



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>AN/A-23:263</b>	<b>SUBJECT PROPERTY:</b>	25, 35 & 40 FARR COURT, ANCASTER
<b>ZONE:</b>	“M2, Exception 611” (General Business Park)	<b>ZONING BY-LAW:</b>	Zoning By-law City of Hamilton 05-200, as Amended

**APPLICANTS:**      **Owner:** SANJAY MODI  
                                 **Agent:** ANTECH DESIGN C/O CANDICE MICUCCI

The following variances are requested:

1. A minimum 3.0-metre-wide Landscaped Area shall be permitted between a parking space, aisle or driveway abutting a street. Instead of the required 6.0 metre Landscaped area which includes a 3.0-metre-wide planting strip.
2. Where 50 or more parking spaces are provided on a lot, Landscaped Area(s) and Landscaped Parking Island(s) with a minimum combined area of 7% of the area of the parking lot and associated access driveway and maneuvering areas shall be provided and maintained. Instead of the required minimum combined area of 10% of the area of the parking lot and associated success driveway and maneuvering areas shall be provided and maintained.

**PURPOSE & EFFECT:**      To facilitate to construction of two (2) industrial buildings.

**Notes:**

1. Please be advised a portion of the property falls under Conservation management. Please contact the Grand River Conservation prior to any development.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, November 16, 2023</b>
<b>TIME:</b>	<b>9:40 a.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## **PUBLIC INPUT**

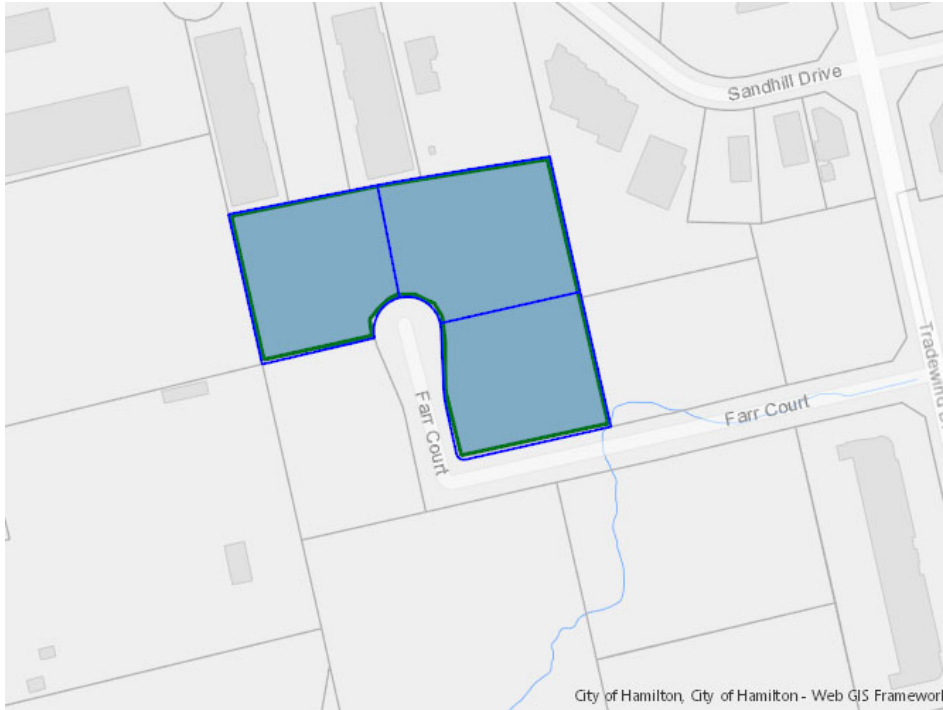
**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.


**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

## **FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding AN/A-23:263, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: October 31, 2023

---

Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

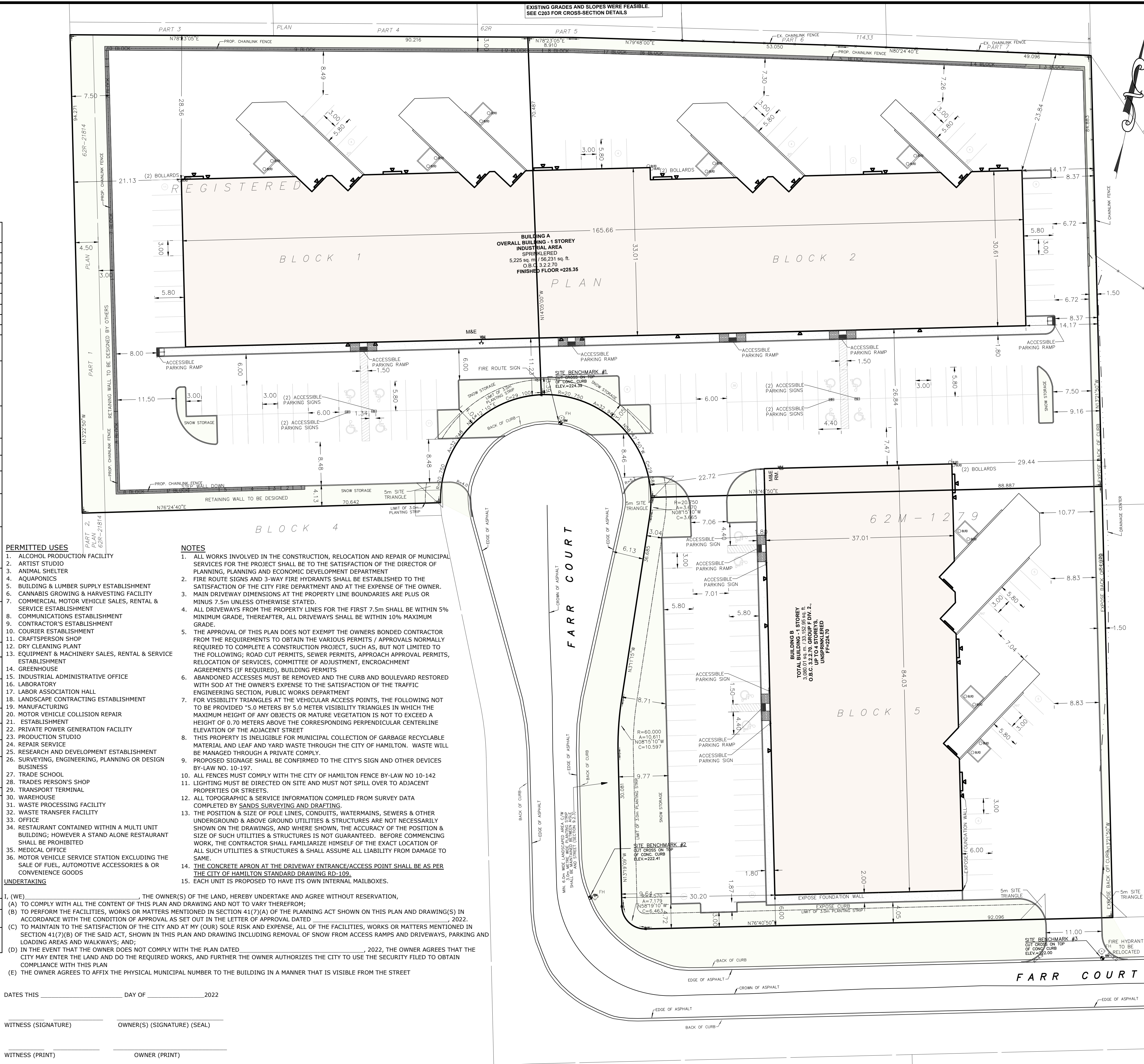
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.





**KEY PLAN**

SITE STATISTICS		
ZONING REQUIREMENTS		PROPOSED
OFFICIAL PLAN CATEGORY	INDUSTRIAL	
ZONING BY-LAW CATEGORY	GENERAL BUSINESS PARK M2 EXCEPTION:611	
MINIMUM LOT AREA	4000m <sup>2</sup>	25480.4m <sup>2</sup>
MINIMUM YARD ABUTTING A STREET	3.0m	3.0m
MINIMUM FRONT YARD SETBACK		11.2m
MINIMUM REAR YARD SETBACK		23.8m
MINIMUM SIDE YARD SETBACK		21.1m
MINIMUM SIDE YARD SETBACK		6.0m
LANDSCAPE AREA & PLANTING STRIP	MINIMUM 3.0m WIDE LANDSCAPED AREA SHALL BE PROVIDED & MAINTAINED ABUTTING A STREET, EXCEPT FOR POINTS OF INGRESS & EGRESS	3.0m <sup>2</sup>
LOCATION & SCREENING OF OUTDOOR STORAGE & OUTDOOR ASSEMBLY	NOTWITHSTANDING ABOVE WHERE A PARKING SPACE, AISLE OR DRIVEWAY IS LOCATED IN A YARD ABUTTING A STREET A MINIMUM 6.0m WIDE LANDSCAPE AREA, WHICH INCLUDES A 3.0m WIDE PLANTING STRIP SHALL BE REQUIRED & MAINTAINED BETWEEN THE SAID PARKING SPACE AISLE, OR DRIVEWAY & A STREET, EXCEPT FOR POINTS OF INGRESS & EGRESS. OUTDOOR STORAGE & OUTDOOR ASSEMBLY OF GOODS, MATERIALS OR EQUIPMENT SHALL BE PERMITTED IN CONJUNCTION WITH A BUILDING & THE FOLLOWING REGULATIONS SHALL APPLY.0m	
LOCATION OF OUTDOOR DISPLAY	OUTDOOR DISPLAY OF GOODS, MATERIALS OR EQUIPMENT SHALL BE PERMITTED ONLY AS AN ACCESSORY USE AND SHALL BE PERMITTED IN A YARD ABUTTING A STREET, BUT SHALL BE NO CLOSER THAN 3.0m TO THE LOT LINE.	
LOCATION RESTRICTION OF WASTE PROCESSING FACILITY & WASTE TRANSFER FACILITY	IN ADDITION TO THE REGULATIONS OF SECTION 9.2.3, ANY BUILDING, STRUCTURE OR LAND USED FOR A WASTE PROCESSING FACILITY OR A WASTE TRANSFER FACILITY, SHALL BE LOCATED A MINIMUM OF 30.0m FROM A RESIDENTIALLY ZONED OR INSTITUTIONALLY ZONED PROPERTY LOT LINE.	
MAXIMUM GROSS FLOOR AREA FOR INDUSTRIAL ADMINISTRATIVE OFFICE OR SURVEYING, ENGINEERING, PLANNING OR DESIGN BUSINESS	AN INDUSTRIAL ADMINISTRATIVE OFFICE OR A SURVEYING, ENGINEERING, PLANNING OR DESIGN BUSINESS SHALL BE LIMITED TO A GROSS FLOOR AREA OF LESS THAN 10,000 SQUARE METERS ON A LOT	
MAXIMUM GROSS FLOOR AREA FOR ALCOHOL PRODUCTION FACILITY	5,000 SQUARE METERS	
MAXIMUM GROSS FLOOR AREA FOR AREA FOR ACCESSORY RETAIL SHOWROOM AREA AND TASTING ROOM	25% OF THE GROSS FLOOR AREA OF THE PRINCIPAL USE OR 500.0 SQUARE METERS GROSS FLOOR AREA, WHICHEVER IS THE LESSER; AND	
PARKING	IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 5 OF THIS BY-LAW STANDARD PARKING SHALL BE A MINIMUM OF 2.8m BY 5.8m BARRIER FREE PARKING SHALL BE 4.4m BY 5.8m LANDSCAPED AREA & LANDSCAPED PARKING ISLANDS SHALL HAVE A MINIMUM AREA OF 10m <sup>2</sup> LANDSCAPED AREA & LANDSCAPED PARKING ISLANDS WITH A MINIMUM COMBINED AREA OF 10% OF THE AREA OF THE PARKING LOT AND ASSOCIATED DRIVEWAY AND MANEUVERING AREAS SHALL BE PROVIDED & MAINTAINED. MINIMUM AISLE WIDTH OF 6.0m	REQUIRES 166 PROPOSED 173
ACCESSORY BUILDINGS	IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 4.8 IN ADDITION TO THE ABOVE NO ACCESSORY BUILDING SHALL BE PERMITTED WITHIN A FRONT YARD OR A FLANKAGE YARD.	
ADDITIONAL REGULATIONS FOR A CANNABIS GROWING AND HARVESTING FACILITY	SEE ZONING BY-LAW	



