



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

| | | | |
|-------------------------|-------------------------------|--------------------------|---|
| APPLICATION NO.: | FL/A-23:272 | SUBJECT PROPERTY: | 21 BARNABAS STREET, FLAMBOROUGH |
| ZONE: | “S1” (Settlement Residential) | ZONING BY-LAW: | Zoning By-law City of Hamilton 05-200, as Amended |

APPLICANTS: **Owner:** CORY & ANDREA BOUDREAU

The following variances are requested:

1. To permit a maximum of 7.5% total lot coverage for all accessory buildings instead of the required maximum aggregate Gross Floor Area of 45 square metres or 7.5% total lot coverage, whichever is the lesser.

PURPOSE & EFFECT: To facilitate the construction of an accessory building (storage) in the rear yard of a single-family dwelling.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

| | |
|---------------|--|
| DATE: | Thursday, November 16, 2023 |
| TIME: | 9:55 a.m. |
| PLACE: | Via video link or call in (see attached sheet for details) |
| | 2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton |
| | To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment |

For more information on this matter, including access to drawings illustrating this request and other information submitted:

FL/A-23:272

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

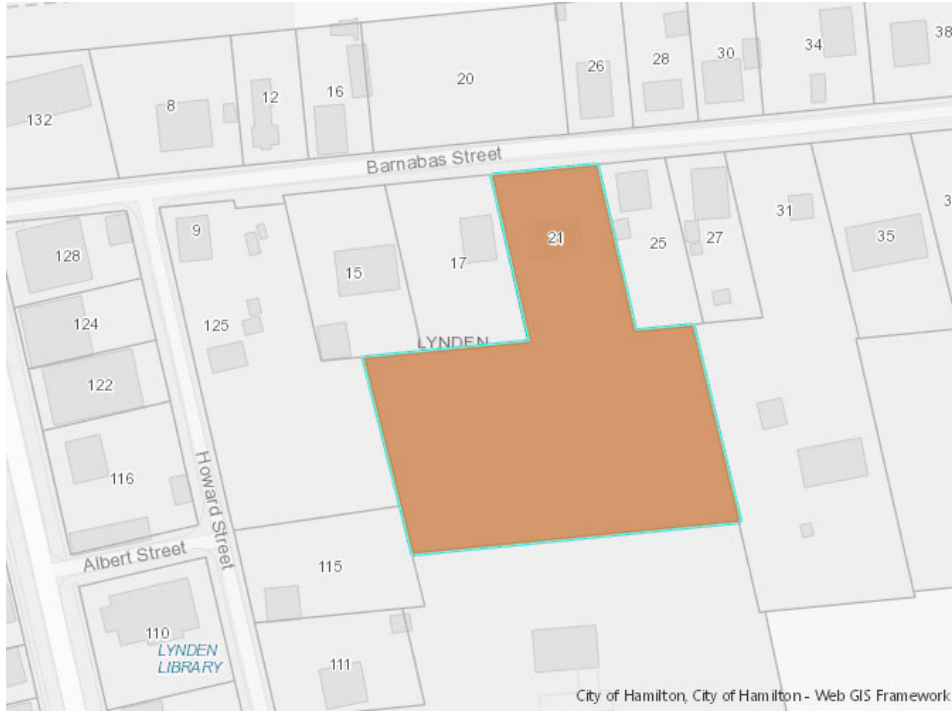
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.


Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding FL/A-23:272, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: October 31, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

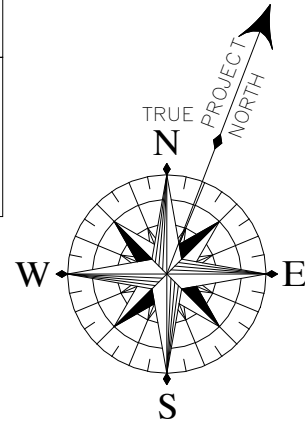
Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

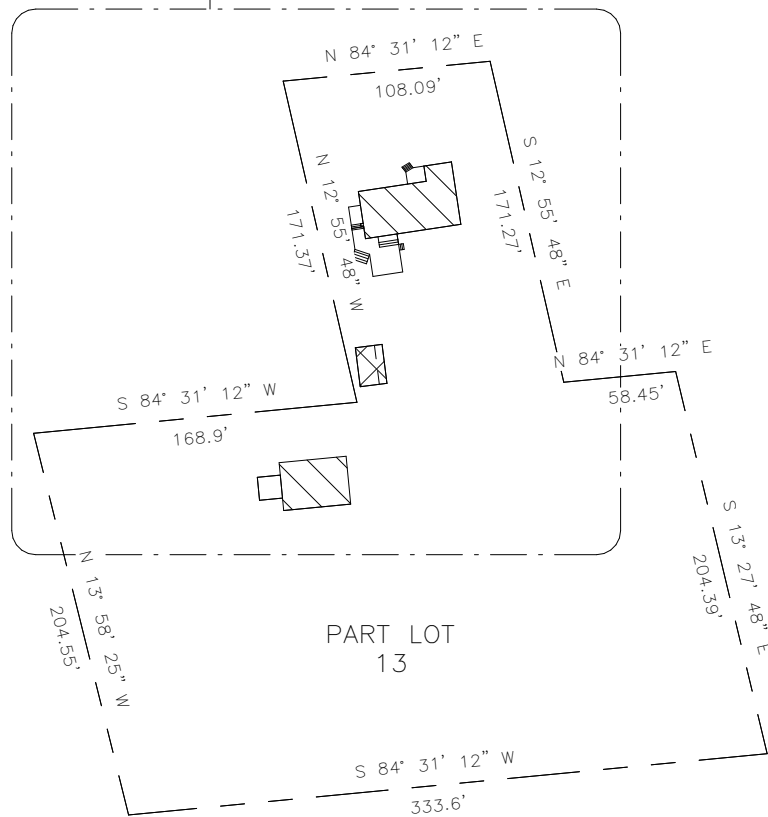
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

