

#### **COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

# NOTICE OF PUBLIC HEARING Minor Variance

#### You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION	HM/A-23:297	SUBJECT	25 Norfolk St S, Hamilton
NO.:		PROPERTY:	
ZONE:	"TOC1" (Transit Oriented	ZONING BY-	Zoning By-law City of Hamilton 05-
	Corridor Mixed Use Medium	LAW:	200, as Amended
	Density)		

**APPLICANTS:** Owner: Karnail Sandhar and Balwinder Sandhar

Agent: Ken Bekendam, King Homes Inc.

The following variances are requested:

- 1. Notwithstanding Subsection 11.1.1.1 (i) 1., Two dwelling unit(s) shall be permitted in a basement or cellar instead of the requirements that Notwithstanding Subsection 11.1.1.1(i)1. above, one dwelling unit(s) shall be permitted in a basement or cellar.
- 2. Parking, stacking lanes, or aisles shall be permitted to be located between the required building façade and the front lot line or flankage lot line instead of the requirement that no parking, stacking lanes, or aisle shall be located between the required building façade and the front lot line or flankage lot line.
- One principle entrance shall face the street and be accessible from the building façade instead of the requirement that all principle entrances shall face the street and be accessible from the building façade with direct access from the public sidewalk.
- 4. One parking space shall be permitted to be located within the required front yard and 0 metres from a street line. Instead of the requirement that no parking shall be located within the required front yard or within 3.0 metres of a street line.

PURPOSE & EFFECT: To permit the construction of an addition for the conversion of an existing

single detached dwelling into a multiple dwelling.

Notes: N/A

#### HM/A-23:297

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, December 7, 2023	
TIME:	9:30 a.m.	
PLACE:	Via video link or call in (see attached sheet for details)	
	2 <sup>nd</sup> floor City Hall, room 222 (see attached sheet for	
	details), 71 Main St. W., Hamilton	
	To be streamed (viewing only) at	
	www.hamilton.ca/committeeofadjustment	

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

#### **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, <u>including deadlines</u> for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

#### **FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:297, you must submit a written request to <u>cofa@hamilton.ca</u> or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing <a href="mailton.ca">cofa@hamilton.ca</a> or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: November 21, 2023

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5 Telephone (905) 546-2424, ext. 4221, 3935

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#### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing <a href="mailton.ca">cofa@hamilton.ca</a> or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.** 

Comment packages are available two days prior to the Hearing and are available on our website: <a href="https://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

#### **Oral Submissions**

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners <u>must register by noon the day</u> <u>before the hearing</u> to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email <a href="mailton.ca">cofa@hamilton.ca</a>. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

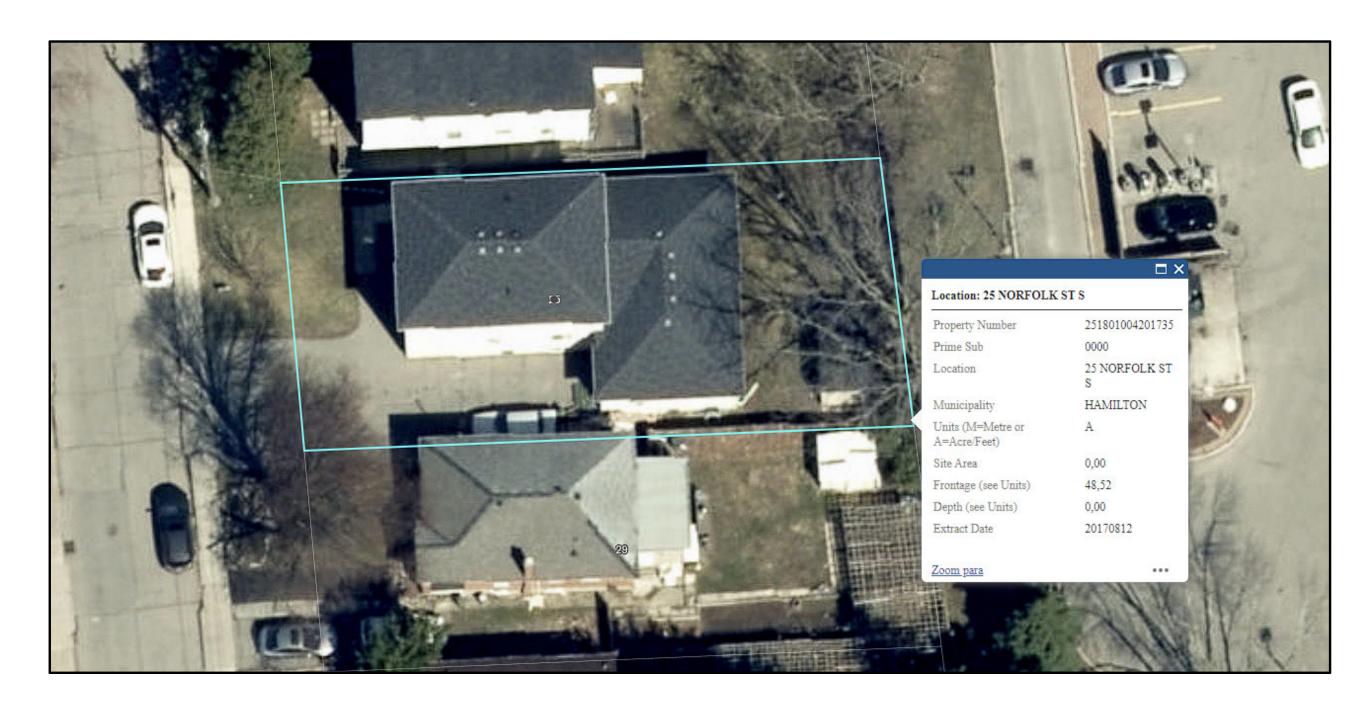
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

# 25 NORFOLK STREET SOUTH - HAMILTON, ON.

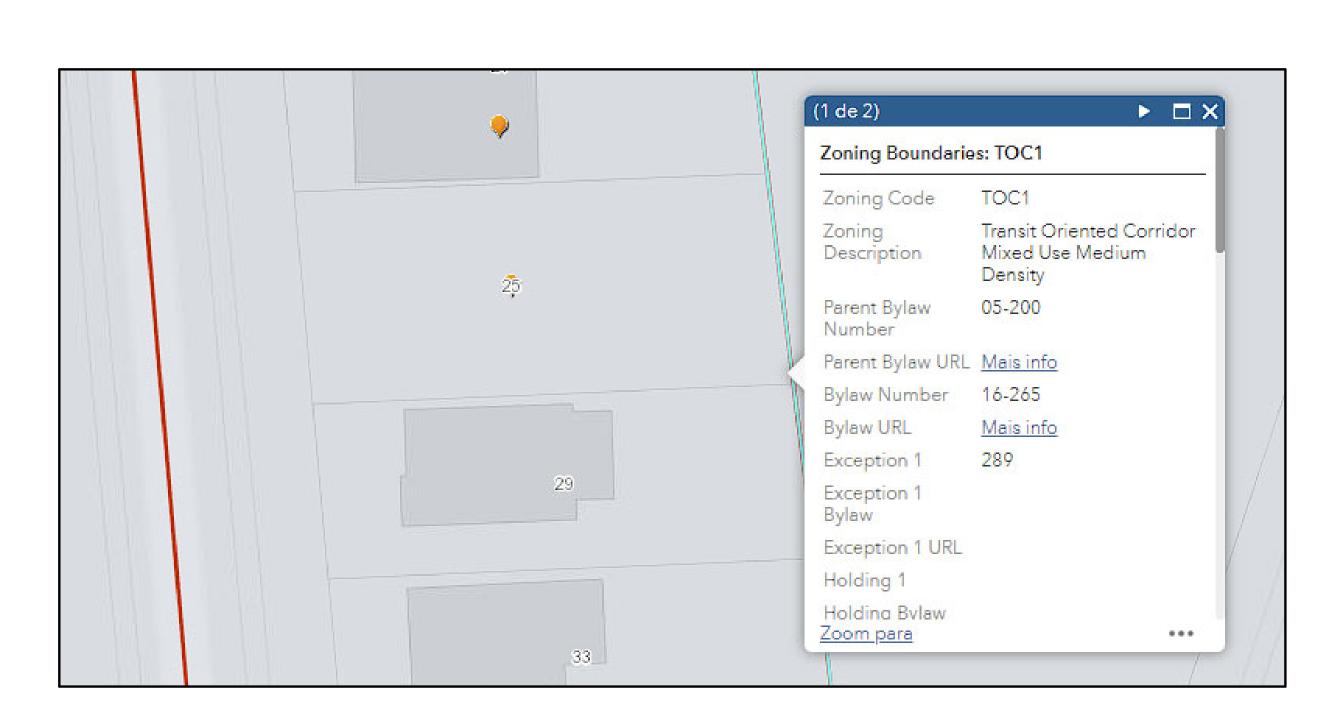
# **MULTI-UNIT CONVERSION**



PROPOSED BUILDING PERSPECTIVE



**AERIAL MAP** 



**ZONING MAP** 



COND SUITES ARCHITECTURAL AND ENGINEERING SERVICE ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: CELL PH

KEN BEKENDAM, B.A BUSCOM, L.T.

Kenbekendam@gmail.com

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

OUALIFICATION INFORMATION

Name Signature BCII

REGISTRATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building co

KING HOMES INC. 12130

### GENERAL NOTES:

- 2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS.

  SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VAR FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUL TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- 4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITION: OCCURING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS. TO SAFEGUARD ALL EXISTING OR

# 5. USE LASTEST REVISED DRAWINGS.6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.

ADJACENT STRUCTURES AFFECTED BY THIS WORK

- 7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITE WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL
- 8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A
  CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS I
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION
   AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE:	GENERAL DESCRIPTION:	INITIA
01			
02			
03			
04			
NOR	TH POSITION:		

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

## 25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:	
TITLE PAGE	
PROJECT NO.	DATE:
23-18	09/13/23
SCALE:	REVISION:
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM
	TITLE PAGE  PROJECT NO. 23-18  SCALE:  DRAWN BY:

A0.01

## - ALL CONSTRUCTION TO COMPLY WITH THE CURRENT ONTARIO BUILDING CODE (REVISED 2012 OBC - DEC 19, 2017).

- ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING, MASONRY, OR CONCRETE SURFACES U.O N. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENING.

- CONTRACTOR SHALL VERIFY WINDOW OPENINGS WITH THE MANUFACTURER PRIOR TO WORK. - READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ELECTRICAL PLANS SUPPLIED BY LICENSED ELECTRICAL

#### ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS BEFORE COMMENCING FABRICATION.

- THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.

#### - PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF

- CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES, VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCE NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.

### - THE CONTRACTOR IS NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

- EXISTING DRAINAGE PATTERNS TO REMAIN. ANY NEW SUMP PUMP INSTALLATIONS TO DISCHARGE IN REAR YARD. BUILDING FROM THESE SHALL PROCEED ONLY WHEN MARKED "ISSUED FOR CONSTRUCTION."

# **EXISTING STRUCTURE NOTE:**

 OWNER AND CONTRACTOR ARE FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING GENERAL AND STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO SUITE ADDITIONS INC. PRIOR TO ANY WORK.

#### OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK IF REQUIRED.

#### **CODE REFERENCES AND SPECIFICATIONS**

#### 1. FIRE PROTECTION MEASURES

ALL FIRE PROTECTION MEASURES MUST COMPLY WITH OBC 9.10. (U.O.N.)

#### 2. CEILING HEIGHTS

CEILING HEIGHTS SHALL COMPLY WITH OBC 9.5.3.1. AND PART 11 - C102 OF TABLE 11.5.1.1.C.

BASEMENT SPACE - 2 100 mm (6'-10 3/4") over at least 75% of the basement area except that under beams and ducts the clearance is permitted to be reduced to 1 950 mm (6'-4 7/8")

#### PART 11 (COMPLIANCE ALTERNATIVE):

(a) minimum room height shall not be less than 1 950 mm (6'-4 7/8") over the required floor area and in any

location that would normally be used as a means of egress, or (b) minimum room height shall not be less than 2 030 mm (6'-8") over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than  $1\,400\,\text{mm}$  (4'- $7\,1/8$ ") shall not be considered in computing the required floor area.

#### 3. EGRESS FROM DWELLING UNIT

EGRESS FROM DWELLING UNIT SHALL COMPLY WITH OBC 9.9.9 AND PART 11 COMPLIANCE - C136 OF TABLE 11.5.1.1.C.

#### 9.9.9.1. Travel Limit to Exits or Egress Doors

(1) Except as provided in Sentences (2) and (3), every dwelling unit containing more than 1 storey shall have exits or egress doors located so that it shall not be necessary to travel up or down more than 1 storey to reach a level served

#### (a) an egress door to a public corridor, enclosed exit stair or exterior passageway, or

(b) an exit doorway not more than 1 500 mm above adjacent ground level. (2) Where a dwelling unit is not located above or below another suite, the travel limit from a floor level in the dwelling

unit to an exit or egress door is permitted to exceed 1 storey where that floor level is served by an openable window

### (a) providing an unobstructed opening of not less than 1 000 mm in height and 550 mm in width, and

- (b) located so that the sill is not more than, (i) 1 000 mm above the floor, and
- (ii) 7 m above adjacent ground level.

(3) The travel limit from a floor level in a dwelling unit to an exit or egress door is permitted to exceed 1 storey where that floor level has direct access to a balcony.

#### 9.9.9.2. Two Separate Exits (1) Except as provided in Sentence 9.9.7.3.(1), where an egress door from a dwelling unit opens onto a public

corridor or exterior passageway it shall be possible from the location where the egress door opens onto the corridor or exterior passageway to go in opposite directions to two separate exits unless the dwelling unit has a second and separate means of egress.

# 9.9.9.3. Shared Egress Facilities

(1) A dwelling unit shall be provided with a second and separate means of egress where an egress door from the

## dwelling unit opens onto,

- (a) an exit stairway serving more than one suite,
- (b) a public corridor, (i) serving more than one suite, and
- (ii) served by a single exit, (c) an exterior passageway,
- (i) serving more than one suite,
- (ii) served by a single exit stairway or ramp, and (iii) more than 1.5 m above adjacent ground level, or
- (d) a balcony,
- (i) serving more than one suite. (ii) served by a single exit stairway or ramp, and
- (iii) more than 1.5 m above adjacent ground level.

## PART 11 (COMPLIANCE ALTERNATIVE):

## In a house, exit requirements are acceptable if at least one of the following conditions exists:

(a) a door, including a sliding door, that opens directly to the exterior from a dwelling unit, serves only that dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.,

(b) an exit that is accessible to more than one dwelling unit and provides the only means of egress from each dwelling unit, provided that the means of egress is separated from the remainder of the building and common areas by a fire separation having a 30 min fire-resistance rating and provided further that the required access to exit from any dwelling unit cannot be through another

dwelling unit, service room or other occupancy, and both dwelling units and common areas are provided with smoke alarms that are installed in conformance with Subsection 9.10.19. and are interconnected, or

- (c) access to an exit from one dwelling unit which leads through another dwelling unit where,
- (i) an additional means of escape is provided through a window that conforms to the following:
- (A) the sill height is not more than 1 000 mm above or below adjacent ground level, (B) the window can be opened from the inside without the use of tools,
- (C) the window has an individual unobstructed open portion having a minimum area of 0.38 m<sup>2</sup> with no dimension less
- (D) the sill height does not exceed 900 mm above the floor or fixed steps,
- (E) where the window opens into a window well, a clearance of not less than 1 000 mm shall be provided in front of the
- (F) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19.
- and are interconnected,
- (ii) an additional means of escape is provided through a window that conforms to the following: (A) the window is a casement window not less than 1 060 mm high, 560 mm wide, with a sill height not more than 900
- mm above the inside floor.
- (B) the sill height of the window is not more than 5 m above adjacent ground level, and
- (C) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19. and are interconnected, or (iii) the building is sprinklered and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.

## 10. EGRESS FROM BEDROOMS

EGRESS FROM BEDROOMS SHALL COMPLY WITH OBC 9.9.10.1

## (1) Except where a door on the same floor level as the bedroom provides direct access to the exterior, every floor level

containing a bedroom in a suite shall be provided with at least one outside window that. (a) is openable from the inside without the use of tools,

- (b) provides an individual, unobstructed open portion having a minimum area of 0.35 m<sup>2</sup> with no dimension less than 380
- (c) maintains the required opening described in Clause (b) without the need for additional support.
- (2) Except for basement areas, the window required in Sentence (1) shall have a maximum sill height of 1000 mm above the floor.