- PERMITTED USES**
1. ALCOHOL PRODUCTION FACILITY
  2. ARTIST STUDIO
  3. ANIMAL SHELTER
  4. AQUAPONICS
  5. BUILDING & LUMBER SUPPLY ESTABLISHMENT
  6. CANNABIS GROWING & HARVESTING FACILITY
  7. COMMERCIAL MOTOR VEHICLE SALES, RENTAL & SERVICE ESTABLISHMENT
  8. COMMUNICATIONS ESTABLISHMENT
  9. CONTRACTOR'S ESTABLISHMENT
  10. COURIER ESTABLISHMENT
  11. CRAFTSPERSON SHOP
  12. DRY CLEANING PLANT
  13. EQUIPMENT & MACHINERY SALES, RENTAL & SERVICE ESTABLISHMENT
  14. GREENHOUSE
  15. INDUSTRIAL ADMINISTRATIVE OFFICE
  16. LABORATORY
  17. LABOR ASSOCIATION HALL
  18. LANDSCAPE CONTRACTING ESTABLISHMENT
  19. MANUFACTURING
  20. MOTOR VEHICLE COLLISION REPAIR
  21. ESTABLISHMENT
  22. PRIVATE POWER GENERATION FACILITY
  23. PRODUCTION STUDIO
  24. REPAIR SERVICE
  25. RESEARCH AND DEVELOPMENT ESTABLISHMENT
  26. SURVEYING, ENGINEERING, PLANNING OR DESIGN BUSINESS
  27. TRADE SCHOOL
  28. TRADES PERSON'S SHOP
  29. TRANSPORT TERMINAL
  30. WAREHOUSE
  31. WASTE PROCESSING FACILITY
  32. WASTE TRANSFER FACILITY
  33. OFFICE
  34. RESTAURANT CONTAINED WITHIN A MULTI UNIT BUILDING; HOWEVER A STAND ALONE RESTAURANT SHALL BE PROHIBITED
  35. MEDICAL OFFICE
  36. MOTOR VEHICLE SERVICE STATION EXCLUDING THE SALE OF FUEL, AUTOMOTIVE ACCESSORIES & OR CONVENIENCE GOODS

- NOTES**
1. ALL WORKS INVOLVED IN THE CONSTRUCTION, RELOCATION AND REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
  2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
  3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5m UNLESS OTHERWISE STATED.
  4. ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MINIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADE.
  5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNERS BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS / APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING; ROAD CUT PERMITS, SEWER PERMITS, APPROACH APPROVAL PERMITS, RELOCATION OF SERVICES, COMMITTEE OF ADJUSTMENT, ENCROACHMENT AGREEMENTS (IF REQUIRED), BUILDING PERMITS
  6. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT
  7. FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOT TO BE PROVIDED "5.0 METERS BY 5.0 METER VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METERS ABOVE THE CORRESPONDING PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET
  8. THIS PROPERTY IS INELIGIBLE FOR MUNICIPAL COLLECTION OF GARBAGE RECYCLABLE MATERIAL AND LEAF AND YARD WASTE THROUGH THE CITY OF HAMILTON. WASTE WILL BE MANAGED THROUGH A PRIVATE COMPLY.
  9. PROPOSED SIGNAGE SHALL BE CONFIRMED TO THE CITY'S SIGN AND OTHER DEVICES BY-LAW NO. 10-197.
  10. ALL FENCES MUST COMPLY WITH THE CITY OF HAMILTON FENCE BY-LAW NO 10-142
  11. LIGHTING MUST BE DIRECTED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES OR STREETS.
  12. ALL TOPOGRAPHIC & SERVICE INFORMATION COMPILED FROM SURVEY DATA COMPLETED BY SANDS SURVEYING AND DRAFTING.
  13. THE POSITION & SIZE OF POLE LINES, CONDUITS, WATERMANS, SEWERS & OTHER UNDERGROUND & ABOVE GROUND UTILITIES & STRUCTURES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION & SIZE OF SUCH UTILITIES & STRUCTURES IS NOT GUARANTEED. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES & STRUCTURES & SHALL ASSUME ALL LIABILITY FROM DAMAGE TO SAME.
  14. THE CONCRETE APRON AT THE DRIVEWAY ENTRANCE/ACCESS POINT SHALL BE AS PER THE CITY OF HAMILTON STANDARD DRAWING RD-109
  15. EACH UNIT IS PROPOSED TO HAVE ITS OWN INTERNAL MAILBOXES.

UNDERTAKING

I, (WE) \_\_\_\_\_ THE OWNER(S) OF THE LAND, HEREBY UNDERTAKE AND AGREE WITHOUT RESERVATION, (A) TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT TO VARY THEREFROM; (B) TO PERFORM THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(A) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWING(S) IN ACCORDANCE WITH THE CONDITION OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED \_\_\_\_\_, 2022. (C) TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(B) OF THE SAID ACT, SHOWN IN THIS PLAN AND DRAWING INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS; AND; (D) IN THE EVENT THAT THE OWNER DOES NOT COMPLY WITH THE PLAN DATED \_\_\_\_\_, 2022, THE OWNER AGREES THAT THE CITY MAY ENTER THE LAND AND DO THE REQUIRED WORKS, AND FURTHER THE OWNER AUTHORIZES THE CITY TO USE THE SECURITY FIED TO OBTAIN COMPLIANCE WITH THIS PLAN (E) THE OWNER AGREES TO AFFIX THE PHYSICAL MUNICIPAL NUMBER TO THE BUILDING IN A MANNER THAT IS VISIBLE FROM THE STREET

DATES THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022

WITNESS (SIGNATURE) \_\_\_\_\_ OWNER(S) (SIGNATURE) (SEAL) \_\_\_\_\_

WITNESS (PRINT) \_\_\_\_\_ OWNER (PRINT) \_\_\_\_\_

ADDRESS OF WITNESS \_\_\_\_\_

Required Parking Spaces	Designated Barrier Free Parking Spaces
1 - 49 spaces	Minimum 1 space.
50 - 100 spaces	Minimum 4% of the total number of required parking spaces.
101 - 200 spaces	Minimum 1 space + 3% of the total number of required parking spaces.
201 - 1000 spaces	Minimum 2 spaces + 2% of the total number of required parking spaces; and,
1000 or more spaces	Minimum 11 + 1% of the total number of required parking spaces.

SURVEY SYMBOLS	STORM, SANITARY WATER SERVICE SYMBOLS	FIRE HYDRANT	UTILITY SERVICES SYMBOLS	GRADING SYMBOLS	OTHER SYMBOLS	UNDERGROUND SERVICES	PROPERTY LINES
<ul style="list-style-type: none"> <li>FOUND MONUMENTS</li> <li>SET MONUMENTS</li> <li>IRON BAR</li> <li>STD. IRON BAR</li> <li>SHORT STD. IRON BAR</li> <li>CURT CROSS</li> <li>NAIL &amp; WASHER</li> </ul>	<ul style="list-style-type: none"> <li>REGISTERED PLAN</li> <li>ORIGIN UNKNOWN</li> <li>MEASURED</li> <li>PROPORTIONED</li> <li>WITNESS</li> <li>BENCHMARK</li> <li>IRON PIPE</li> </ul>	<ul style="list-style-type: none"> <li>HYD FIRE HYDRANT</li> <li>IS SPRINKLER HEAD</li> <li>TH TEST HOLE</li> <li>BH BOREHOLE</li> <li>MW MONITORING WELL</li> <li>CUL CULVERT</li> <li>CB CATCH BASIN</li> <li>DBL DOUBLE CATCH BASIN</li> <li>DICB DITCH INLET CATCH BASIN</li> </ul>	<ul style="list-style-type: none"> <li>MH-S MANHOLE - SANITARY</li> <li>MH-ST MANHOLE - STORM</li> <li>CBMH CATCH BASIN MANHOLE</li> <li>DBCMH DBL. CATCH BASIN MANHOLE</li> <li>MH-H MANHOLE - HYDRO</li> <li>MH-T MANHOLE - TRAFFIC</li> <li>MH-B MANHOLE - BELL</li> <li>MH-F MANHOLE - FIBER OPTIC</li> <li>MH MANHOLE - UNSPECIFIED</li> <li>GV GAS VALVE</li> <li>UP UTILITY POLE</li> <li>HP HYDRO POLE</li> <li>BP BELL POLE</li> <li>LS LIGHT STD.</li> <li>HLSD HYDRO LIGHT STD.</li> <li>GVY HYDRO GUIDE WIRE</li> <li>BGWY BELL GUIDE WIRE</li> <li>HTRN HYDRO TRANSFORMER</li> <li>BMK BELL MARKER</li> <li>BP BELL PEDESTAL</li> <li>CMK CABLE TV MARKER</li> <li>CTV CABLE PEDESTAL</li> </ul>	<ul style="list-style-type: none"> <li>EXISTING GRADE (m)</li> <li>PROPOSED GRADE (m)</li> <li>SEDIMENT TRAP</li> <li>DIRECTION OF SURFACE WATER</li> </ul>	<ul style="list-style-type: none"> <li>TREELINE</li> <li>TRAFFIC SIGN</li> <li>RAILWAY SIGN</li> <li>SN SIGN (OTHER)</li> <li>TRAFFIC LIGHT</li> <li>TRAFFIC CONTROL BOX</li> <li>RAILWAY SIGNAL CTRL BOX</li> </ul>	<ul style="list-style-type: none"> <li>ST STORM</li> <li>S SANITARY</li> <li>B BELL / PHONE / CABLE</li> <li>P HYDRO</li> <li>G GAS</li> <li>W WATER</li> </ul>	<ul style="list-style-type: none"> <li>PROPERTY LINES</li> <li>OVER-HEAD WIRES</li> <li>SILT FENCING - LIGHT DUTY</li> <li>SILT FENCING - HEAVY DUTY</li> <li>SWALE / DIRECTION</li> <li>GRADE SLOPE INDICATOR (CW SLOPE ABOVE), OVERALL DISTANCE (BELOW)</li> </ul>

**NOTES**

1. SEE DETAILS V102

REV	DESCRIPTION	DATE	APPROV BY
2	SUBMISSION 2 SITE PLAN	2023.06.06	CHM
1	SUBMISSION 1 SITE PLAN	2022.12.14	CHM
0	INITIAL RELEASE	2022.05.25	---

**PROJECT**

**PROPOSED SITE PLAN OF**

PART OF LOT 32  
CONCESSION 4  
BEING BLOCKS 1, 2 & 5  
GEOGRAPHIC TOWNSHIP OF ANCASTER  
CITY OF HAMILTON

FARR COURT  
ANCASTER, ONTARIO

CITY FILE NO. NA

Scale 1 : 400  
16 12 8 4 0 Metres 8 16

**UNITS & CONVERSION**

ALL DIMENSIONS IN METRES.  
(CONVERT TO FEET: DIVIDE BY 0.3048)

**BEARING NOTE**

BEARINGS ARE GRID, DERIVED FROM OBSERVED REFERENCE POINTS "A" AND "B", BY REAL TIME NETWORK OBSERVATION, UTM ZONE 17, NAD83 (CSRS) (2010.0). DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999603.