SITE PLAN NOTE

THIS IS NOT A LEGAL SURVEY AND SHALL NOT BE USED FOR MORTGAGE OR TRANSCATION PURPOSES. PROPERTY LIMITS HAVE BEEN COMPILED FROM LAND REGISTRY OFFICE RECORDS

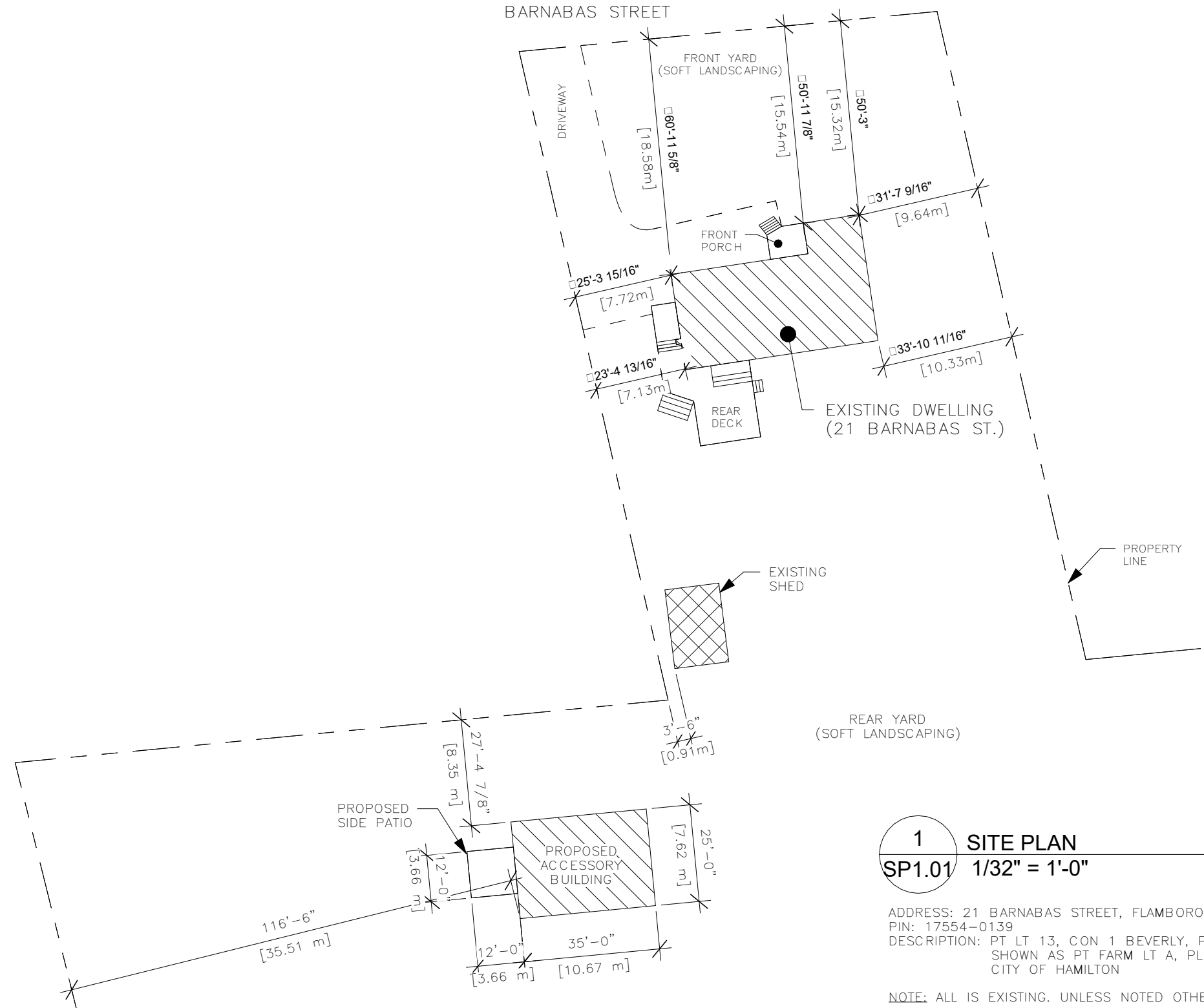


1
SP1.01



2
SP1.01
KEY PLAN
1" = 100'-0"

BARNABAS STREET



1
SP1.01
SITE PLAN
1/32" = 1'-0"

ADDRESS: 21 BARNABAS STREET, FLAMBOROUGH, ON, L0R 1T0
 PIN: 17554-0139
 DESCRIPTION: PT LT 13, CON 1 BEVERLY, PT 1, 62R3556, SHOWN AS PT FARM LT A, PL 197; FLAMBOROUGH CITY OF HAMILTON

NOTE: ALL IS EXISTING. UNLESS NOTED OTHERWISE.

Jac'd
Residential Building Design

692 Centre Road
Flamborough, Ontario
Canada, L8N 2Z7
(416) 993-1509
jacdesigninc@gmail.com

| PROPERTY and BUILDING AREAS | |
|---------------------------------------|-----------------------------|
| 86,048.62 SF [7994.2 m ²] | TOTAL PROPERTY SIZE |
| 1362.1 SF [126.54 m ²] | EXISTING DWELLING |
| 74.6 SF [6.93 m ²] | EXISTING FRONT PORCH |
| 467.96 SF [43.47 m ²] | EXISTING REAR DECK |
| 285.83 SF [26.55 m ²] | EXISTING SHED |
| 2.54 % | EXISTING LOT COVERAGE |
| 875.0 SF [81.29 m ²] | PROPOSED ACCESSORY BUILDING |
| 144.0 SF [13.4 m ²] | PROPOSED SIDE PATIO |
| 3.72 % | PROPOSED LOT COVERAGE |

| REV. NO. | DATE | REVISION DETAILS |
|----------|------|------------------|
| | | |

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF JACDESIGN INC., IT IS NOT TO BE COPIED OR USED IN ANY OTHER WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF JACDESIGN INC. AND MUST BE RETURNED UPON REQUEST.

PROJECT NAME
ANDREA BOUDREAU

PAGE DETAILS
**DETACHED STORAGE BUILDING
SITE PLAN**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS AS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER AND APART OF THE REGISTERED DESIGN FIRM.

