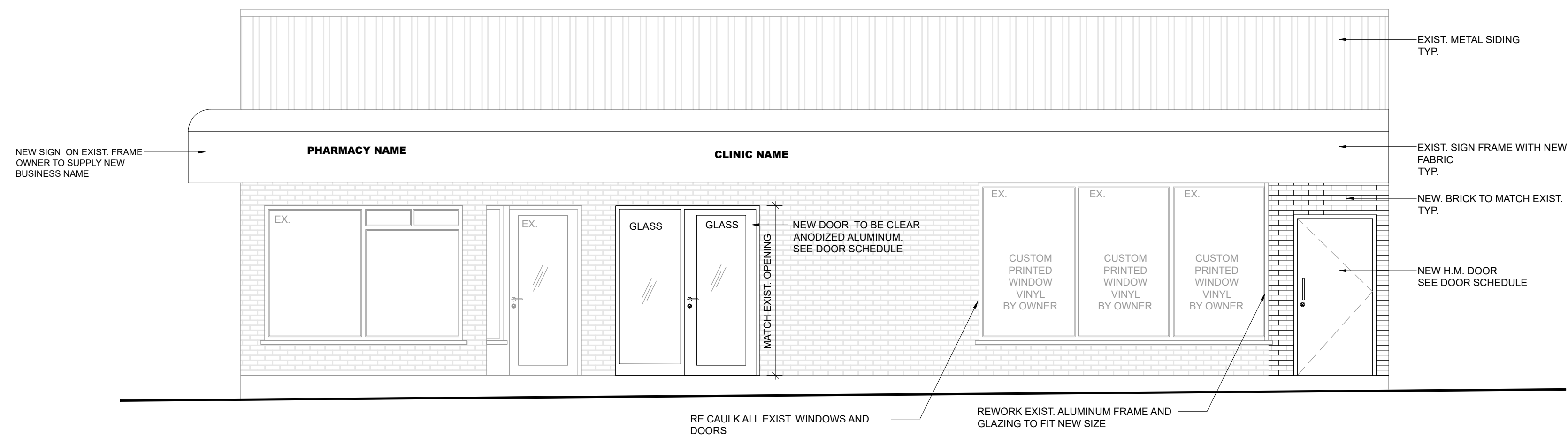
MILLWORK DETAILS



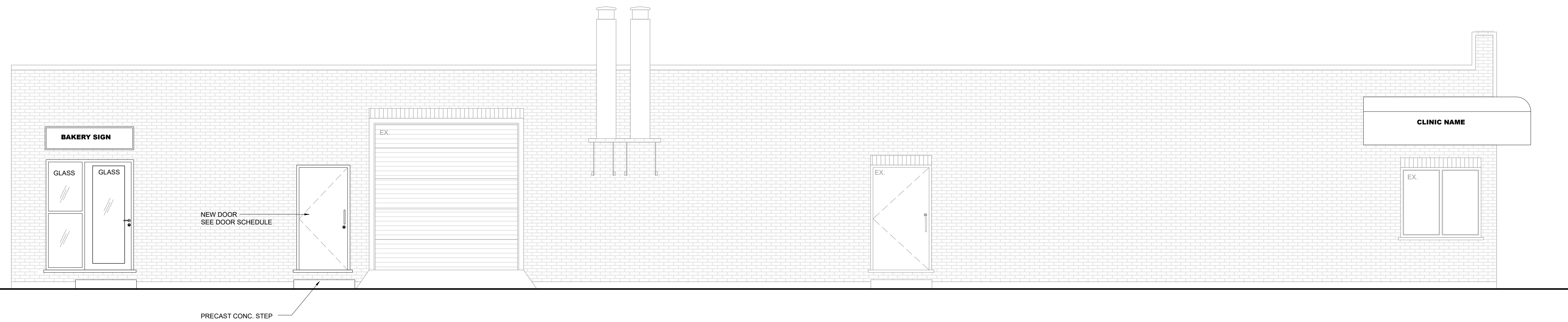
DRAWN BY:	S.K.	JOB No.	2023-JPS-063
CHECKED BY:	J.S.	DATE:	MAY 2023
ISSUED:		DRAWING No.	S-107