**ANTECH DESIGN & ENGINEERING GROUP**  
Engineers and Urban Planners  
25 King Street, Brantford, ON. N3T 3C4  
www.atechdesign.com

PROPRIETARY AND CONFIDENTIAL

CLIENT

**LANCA GENERAL CONTRACTING LIMITED**  
GENERAL CONTRACTORS  
PROJECT MANAGERS, DESIGN BUILDERS

DRAWN	CHECKED	DATE
CHM	JAB	2022.05.25

SHEET: **SITE PLAN**

DRAWING NO. **221211 - V101**

REV. **2**



# Appendix B

## Proposed Landscape Plan





**KEY PLAN**

**SPECIFICATIONS**

- PLANT MATERIAL**
1. PLANT MATERIAL: COMPLY WITH METRIC GUIDE - SPECIFICATION OF NURSERY STOCK, 1984 EDITION OF CANADIAN NURSERY TRADES ASSOCIATION REFERRING TO SIZE AND DEVELOPMENT OF PLANT MATERIAL AND ROOT BALL. MEASURE PLANTS WHEN BRANCHES ARE IN THEIR NATURAL POSITION. HEIGHT & SPREAD DIMENSIONS REFER TO MAIN BODY OF PLANT & NOT FROM BRANCH TIP TO BRANCH TIP. USE TREES AND SHRUBS OF NO. 1 GRADE.
  2. PLANT MATERIAL TO CONFORM TO THE CANADIAN TRADES ASSOCIATION METRIC GUIDE SPECIFICATIONS FOR NURSERY STOCK, LATEST EDITION.
  3. ALL TREE SPECIES SHALL HAVE A CALIPER OF AT LEAST 50mm MEASURED AT 150mm ABOVE THE ROOT COLLAR AND BE AT LEAST 2m IN HEIGHT WHEN PLANTED.
  4. ALL TREES SHALL HAVE A SINGLE STEM, STRAIGHT TRUNK, WELL DEVELOPED LEADER, BRANCHES & ROOT SYSTEM.

- PLANTING**
1. COORDINATE SHIPPING OF PLANTS AND EXCAVATION OF HOLES TO ENSURE MINIMUM TIME LAPSE BETWEEN DIGGING AND PLANTING.
  2. PLANT ONLY UNDER CONDITIONS THAT ARE CONDUCTIVE TO THE HEALTH AND PHYSICAL CONDITION OF PLANTS.
  3. EXCAVATE PLANTING PITS AND BEDS TO DEPTH INDICATED ON DETAILS. FILL WITH A PLANTING MIXTURE OF ONE PART PEAT MOSS, SIX PARTS TOPSOIL WITH COMMERCIAL BONEMEAL FOR PLANTING HOLES IN HEAVY SOILS WHERE NATURAL DRAINAGE DOES NOT EXIST HAVE METHOD APPROVED.
  4. IMMEDIATELY FOLLOWING ANY PLANTING OPERATIONS, REMOVE ALL DEBRIS AND EXCESS MATERIAL FROM THE SITE, LEAVING THE SITE NEAT AND TIDY.
  5. FOR BARE ROOT STOCK, PLACE 75-100mm BACKFILL SOIL IN BOTTOM OF HOLE. PLANT SHRUBS AND GROUND COVERS WITH ROOTS PLACED STRAIGHT OUT IN HOLE. PLACE THE CLUMP OF ROOTS IN HOLE WITH TOP OF ROOT CROWN AT GROUND LEVEL. BACKFILL WITH APPROVED TOPSOIL AND PACK DOWN LIGHTLY, WORKING THE SOIL IN BETWEEN THE ROOTS AND TAMPING FIRMLY TO REMOVE ANY AIR POCKETS AND TO SECURE PLANT INTO THE SOIL. APPLY WATER TO SETTLE SOIL, AND APPLY ADDITIONAL SOIL TO FILL VOIDS.
  6. FOR JUTE BURLAPPED ROOT BALLS, CUT AWAY TOP ONE THIRD OF WRAPPING AND WIRE BASKET WITHOUT DAMAGING ROOTBALL. DO NOT PULL BURLAP OR ROPE FROM UNDER ROOT BALL. CUT AND REMOVE ALL NYLON ROPE AROUND TRUNKS.
  7. FOR CONTAINER STOCK OR ROOT BALLS IN NON DEGRADABLE WRAPPING, REMOVE ENTIRE CONTAINER WRAPPING WITHOUT DAMAGING ROOT BALL.
  8. PLACE PLANT MATERIAL TO DEPTH EQUAL TO DEPTH THEY WERE ORIGINALLY GROWING IN NURSERY. BUILD A SOIL SAUCER AROUND OUTER EDGE OF HOLE TO ASSIST WITH MAINTENANCE WATERING.
  9. WATER PLANT MATERIAL THOROUGHLY. AFTER SOIL SETTLEMENT HAS OCCURRED, FILL WITH SOIL TO FINISH GRADE.
  10. PLANTS SHALL BE PRUNED AFTER PLANTING. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED BRANCHES.

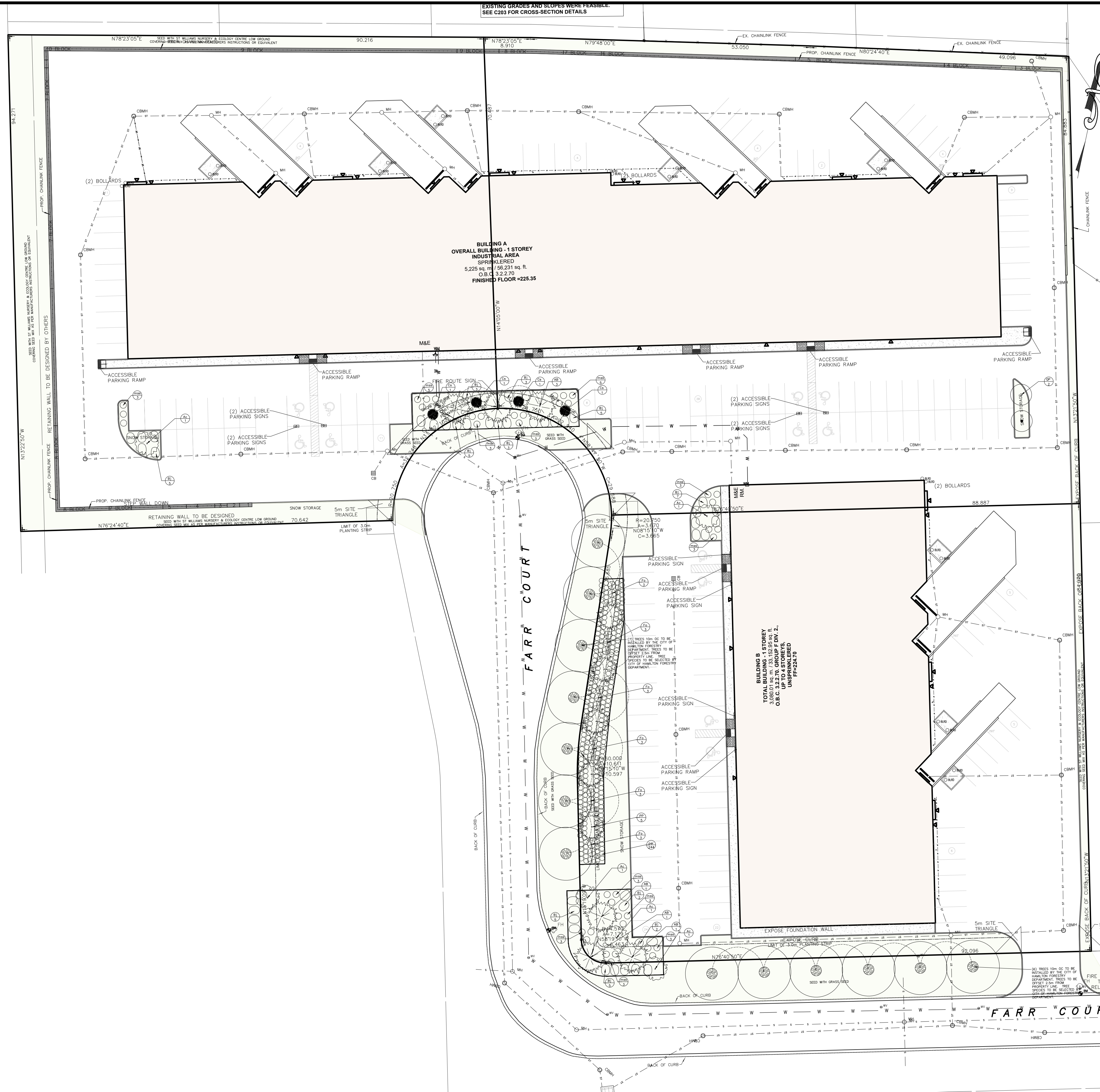
- MULCHING**
1. MULCH SHALL BE APPLIED IN A CONTINUOUS LAYER THROUGHOUT ALL TREE AND SHRUB PLANTING AREAS. (PLANTING SOIL AREAS THAT ARE NOT SEEDING)
  2. APPLY MULCH TO THE FOLLOWING MINIMUM THICKNESS:
    - 100mm MULCH IN ALL TREE AND SHRUB PLANTING AREAS.
    - KEEP MULCH 100mm AWAY FROM THE CROWN OF PLANT.
    - ENSURE SOIL SETTLEMENT HAS BEEN CORRECTED PRIOR TO MULCHING.
  3. ALL TREES SHALL BE MULCHED WITH AN AREA CONSISTING ON A 1m RADIUS AROUND THE STEM OF THE TREE. NO MULCH SHALL BE IN CONTACT WITH THE TREE TRUNK.
  4. NATURAL COLOURED BARK SHALL BE USED AS MULCH

- TOPSOIL PLACEMENT & FINE GRADING**
1. ENSURE THAT THE APPROVAL HAS BEEN OBTAINED FOR ROUGH GRADING PRIOR TO PROCEEDING WITH THIS SECTION OF WORK.
  2. SCARIFY THE ROUGH GRADED AREAS TO PROVIDE A LOOSESED SURFACE IN ORDER TO ALLOW BONDING OF THE TOPSOIL.
  3. SPREAD TOPSOIL ON THE PREPARED AND ACCEPTED ROUGH GRADED SURFACE TO A MINIMUM DEPTH OF 150mm FIRMLY PACKED.
  4. KEEP TOPSOIL 25mm BELOW FINISHED GRADE FOR SODDED AREAS. ELSEWHERE BRING TOPSOIL UP TO FINISHED GRADE OF ADJACENT SURFACES.
  5. THE FINISHED SURFACE IS TO BE SMOOTH AND EVEN WITH NO RUTS, CLODS OR CONTAMINANTS.
  6. REMOVE STONES IN EXCESS OF 10mm FOR AREAS TO BE SEED
  7. HAND RAKE AREAS TO BE SEED OR SODDED AS A FINAL SURFACE PREPARATION AND TO COORDINATE THE FOLLOWING WORK. THIS SHALL ENSURE THAT SEEDING OR SODDING CAN OCCUR AS SOON AS POSSIBLE AFTER RAKING HAS BEEN COMPLETED.
  8. APPLY TOPSOIL TO THE FOLLOWING MINIMUM THICKNESS:
    - 150mm DEPTH FOR ALL SOD/SEED AREAS
    - 300mm DEPTH FOR ALL SHRUB / PLANTING BEDS
    - AREAS ACCOMMODATING TREES ARE REQUIRED TO HAVE A MINIMUM OF 1.0m CONTINUOUS TOPSOIL DEPTH OR A MINIMUM OF 20m<sup>3</sup> OF SOIL PER VOLUME OF TREE.