- (3) When sliding windows are used, the minimum dimension described in Sentence (1) shall apply to the openable portion
- (4) Where the sleeping area within a live/work unit is on a mezzanine with no obstructions more than 1 070 mm above the floor, the window required in Sentence (1) may be provided on the main level of the live/work unit provided the mezzanine is
- provided from the mezzanine to this window. (5) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 550 mm shall be

not more than 25% of the area of the live/work unit or 20 m2, whichever is less, and an unobstructed direct path of travel is

- (6) Where the sash of a window referred to in Sentence (5) swings towards the window well, the operation of the sash shall not reduce the clearance in a manner that would restrict escape in an emergency.
- (7) Where a protective enclosure is installed over the window well referred to in Sentence (5), such enclosure shall be openable from the inside without the use of keys, tools or special knowledge of the opening mechanism.

SMOKE ALARMS SHALL COMPLY WITH OBC 9.10.19. AND PART 11 COMPLIANCE - C175 OF TABLE 11.5.1.1.C.

### PART 9:

provided in front of the window.

## 9.10.19.1. Required Smoke Alarms

(2) Smoke alarms conforming to CAN/ULC-S531, "Smoke Alarms", shall be installed in each dwelling unit and in each sleeping room not within a dwelling unit (3) Smoke alarms required in Sentence (1) shall have a visual signalling component conforming to the requirements in

- 18.5.3. (Light, Color and Pulse Characteristics) of NFPA 72, "National Fire Alarm and Signaling Code". (4) The visual signalling component required in Sentence (2) need not, (a) be integrated with the smoke alarm provided it is interconnected to it, (b) be on battery backup, or (c) have synchronized flash rates, when installed in a dwelling unit. (5) The luminous intensity for visual signalling components required in Sentence (2) that are installed in sleeping rooms
- shall be a minimum of 175 cd. (6) Smoke alarms required in Sentence (1) shall be installed on or near the ceiling.
- 9.10.19.3. Location of Smoke Alarms
- (1) Within dwelling units, sufficient smoke alarms shall be installed so that, (a) there is at least one smoke alarm installed on each storey, including basements, and
- (b) on any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed,
- (i) in each sleeping room, and (ii) in a location between the sleeping rooms and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.
- (2) Within a house that contains an interior shared means of egress or common area, a smoke alarm shall be installed in each shared means of egress and common area.
- (3) A smoke alarm required in Sentences (1) and (2) shall be installed in conformance with CAN/ULC-S553, "Installation of Smoke Alarms".
- 9.10.19.1. Power Supply (1) Except as provided in Sentences (2) and (3), smoke alarms required in Sentences 9.10.19.1.(1) and
- 9.10.19.3.(2) shall, (a) be installed with permanent connections to an electrical circuit,
- (b) have no disconnect switch between the overcurrent device and the smoke alarm, and (c) in case the regular power supply to the smoke alarm is interrupted, be provided with a battery as an alternative power
- source that can continue to provide power to the smoke alarm for a period of not less than 7 days in the normal condition, followed by 4 min of alarm. 9.10.19.1. Interconnection of Smoke Alarms
- (1) Where more than one smoke alarm is required in a dwelling unit, the smoke alarms shall be wired so that the activation of one alarm will cause all alarms within the dwelling unit to sound.

## PART 11 (COMPLIANCE ALTERNATIVE):.

Smoke alarms may be battery operated.

#### 10. CARBON MONOXIDE ALARMS CARBON MONOXIDE ALARMS SHALL COMPLY WITH OBC 9.33.4. AND PART 11 COMPLIANCE - C197 OF TABLE 11.5.1.1.C.

## 9.33.4.1. Application

- (1) This Subsection applies to every building that,
- (a) contains a residential occupancy, and
- (b) contains a fuel-burning appliance or a storage garage.
- 9.33.4.1. Location of Carbon Monoxide Alarms (1) Where a fuel-burning appliance is installed in a suite of residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the suite.
- (2) Where a fuel-burning appliance is installed in a service room that is not in a suite of residential occupancy, a carbon (a) adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the service room, and
- (3) Where a storage garage is located in a building containing a residential occupancy, a carbon monoxide alarm shall be
- installed adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the storage garage. (4) Where a storage garage serves only the dwelling unit to which it is attached or built in, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the dwelling unit.
- (5) A carbon monoxide alarm shall be mechanically fixed, (a) at the manufacturer's recommended height, or
- (b) in the absence of specific instructions, on or near the ceiling
- 9.33.4.1. Installation and Conformance to Standards
- (1) The carbon monoxide alarm required by Article 9.33.4.2. shall. (a) except as permitted in Sentence (2), be permanently connected to an electrical circuit and shall have no disconnect
- switch between the overcurrent device and the carbon monoxide alarm, (b) be wired so that its activation will activate all carbon monoxide alarms within the suite, where located within a suite of
- residential occupancy, (c) be equipped with an alarm that is audible within bedrooms when the intervening doors are closed, where located adjacent to a sleeping area, and
- (d) conform to, (i) CAN/CSA-6.19, "Residential Carbon Monoxide Alarming Devices", or
- (ii) UL 2034, "Single and Multiple Station Carbon Monoxide Alarms".

# (2) Where the building is not supplied with electrical power, carbon monoxide alarms are permitted to be battery operated.

PART 11 (COMPLIANCE ALTERNATIVE):. Carbon monoxide alarms may be battery operated or plugged into an electrical outlet.

## 10. FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES

FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES SHALL COMPLY WITH OBC 9.10.8.3 AND PART 11 COMPLIANCE - C147 OF TABLE 11.5.1.1.C.

PART 9: (1) Except as otherwise provided in this Subsection, all load bearing walls, columns and arches in the storey immediately below a floor or roof assembly shall have a fire-resistance rating of not less than that required for the supported floor or roof assembly.

- PART 11 (COMPLIANCE ALTERNATIVE):.
- (a) Except as provided in (b) and (c), 30 min rating is acceptable. (b) In a house, 15 min horizontal fire separation is acceptable where,
- (i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and (ii) smoke alarms are interconnected.

## (c) In a house, the fire-resistance rating of the fire separation is waived where the building is sprinklered.

11. SEPARATION OF SERVICE ROOMS SEPARATION OF SERVICE ROOMS SHALL COMPLY WITH OBC 9.10.10.4

(3) Sentence (1) does not apply to fireplaces and cooking appliances.

- 9.10.10.1. Appliances and Equipment to be Located in a Service Room (1) Except as provided in Sentences (2) and (3) and Article 9.10.10.5., fuel-fired appliances shall be located in a service room separated from the remainder of the building by a fire separation having not less than a 1 h fire-resistance rating. (2) Except as required in the appliance installation standards referenced in Sentences 6.2.1.4.(1) and 9.33.1.2.(1), fuel fired spaceheating appliances, space-cooling appliances and service water heaters need not be separated from the
- remainder of the building as required in Sentence (1) where the equipment serves, (a) not more than one room or suite, (b) a house, or (c) a building, other than a house, with a building area of not more than 400 m<sup>2</sup> and a building height of not more than 2

## 9. SEPARATION OF RESIDENTIAL SUITES

SEPARATION OF RESIDENTIAL SUITES SHALL COMPLY WITH OBC 9.10.9.14 AND PART 11 COMPLIANCE - C152 OF TABLE 11.5.1.1.C.

# PART 9:

(1) Except as provided in Sentences (2) and (3) and Article 9.10.21.2., suites in residential occupancies shall be separated from adjacent rooms and suites by a fire separation having a fire-resistance rating of not less than 45 min. (2) Sleeping rooms in boarding, lodging or rooming houses where sleeping accommodation is provided for not more than 8 boarders or lodgers shall be separated from the remainder of the floor area by a fire separation having a fire-resistance rating of not less than 30 min where the sleeping rooms form part of the proprietor's residence and do not contain cooking

(3) Except as provided in Sentences (4) and (5), dwelling units that contain 2 or more storeys including basements shall be separated from the remainder of the building by a fire separation having a fire-resistance rating of not less than 1 h. (4) Except as provided in Sentence (5), dwelling units in a house shall be separated from each other and common areas by a fire separation having a fire-resistance rating of not less than 45 min. (5) The fire-resistance rating of the fire separation required in Sentence (4) is permitted to be waived where the house is

- PART 11 (COMPLIANCE ALTERNATIVE): (a) Except as provided in (b) and (c), 30 min fire separation is acceptable.
- (b) In a house, 15 min horizontal fire separation is acceptable where, (i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
- (ii) smoke alarms are interconnected. (c) In a house, the fire-resistance rating of the fire separation is waived where the building is sprinklered.

CLOSURES SHALL COMPLY WITH OBC 9.10.13.1 AND PART 11 COMPLIANCE - C155 OF TABLE 11.5.1.1.C.

sprinklered.

(1) Except as provided in Article 9.10.13.2., openings in required fire separations shall be protected with a closure conforming to Table 9.10.13.1. and shall be installed in conformance with NFPA 80, · Fire Doors and Other Opening Protectives, unless otherwise specified in this Part.

PART 11 (COMPLIANCE ALTERNATIVE):

Existing functional closures are acceptable subject to C.A.'s C8 and C156. (a) Existing functional and sound doors in existing buildings that are either hollow metal or kalamein and containing wired glass at least 6 mm thick and conforming to Sentence 3.1.8.14.(2) are permitted in lieu of doors not required to exceed 45

(b) all existing functional and sound hollow metal or kalamein doors which carry existing 1.5 h labels are acceptable in lieu of current 1.5 h labels and may contain wired glass panels not exceeding 0.0645 m<sup>2</sup>, at least 6 mm thick and conforming to

(c) every fire door, window assembly or glass block used as a closure in a required fire separation shall be installed in conformance with good engineering practice. In a house, existing unlabelled doors at least 45 mm solid core wood or metal clad are acceptable. For existing closures, ratings of 20 min will not be required where the entire floor area is sprinklered.

#### **11. LAUNDRY FIXTURES**

LAUNDRY FIXTURES SHALL COMPLY WITH OBC 9.31.4.2.

(1) Laundry facilities or a space for laundry facilities shall be provided in every dwelling unit or grouped elsewhere in the building in a location conveniently accessible to occupants of every dwelling unit.

#### NATURAL VENTILATION SHALL COMPLY WITH OBC 9.32.2.1 AND PART 11 COMPLIANCE - C194 OF TABLE 11.5.1.1.C.

(1) The unobstructed openable ventilation area to the outdoors for rooms and spaces in a residential occupancy ventilated by natural means shall conform to Table 9.32.2.1.

#### PART 11 (COMPLIANCE ALTERNATIVE): In a house, rooms or spaces to be ventilated by natural means in accordance with Subsection 9.32.2. or by providing

adequate mechanical ventilation.

13. ELECTRICAL FACILITIES

# **ELECTRICAL FACILITIES SHALL COMPLY WITH OBC 9.34.**

14. INTERCONNECTION OF SYSTEMS

PART 6:

INTERCONNECTION OF SYSTEMS SHALL COMPLY WITH OBC 6.2.3.9 AND PART 11 COMPLIANCE - C91 OF TABLE 11.5.1.1.C.

(1) In a residential occupancy, air from one suite shall not be circulated to any other suite or to a public corridor or public

PART 11 (COMPLIANCE ALTERNATIVE): In a building containing not more than four dwelling units or residential suites, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit or suite, provided smoke alarms are installed in each dwelling unit or suite and provided a smoke detector is installed in the supply or return air duct system serving the entire building

which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.

15. PENETRATIONS

PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A FIRE SEPARATION MUST BE NON COMBUSTIBLE AND FIRE STOPPED.

# ALL PLUMBING MUST CONFORM TO O.REG.332/12, DIV. B PART 7 OF THE BUILDING CODE

17. HANDRAILS AND GUARDRAILS INSTALL HANDRAILS AND GUARDRAILS IN ACCORDANCE WITH 9.8.7. AND 9.8.8 OF THE BUILDING CODE RESPECTIVELY

# LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A BUSCOM, L.T.

**QUALIFICATION INFORMATIO** 

**OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON The undersigned has reviewed and takes the responsibility for this out in the Ontario Building Code to be a designer.

Required unless design is exempt under 2.17.5.1 of the building code REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building cod KING HOMES INC.

## 1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"

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LINERS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.

6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.

- 7 ALL DRAWINGS SPECIFICATIONS RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT
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BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL

9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION

CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER

AND SAFETY REQUIREMENTS ON SITE.

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ENGINEER'S STAMP:

NORTH POSITION:

PROJECT NAME/ADDRESS:

DRAWN BY:

25 NORFOLK STREET SOUTH | HAMILTON, ON

CONSTRUCTION NOTES			
PROJECT NO.	DATE:		
23-18	09/13/23		
SCALE:	REVISION:		

REVIEWED BY

KEN BEKENDAM

MAIN PART 1 STREET WEST PLAN 62R-9658 SURVEYOR'S REAL PROPERTY REPORT-PART 1 PLAN OF 20.14 (P1 & Set) PART OF LOT 5 REGISTERED PLAN 654 CITY OF HAMILTON SCALE 1:150 B.A. JACOBS SURVEYING LTD. ONTARIO LAND SURVEYOR  $(\chi)$ METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048. 10 SIB (1213) 5 01 9 01 BEARING NOTE: BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF NORFOLK STREET SOUTH AS SHOWN ON REFERENCE PLAN 62R-17411, HAVING A BEARING OF N 4°50'40" W. (2) <1 N 87° 52' 30" E 33.07 (P1 & Meas) 01  $\alpha$ \$2 0 <1. (1) LEGEND: DENOTES SURVEY MONUMENT FOUND
DENOTES SURVEY MONUMENT PLANTED
DENOTES STANDARD IRON BAR
DENOTES IRON BAR S 5.8 **~**3( ₹. .90 DENOTES IRON BAR DENOTES IRON PIPE DENOTES WITNESS DENOTES PLAN 62R-17411 DENOTES J.D. PETERS O.L.S. -- i > Q, DENOTES L.G. WOODS O.L.S. DENOTES B.A. JACOBS O.L.S. (1) 10 0 Fence - 0.08S N 87" 52' 30" E 33.60 [P1 & Meas) 0 ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM 0 7--0 P. I. N. 17457 - 0065 (LT) 1662159 01 (OU) THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3). C --1 THIS REPORT WAS PREPARED FOR KARNAIL SANDHAR  $\mathcal{O}$ PART 2 THIS PLAN MUST BE READ IN (OU) CONJUNCTION WITH SURVEY REPORT DATED: NOVEMBER 23, 2007 SURVEYOR'S CERTIFICATE I CERTIFY THAT: 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM. 2. THE SURVEY WAS COMPLETED ON NOVEMBER 7, 2007. NOVEMBER 23, 2007. GLENNOUNT-BRYAN JACOBS DATE ONTARIO LAND SURVEYOR B.A. JACOBS SURVEYING LTD. 131 JOHN STREET SOUTH, SUITE 101 HAMILTON, ONTARIO (LBN 2C3) 905-521-1535 FAX 905-521-0089 05S44-T-F

ITE INFORMATION & STATISTICS		
DDRESS: 25 NORFOLK ST. SOUTH   HAMILTON, ON		
ONING TYPE: TOC1		
OT AREA: 5290.72 SQ FT (491.52 m <sup>2</sup> )		

LOT FRONTAGE: 48' - 5 1/2" (14.76 m)

#### **GENERAL NOTES:**

- L. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
- 2. ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
- ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
- CONTRACTOR IS TO VERIEV WINDOW ORENINGS WITH WINDOW MANUFACTURED RRIOR TO COMMENCING WORK
- . CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.

  READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- 6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
- 7. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. AND INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- 8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFIRM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
- 9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
- 10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCING NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
- 11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR
- 12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

#### **EXISTING STRUCTURE NOTE:**

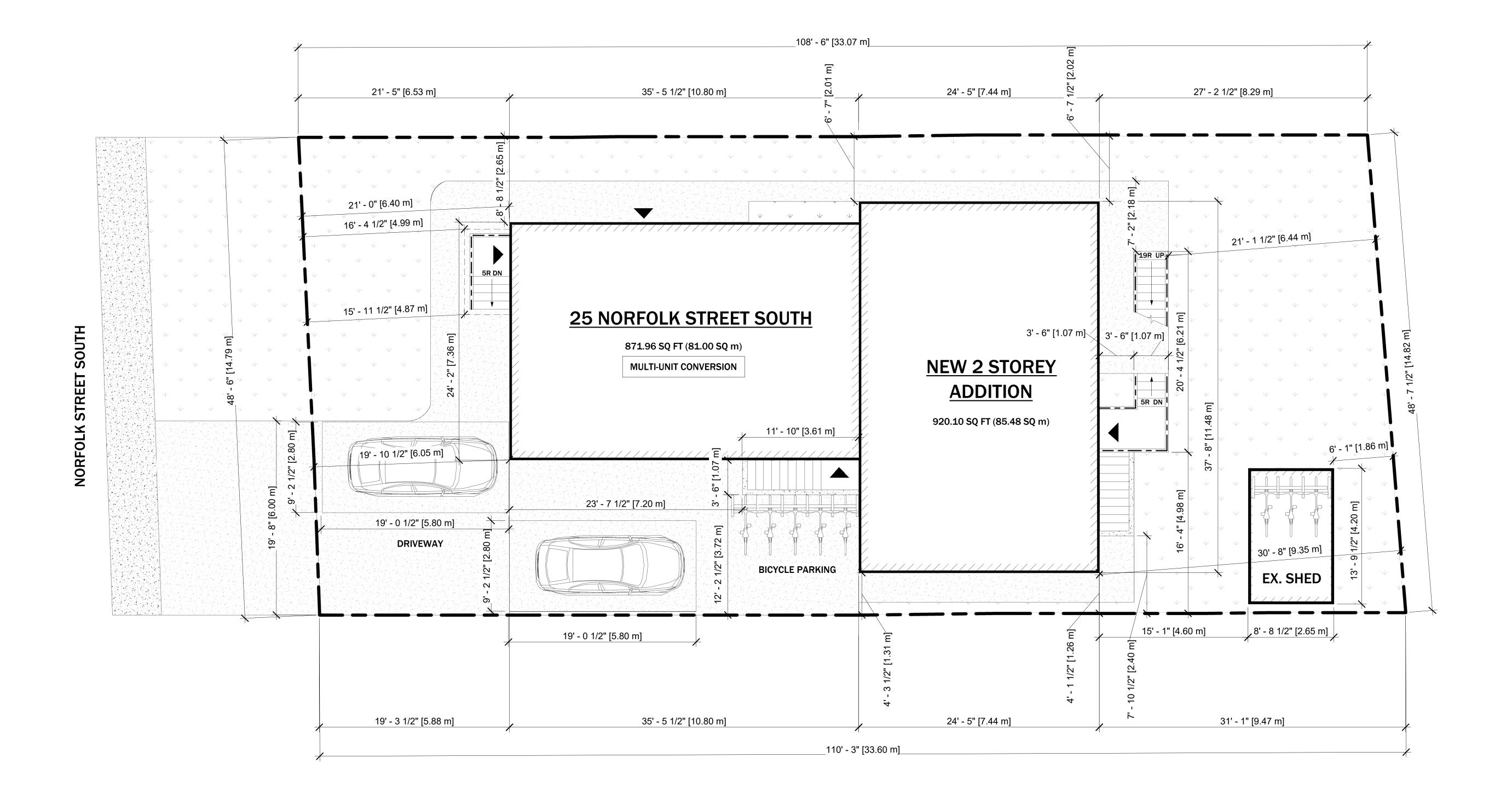
OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK, OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

#### **BUILDING CODE COMPLIANCE NOTE:**

THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE O.B.C. AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.

## SITE PLAN:

BASED ON <u>HAMILTON</u> SITE MAPS AND MEASUREMENTS ON SITE DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF <u>HAMILTON</u> MAPS. THIS SITE SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES.





LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES
ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A BUSCOM, L.T. kenbekendam@gmail.com

CITY ELECTRONIC STAMP:

OFFICE ADDRESS: OFFICE PHONE:
979 MAIN ST. E, HAMILTON ,ON 855 - 546 - 4467

The undersigned has reviewed and takes the responsibility for this

design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

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REGISTRATION INFORMATION
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KING HOMES INC. 121307
Name BCIN

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NORTH POSITION



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SITE PLAN

PROJECT NO.

23-18

09/13/23

SCALE:

REVISION:

3/16" = 1'-0"

DRAWN BY:

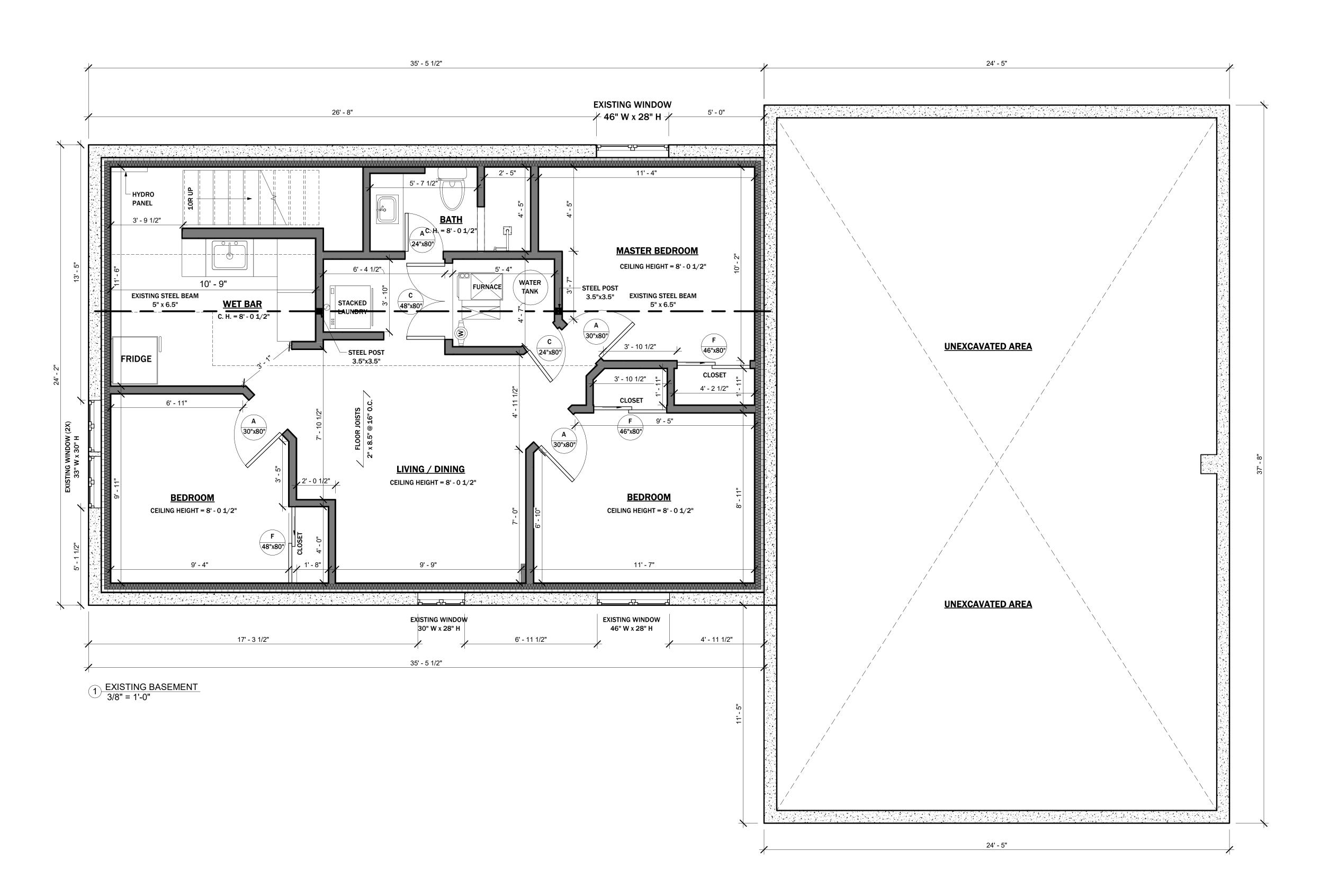
DANILO MARTINELLI

KEN BEKENDAM

SHEET NO.

SP1.01







LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647
kenbekendam@gmail.com

OFFICE ADDRESS: 979 MAIN ST. E, HAMILTON ,ON

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NORTH POSITION:



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:

PROJECT NO.

EXISTING FLOOR PLAN - BASEMENT

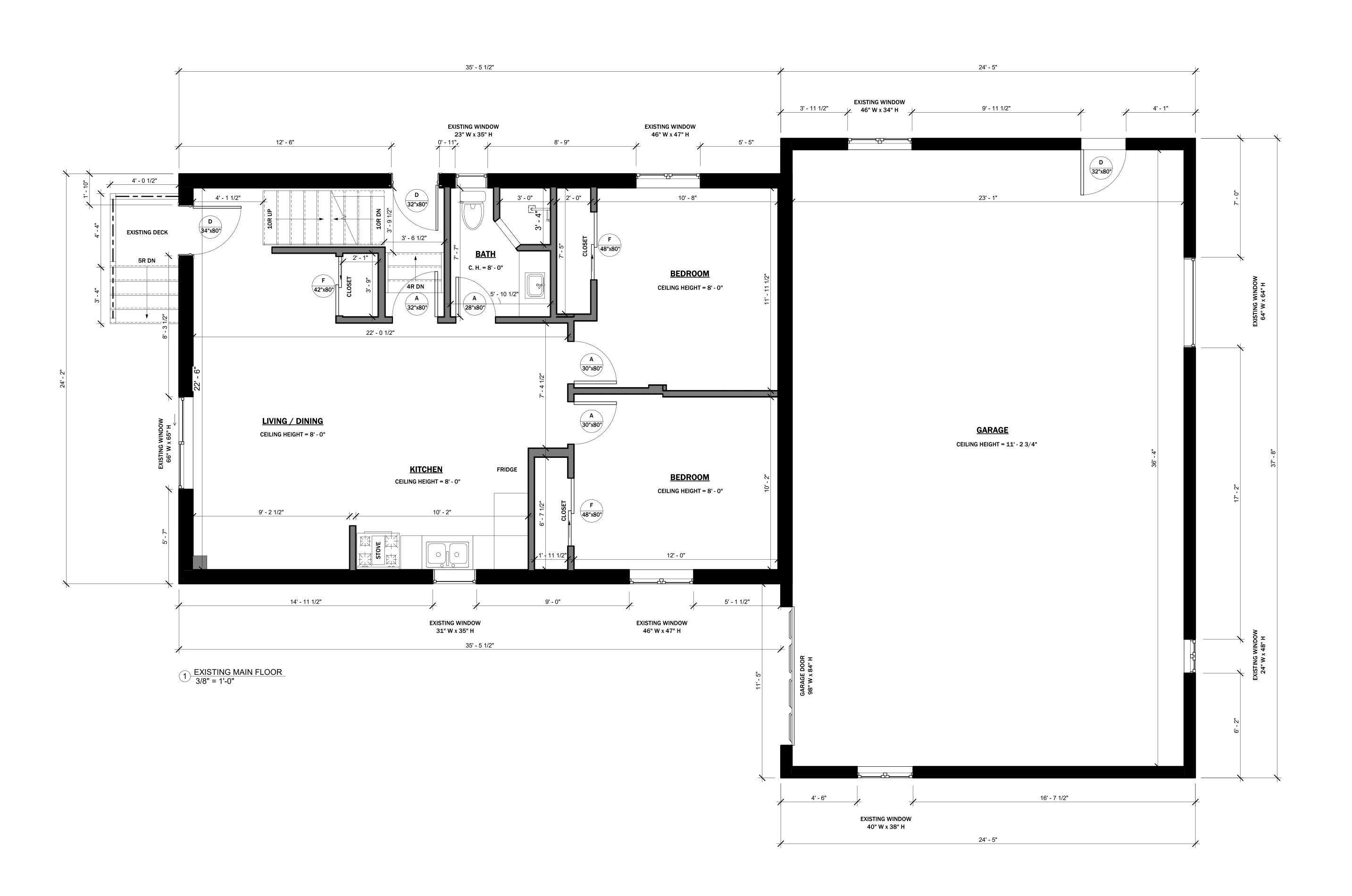
23-18	09/13/23
SCALE: 3/8" = 1'-0"	REVISION:
DRAWN BY:  DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

HEET NO.

**A1.01** 

DATE:







LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647

**OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON

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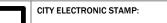
ENGINEER'S STAMP:

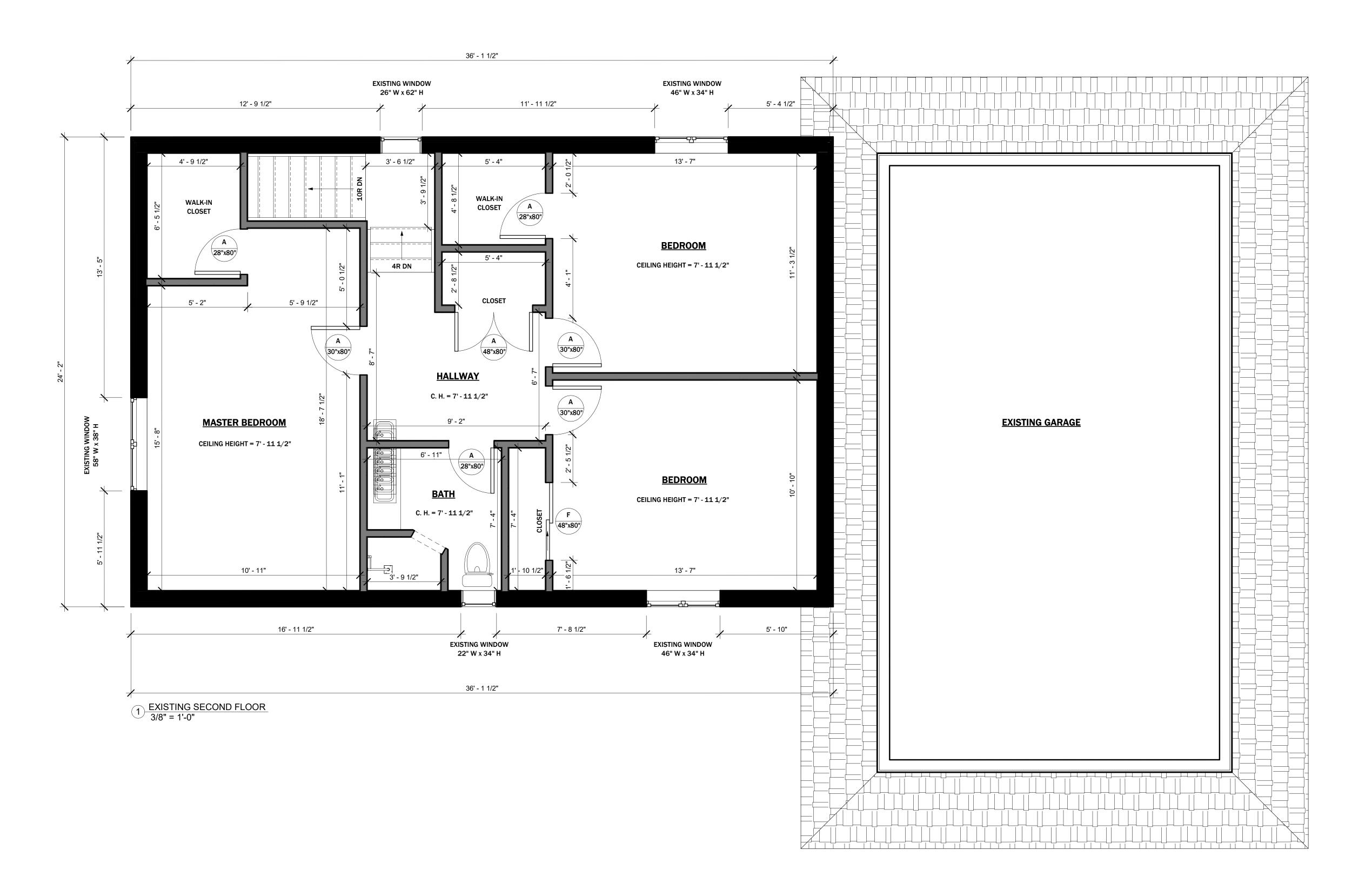
PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

EXISTING FLOOR PLAN - MAIN FLOOR

PROJECT NO.	DATE:
23-18	09/13/23
SCALE: 3/8" = 1'-0"	REVISION:
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM







LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647
kenbekendam@gmail.com

OFFICE ADDRESS:
979 MAIN ST. E, HAMILTON ,ON
855 - 546 - 446

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QUALIFICATION INFORMATION

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Name Signature BCI

REGISTRATION INFORMATION

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KING HOMES INC. 121307

Name BCIN

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ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET

EXISTING FLOOR PLAN - SECOND FLOOR

 PROJECT NO.
 DATE:

 23-18
 09/13/23

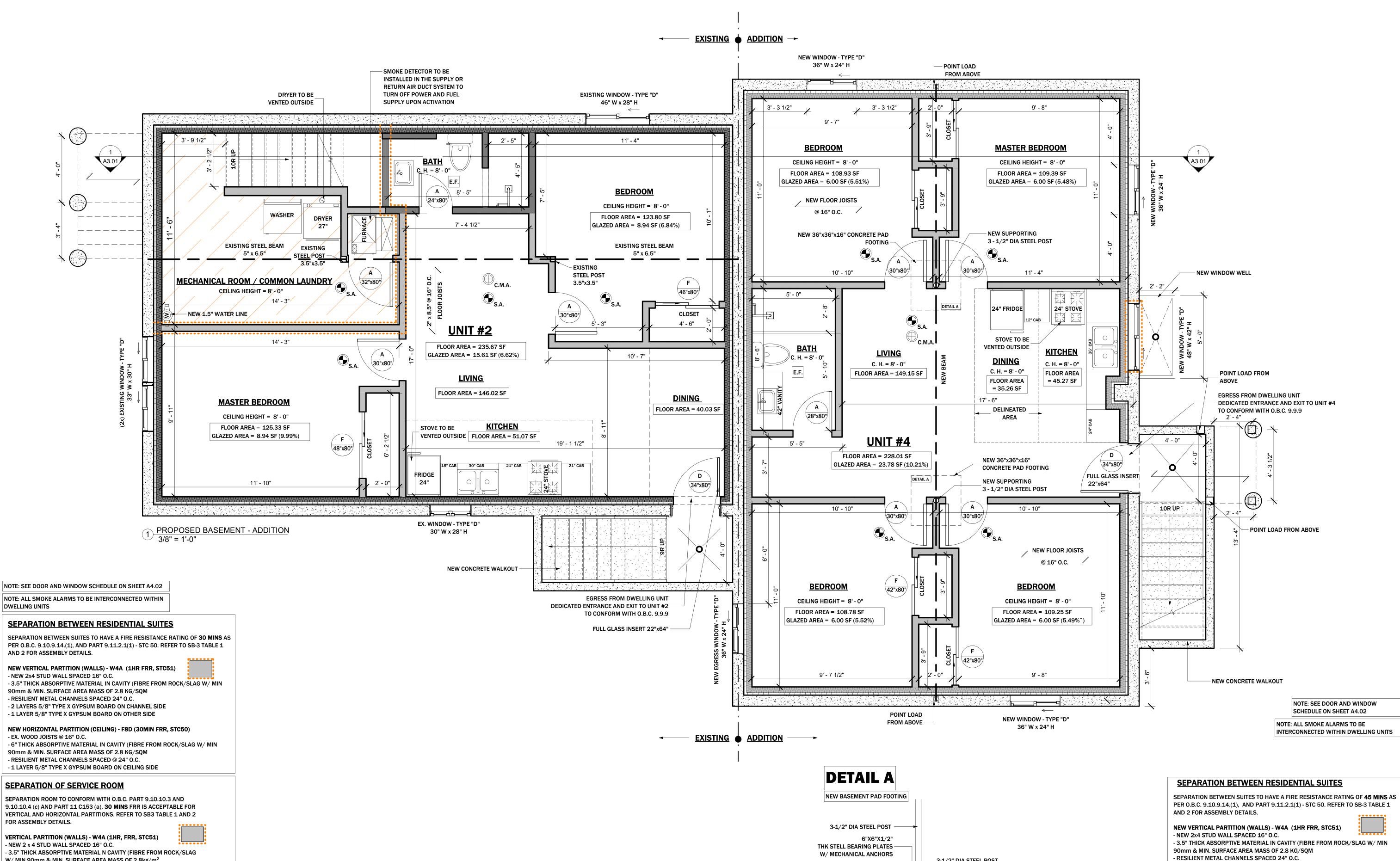
 SCALE:
 REVISION:

 3/8" = 1'-0"
 REVIEWED BY:

 DANILO MARTINELLI
 KEN BEKENDAM

SHEET NO.

**41.03** 



3-1/2" DIA STEEL POST

15M REBARS

12" O.C.

W/ 6"x6"x1/2" THK STEEL UPPER AND LOWER BEARING PLATES.

AND CONNECTED TO THE CONCRETE FOOTING VIA MECHANICAL ANCHORS.

WELDED TO STEEL BEAM VIA 1/4" FILLET WELD ALL ROUND,

W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8kg/m<sup>2</sup>.

- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

MIN 90mm & MIN. SURFACE AREA MASS OF 2.8kg/m<sup>2</sup>.

- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

- RESILIENT METAL CHANNELS SPACED @ 24" O.C.

- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE

NEW HORIZONTAL PARTITION (CEILING) - F8D (30MIN FRR, STC50)

- 6" THICK ABSORPTIVE MATERIAL N CAVITY (FIBRE FROM ROCK/SLAG W/

- RESILIENT METAL CHANNELS SPACED 24" O.C.

- EX. WOOD JOISTS @ 16" O.C.

legal second LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES

CITY ELECTRONIC STAMP:

ARE OWNED AND OPERATED BY KING HOMES INC. LEAD DESIGNER & CONSULTANT:

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- 9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

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ENGINEER'S STAMP:

25 NORFOLK STREET SOUTH | HAMILTON, ON

PROPOSED FLOOR PLAN - BASEMENT

As indicated	
SCALE:	REVISION:
23-18	09/13/23
PROJECT NO.	DATE:

SHEET NO.

- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE

NEW HORIZONTAL PARTITION (CEILING) - F9C (1 HR FRR, STC52)

- SUBFLOOR OF 1/2" PLYWOOD. OSB OR WAFERBOARD, OR 3/8" LONGUE AND

- 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN

- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

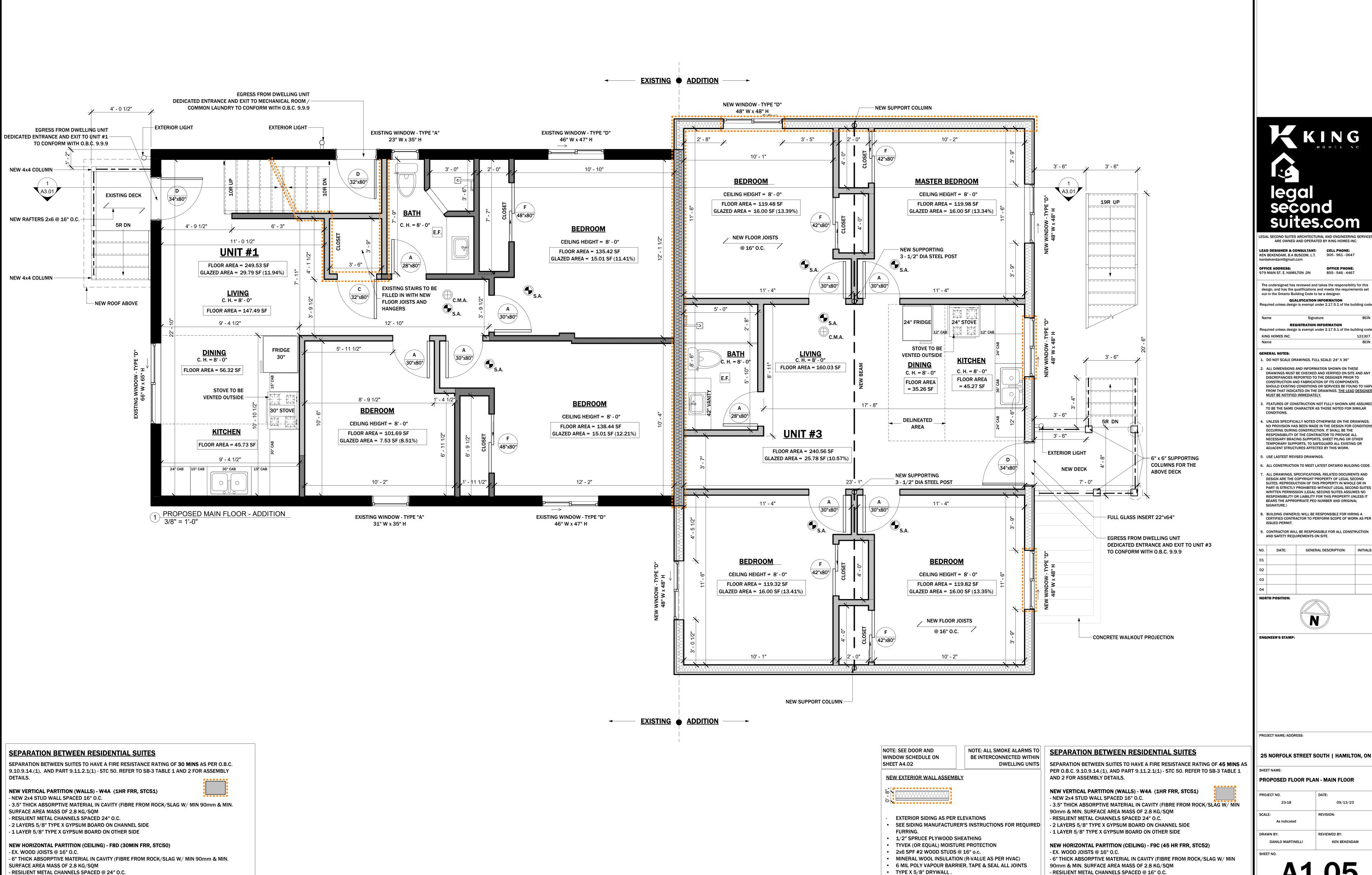
90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM

- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

- RESILIENT METAL CHANNELS SPACED @ 16" O.C.

**GROOVE LUMBER** 

KEN BEKENDAM



- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

CITY ELECTRONIC STAMP:

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set

Required unless design is exempt under 2.17.5.1 of the building code

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NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

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DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL

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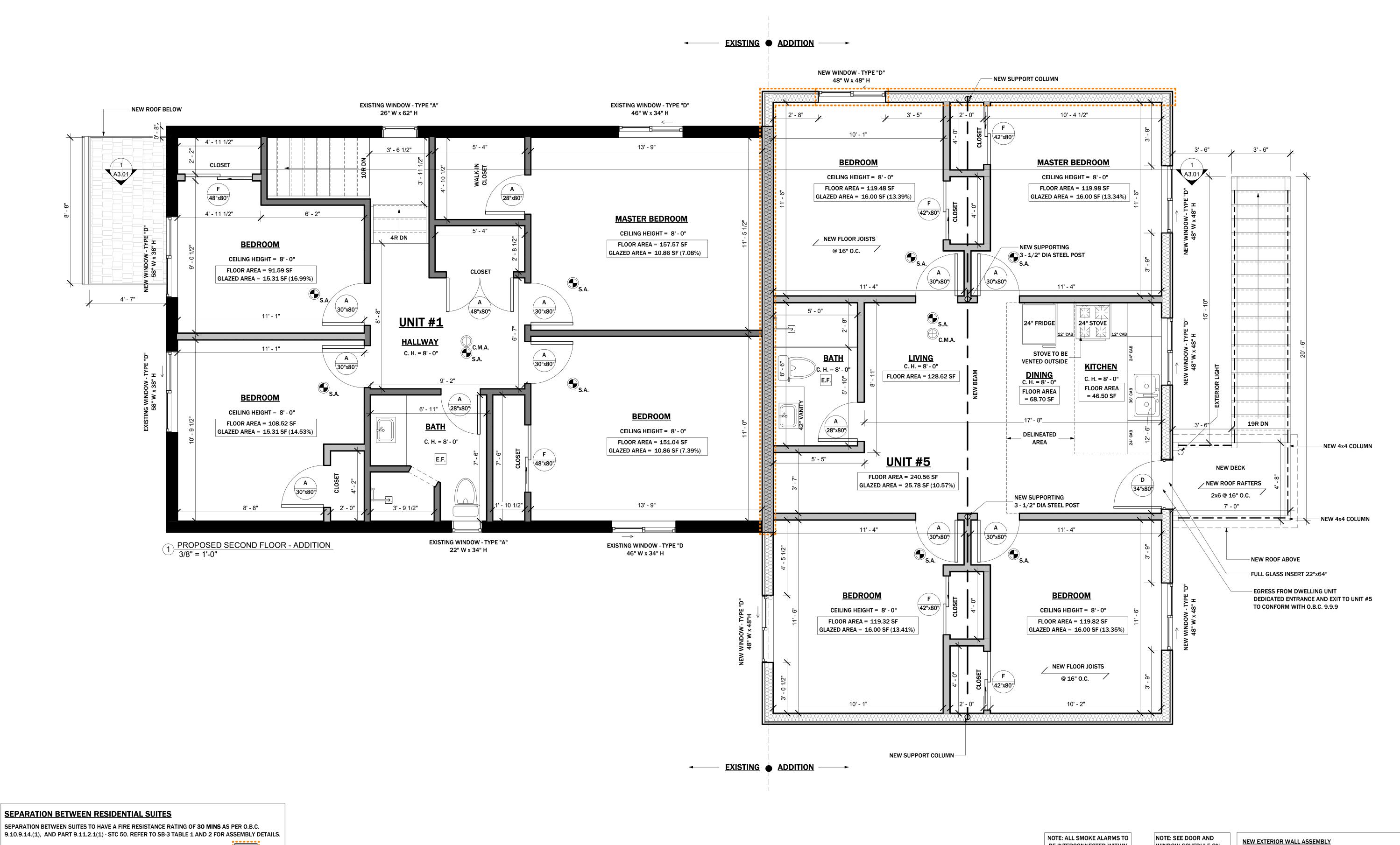
9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION

PROPOSED FLOOR PLAN - MAIN FLOOR

09/13/23 KEN BEKENDAM

TAPED & MUD, PRIMED & MIN. 2 COATS OF PAINT

- 2 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE



legal second

CITY ELECTRONIC STAMP:

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: CELL PHONE: 805 - 961 - 064

**OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set

out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code

REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code KING HOMES INC.

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ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

PROPOSED FLOOR PLAN - SECOND FLOOR

PROJECT NO. 09/13/23 SCALE: As indicated DRAWN BY: REVIEWED BY:

DANILO MARTINELLI SHEET NO.

KEN BEKENDAM

NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNITS

WINDOW SCHEDULE ON SHEET A4.02

NEW HORIZONTAL PARTITION (CEILING) - F9C (1 HR FRR, STC52) - SUBFLOOR OF 1/2" PLYWOOD. OSB OR WAFERBOARD, OR 3/8" LONGUE AND GROOVE LUMBER

- 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM

- RESILIENT METAL CHANNELS SPACED @ 16" O.C. - 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

 TYVEK (OR EQUAL) MOISTURE PROTECTION 2x6 SPF #2 WOOD STUDS @ 16" o.c. MINERAL WOOL INSULATION (R-VALUE AS PER HVAC)

> TYPE X 5/8" DRYWALL. TAPED & MUD, PRIMED & MIN. 2 COATS OF PAINT

• EXTERIOR SIDING AS PER ELEVATIONS

• 1/2" SPRUCE PLYWOOD SHEATHING

• SEE SIDING MANUFACTURER'S INSTRUCTIONS FOR REQUIRED

6 MIL POLY VAPOUR BARRIER, TAPE & SEAL ALL JOINTS

- EX. WOOD JOISTS @ 16" O.C.

NEW VERTICAL PARTITION (WALLS) - W4A (1HR FRR, STC51)

- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE

- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

- NEW 2x4 STUD WALL SPACED 16" O.C.

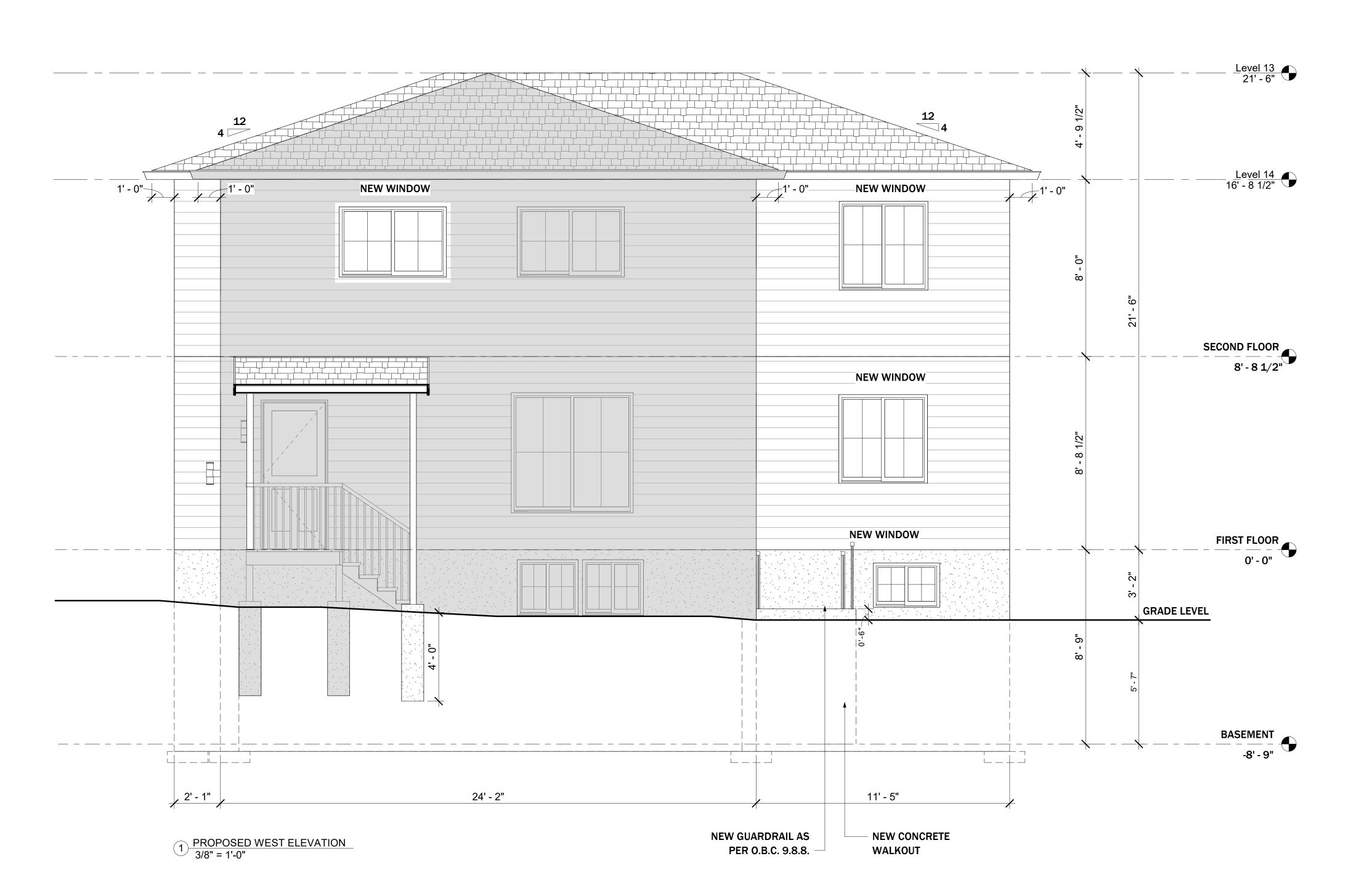
- RESILIENT METAL CHANNELS SPACED 24" O.C.