DESIGNER: NAME: Julia Cangemi BCIN: [redacted]
 DESIGN FIRM: NAME: Jac Design Inc. BCIN: 110671

date _____
 DATE SIGNATURE _____

NOT VALID UNLESS DATED and SIGNED

DRAWN BY: RS/JC
 APPROVED BY: JC
 DATE: 2023-06-06
 SCALE: As indicated
 FILE: J230524
 SHEET: **SP1.01**

DRAFT

City Req'd Blankspace

ANDREA BOUDREAU

21 BARNABAS STREET,
HAMILTON, ON.,
L0R 1T0

DRAFT

Jac

| PAGE LIST | |
|-----------|----------------------------|
| A0.01 | TITLEPAGE |
| A1.01 | ARCHITECTURAL FLOOR PLAN |
| A1.02 | ARCHITECTURAL FLOOR PLAN |
| A2.01 | ARCHITECTURAL ELEVATION |
| A2.02 | ARCHITECTURAL ELEVATION |
| A2.03 | ARCHITECTURAL ELEVATION |
| A2.04 | ARCHITECTURAL ELEVATION |
| R1.01 | RENDERS – EXTERIOR OPTIONS |
| R1.02 | RENDERS – EXTERIOR OPTIONS |
| S4.01 | STRUCTURAL SECTIONS |
| S4.02 | STRUCTURAL SECTIONS |

ALL NOTES SHOWN ON FINAL UNWATERMARKED DESIGN DRAWING FILES TO BE FOLLOWED



Jac'd
Residential Building Design

692 Centre Road
Flamborough, Ontario
Canada, L8N 2Z7
(416) 993-1509
jacdesigninc@gmail.com

IN COLLABORATION WITH:



FLAMBOROUGH
BUILDERS

| REV. NO. | DATE | REVISION DETAILS |
|----------|------|------------------|
| | | |

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF JACDESIGN INC., IT IS NOT TO BE COPIED OR USED IN ANY OTHER WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF JACDESIGN INC. AND MUST BE RETURNED UPON REQUEST.

PROJECT NAME

ANDREA BOUDREAU

PAGE DETAILS

DETACHED STORAGE BUILDING

TITLEPAGE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS AS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER AND APART OF THE REGISTERED DESIGN FIRM.

DESIGNER: NAME: Julia Cangemi BCIN: DESIGN FIRM: NAME: Jac Design Inc. BCIN: 110671

DATE SIGNATURE

NOT VALID UNLESS DATED and SIGNED

DRAWN BY: as noted

APPROVED BY: JC

DATE: 2023-06-06

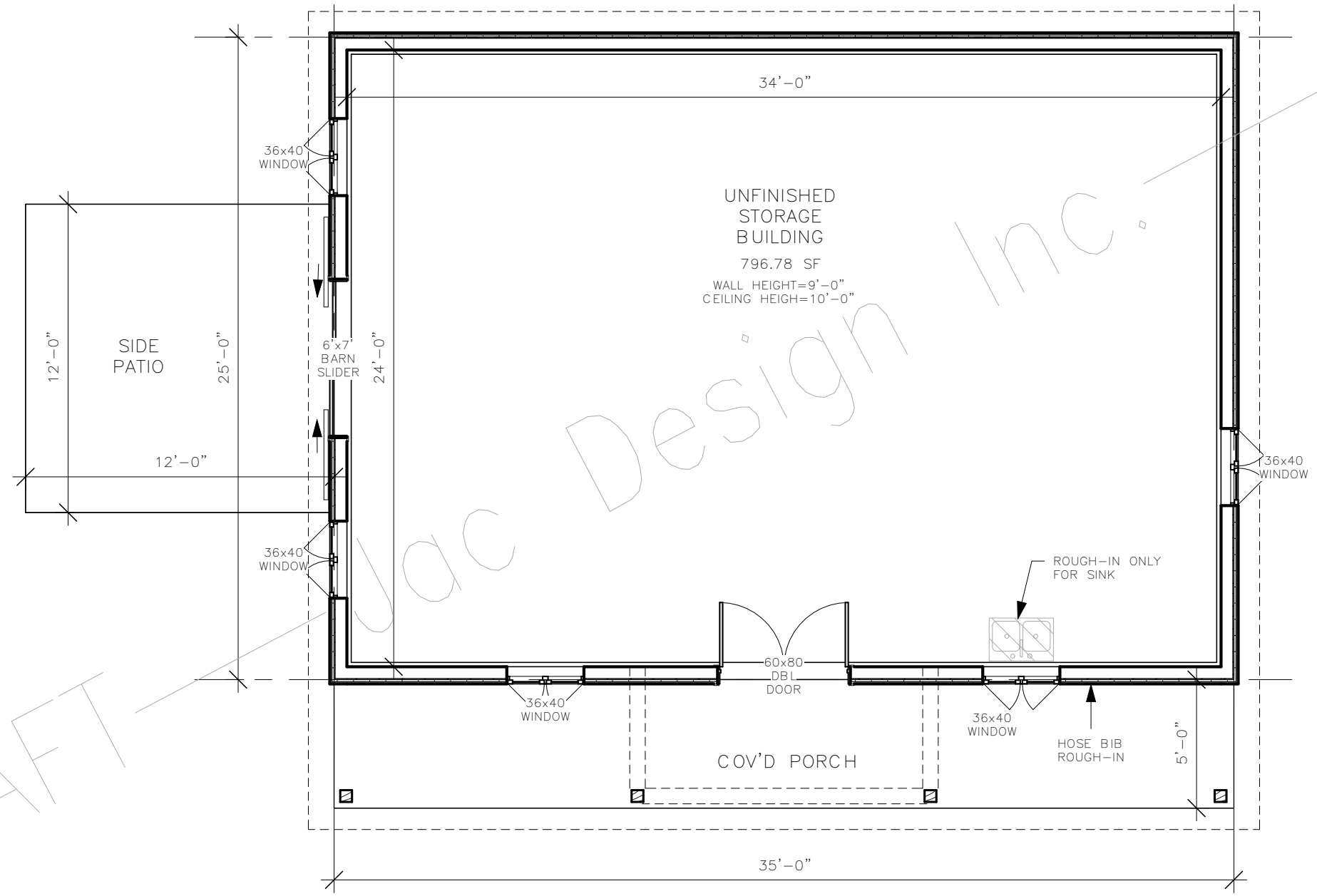
SCALE:

FILE: J230524

SHEET: **A0.01**

DRAFT

City Req'd Blankspace



1 MAIN STOREY - OPT 1
A1.01 3/16" = 1'-0"

Jac'd
Residential Building Design

692 Centre Road
Flamborough, Ontario
Canada, L8N 2Z7
(416) 993-1509
jacdesigninc@gmail.com

IN COLLABORATION WITH:

FLAMBOROUGH BUILDERS

| REV. NO. | DATE | REVISION DETAILS |
|----------|------|------------------|
| | | |

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF JACDESIGN INC., IT IS NOT TO BE COPIED OR USED IN ANY OTHER WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF JACDESIGN INC. AND MUST BE RETURNED UPON REQUEST.

PROJECT NAME
ANDREA BOUDREAU

PAGE DETAILS
**DETACHED STORAGE BUILDING
ARCHITECTURAL FLOOR PLAN**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS AS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER AND APART OF THE REGISTERED DESIGN FIRM.

DESIGNER: NAME: Julia Cangemi BCIN: NAME: Jac Design Inc. BCIN: 110671

DATE: SIGNATURE:

NOT VALID UNLESS DATED and SIGNED

DRAWN BY: CH

APPROVED BY: JC

DATE: 2023-06-06

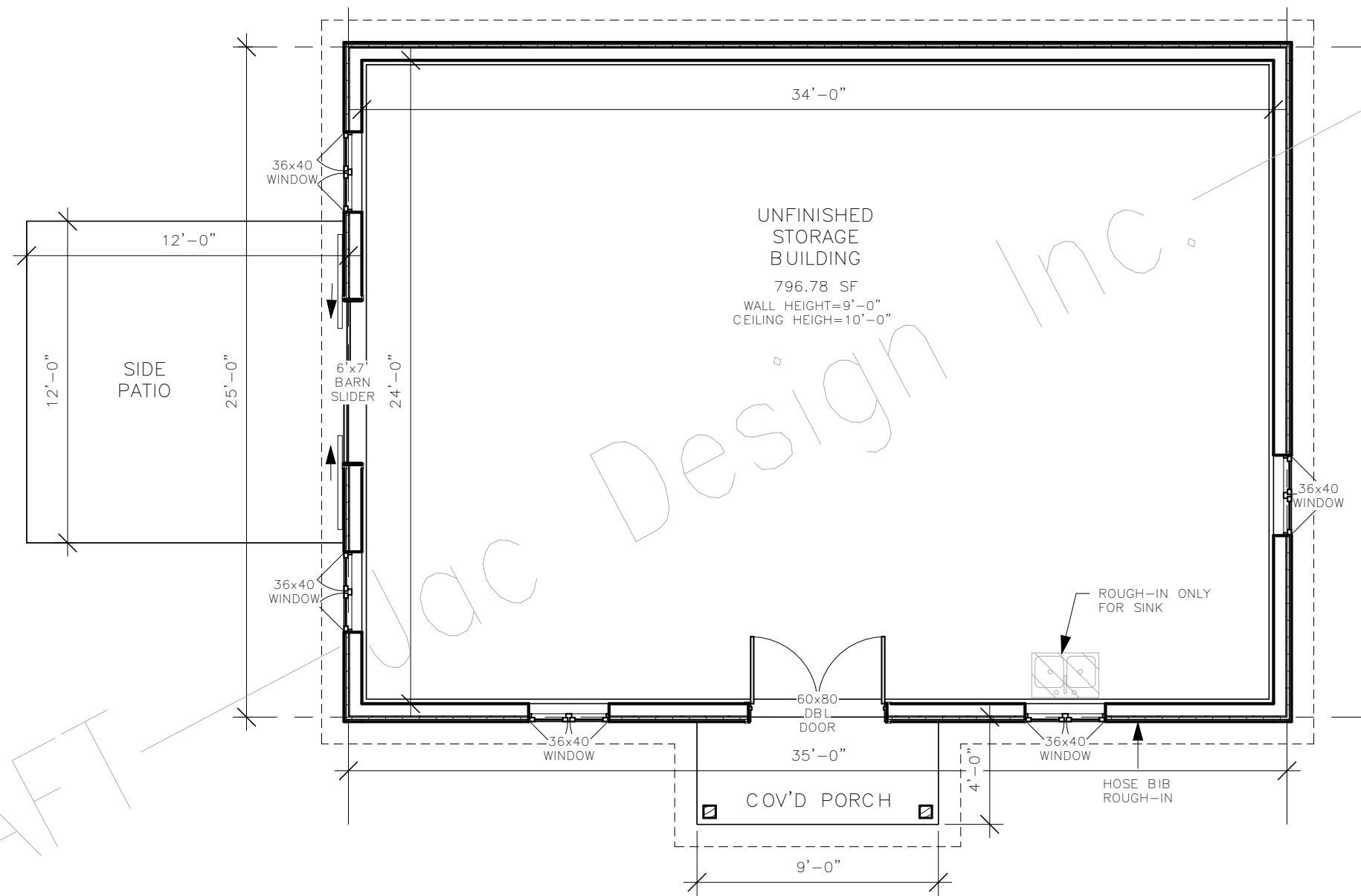
SCALE: 3/16" = 1'-0"

FILE: J230524

SHEET: **A1.01**

DRAFT

City Req'd Blankspace



1 MAIN STOREY - OPT 2
A1.02 3/16" = 1'-0"

Jac'd
Residential Building Design

692 Centre Road
Flamborough, Ontario
Canada, L8N 2Z7
(416) 993-1509
jacdesigninc@gmail.com

IN COLLABORTAION WITH:

FLAMBOROUGH BUILDERS

| REV. NO. | DATE | REVISION DETAILS |
|----------|------|------------------|
| | | |

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF JACDESIGN INC., IT IS NOT TO BE COPIED OR USED IN ANY OTHER WAY WITHOUT THE EXPRESS WRITTEN CONSETN OF JACDESIGN INC. AND MUST BE RETURNED UPON REQUEST.