- SODDING**
1. SCHEDULE DELIVERIES IN ORDER TO KEEP STORAGE AT JOB SITE TO A MINIMUM WITHOUT CAUSING DELAYS.
  2. SOD SHALL BE CERTIFIED #1 NURSERY GROWN SOD CONTAINING 50% MERION BLUE GRASS AND 50% KENTUCKY BLUE GRASS. IT SHALL BE NO GREATER THAN 40mm IN THICKNESS AND BE IN ACCORDANCE WITH THE CLASSIFICATION OF TURF GRASS SOD FOR THE PROVINCE BY THE NATIONAL SOD GROWERS ASSOCIATION.
  3. LAY SOD IN ROWS PERPENDICULAR TO SLOPE, SMOOTH AND EVEN WITH ADJOINING AREAS AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.
  4. STAKE ALL SOD ON SLOPES GREATER THAN 1:5 (20%)
  5. ROLL SOD IMMEDIATELY AFTER LAYING TO PRESS SOD FIRMLY ON TO THE SURFACE SOIL.
  6. WATER IMMEDIATELY AFTER SOD LAYING TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 100mm OF TOPSOIL. WATER BY MEANS OF A WATER TRUCK OR IF APPROVED, BY HYDRANT TO OBTAIN A COMPLETE DRENCHING. WATERING BY SMALL HOSE OR SPRINKLER IS NOT SUFFICIENT. FOR THE FIRST 30 DAYS, SOAK TO THIS DEPTH AT LEAST ONCE A WEEK.
  7. WATER IN A SIMILAR MANNER THEREAFTER IF SUFFICIENT RAIN DOES NOT FALL IN ORDER TO KEEP THE UNDERLYING SURFACE MOIST. WATERING UNTIL ACCEPTANCE OF THE SOD IS THE CONTRACTOR'S RESPONSIBILITY.
  8. IMMEDIATELY CLEAN UP SOIL OR DEBRIS SPILLED ONTO PAVEMENT AND DISPOSE OF DELETERIOUS MATERIALS.
  9. SODDED AREAS WILL BE ACCEPTED AND WARRANTY PERIOD WILL BEGIN PROVIDED THAT:
    - SOD IS COMPLETELY GREEN
    - SODDED AREAS HAVE BEEN CUT A MINIMUM OF TWO TIMES
    - SOD IS KNIT TO UNDERLYING SOIL AND CANNOT BE LIFTED WHEN TUGGED BY HAND
  10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SOD UNTIL TIME OF ACCEPTANCE.
  11. MAINTENANCE OF SOD AFTER ACCEPTANCE IS THE RESPONSIBILITY OF THE OWNER.

- SEEDING**
1. SEED MIX SHALL BE # 1SEED MIX # 1. SUPPLIER: ONTARIO SEED COMPANY, WATERLOO, ONTARIO
    - 40% PERENNIAL RYE
    - 20% SHEEPS FESCUE
    - 20% KENTUCKY BLUEGRASS
    - 10% TALL FESCUE
  2. SEED AT A RATE OF 8 lbs./1000 SQUARE FEET.

- WARRANTY & MAINTENANCE**
1. PROVIDE ONE YEAR WARRANTY FOR PLANT MATERIAL AS ITEMIZED ON PLANT LIST. AT END OF WARRANTY INSPECTION, ALL PLANT MATERIAL SHALL BE IN VIGOROUS GROWING CONDITION, FREE OF PESTS AND DISEASE AND TRUE TO NATURAL FORM.
  2. DURING WARRANTY PERIOD, REMOVE FROM SITE ANY PLANT MATERIAL THAT HAS DIED OR FAILED TO GROW SATISFACTORY AS DETERMINED BY OWNER/ARCHITECT/LANDSCAPE ARCHITECT. EXTEND WARRANTY ON REPLACEMENT PLANT MATERIAL FOR A PERIOD EQUAL TO THE LENGTH OF ORIGINAL WARRANTY PERIOD. REMOVE TRUNK WRAPPING, TREE STAKES AND GUY WIRES AT THE END OF THE WARRANTY PERIOD. UPON REQUEST, REMOVE TRUNK WRAPPINGS FOR VISUAL INSPECTION AND REWRAP.
  3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN PLANT MATERIAL FROM 30 DAYS FOLLOWING PLANTING OR UNTIL TIME OF FINAL ACCEPTANCE.
  4. MAINTENANCE OF PLANT MATERIAL DURING WARRANTY PERIOD IS THE OWNER'S RESPONSIBILITY.
  5. MAINTENANCE TASKS UNTIL TIME OF FINAL ACCEPTANCE TO INCLUDE ALL OF THE FOLLOWING:
    - WATERING
    - WEED CONTROL
    - PRUNING
    - FERTILIZING
    - INSECT AND FUNGUS CONTROL
  6. SUBMIT SEPARATE MAINTENANCE COST FOR CONSIDERATION BY OWNER DURING WARRANTY PERIOD ONLY.



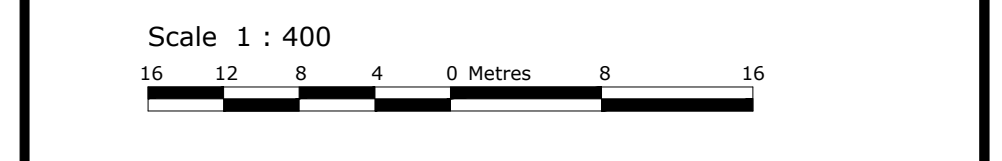
**LANDSCAPE DETAILS**

1. THE LANDSCAPE PLAN HAS BEEN PREPARED IN COORDINATION WITH SITE PLAN AND ENGINEERING PLANS.
2. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. DO NOT SCALE DRAWINGS. CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
4. ALL PLANT MATERIAL TO BE NO. 1 GRADE, NURSERY GROWN IN ACCORDANCE WITH THE CANADIAN NURSERY TRADES ASSOCIATION.
5. ANY AREAS OUTSIDE THE LIMIT OF WORK DAMAGED BY THE CONTRACTOR SHALL BE RESTORED BY THE CONTRACTOR TO CITY OF KITCHENER STANDARDS AT NO ADDITIONAL COST TO THE OWNER.
6. ALL UNDERGROUND UTILITIES TO BE LOCATED BY THE LANDSCAPE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
7. ANY PLANT MATERIAL WHICH COMES OVER OR UNDER ANY UTILITY WILL BE RELOCATED AS DIRECTED BY THE ENGINEER.
8. SUBSTITUTION OF PLANT MATERIAL SHALL BE APPROVED BY THE ENGINEER.
9. SUPPLY AND INSTALL A SHREDDED BARK MULCH ON ALL PLANTING BEDS TO A 100mm DEPTH.
10. THE LANDSCAPE BEDS AT THE ENTRANCES AND EXITS WITHIN THE 4.57 METER VISIBILITY TRIANGLE SHALL NOT BE CONSTRUCTED TO DEVELOP HIGHER THAN 0.6 METERS FOR VISIBILITY PURPOSES.
11. SUPPLY AND INSTALL BOARD FENCE ALONG RESIDENTIAL PROPERTY LINES 2.44m MINIMUM IN HEIGHT. REMOVE AND REPLACE EXISTING CHAINLINK FENCING WHERE REQUIRED OR ABT EXISTING FENCING.
12. SAVE EXISTING TREES WHERE POSSIBLE. REPLACE TREES WHERE REQUIRED.
13. A 2% PARKLAND DEDICATION FEE IS REQUIRED

REV	DESCRIPTION	DATE	APPROV BY
2	SUBMISSION 2 SITE PLAN	2023.06.06	CHM
1	SUBMISSION 1 SITE PLAN	2022.12.14	CHM
0	INITIAL RELEASE	2022.05.25	---

**PROJECT**

**PROPOSED SITE PLAN OF**  
 PART OF LOT 32  
 CONCESSION 4  
 BEING BLOCKS 1, 2 & 5  
 GEOGRAPHIC TOWNSHIP OF ANCASTER  
 CITY OF HAMILTON  
 FARR COURT  
 ANCASTER, ONTARIO  
 CITY FILE NO. NA



**UNITS & CONVERSION**  
 ALL DIMENSIONS IN METRES.  
 (CONVERT TO FEET: DIVIDE BY 0.3048)

**BEARING NOTE**  
 BEARINGS ARE GRID, DERIVED FROM OBSERVED REFERENCE POINTS "A" AND "B", BY REAL TIME NETWORK OBSERVATION, UTM ZONE 17, NAD83 (CSRS) (2010.0). DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999603.

**ANTECH DESIGN & ENGINEERING GROUP**  
 Engineers and Urban Planners  
 25 King Street, Brantford, ON. N3T 3C4  
 www.atechdesign.com

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF ANTECH DESIGN AND ENGINEERING GROUP. ANY REPRODUCTION OR DISTRIBUTION, IN WHOLE OR IN PART, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF ANTECH DESIGN AND ENGINEERING GROUP IS PROHIBITED.

CLIENT  
**LANCA GENERAL CONTRACTING LIMITED**  
 GENERAL CONTRACTORS  
 PROJECT MANAGERS, DESIGN BUILDERS

SURVEY SYMBOLS		STORM, SANITARY, WATER SERVICE SYMBOLS		HYDRO		FIRE HYDRANT		UTILITY SERVICES SYMBOLS		GRADING SYMBOLS		OTHER SYMBOLS		UNDERGROUND SERVICES		PROPERTY LINES	
■ FOUND MONUMENTS	PL REGISTERED PLAN	○ INV = ### PIPE INVERT DIM.	◇ HW WATER VALVE	○ IS SPRINKLER HEAD	○ MH-S MANHOLE - SANITARY	○ EXISTING GRADE (m)	○ TRAFFIC SIGN	○ GAS VALVE	○ (HGUY) HYDRO GUIDE WIRE	○ PROPOSED GRADE (m)	○ TREE LINE	○ BOLLARD	○ ST - ST STORM	○ OWH OVER-HEAD WIRES	○ S - S SANITARY	○ BELL / (PHONE) / CABLE	○ SILT FENCING - LIGHT DUTY
▬ SET MONUMENTS	OU ORIGIN UNKNOWN	○ W WATER VALVE	○ CUL CURB STOP VALVE	○ TH TEST HOLE	○ CBMH CATCH BASIN MANHOLE	○ TC = TOP OF CURB	○ RAILWAY SIGN	○ GAS MARKER	○ (BGUY) BELL GUIDE WIRE	○ TC = TOP OF CURB	○ PLR PILLAR	○ GUARD POST	○ P - P HYDRO	○ SILT FENCING - HEAVY DUTY	○ B	○ BELL / (PHONE) / CABLE	○ SWALE / DIRECTION
IB IRON BAR	M MEASURED	○ V VALVE CHAMBER	○ CUL CURB STOP VALVE	○ BH BOREHOLE	○ DBL. CATCH BASIN MANHOLE	○ RW = BOTTOM OF WALL	○ RAILWAY SIGN (OTHER)	○ UP UTILITY POLE	○ (HTRN) HYDRO TRANSFORMER	○ TW = TOP OF WALL	○ MB MAIL BOX	○ FLOOD LIGHT	○ G - G GAS	○ SWALE / DIRECTION	○ P	○ BELL / (PHONE) / CABLE	○ GRADE SLOPE INDICATOR
SB STD. IRON BAR	PROP PROPORTIONED	○ DN DRAIN	○ CUL CURB STOP VALVE	○ MW MONITORING WELL	○ MH-T MANHOLE - HYDRO	○ SW = SWALE	○ SN (OTHER)	○ HP HYDRO POLE	○ (BMK) BELL MARKER	○ SW = SWALE	○ PMK PARKING METER	○ TRAFFIC CONTROL BOX	○ W - W WATER	○ DISTANCE (BELOW)	○ P	○ BELL / (PHONE) / CABLE	○ 1.0% SLOPE
SSB SHORT STD. IRON BAR	WT WITNESS	○ VC VALVE CHAMBER	○ CUL CURB STOP VALVE	○ CW CATCH BASIN	○ MH-B MANHOLE - BELL		○ TRAFFIC LIGHT	○ BP BELL POLE	○ (BP) BELL PEDESTAL		○ FL FLOOD LIGHT				○ BOLLARD		
CS CUT CROSS	BM BENCHMARK	○ DN DRAIN	○ CUL CURB STOP VALVE	○ CB CATCH BASIN	○ MH-F MANHOLE - FIBER OPTIC		○ TCB TRAFFIC CONTROL BOX	○ LS LIGHT STD.	○ (CMBK) CABLE TV MARKER		○ AC AIR CONDITIONER				○ PLR PILLAR		
N&W NAIL & WASHER	IP IRON PIPE	○ WELL WATER WELL	○ CUL CURB STOP VALVE	○ CB CATCH BASIN	○ MH-U MANHOLE - UNSPECIFIED		○ RSB RAILWAY SIGNAL CTRL BOX	○ HLS HYDRO LIGHT STD.	○ (CTV) CABLE PEDESTAL						○ GUARD POST		
				○ DITCH INLET CATCH BASIN											○ MB MAIL BOX		
															○ PMK PARKING METER		
															○ FL FLOOD LIGHT		
															○ AC AIR CONDITIONER		