SURFACE AREA MASS OF 2.8 KG/SQM

AREA MASS OF 2.8 KG/SQM - RESILIENT METAL CHANNELS SPACED @ 24" O.C.

NEW HORIZONTAL PARTITION (CEILING) - F8D (30MIN FRR, STC50) - 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

- 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN.





LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647

CITY ELECTRONIC STAMP:

**OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON

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KING HOMES INC. Name

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NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

PROPOSED WEST ELEVATION PROJECT NO.

SCALE: 3/8" = 1'-0" DRAWN BY: REVIEWED BY: DANILO MARTINELLI

SHEET NO.

09/13/23





CITY ELECTRONIC STAMP:

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BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A



CITY ELECTRONIC STAMP:

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ENGINEER'S STAMP:

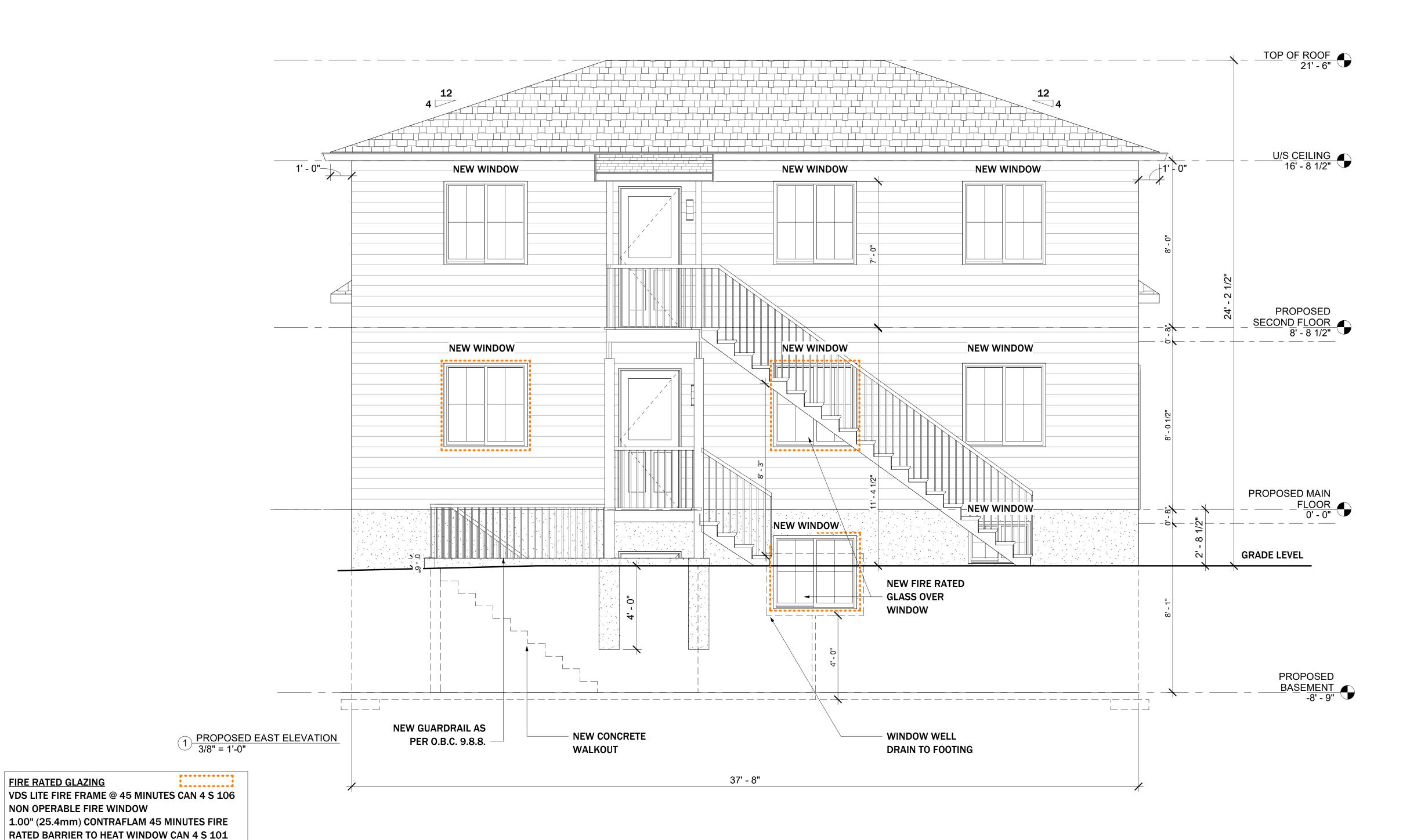
PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

PROPOSED EAST ELEVATION

PROJECT NO. 09/13/23 SCALE: 3/8" = 1'-0" DRAWN BY: REVIEWED BY: DANILO MARTINELLI KEN BEKENDAM

SHEET NO.

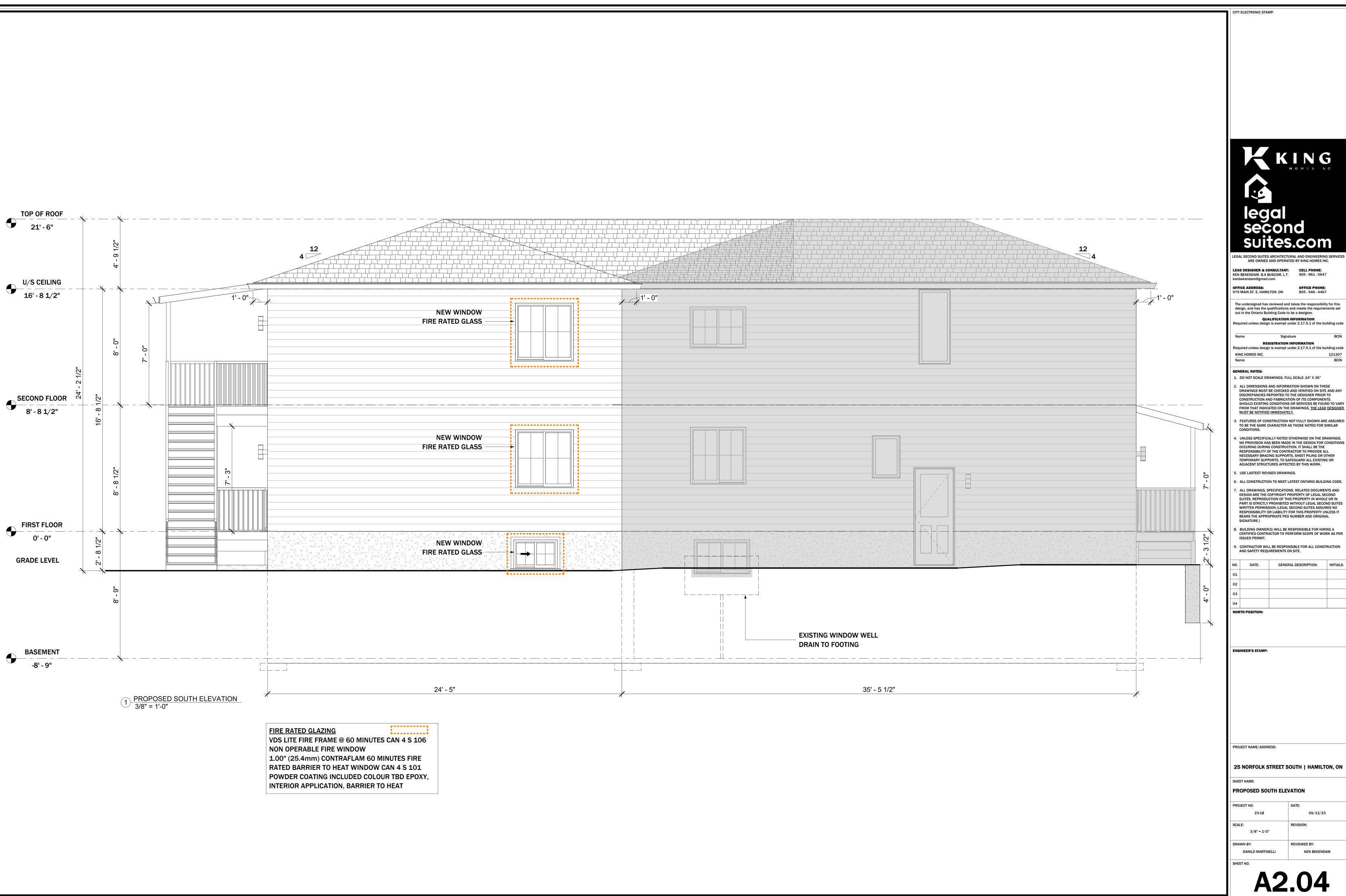


FIRE RATED GLAZING

NON OPERABLE FIRE WINDOW

POWDER COATING INCLUDED COLOUR TBD EPOXY,

INTERIOR APPLICATION, BARRIER TO HEAT





LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647 kenbekendam@gmail.com

**OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON

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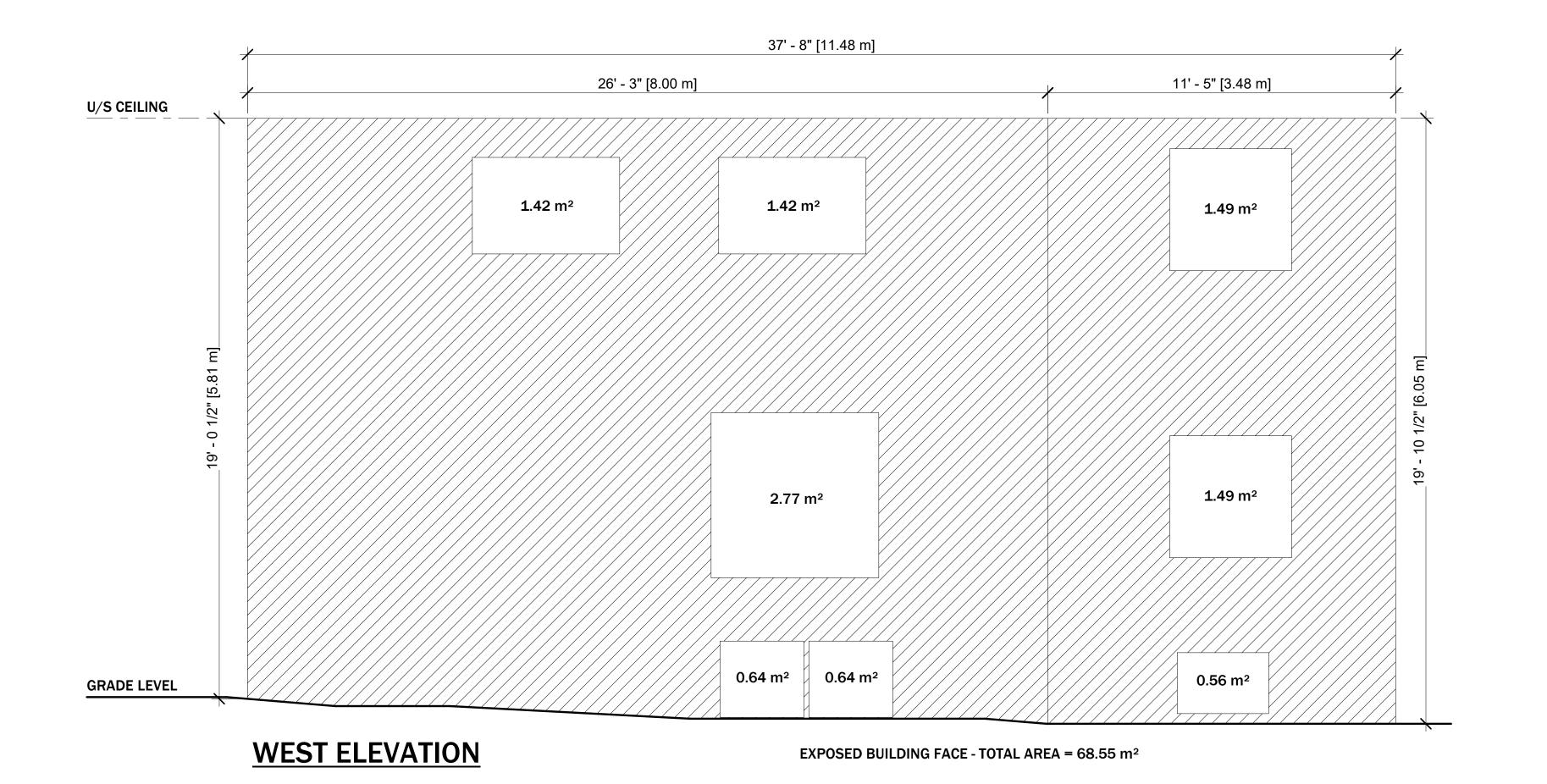
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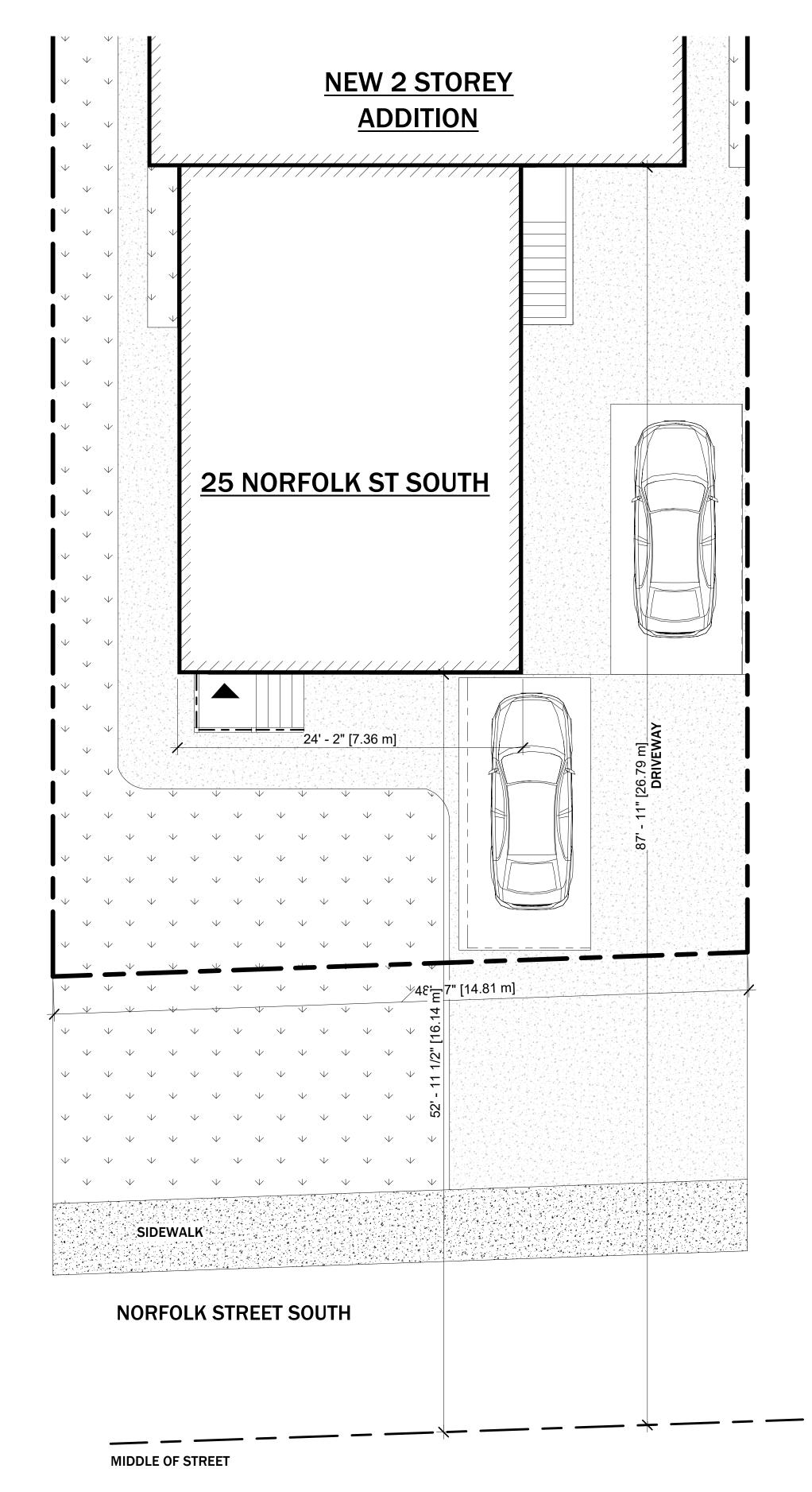
25 NORFOLK STREET SOUTH | HAMILTON, ON

PROPOSED SOUTH ELEVATION 09/13/23

3/8" = 1'-0" REVIEWED BY: DANILO MARTINELLI



SPATIAL SEPARATION CALCULATION		
SECTION AREA	43.93 m <sup>2</sup>	21.10 m²
EXISTING LIMIT DISTANCE	16.14 m	26.79 m
EXPOSED BUILDING FACE	68.55 m <sup>2</sup>	68.55 m²
MAX ALLOWED AREA OF GLAZED OPENINGS	- m² - 100%	- m² - 100%
TOTAL GLAZED AREA	6.89 m <sup>2</sup>	3.54 m <sup>2</sup>
MINIMUM REQUIRED FRR	45 min	45 min
NONCOMBUSTIBLE CLADDING	NOT REQUIRED	NOT REQUIRED



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CITY ELECTRONIC STAMP:

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A BUSCOM, L.T.
kenbekendam@gmail.com

CELL PHONE:
905 - 961 - 0647

OFFICE ADDRESS:
979 MAIN ST. E, HAMILTON ,ON
855 - 546 - 4467

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Name Signature BCIN

REGISTRATION INFORMATION

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KING HOMES INC. 121307

Name BCIN

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ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

CHEET NAME.