PROJECT NAME
ANDREA BOUDREAU

PAGE DETAILS
**DETACHED STORAGE BUILDING
ARCHITECTURAL FLOOR PLAN**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS AS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER AND APART OF THE REGISTERED DESIGN FIRM.

DESIGNER: NAME: Julia Cangemi BCIN: NAME: Jac Design Inc. BCIN: 110671

DATE: SIGNATURE:

NOT VALID UNLESS DATED and SIGNED

DRAWN BY: JR/CH

APPROVED BY: JC

DATE: 2023-06-06

SCALE: 3/16" = 1'-0"

FILE: J230524

SHEET: **A1.02**

DRAFT

City Req'd Blankspace



1 FRONT ELEVATION (SOUTH)
A2.01 1/4" = 1'-0"

Jac'd
Residential Building Design

692 Centre Road
Flamborough, Ontario
Canada, L8N 2Z7
(416) 993-1509
jacdesigninc@gmail.com

IN COLLABORATION WITH:

FLAMBOROUGH BUILDERS

| REV. NO. | DATE | REVISION DETAILS |
|----------|------|------------------|
| | | |

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF JACDESIGN INC., IT IS NOT TO BE COPIED OR USED IN ANY OTHER WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF JACDESIGN INC. AND MUST BE RETURNED UPON REQUEST.

PROJECT NAME
ANDREA BOUDREAU

PAGE DETAILS
**DETACHED STORAGE BUILDING
ARCHITECTURAL ELEVATION**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS AS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER AND APART OF THE REGISTERED DESIGN FIRM.

DESIGNER: NAME: Approver BCIN: _____
DESIGN FIRM: NAME: Jac Design Inc. BCIN: 110671

DATE SIGNATURE

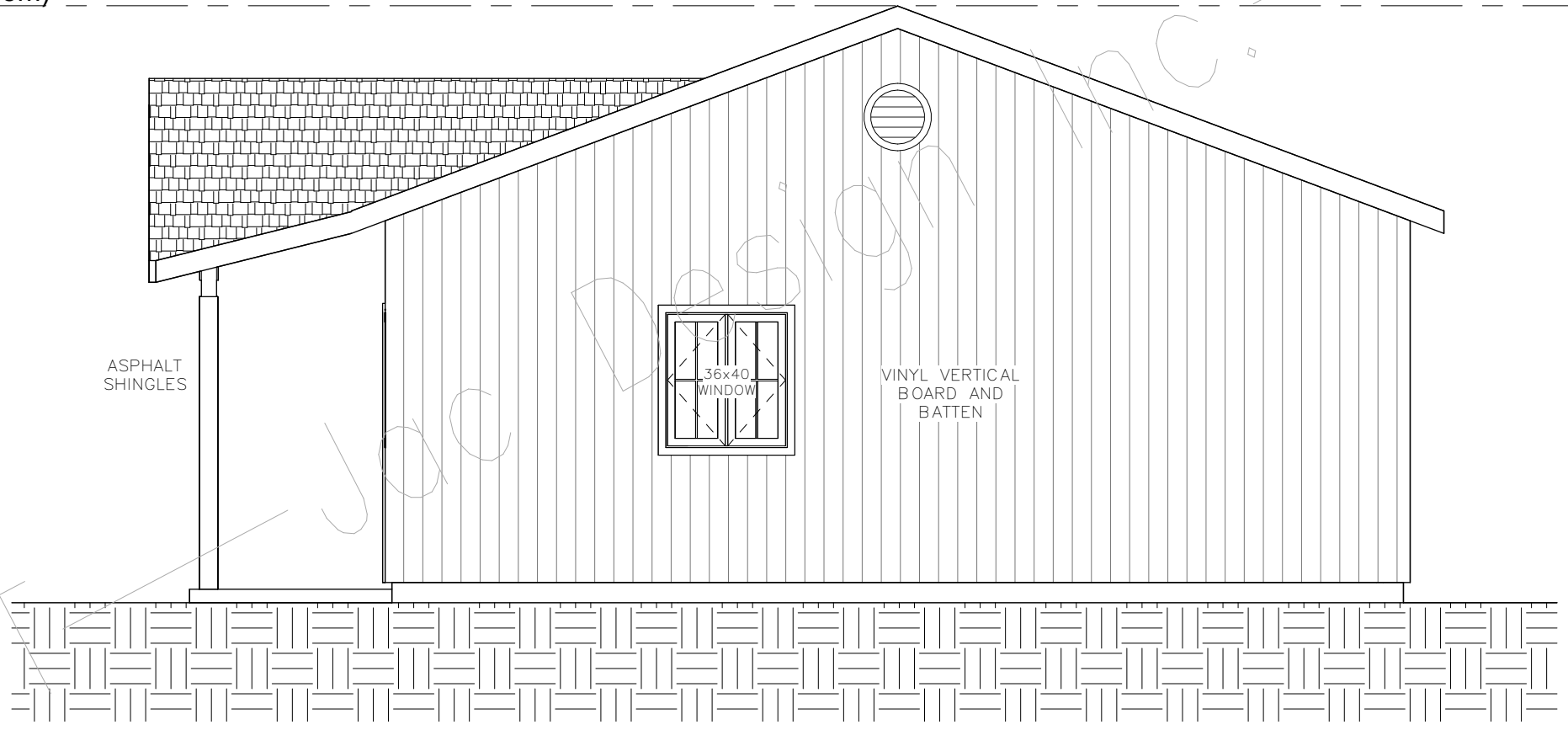
NOT VALID UNLESS DATED and SIGNED

DRAWN BY: JR/CH
APPROVED BY: JC
DATE: 2023-06-06
SCALE: 1/4" = 1'-0"
FILE: J230524
SHEET: **A2.01**

DRAFT

MAX. HEIGHT
 (4.5m)
 14'-9"

City Req'd Blankspace



ASPHALT SHINGLES

36x40 WINDOW

VINYL VERTICAL BOARD AND BATTEN

1 RIGHT ELEVATION (EAST)
 A2.02 1/4" = 1'-0"

Jac'd
 Residential Building Design

692 Centre Road
 Flamborough, Ontario
 Canada, L8N 2Z7
 (416) 993-1509
 jacdesigninc@gmail.com

IN COLLABORATION WITH:

FLAMBOROUGH BUILDERS

| REV. NO. | DATE | REVISION DETAILS |
|----------|------|------------------|
| | | |

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF JACDESIGN INC. IT IS NOT TO BE COPIED OR USED IN ANY OTHER WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF JACDESIGN INC. AND MUST BE RETURNED UPON REQUEST.