DRAWN	CHECKED	DATE
CHM	JAB	2022.05.25

SHEET: **LANDSCAPE PLAN**

DRAWING NO.	REV.
221211 - L101	2



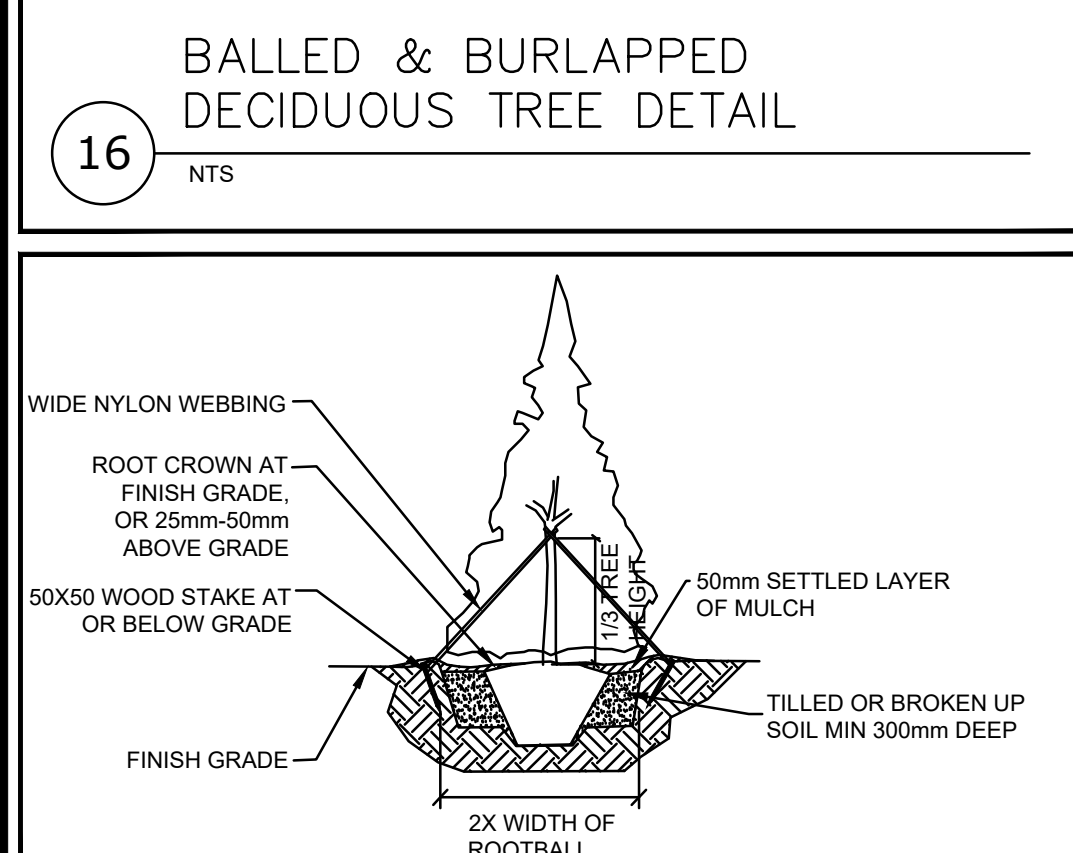
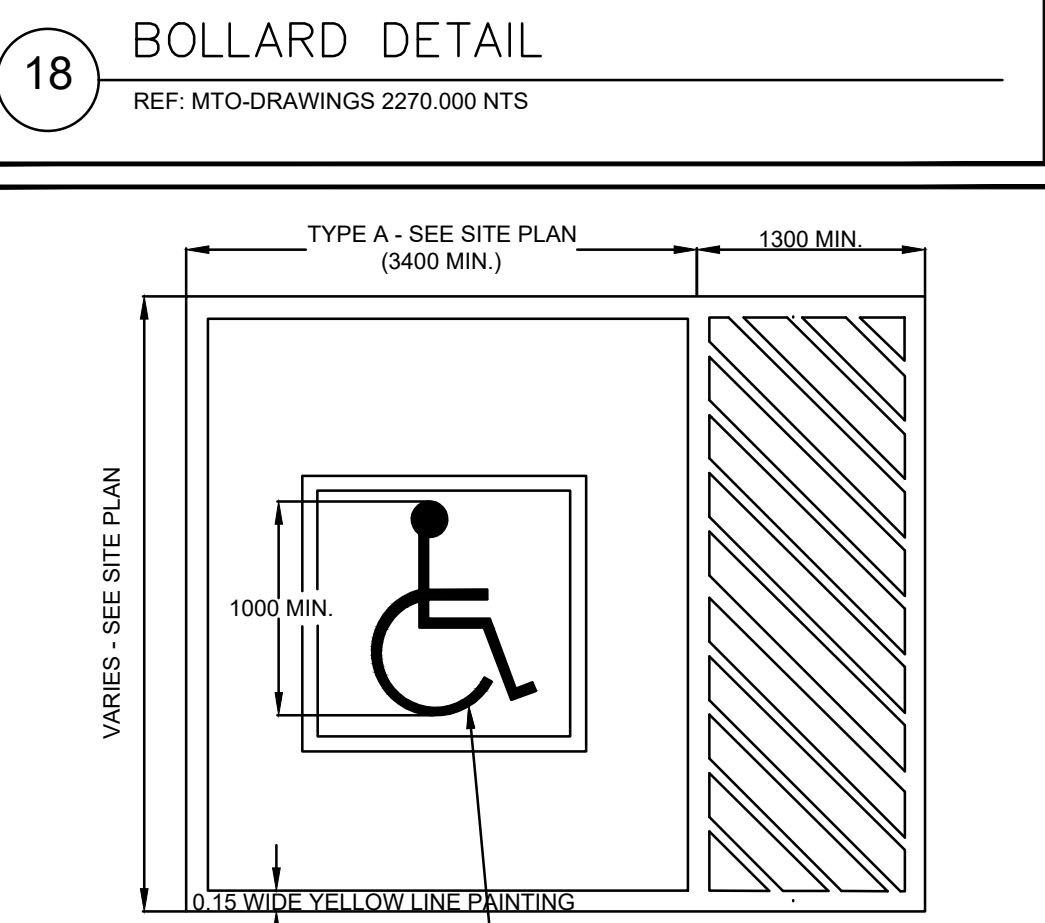
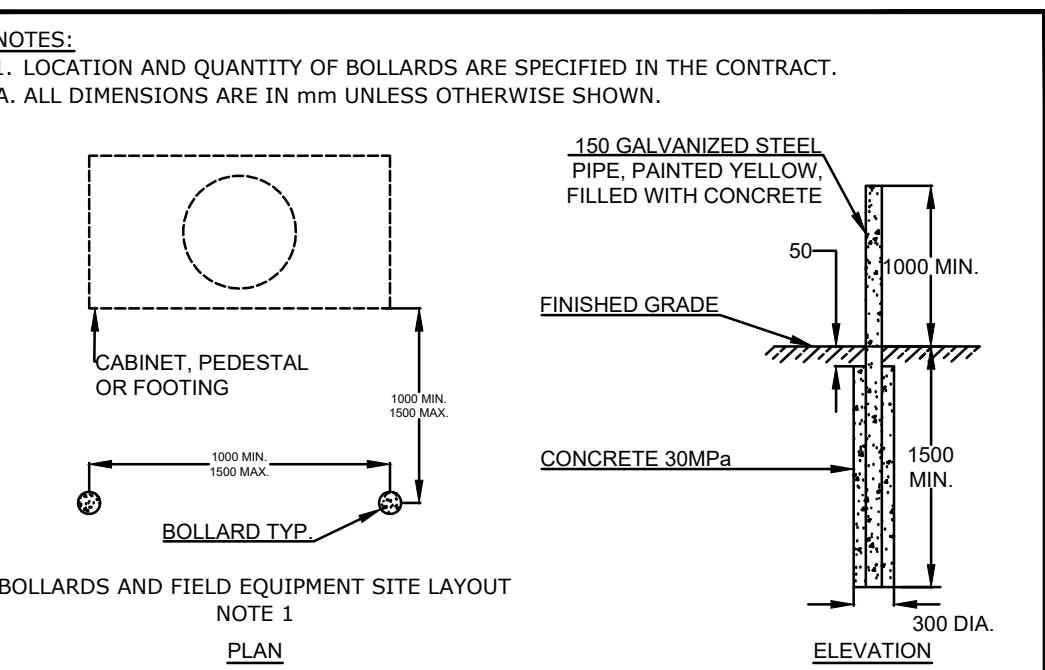
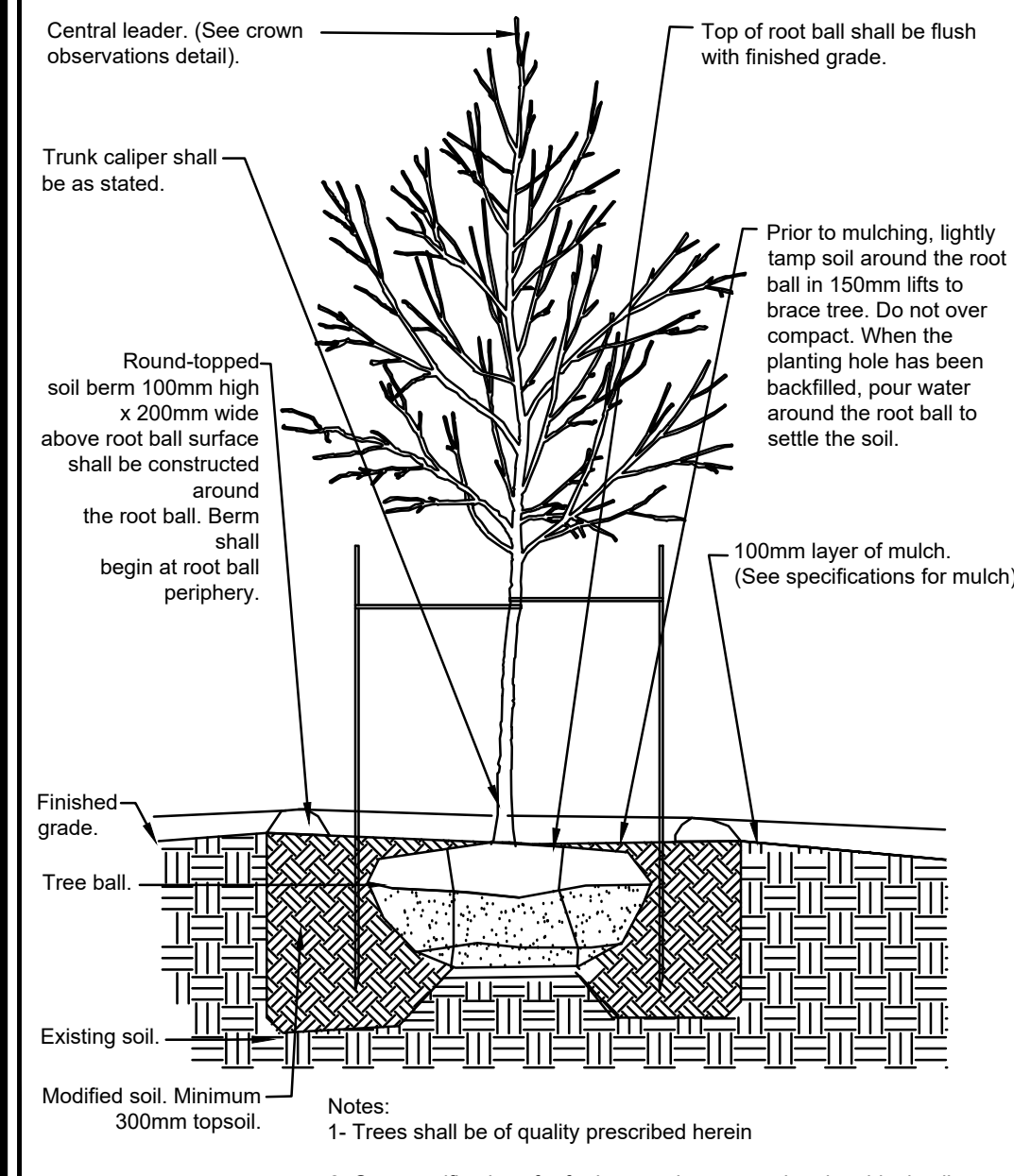
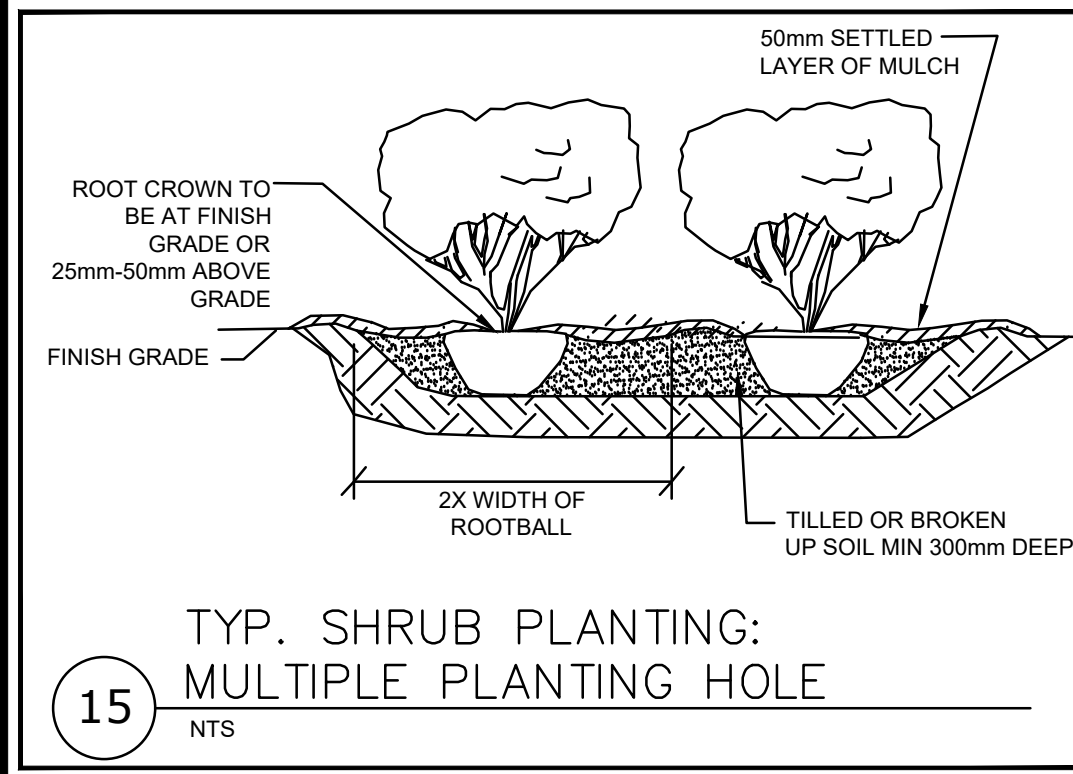