SPATIAL SEPARATION - WEST ELEVATION

PROJECT NO. DATE:

25 NORFOLK STREET SOUTH | HAMILTON, ON

23-18 09/13/23

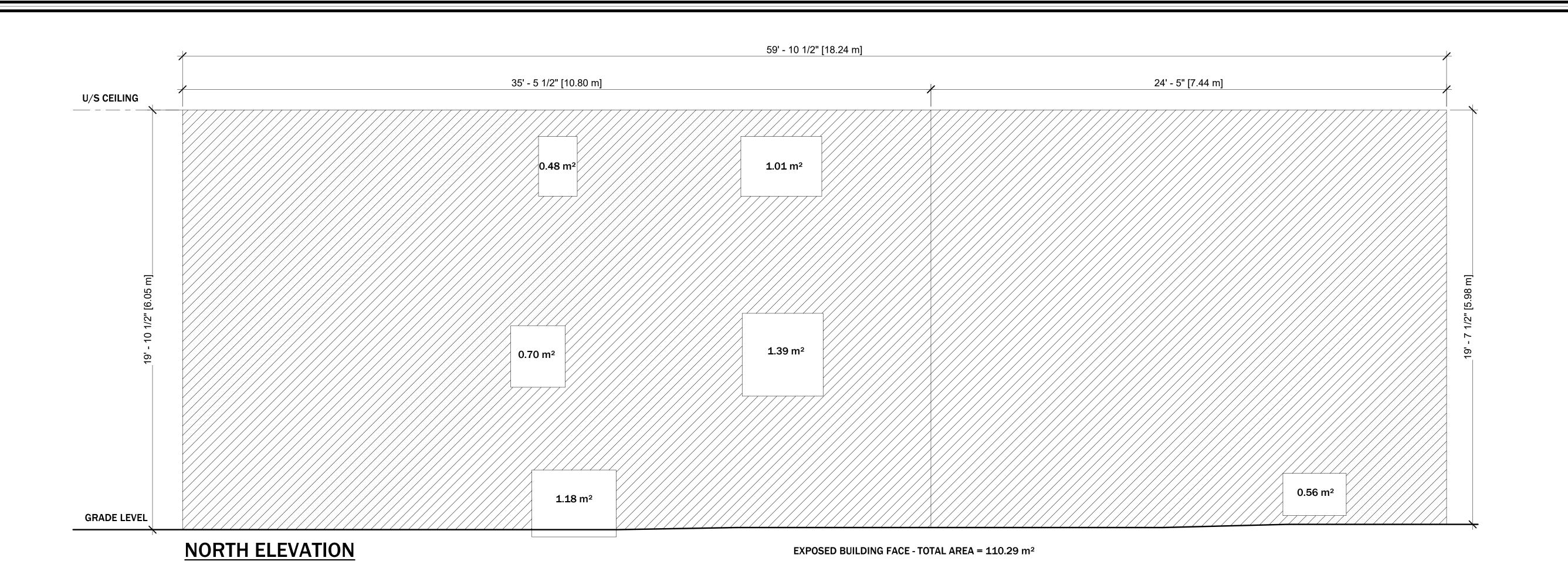
SCALE: REVISION:

As indicated

DRAWN BY: REVIEWED BY:

DANILO MARTINELLI KEN BEKENDAM

SHEET NO.



EXPOSED BUILDING FACE - TOTAL AREA = 110.29 m<sup>2</sup>

SPATIAL SEPARATION CALCULATION		
SECTION AREA	65.05 m <sup>2</sup>	44.49 m²
EXISTING LIMIT DISTANCE	4.79 m	1.26 m
EXPOSED BUILDING FACE	110.29 m <sup>2</sup>	110.29 m <sup>2</sup>
MAX ALLOWED AREA OF GLAZED OPENINGS	13.20 m² - 12%	8.80 m² - 8%
TOTAL GLAZED AREA	4.76 m <sup>2</sup>	0.56 m <sup>2</sup>
MINIMUM REQUIRED FRR	1 h	1 h
NONCOMBUSTIBLE CLADDING	REQUIRED	REQUIRED





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LEAD DESIGNER & CONSULTANT: CELL PHONE:
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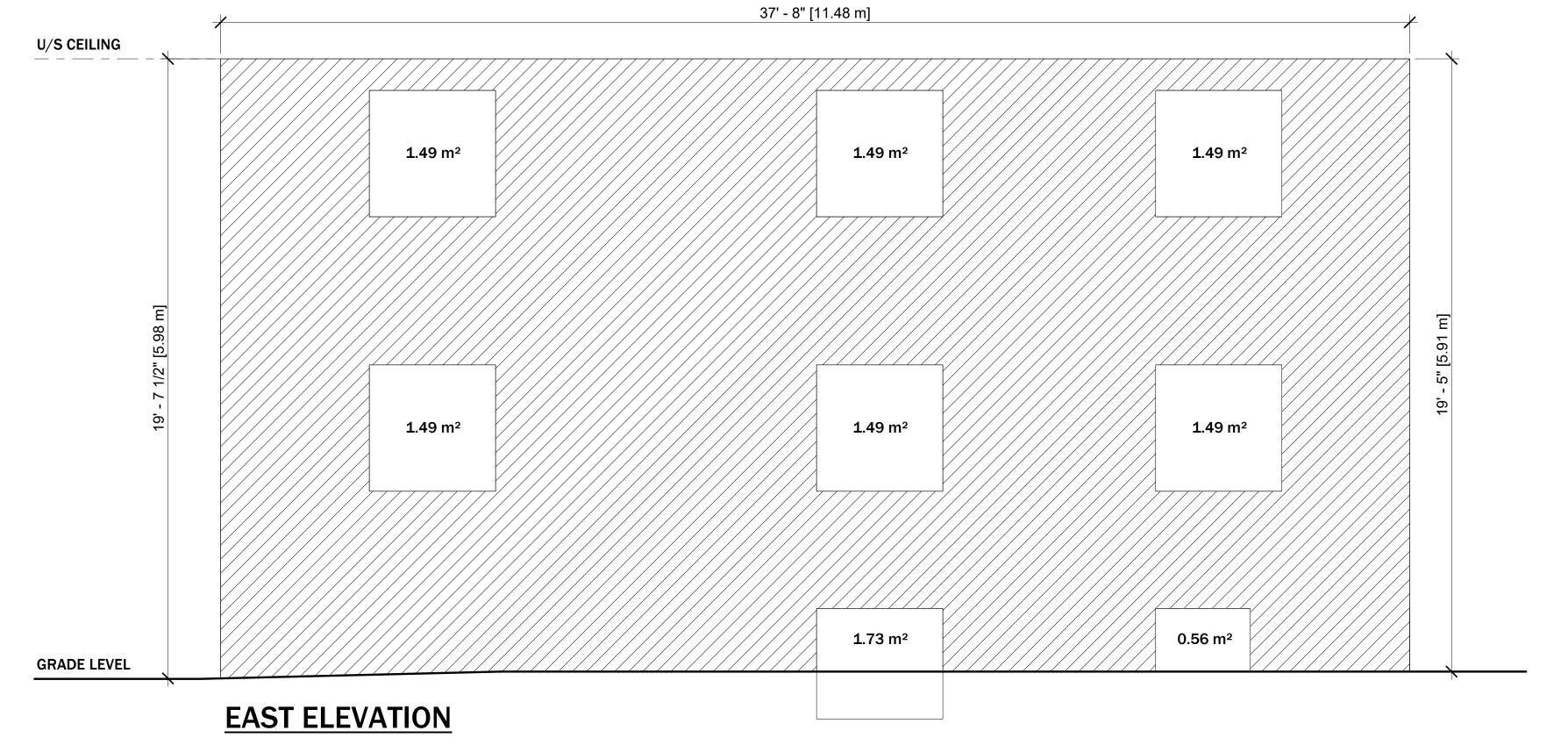
PROJECT NAME/ADDRESS:

## 25 NORFOLK STREET SOUTH | HAMILTON, ON

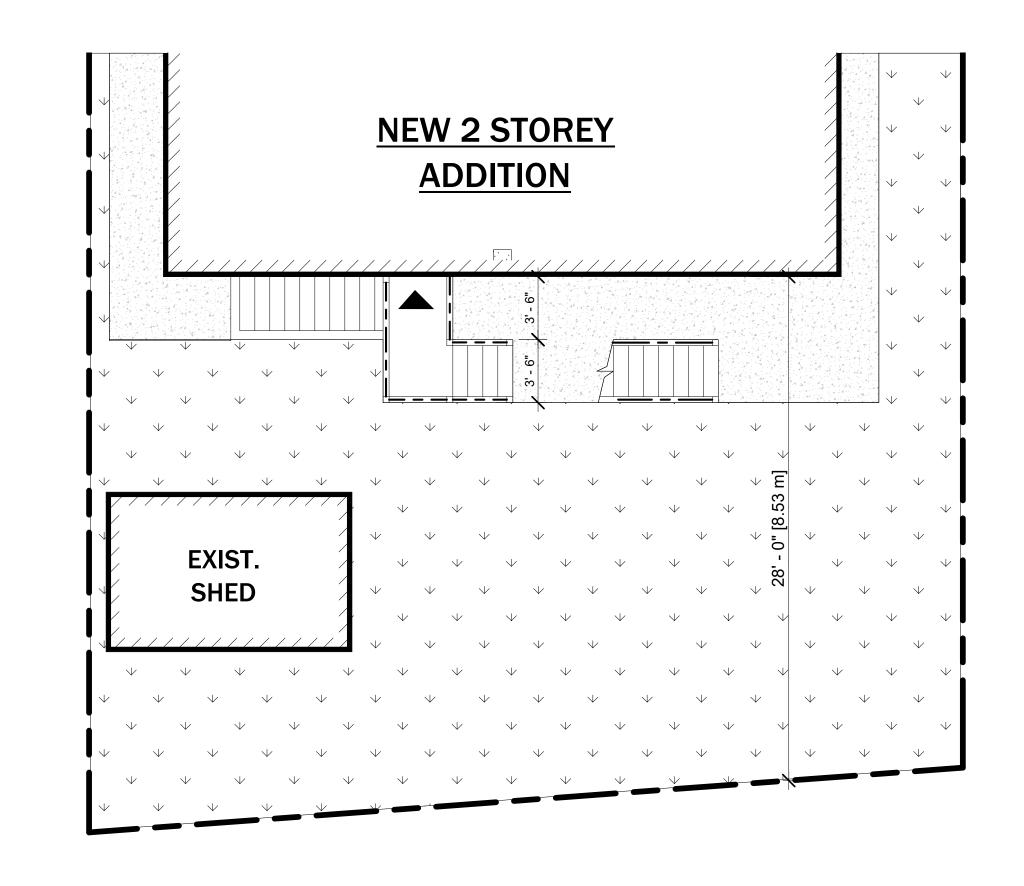
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SPATIAL SEPARATION -	NORTH ELEVATION
PROJECT NO.	DATE:

SCALE:	REVISION:
As indicated	
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM



	EXPOSED BUILDING FACE - TOTAL AREA = 67.96 m <sup>2</sup>		
SPATIAL SEPARATION CALCULATION			
SECTION AREA	67.96 m <sup>2</sup>		
EXISTING LIMIT DISTANCE	8.53 m		
EXPOSED BUILDING FACE	67.96 m <sup>2</sup>		
MAX ALLOWED AREA OF GLAZED OPENINGS	38.10 m <sup>2</sup> - 56%		
TOTAL GLAZED AREA	11.23 m <sup>2</sup>		
MINIMUM REQUIRED FRR	45 min		
NONCOMBUSTIBLE CLADDING	NOT REQUIRED		



KING

ROMESTAGE

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CITY ELECTRONIC STAMP:

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QUALIFICATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

Name Signature BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

KING HOMES INC. 121307

#### GENERAL NOTES:

2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.

1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"

- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS,
  NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS
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  RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL
  NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER
  TEMPORARY SUPPORTS. TO SAFEGUARD ALL EXISTING OR
- TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

# ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.

- 7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL
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   ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION
   AND SAFETY REQUIREMENTS ON SITE.

	NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
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ı	02			
	03			
	04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAM

PROJECT NO.

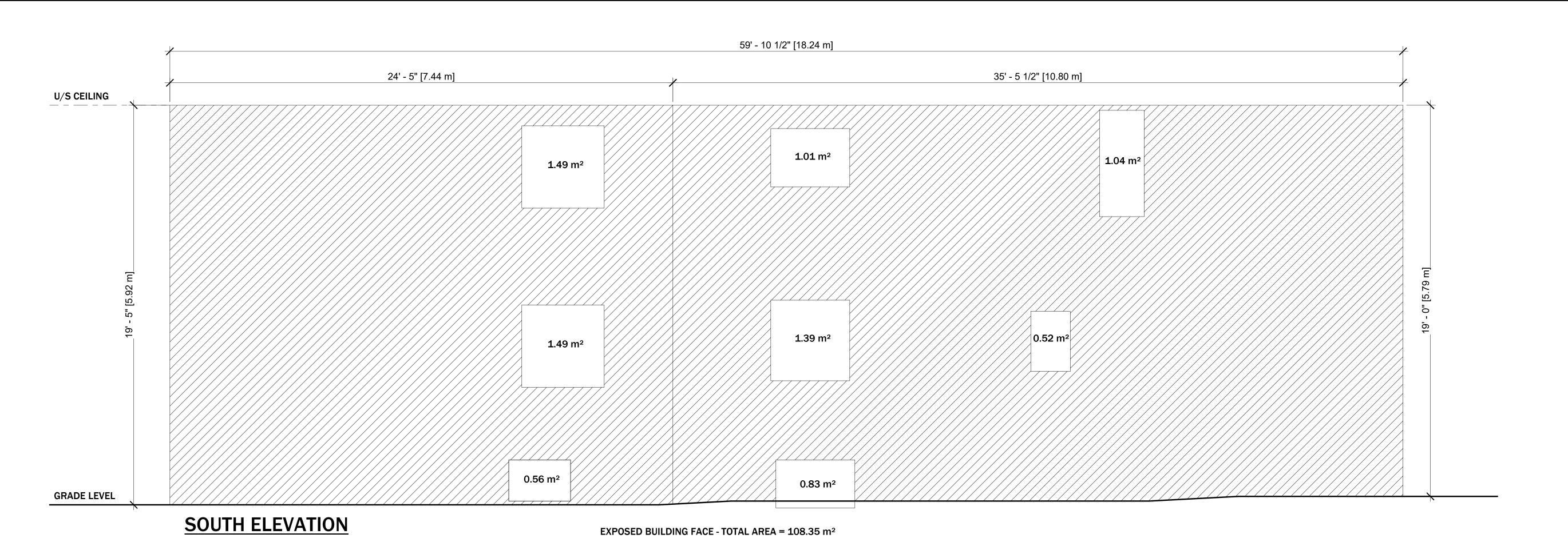
SPATIAL SEPARATION - EAST ELEVATION

23-18 09/13/23

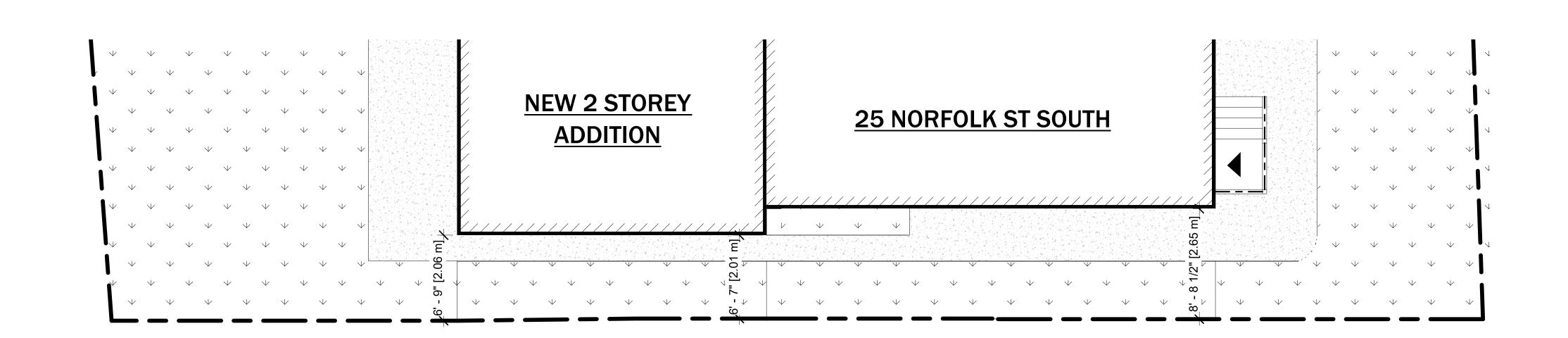
SCALE: REVISION:
As indicated

DRAWN BY: REVIEWED BY:
DANILO MARTINELLI KEN BEKENDAM

SHEET NO.