PROJECT NAME
ANDREA BOUDREAU

PAGE DETAILS
**DETACHED STORAGE BUILDING
 ARCHITECTURAL ELEVATION**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS AS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER AND APART OF THE REGISTERED DESIGN FIRM.

DESIGNER: NAME: Approver BCIN: DESIGN FIRM: NAME: Jac Design Inc. BCIN: 110671

_____ DATE _____ SIGNATURE _____

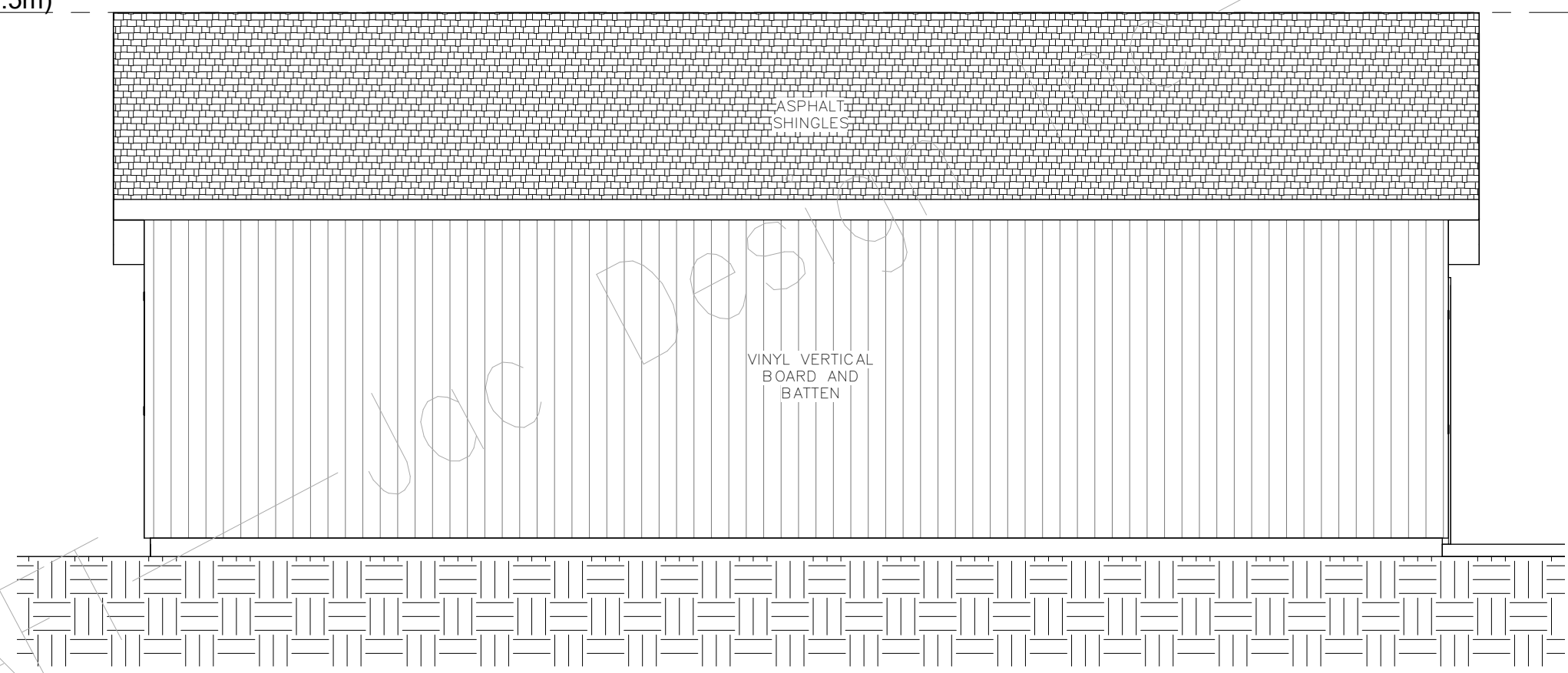
NOT VALID UNLESS DATED and SIGNED

DRAWN BY: JR/CH
 APPROVED BY: JC
 DATE: 2023-06-06
 SCALE: 1/4" = 1'-0"
 FILE: J230524
 SHEET: **A2.02**

DRAFT

MAX. HEIGHT
(4.5m)
14'-9"

City Req'd Blankspace



ASPHALT
SHINGLES

VINYL VERTICAL
BOARD AND
BATTEN

1 REAR ELEVATION (NORTH)
A2.03 1/4" = 1'-0"



692 Centre Road
Flamborough, Ontario
Canada, L8N 2Z7
(416) 993-1509
jacdesigninc@gmail.com

IN COLLABORATION WITH:



| REV. NO. | DATE | REVISION DETAILS |
|----------|------|------------------|
| | | |

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF JACDESIGN INC., IT IS NOT TO BE COPIED OR USED IN ANY OTHER WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF JACDESIGN INC. AND MUST BE RETURNED UPON REQUEST.

PROJECT NAME
ANDREA BOUDREAU

PAGE DETAILS
**DETACHED STORAGE BUILDING
ARCHITECTURAL ELEVATION**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS AS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER AND APART OF THE REGISTERED DESIGN FIRM.