**PLANT LIST**

QTY	KEY	BOTANICAL NAME	COMMON NAME	CONDITION	CAL/SIZE	MATURE HEIGHT (m)	MATURE SPREAD (m)	SPACING (m)	COMMENTS
TREES									
6	AB	ABIES BALSAMEA	BALSAM FIR	W.B.	200cm	20.0m	8.0m	8.0m OC	SLOW GROWING, SYMMETRICAL, NATIVE TO NORTH AMERICA
5	PP	PICEA PUNGENS BABY BLUE	BABY BLUE SPRUCE	W.B.	200cm	8.0m	4.5m	10.0m OC	NATIVE TO NORTH AMERICA, DROUGHT TOLERANT, POLLUTION TOLERANT
2	QP	QUERCUS PALUSTRIS GREEN PILLAR (PRINGREEN)	GREEN PILLAR OAK	W.B.	45mm	16.0m	4.0m	-----	NARROW, COLUMNAR, STREET TREE
SHRUBS									
4	Ac	AMELANCHIER CANADENSIS (CLUMP)	SHADBLOW SERVICEBERRY	W.B.	200cm	4.6m	4.6m	---	
4	Cs	CORNUS SERICEA	RED OSIER DOGWOOD	W.B.	0.5m 3 gal	2.0m	2.5m	----	NATIVE, LOW MAINTENANCE
18	Fo	FORSYTHIA OVATA NORTHERN GOLD	NORTHERN GOLD FORSYTHIA	W.B.	0.5m 3 gal	2.0m	1.5m	----	DROUGHT-TOLERANT, URBAN POLLUTION TOLERANT
45	BJ	JUNIPERUS HORIZ PLUMOSA COMPACTA	COMPACT ANDORRA JUNIPER	W.B.	0.5m 3 gal	0.5m	1.5m	----	DROUGHT-TOLERANT, URBAN POLLUTION TOLERANT, NATIVE
GRASSES & PERENNIALS									
40	ms	MISCANTHUS SINENSIS STRICTUS	PORCUPINE GRASS	C.G.#1		2.4m	1.2m	4.25cm	URBAN POLLUTION TOLERANT
---	per	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	C.G.#1		1.5m	0.9m	4.25cm	URBAN POLLUTION TOLERANT, DROUGHT TOLERANT

GRASS ALTERNATIVE ST WILLIAMS NURSERY & ECOLOGY CENTRE LOW GROUND COVERING SEED MIX AS PER MANUFACTURERS INSTRUCTIONS OR EQUIVALENT

**KEY PLAN**



REV.	DESCRIPTION	DATE	APPROV BY
2	SUBMISSION 2 SITE PLAN	2023.06.06	CHM
1	SUBMISSION 1 SITE PLAN	2022.12.14	CHM
0	INITIAL RELEASE	2022.05.25	---

**PROJECT**  
**PROPOSED SITE PLAN OF**  
PART OF LOT 32  
CONCESSION 4  
BEING BLOCKS 1, 2 & 5  
GEOGRAPHIC TOWNSHIP OF ANCASTER  
CITY OF HAMILTON  
  
FARR COURT  
ANCASTER, ONTARIO  
  
CITY FILE NO. NA

**UNITS & CONVERSION**  
ALL DIMENSIONS IN METRES.  
(CONVERT TO FEET: DIVIDE BY 0.3048)

**BEARING NOTE**  
BEARINGS ARE GRID, DERIVED FROM OBSERVED REFERENCE POINTS "A" AND "B", BY REAL TIME NETWORK OBSERVATION, UTM ZONE 17, NAD83 (CSRS) (2010.0). DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999603.

**ANTECH DESIGN & ENGINEERING GROUP**  
Engineers and Urban Planners  
25 King Street, Brantford, ON. N3T 3C4  
[www.atechdesign.com](http://www.atechdesign.com)

PROPRIETARY AND CONFIDENTIAL  
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF ANTECH DESIGN AND ENGINEERING GROUP. ANY REPRODUCTION OR DISTRIBUTION, IN WHOLE OR IN PART, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF ANTECH DESIGN AND ENGINEERING GROUP IS PROHIBITED.