SPATIAL SEPARATION CALCULATION		
SECTION AREA	44.04 m <sup>2</sup>	65.06 m <sup>2</sup>
EXISTING LIMIT DISTANCE	2.01 m	2.65 m
EXPOSED BUILDING FACE	108.35 m <sup>2</sup>	108.35 m <sup>2</sup>
MAX ALLOWED AREA OF GLAZED OPENINGS	8.7 m <sup>2</sup> - 8%	9.8 m² - 9%
TOTAL GLAZED AREA	3.54 m <sup>2</sup>	4.79 m <sup>2</sup>
MINIMUM REQUIRED FRR	<b>1</b> h	1 h
NONCOMBUSTIBLE CLADDING	REQUIRED	REQUIRED





LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647
kenbekendam@gmail.com

CITY ELECTRONIC STAMP:

office address:
979 MAIN ST. E, HAMILTON ,ON

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Name Signature BCIN

REGISTRATION INFORMATION
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KING HOMES INC. 121307
Name BCIN

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NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

## 25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET N

PROJECT NO.

23-18

DATE:

09/13/23

SCALE:

As indicated

DRAWN BY:

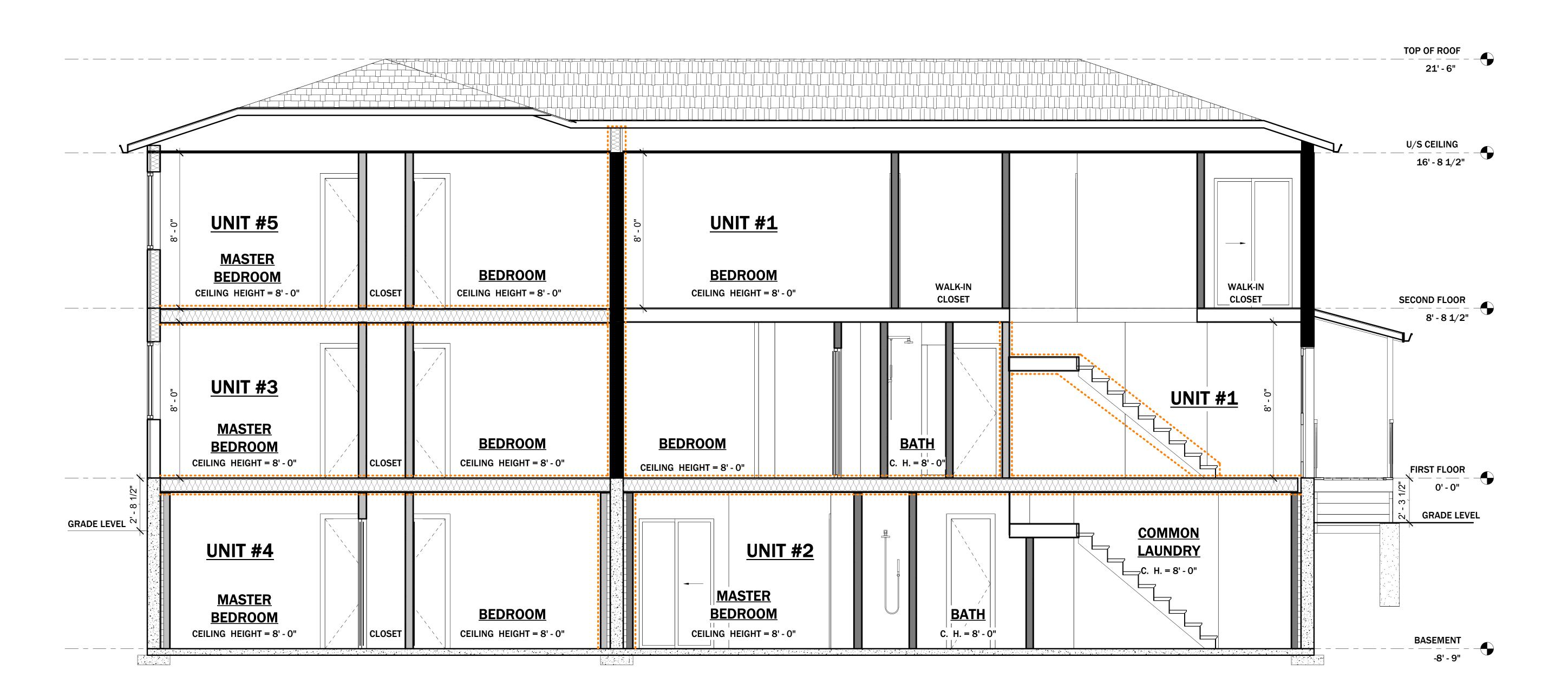
DANILO MARTINELLI

REVISION:

REVIEWED BY:

KEN BEKENDAM

SHEET NO.



1 Section 1 3/8" = 1'-0" KING
HOMESTAGE

legal
second
suites.com

CITY ELECTRONIC STAMP:

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES
ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647

KEN BEKENDAM, B.A BUSCOM, L.T. kenbekendam@gmail.com

OFFICE ADDRESS: 0
979 MAIN ST. E, HAMILTON ,ON 8

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

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QUALIFICATION INFORMATION

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Name Signature BCIN

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KING HOMES INC. 121307

Name BCIN

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- 5. USE LASTEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
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- 7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)
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NORTH POSITIO

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:

CROSS SECTION

 PROJECT NO.
 DATE:

 23-18
 09/13/23

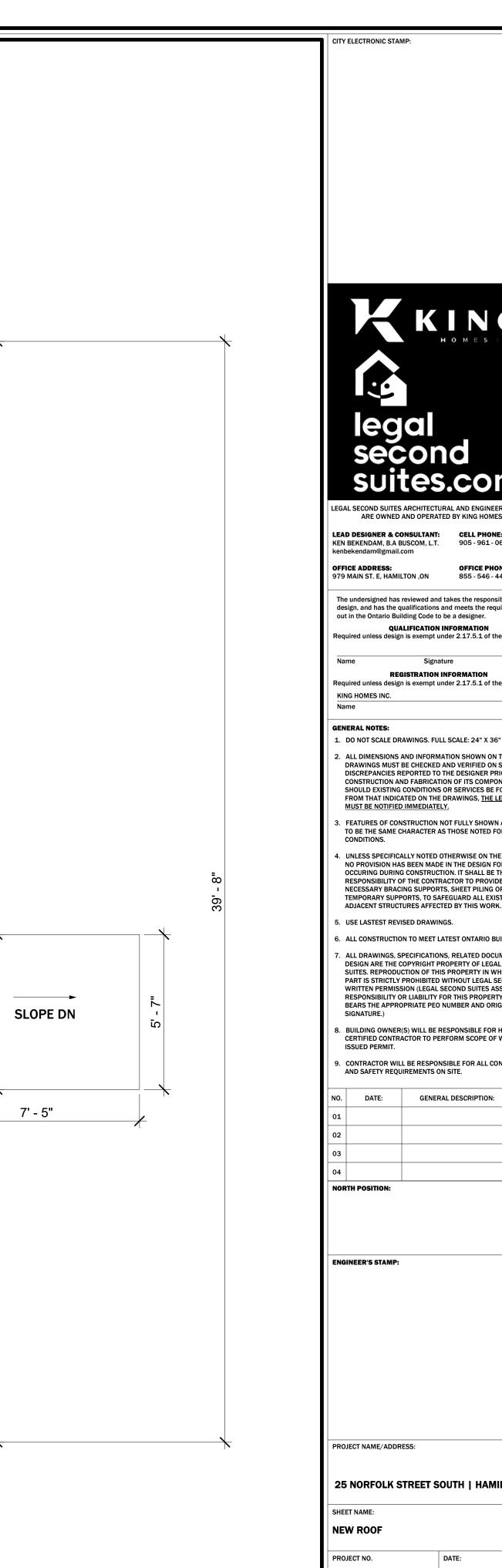
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 REVISION:

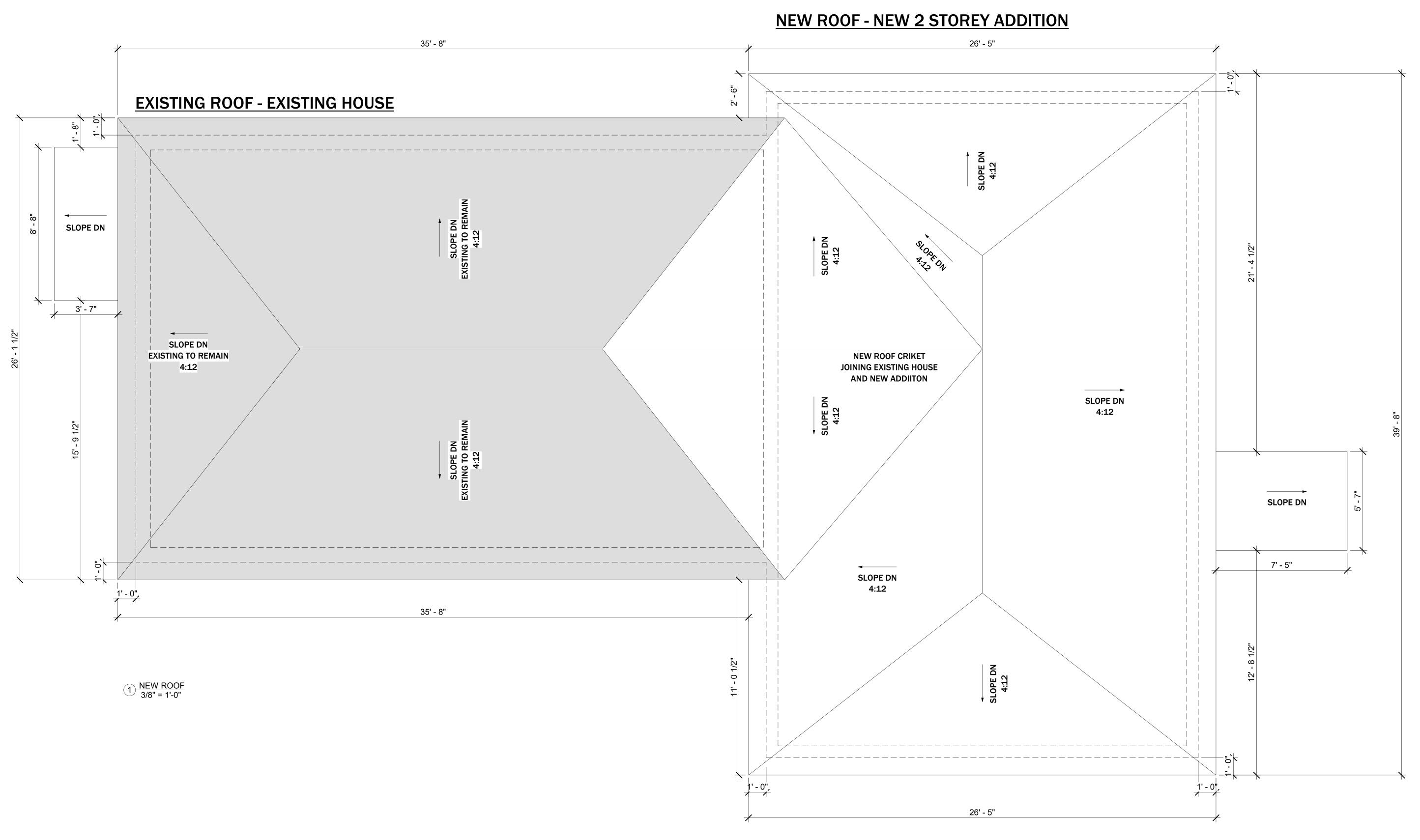
 3/8" = 1'-0"
 REVIEWED BY:

 DANILO MARTINELLI
 KEN BEKENDAM

SHEET NO.

A3.01







**OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION

REGISTRATION INFORMATION

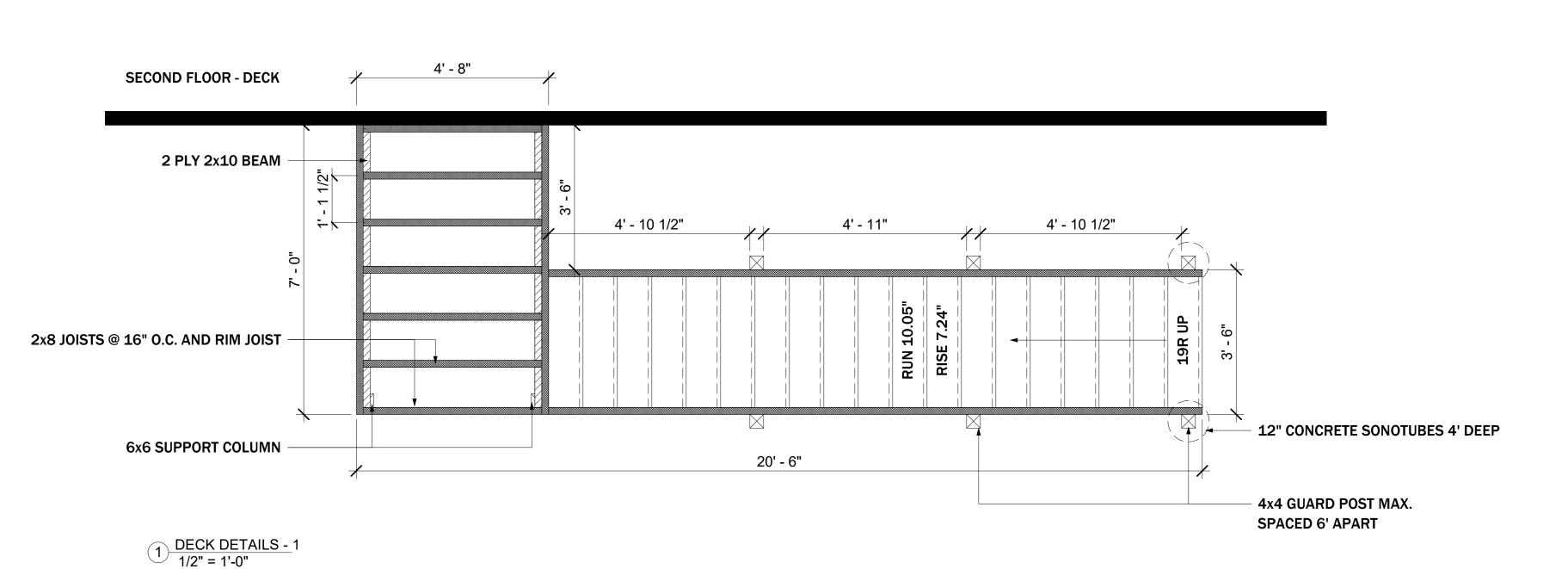
Required unless design is exempt under 2.17.5.1 of the building code