DESIGNER: NAME: Approver BCIN: DESIGN FIRM: NAME: Jac Design Inc. BCIN: 110671

DATE SIGNATURE

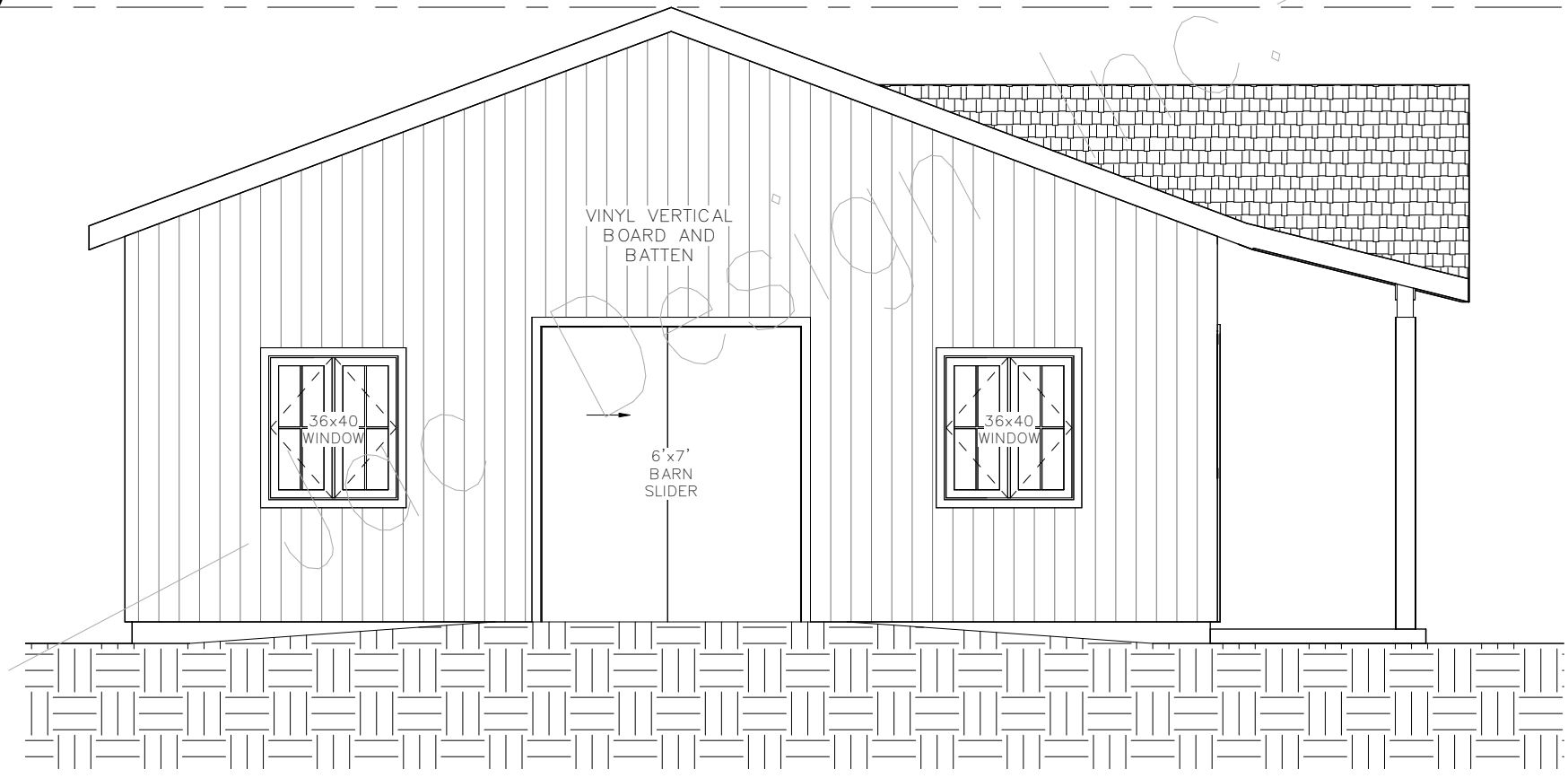
NOT VALID UNLESS DATED and SIGNED

| | |
|--------------|--------------|
| DRAWN BY: | JR/CH |
| APPROVED BY: | JC |
| DATE: | 2023-06-06 |
| SCALE: | 1/4" = 1'-0" |
| FILE: | J230524 |
| SHEET: | A2.03 |

DRAFT

MAX. HEIGHT
(4.5m)
14'-9"

City Req'd Blankspace



DRAFT

1 LEFT ELEVATION (WEST)
A2.04 1/4" = 1'-0"

Jac'd
Residential Building Design

692 Centre Road
Flamborough, Ontario
Canada, L8N 2Z7
(416) 993-1509
jacdesigninc@gmail.com

IN COLLABORTAION WITH:

| REV. NO. | DATE | REVISION DETAILS |
|----------|------|------------------|
| | | |

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF JACDESIGN INC., IT IS NOT TO BE COPIED OR USED IN ANY OTHER WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF JACDESIGN INC. AND MUST BE RETURNED UPON REQUEST.

PROJECT NAME
ANDREA BOUDREAU

PAGE DETAILS
**DETACHED STORAGE BUILDING
ARCHITECTURAL ELEVATION**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS AS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER AND APART OF THE REGISTERED DESIGN FIRM.

DESIGNER: NAME: Approver BCIN: _____
DESIGN FIRM: NAME: Jac Design Inc. BCIN: 110671

DATE SIGNATURE

NOT VALID UNLESS DATED and SIGNED

DRAWN BY: JR/CH
APPROVED BY: JC
DATE: 2023-06-06
SCALE: 1/4" = 1'-0"
FILE: J230524
SHEET: **A2.04**

DRAFT

City Req'd Blankspace



1 EXT. VIEW - OPT 1 (FRONT)
R1.01 12" = 1'-0"

2 EXT. VIEW - OPT 1 (SIDE)
R1.01 12" = 1'-0"

NOTE: MATERIALS ARE FOR VISUAL REPRESENTATION AND SUBJECT TO VARIATION BASED ON SITE CONDITIONS AND CONSTRUCTION DRAWINGS.