CLIENT  
**LANCA GENERAL CONTRACTING LIMITED**  
GENERAL CONTRACTORS  
PROJECT MANAGERS, DESIGN BUILDERS

DRAWN:	CHECKED:	DATE:
CHM	JAB	2022.05.25
SHEET: LANDSCAPE PLAN DETAILS		
DRAWING NO. <b>221211 - L102</b>		REV. <b>2</b>



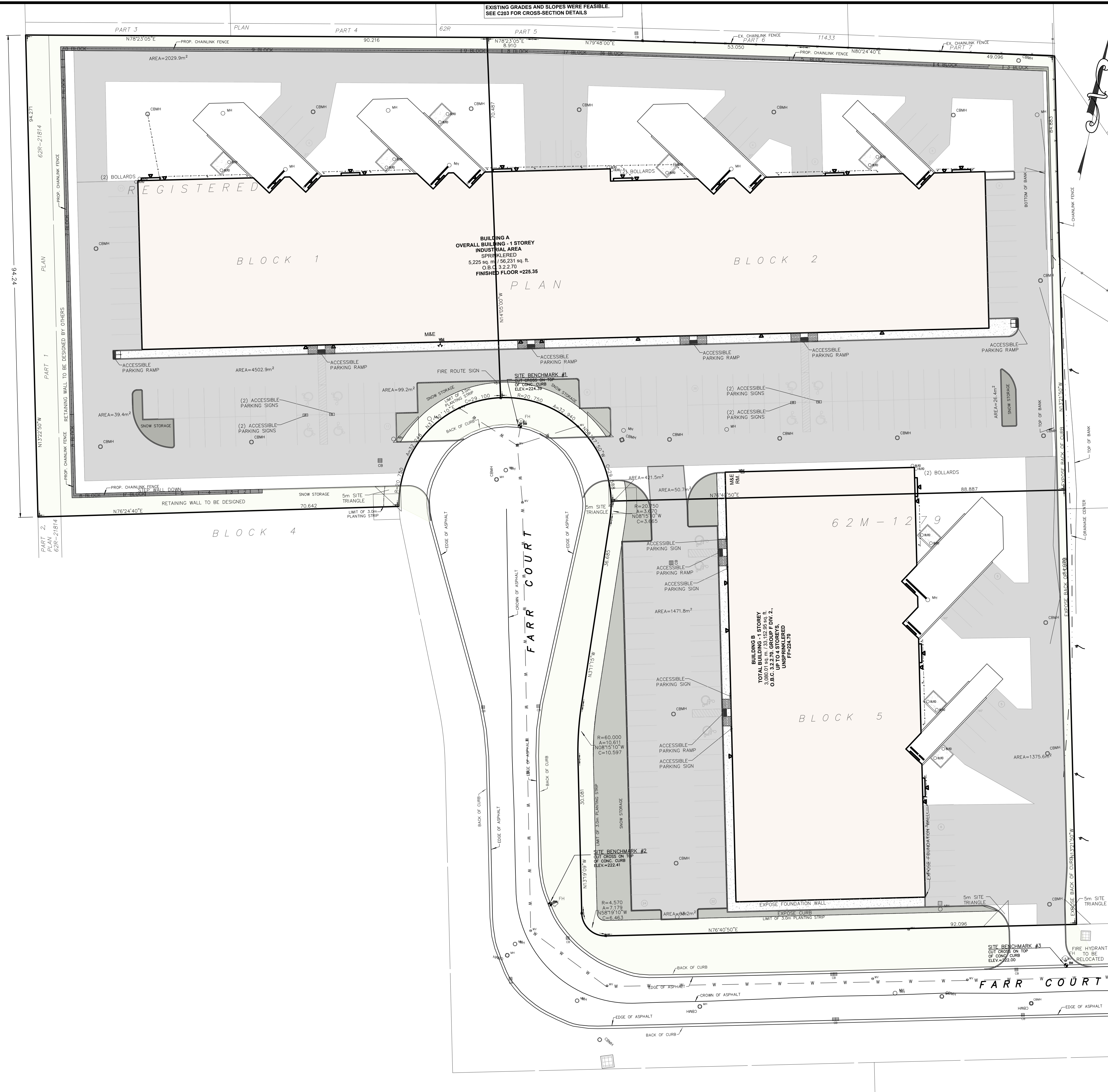
# Appendix C

## Proposed Landscape Percentages





**KEY PLAN**



**AREA NOTES**

DARK GREEN	39.4m <sup>2</sup>	PARKING & DRIVE AREA	4502.9m <sup>2</sup>
	99.2m <sup>2</sup>		2029.9m <sup>2</sup>
	50.7m <sup>2</sup>		1471.5m <sup>2</sup>
	421.5m <sup>2</sup>		1375.6m <sup>2</sup>
	63.2m <sup>2</sup>		
<b>TOTALS</b>	<b>674.0m<sup>2</sup></b>		<b>9380.2m<sup>2</sup> = 7.1%</b>

**NOTES**

2	SUBMISSION 2 SITE PLAN	2023.06.06	CHM
1	SUBMISSION 1 SITE PLAN	2022.12.14	CHM
0	INITIAL RELEASE	2022.05.25	---
REV.	DESCRIPTION	DATE	APPROV BY

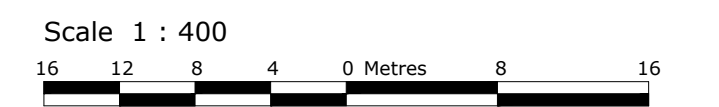
**PROJECT**

**PROPOSED SITE PLAN OF**

PART OF LOT 32  
CONCESSION 4  
BEING BLOCKS 1, 2 & 5  
GEOGRAPHIC TOWNSHIP OF ANCASTER  
CITY OF HAMILTON

FARR COURT  
ANCASTER, ONTARIO

CITY FILE NO. NA



**UNITS & CONVERSION**

ALL DIMENSIONS IN METRES.  
(CONVERT TO FEET: DIVIDE BY 0.3048)

**BEARING NOTE**

BEARINGS ARE GRID, DERIVED FROM OBSERVED REFERENCE POINTS "A" AND "B", BY REAL TIME NETWORK OBSERVATION, UTM ZONE 17, NAD83 (CSRS) (2010.0). DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999603.

**ANTECH DESIGN & ENGINEERING GROUP**  
Engineers and Urban Planners  
25 King Street, Brantford, ON. N3T 3C4  
[www.atechdesign.com](http://www.atechdesign.com)

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF ANTECH DESIGN AND ENGINEERING GROUP. ANY REPRODUCTION OR DISTRIBUTION, IN WHOLE OR IN PART, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF ANTECH DESIGN AND ENGINEERING GROUP IS PROHIBITED.

CLIENT  
**LANCA GENERAL CONTRACTING LIMITED**  
GENERAL CONTRACTORS  
PROJECT MANAGERS, DESIGN BUILDERS

<b>SURVEY SYMBOLS</b>	<b>STORM, SANITARY, WATER SERVICE SYMBOLS</b>	<b>FIRE HYDRANT</b>	<b>UTILITY SERVICES SYMBOLS</b>	<b>GRADING SYMBOLS</b>	<b>OTHER SYMBOLS</b>	<b>UNDERGROUND SERVICES</b>	<b>PROPERTY LINES</b>			
<ul style="list-style-type: none"> <li>FOUND MONUMENTS</li> <li>SET MONUMENTS</li> <li>IRON BAR</li> <li>STD. IRON BAR</li> <li>SHORT STD. IRON BAR</li> <li>CUT CROSS</li> <li>NAIL &amp; WASHER</li> </ul>	<ul style="list-style-type: none"> <li>REGISTERED PLAN</li> <li>ORIGIN UNKNOWN</li> <li>MEASURED</li> <li>PROPORTIONED</li> <li>WITNESS</li> <li>BENCHMARK</li> <li>IRON PIPE</li> </ul>	<ul style="list-style-type: none"> <li>PIPE INVERT DIM.</li> <li>WATER VALVE</li> <li>CURB STOP VALVE</li> <li>VALVE CHAMBER</li> <li>DRAIN</li> <li>WATER WELL</li> </ul>	<ul style="list-style-type: none"> <li>MANHOLE - SANITARY</li> <li>MANHOLE - STORM</li> <li>CATCH BASIN MANHOLE</li> <li>DBL. CATCH BASIN MANHOLE</li> <li>MANHOLE - HYDRO</li> <li>MANHOLE - TRAFFIC</li> <li>MANHOLE - BELL</li> <li>MANHOLE - FIBER OPTIC</li> <li>MANHOLE - UNSPECIFIED</li> </ul>	<ul style="list-style-type: none"> <li>GAS VALVE</li> <li>BOREHOLE</li> <li>UTILITY POLE</li> <li>HYDRO POLE</li> <li>BELL POLE</li> <li>LIGHT STD.</li> <li>HYDRO LIGHT STD.</li> </ul>	<ul style="list-style-type: none"> <li>HYDRO GUIDE WIRE</li> <li>BELL GUIDE WIRE</li> <li>HYDRO TRANSFORMER</li> <li>BELL MARKER</li> <li>BELL PEDESTAL</li> <li>CABLE TV MARKER</li> <li>CABLE PEDESTAL</li> </ul>	<ul style="list-style-type: none"> <li>EXISTING GRADE (m)</li> <li>PROPOSED GRADE (m)</li> <li>SEDIMENT TRAP</li> <li>DIRECTION OF SURFACE WATER</li> </ul>	<ul style="list-style-type: none"> <li>TREELINE</li> <li>TRAFFIC SIGN</li> <li>RAILWAY SIGN</li> <li>SN SIGN (OTHER)</li> <li>TRAFFIC LIGHT</li> <li>TRAFFIC CONTROL BOX</li> <li>RAILWAY SIGNAL CTRL BOX</li> </ul>	<ul style="list-style-type: none"> <li>FLAG POLE</li> <li>DECORATIVE POLE</li> <li>BOLLARD</li> <li>PILLAR</li> <li>GUARD POST</li> <li>MAIL BOX</li> <li>PARKING METER</li> <li>FLOOD LIGHT</li> <li>AIR CONDITIONER</li> </ul>	<ul style="list-style-type: none"> <li>STORM</li> <li>SANITARY</li> <li>BELL / PHONE / CABLE</li> <li>HYDRO</li> <li>GAS</li> <li>WATER</li> </ul>	<ul style="list-style-type: none"> <li>OVER-HEAD WIRES</li> <li>SILT FENCING - LIGHT DUTY</li> <li>SILT FENCING - HEAVY DUTY</li> <li>SWALE / DIRECTION</li> <li>GRADE SLOPE INDICATOR</li> </ul>

DRAWN:	CHECKED:	DATE:
CHM	JAB	2022.05.25
SHEET:		
LANDSCAPE PERCENTAGES		
DRAWING NO.	REV.	
221211 - L103	2	



## PLANNING JUSTIFICATION REPORT

**PROJECT NAME:**

Farr Court – Industrial Development  
Minor Variance

**PROJECT ADDRESS:**

Farr Court

**PROJECT NO.**

221211

**DATE SUBMITTED**

September 19, 2023

ANTECH DESIGN



# Project Summary

## Project No.

221211

## Client

Lana General Contacting Limited  
General Contactors

Version	Date	Description
1.0	2023.09.19	Initial Release

## Client Contact

--

## Consultant Team

Candice Micucci MCIP, RPP, OALA  
Andrew Butler, P.Eng.

## Property Address

Farr Court  
Ancaster, Ontario

## Disclaimer

This project has been prepared solely for the client and project named on this title page. Antech Design and Engineering accepts no responsibility or liability for any damages arising from the use of this document for any project other than the project for which it was commissioned. Antech Design and Engineering accepts no responsibility or liability for the use of this document by any party other than the client named on this title page, along with the approval and commenting municipalities and agencies involved in the project. To the extent this report is based on information supplied by other parties, Antech Design and Engineering accepts no liability for any loss or damage suffered by the client stemming from any conclusions based on data supplied by those parties.

# Contents

1.0	INTRODUCTION .....	2
1.1	POLICY FRAMEWORK.....	2
1.2	OUR APPROACH .....	2
2.0	LOCATION AND EXISTING CONDITIONS.....	3
3.0	POLICY AND REGULATORY FRAMEWORK .....	3
3.1	ONTARIO PLANNING ACT .....	3
3.2	PROVINCIAL POLICY STATEMENT .....	4
3.3	OFFICIAL PLAN.....	4
3.4	ZONING BY-LAW .....	4
3.5	FOUR TESTS OF A MINOR VARIANCE.....	7
4.0	CONCLUSION .....	7

Proposed Site Plan	Appendix A
Proposed Landscape Plan	Appendix B
Proposed Landscape Percentages	Appendix C



## 1.0 INTRODUCTION

Antech Design & Engineering Group has been retained to prepare a Planning Justification Report for the development of the property located on Farr Court, Ancaster, Ontario, located in the Valery Business Park.

The purpose of this Justification Report is to outline the technical details of the proposed Minor Variance and to evaluate if the application meets the four tests of a Minor Variance, being:

- Is the application minor in nature?
- Is the variance desirable for the appropriate development?
- Generally is the application inside the intent of the Zoning By-law?
- Would the approval of the application conform with the City's existing Official Plan?

Included in [Appendix A](#) is the proposed site plan.

The proposed Minor Variance is to:

1. Section 9.2.3 c of Zoning By-law 05-200: amend the requirement of 6.0-meter landscaped area to 3.0 landscaped area including the 3.0-meter-wide planting strip.
2. Section 5.3 h of Zoning By-law 05-200: reduce the landscaped area(s) and landscaped parking Island(s) to a minimum of 7.0% from the required 10%.

### 1.1 POLICY FRAMEWORK

The Subject Lands are designated as "Employment Areas and "Industrial Land" as per the Urban Hamilton Official Plan and "General Business Park (M2 611)" within the City of Hamilton's Zoning By-law.

Accordingly, the justification report addresses the:

- Ontario Planning Act
- Provincial Policy Statement
- Official Plan
- Zoning Bylaw
- 4 Tests of a Minor Variance

### 1.2 OUR APPROACH

In response to the vision for the subject lands to accommodate two (2) new industrial buildings, Antech Design and Engineering, have on behalf of the Owner, prepared this Planning Justification Report to illustrate how the proposed development is in accordance with the above policies. Specifically, relevant policies of these documents will be evaluated.