1 SOUTH ELEVATION (DEMO)
S-200 SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION (NEW)
S-200 SCALE: 1/4"=1'-0"



2 WEST ELEVATION
S-200 SCALE: 1/4"=1'-0"

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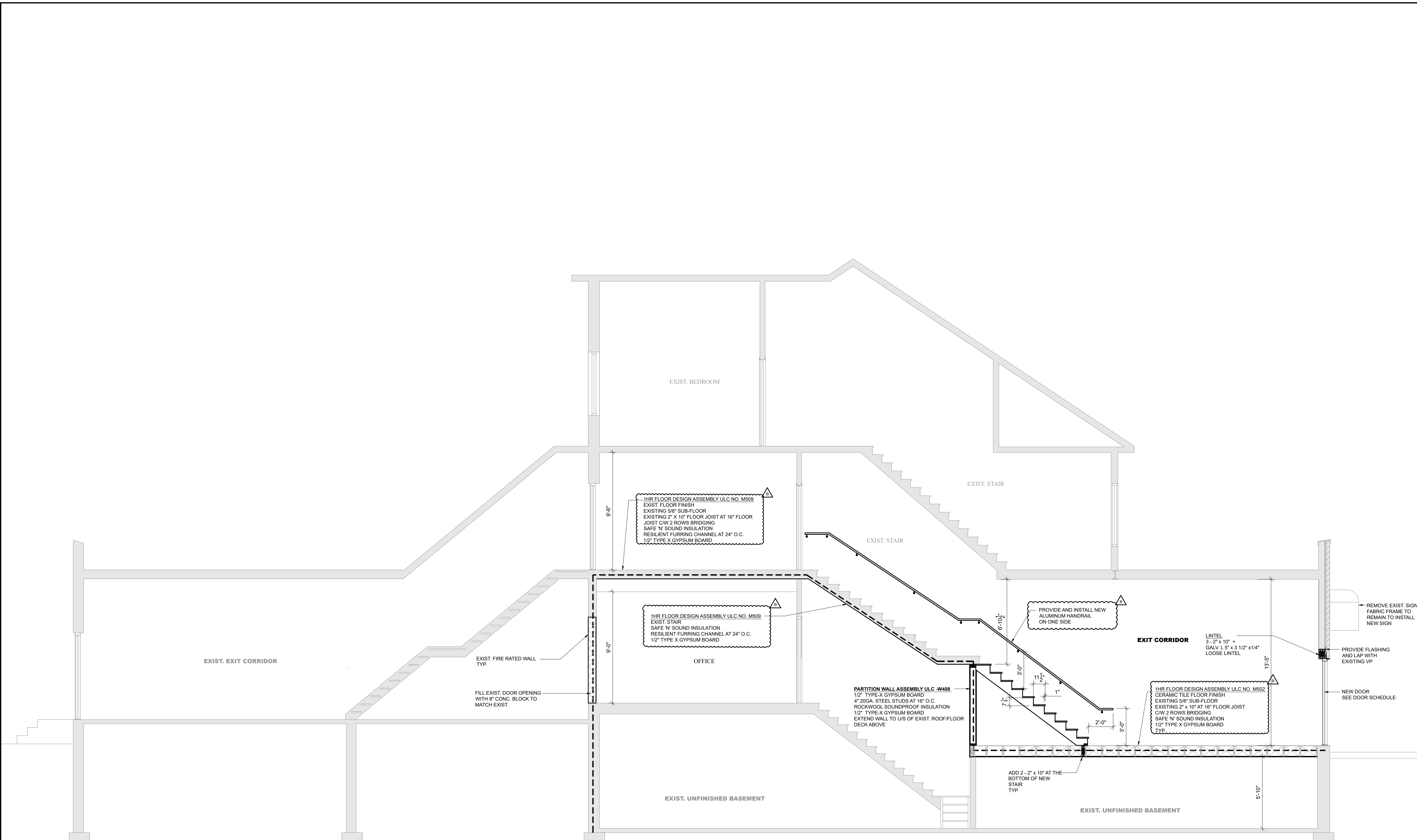
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Scale: AS NOTED

ELEVATIONS



DRAWN BY:	S.K.	JOB No.	2023-JPS-063
CHECKED BY:	J.S.	DRAWING No.	S-200
DATE:	MAY 2023		
ISSUED:			



F
E
D
C
B
A

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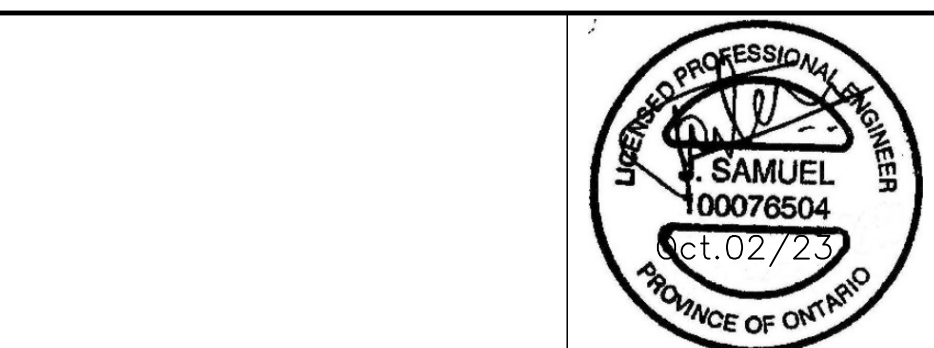
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Scale: AS NOTED

SECTION





Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME	
Registered Owners(s)	14451384 CANADA INC EMEKA OBIENU	
Applicant(s)	J.P. Samuel & Associates Inc. James Samuel	
Agent or Solicitor		
		E-mail:

1.2 All correspondence should be sent to Purchaser Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Purchaser Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	369 Barton Street E, Hamilton, ON		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Variance required for number of parking provided for new medical clinic at 369 Barton Street E.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The existing building covers most of the site and has no area on the property to add parking

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
15.52m	36.12m	560.58m ²	6.30m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Commercial Bakery	0.0m	5.25m	0.0m	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Medical Clinic	0.0m	5.25m	0.0m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Commercial Bakery	474m ²	474m ²	1	4.08m
Residential dwelling unit (2nd Floor)	0	152m ²	2	4.95m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Medical Clinic (Ground Floor)	143m ²	143m ²	1	4.08m
Commercial Bakery (Ground Floor)	281m ²	281m ²		4.08m
Pharmacy (Ground Floor)	50m ²	50m ²	1	4.08m
Residential dwelling unit (2nd Floor)	0	152m ²	2	4.95m

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Medical Clinic & Pharmacy, and Bakery with retail, and Residential single dwelling unit

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
fully attached dwelling duplex

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

28 February, 2023

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Commercial Bakery, residential dwelling unit on second floor

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Commercial Bakery, residential dwelling unit on second floor

7.4 Length of time the existing uses of the subject property have continued:

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Mixed use

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? C5a

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: C5a

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

The one existing dwelling unit on the 2nd and 3rd floor is to remain.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
- _____
- _____