Jac'd
Residential Building Design

692 Centre Road
Flamborough, Ontario
Canada, L8N 2Z7
(416) 993-1509
jacdesigninc@gmail.com

IN COLLABORATION WITH:

FLAMBOROUGH BUILDERS

| REV. NO. | DATE | REVISION DETAILS |
|----------|------|------------------|
| | | |

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF JACDESIGN INC., IT IS NOT TO BE COPIED OR USED IN ANY OTHER WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF JACDESIGN INC. AND MUST BE RETURNED UPON REQUEST.

PROJECT NAME
ANDREA BOUDREAU

PAGE DETAILS
**DETACHED STORAGE BUILDING
RENDERS - EXTERIOR OPTIONS**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS AS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER AND APART OF THE REGISTERED DESIGN FIRM.

DESIGNER: NAME: Julia Cangemi BCIN:
DESIGN FIRM: NAME: Jac Design Inc. BCIN: 110671

DATE SIGNATURE

NOT VALID UNLESS DATED and SIGNED

DRAWN BY: CH
APPROVED BY: JC
DATE: 2023-06-06
SCALE: 12" = 1'-0"
FILE: J230524
SHEET: **R1.01**

DRAFT

City Req'd Blankspace



1 EXT. VIEW - OPT 2 (FRONT)
R1.02 12" = 1'-0"

2 EXT. VIEW - OPT 2 (SIDE)
R1.02 12" = 1'-0"

NOTE: MATERIALS ARE FOR VISUAL REPRESENTATION AND SUBJECT TO VARIATION BASED ON SITE CONDITIONS AND CONSTRUCTION DRAWINGS.

Jac'd
Residential Building Design

692 Centre Road
Flamborough, Ontario
Canada, L8N 2Z7
(416) 993-1509
jacdesigninc@gmail.com

IN COLLABORATION WITH:

FLAMBOROUGH BUILDERS

| REV. NO. | DATE | REVISION DETAILS |
|----------|------|------------------|
| | | |

THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF JACDESIGN INC., IT IS NOT TO BE COPIED OR USED IN ANY OTHER WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF JACDESIGN INC. AND MUST BE RETURNED UPON REQUEST.

PROJECT NAME
ANDREA BOUDREAU

PAGE DETAILS
**DETACHED STORAGE BUILDING
RENDERS - EXTERIOR OPTIONS**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS AS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER AND APART OF THE REGISTERED DESIGN FIRM.

DESIGNER: NAME: Julia Cangemi BCIN: NAME: Jac Design Inc. BCIN: 110671

date _____
DATE SIGNATURE

NOT VALID UNLESS DATED and SIGNED

DRAWN BY: JC

APPROVED BY: JC

DATE: 2023-06-06

SCALE: 12" = 1'-0"

FILE: J230524

SHEET: **R1.02**



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

| | NAME | |
|----------------------|----------------------------------|------------|
| Registered Owners(s) | Andrea Boudreau Cory Boudreau | [Redacted] |
| Applicant(s) | Andrea Boudreau | |
| Agent or Solicitor | | |
| | | Phone: |
| | | E-mail: |

1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the register (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

| | | | |
|---------------------------|-------------------------------------|------------|---------------|
| Municipal Address | 21 Barnabas St. Lynden, ON, LOR 1T0 | | |
| Assessment Roll Number | 301110742000000 | | |
| Former Municipality | Flamborough | | |
| Lot | PT LT 13 | Concession | CON 1 Beverly |
| Registered Plan Number | PL197 | Lot(s) | |
| Reference Plan Number (s) | 62R3556 | Part(s) | PT FARM LTA |

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

By-law 4.8.1.1 a) Accessory Building exceeds 45m² (but is still under 7.5% of total lot coverage).

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Require a larger square footage than the by-law (To store personal belongings, lawn & garden equipment (personal permits) and a "she-shed" to pursue gardening.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

Also need space for our son (3 yrs) to safely play when Mom is in "she-shed" as our son is Autistic & elopes.

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

| Lot Frontage | Lot Depth | Lot Area | Width of Street |
|--------------|---------------|------------------------|-----------------|
| 32.95 metres | 114.58 metres | 7994.20 m ² | 10 metres |

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

| Type of Structure | Front Yard Setback | Rear Yard Setback | Side Yard Setbacks | Date of Construction |
|-------------------|--------------------|-------------------|--------------------|----------------------|
| House | 15.32 metres | 87.35 metres | 7.13 metres | 1953 |
| | | | | |
| | | | | |

Proposed:

| Type of Structure | Front Yard Setback | Rear Yard Setback | Side Yard Setbacks | Date of Construction |
|--------------------|--------------------|-------------------|--------------------|----------------------|
| Accessory Building | 60.15 metres | 45.69 metres | 35.51 m / 8.35m | |
| | | | | |
| | | | | |

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Storeys | Height |
|-------------------|----------------------|--------------------|-------------------|-------------|
| House | 126.5 m ² | 253 m ² | 1 | 5.49 metres |
| | | | | |
| | | | | |

Proposed:

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Storeys | Height |
|--------------------|----------------------|----------------------|-------------------|-------------|
| Accessory Building | 81.29 m ² | 81.29 m ² | 1 | 4.49 metres |
| | | | | |
| | | | | |

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box) No sewage disposal required.
 publicly owned and operated sanitary sewage
 system privately owned and operated individual
 septic system other means (specify) _____

4.7 Type of access: (check appropriate box)
 provincial highway
 municipal road, seasonally maintained
 municipal road, maintained all year
 right of way
 other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Single Detached Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Single Detached Dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
August 20th, 2021

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single Detached Dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single Detached Dwelling

7.4 Length of time the existing uses of the subject property have continued:
At least since 1953

7.5 What is the existing official plan designation of the subject land?
Rural Hamilton Official Plan designation (if applicable): S1
Rural Settlement Area: S1
Urban Hamilton Official Plan designation (if applicable) S1

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? S1: Settlement Residential

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)
 Yes No
If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes

No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1 no additional dwellings proposed.

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