### 3.2 PROVINCIAL POLICY STATEMENT

The Provincial Policy Statement (PPS) issued under Section 3 of the Planning Act establishes key Provincial interests with regard to land use planning. The PPS requires that decisions affecting planning matters “shall be consistent with” policy statement issued under said Act. Part III of the document, How to Read the Provincial Policy Statement, states, “the Provincial Policy Statement is to be read in its entirety, and all relevant policies are to be applied to each situation. When more than one policy is relevant, a decision-maker should consider all of the relevant policies to understand how they work together”

The general purpose of the PPS is to provide policy direction on matters of provincial interest related to land use planning and development in Ontario. The Provincial Policy Statement sets the policy foundation for regulating the development and use of land and it supports the provincial goal to enhance the quality of life for all Ontarians. As the focus of the PPS is on the outcomes or end-states, the process used to achieve these outcomes is at the discretion of the development team.

Due to the nature of the proposed application, being that the application is site specific and does not involve any major policy considerations, it is my professional opinion that there are no provincial interests.

### 3.3 OFFICIAL PLAN

The subject lands are designated as “Employment Areas” in Schedule E – Urban Structure and designated as “Business Park” in Schedule E-1 – Urban Land Use Designations in Volume 1 of the Urban Hamilton Official Plan (UHOP Volume 1).

Given that the proposed Minor Variance is seeking permission to vary the landscaping and does not impact the permitted uses and overall guiding policies of the Official Plan it is my professional opinion that the proposed development is in keeping with the general intent of the Industrial and Business Park policies of the Official Plan.

### 3.4 ZONING BY-LAW

The subject lands are classified as General Business Park (M2,611) Zone which permits the following uses.

The permitted uses with the General Business Park M2 Zone are as follows:

- Alcohol Production Facility
- Artist Studio
- Animal Shelter
- Aquaponics
- Building and Lumber Supply Establishment
- Cannabis Growing and Harvesting Facility
- Commercial Motor Vehicle Sales, Rental and Service Establishment
- Communications Establishment
- Contractor’s Establishment
- Courier Establishment

- Craftsperson Shop
- Dry Cleaning Plant
- Equipment and Machinery Sales, Rental and Service Establishment
- Greenhouse
- Industrial Administrative Office
- Laboratory
- Labour Association Hall
- Landscape Contracting Establishment
- Manufacturing
- Motor Vehicle Collision Repair Establishment
- Private Power Generation Facility
- Production Studio
- Repair Service
- Research and Development Establishment
- Surveying, Engineering, Planning or Design Business
- Trade School
- Tradesperson’s Shop
- Transport Terminal
- Warehouse
- Waste Processing Facility
- Waste Transfer Facility
- Office
- Restaurant contained within a multi unit building; however a stand-alone restaurant shall be prohibited
- Medical Office
- Motor Vehicle service station excluding the sale of fuel, automotive accessories & or convenience goods

The proposed uses are permitted.

**Minor Variance 1: Landscaped Area and Planting Strip Requirements**

**Section:** 9.2.3 c of Zoning By-law 05-200

Requirement from the Zoning By-law

Landscaped Area and Planting Strip Requirements	Minimum 3.0 metre wide Landscaped Area shall be provided and maintained abutting a street, except for points of ingress and egress;
	Notwithstanding i) above, where a parking space, aisle or driveway is located in a Yard abutting a Street, a minimum 6.0 metre wide Landscaped Area, which includes a 3.0-metre-wide Planting Strip, shall be required and maintained between the said parking space, aisle, or driveway and a street, except for points of ingress and egress

**Variance Requested:** *Amend the requirement of 6.0-meter landscaped area to 3.0 landscaped area including the 3.0-meter-wide planting strip.*



The applicant intends to construct two industrial buildings with the required parking and drive aisles. Due to the location of the property, at the end of the Farr Court cul-du-sac, and the geometry of said cul-du-sac, it is not possible to maintain the required 6.0 meters.

The purpose of the 6.0-meter landscaping buffer where parking is located abutting a street is to buffer the car lights reflecting on the road and improve the street scape. In this case, while the parking is proposed closer to the street than the required 6.0 meters a fully planted landscape buffer is proposed that will limit the impact of headlights on the street and create a visually appealing streetscape. Additionally, the subject lands are located at the end of a cul-du-sac where there is limited vehicular traffic. The proposed Landscape Plan is included as [Appendix B](#).

### **Minor Variance 2: Planting Strip Requirements**

**Section:** 5.3 h of the City of Hamilton Zoning By-law

Requirement from the Zoning By-law

h) In addition to Section 5.1 a) v) and Subsection 5.2 e), the following Planting Strip requirements shall apply to surface parking lots in all zones where 50 or more parking spaces are provided on a lot:

- i) Landscaped Area(s) and Landscaped Parking Island(s) with a minimum combined area of 10% of the area of the parking lot and associated access driveway and maneuvering areas shall be provided and maintained;
- ii) Each Landscaped Area and Landscaped Parking Island shall have a minimum area of 10.0 square metres; and,
- iii) In addition to Section 5.6, the number of required parking spaces required to accommodate the Landscaped Area or Landscaped Parking Island within the parking lot shall be reduced by the amount needed to accommodate the minimum Landscaped Parking Island requirement as required by Subsection 5.2 h) i), up to a maximum of 10% of the required parking spaces.

### **Variance Requested**

*Reduce the Landscaped Area(s) and Landscaped Parking Island(s) to a minimum of 7.0% from the required 10%.*

The proposed design accommodates landscaped space within the parking area where possible. The proposed development requires significant area for truck maneuvering and loading bays which has led to limited area for landscaping within these areas. Included as [Appendix C](#) is a drawing illustrating the areas and landscaped space included.

All other requirements of the Zoning By-law are met.

### 3.5 FOUR TESTS OF A MINOR VARIANCE

Is the application minor in nature? The requested variances are considered minor in nature as the proposed development will be consistent with the built form in the area and the use of the property will remain consistent with the permitted uses. In addition, there are no perceived adverse impacts on the neighbouring properties as a result of the proposed variances. The intent of the provisions for landscaping within the Zoning By-law is to ensure sufficient / consistent landscape area is provided and that buffer is provided to ensure safe developments. As per the attached plans there is sufficient landscaping being provided.

Is the variance desirable for the appropriate development or use of the land, building or structure? The use of the property is consistent with the Official Plan designation and the proposed built form is consistent with the Zoning By-law and Valery Business Park design without amendment.

Is the application inside the intent of the Zoning By-law? Except for the two noted variances all other requirements of the Zoning By-law are being maintained. It is my professional opinion that because all other requirements are being met, the application is within the general intent of the requirements of the Zoning By-law.

Would the approval of the application conform with the City's existing Official Plan? Approval of the proposed application for minor variance does not impact the Official Plan policies.

## 4.0 CONCLUSION

The application for Minor Variance as described in this report has been fully reviewed from a land use planning perspective. It is our professional opinion that approval of the application should be granted for the following reasons:

- The application is minor in nature.
- The variance is desirable for the appropriate development.
- The application maintains the intent of the requirements of the Zoning By-law.
- The application conforms with the policies of the City of Hamilton's Official Plan





Hamilton

Committee of Adjustment

City Hall, 5<sup>th</sup> Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

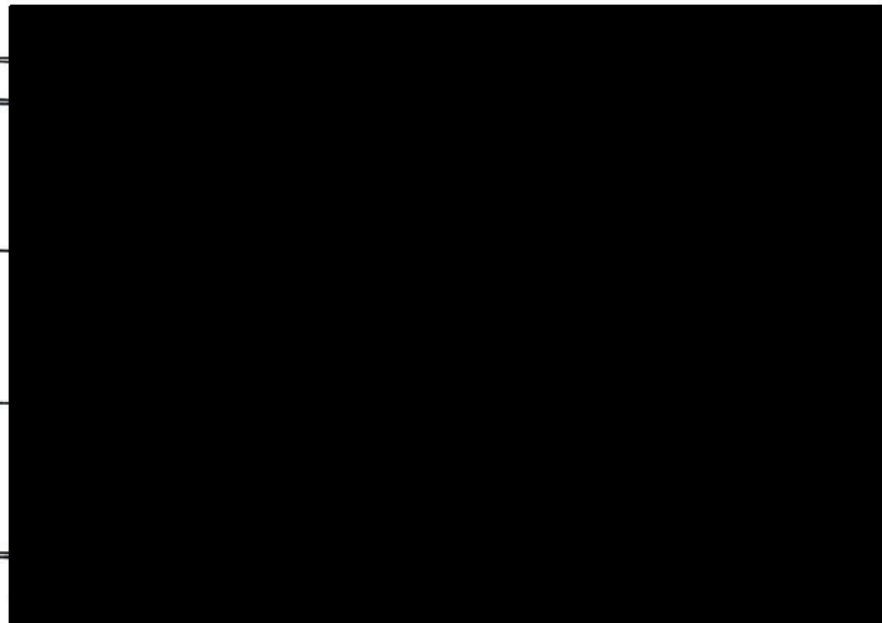
Phone: (905) 546-2424 ext. 4221

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE *PLANNING ACT*

### 1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Saijay Modi
Applicant(s)	Dylon Doyle
Agent or Solicitor	Candice Micucci Antech Design



1.2 All correspondence should be sent to

Applicant

Agent/Solicitor

1.3 Sign should be sent to

Purchaser

Owner

Applicant

Agent/Solicitor

1.4 Request for digital copy of sign

Yes\*

No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email

Yes\*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

### 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	Farr Court		
Assessment Roll Number			
Former Municipality			
Lot	Pt Lt 32	Concession	Con 4
Registered Plan Number	62M-1279	Lot(s)	Blk 1,2,3
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

Part 1 Plan 62R-21814 for storm.

### 3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Section 9.2.3 c 6m landscape buffer to 3m  
 Section 5.3 h 10% landscape area to 7%

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Shape of the road and the need for many loading docks and truck movements. See Planning report.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
254m ±	88m ±	25480.4m <sup>2</sup> ±	26m

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Nil				_____

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Industrial A	11.2m	23.8m	14.1m 21.1m	_____
Industrial B	22.7m	29.4m	6.0m 1/1reg	_____

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Nil				_____

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Industrial A	5225m <sup>2</sup>	5225m <sup>2</sup>	1	
Industrial B	3080m <sup>2</sup>		up to 4	

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)  
 \_\_\_\_\_

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)  
 \_\_\_\_\_



- 4.6 Type of sewage disposal proposed: (check appropriate box)
- publicly owned and operated sanitary sewage
  - system privately owned and operated individual
  - septic system other means (specify) \_\_\_\_\_
- 4.7 Type of access: (check appropriate box)
- provincial highway
  - municipal road, seasonally maintained
  - municipal road, maintained all year
  - right of way
  - other public road
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
*Industrial*
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
*Industrial*

**7 HISTORY OF THE SUBJECT LAND**

- 7.1 Date of acquisition of subject lands:  
*January 10<sup>th</sup> 2021*
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
*vacant*
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
*vacant ↔ Industrial Business Park*
- 7.4 Length of time the existing uses of the subject property have continued:  
*unknown*
- 7.5 What is the existing official plan designation of the subject land? *Industrial*
- Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_
- Rural Settlement Area: \_\_\_\_\_
- Urban Hamilton Official Plan designation (if applicable) *Industrial*  
*General Business Park*  
*M2:611*
- Please provide an explanation of how the application conforms with the Official Plan.  
*Please see planning report*
- 7.6 What is the existing zoning of the subject land? *General Business Park M2:61*
- 7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)
- Yes  No
- If yes, please provide the file number: \_\_\_\_\_

---

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes       No

If yes, please provide the file number: Site Plan Control DA-23-013

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?  
 Yes       No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

**8 ADDITIONAL INFORMATION**

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):  
Please see attached Planning Report

# 11 COMPLETE APPLICATION REQUIREMENTS

## 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

## 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study

---

---