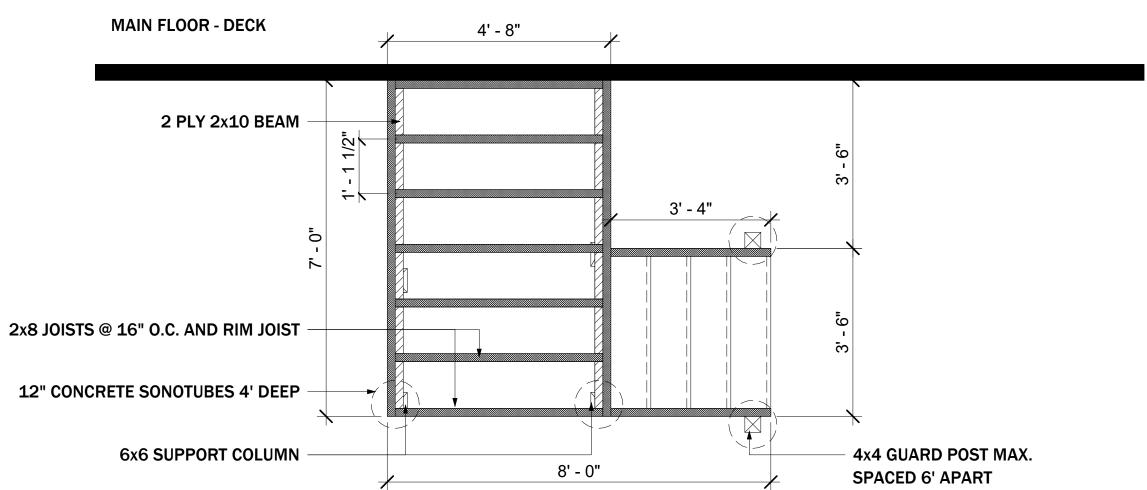
- 2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER
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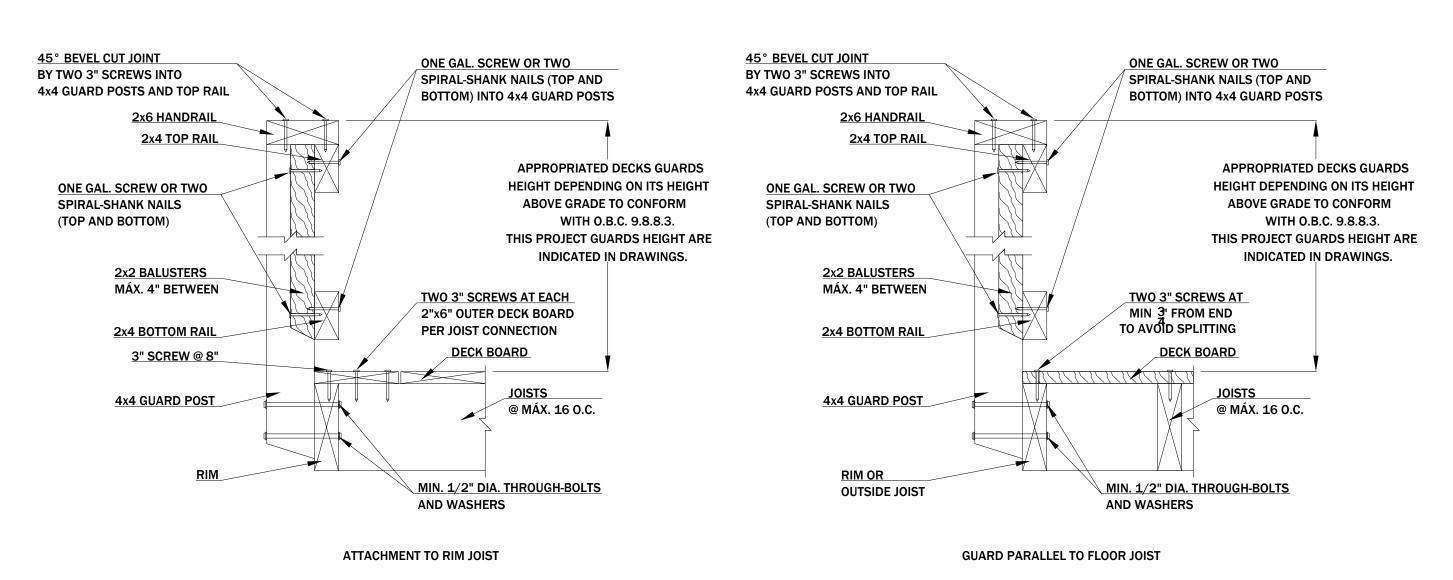
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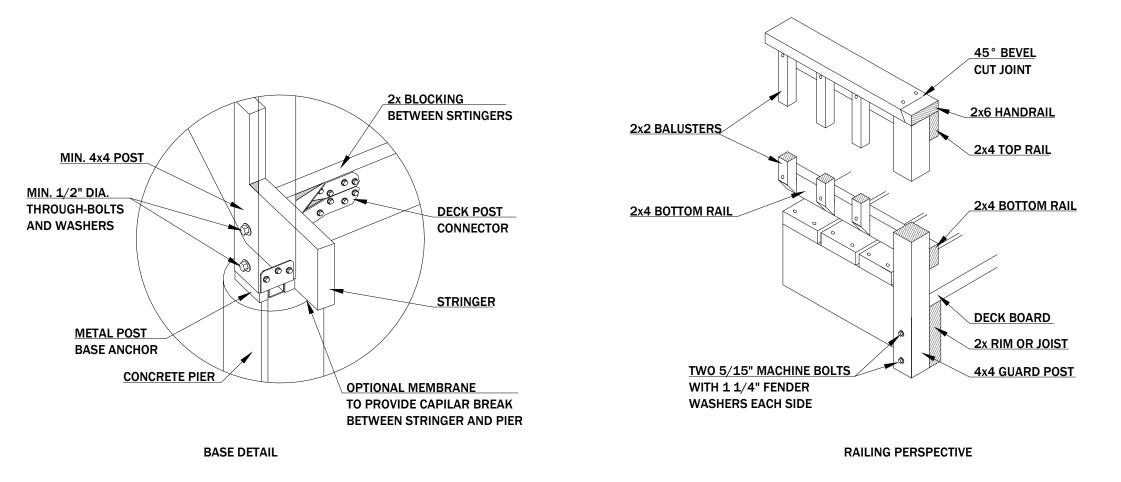
25 NORFOLK STREET SOUTH | HAMILTON, ON

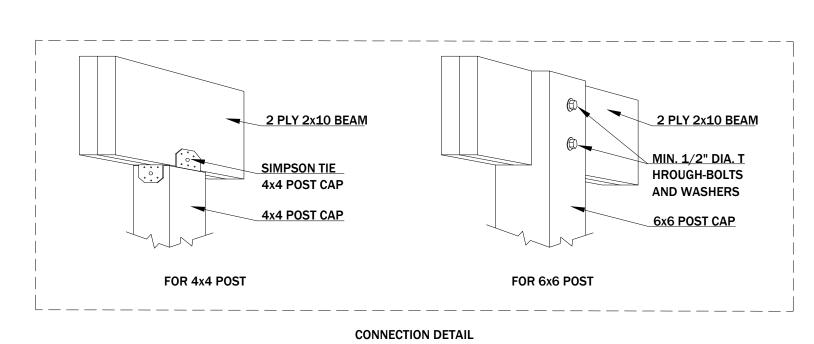
PROJECT NO.	DATE:
23-18	09/13/23
SCALE: 3/8" = 1'-0"	REVISION:
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM



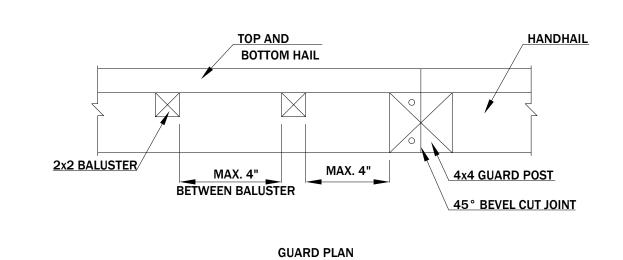








**DECK GUARD DETAILS HEIGHT OF GUARDS (O.B.C. 9.8.8.3):** - MIN. 35" FOR DECKS BETWEEN 24" AND 5'-11" ABOVE GRADE; - MIN. 42" FOR DECKS MORE THAN 5'-11" ABOVE GRADE;



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 064

CITY ELECTRONIC STAMP:

**OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON

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Required unless design is exempt under 2.17.5.1 of the building code KING HOMES INC. Name

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	NOR	NORTH POSITION:			

ENGINEER'S STAMP:

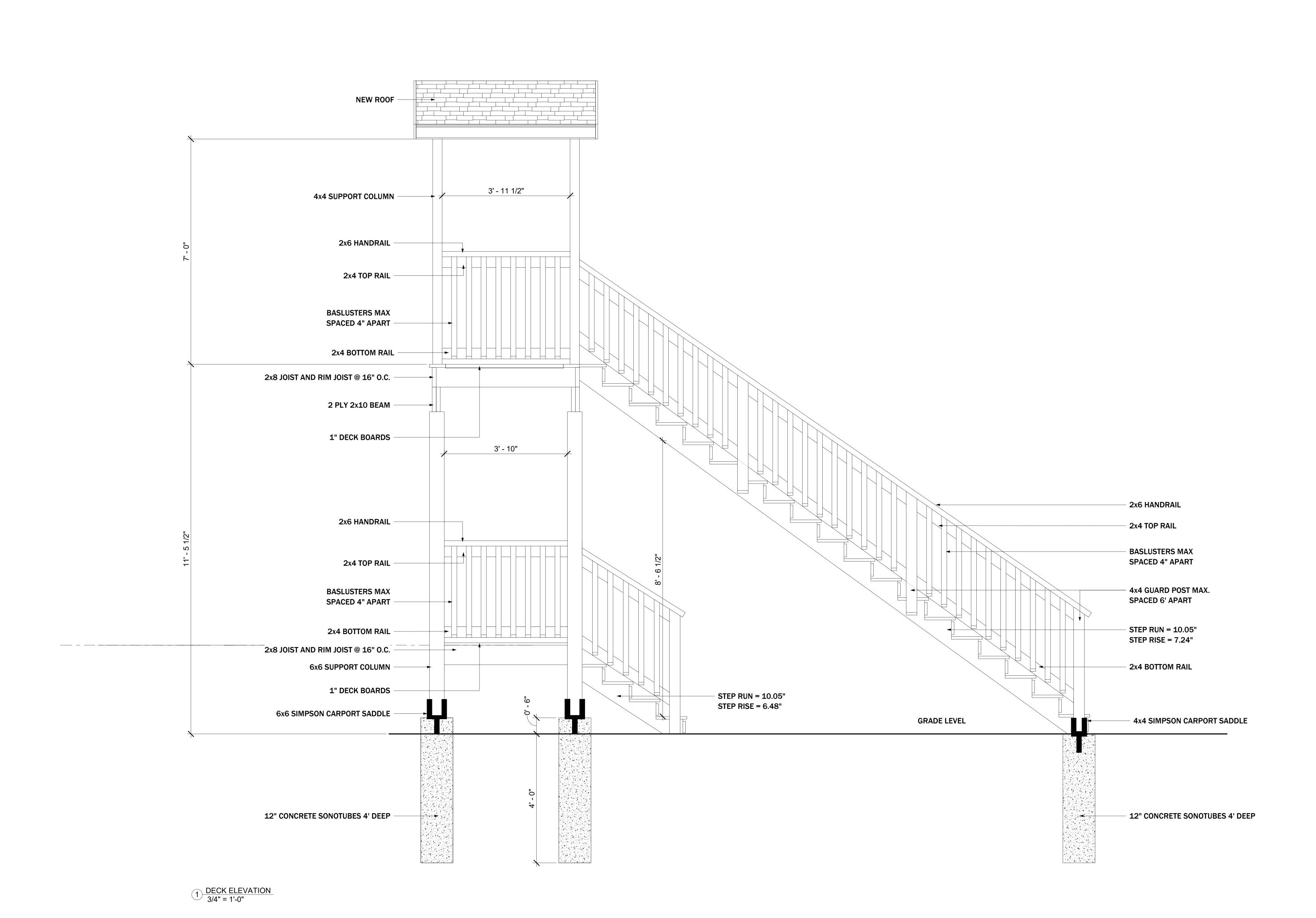
PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

DECK DETAILS - 1/2 PROJECT NO. 23-18

09/13/23 SCALE: As indicated DRAWN BY: REVIEWED BY: DANILO MARTINELLI KEN BEKENDAM

SHEET NO.





CITY ELECTRONIC STAMP:

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A BUSCOM, L.T.
kenbekendam@gmail.com

CELL PHONE:
905 - 961 - 0647

OFFICE ADDRESS: OFFICE PHONE:
979 MAIN ST. E, HAMILTON ,ON 855 - 546 - 4467

The undersigned has reviewed and takes the responsibility for this design and has the qualifications and meets the requirements see

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QUALIFICATION INFORMATION

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Name Signature BCIN

REGISTRATION INFORMATION

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KING HOMES INC. 121307

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	NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
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NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

DECK DETAILS - 2/2

 PROJECT NO.
 DATE:

 23-18
 09/13/23

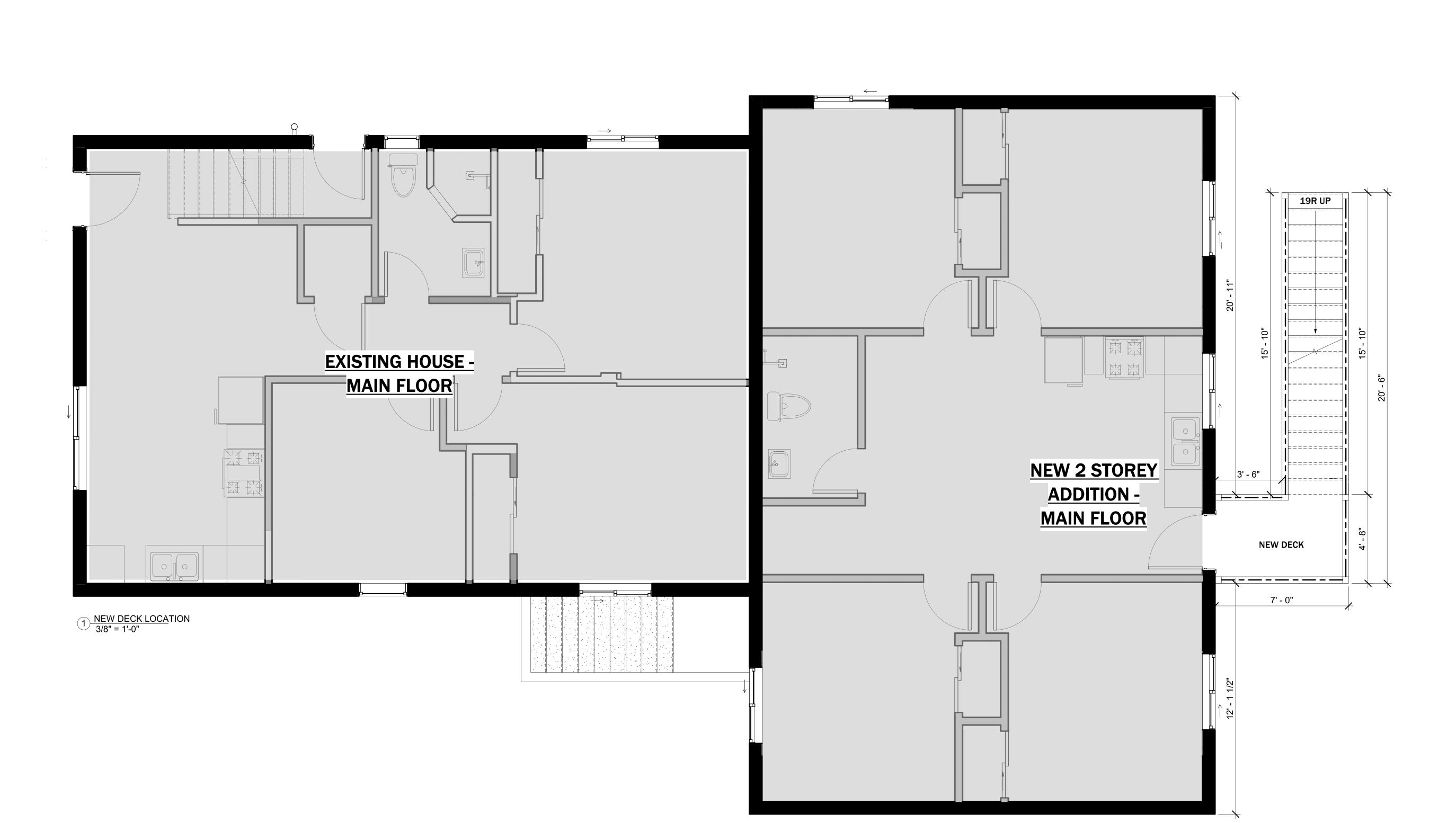
 SCALE:
 REVISION:

 3/4" = 1'-0"
 REVIEWED BY:

 DANILO MARTINELLI
 KEN BEKENDAM

SHEET NO.

**A3.04** 





LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647 kenbekendam@gmail.com

CITY ELECTRONIC STAMP:

**OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON

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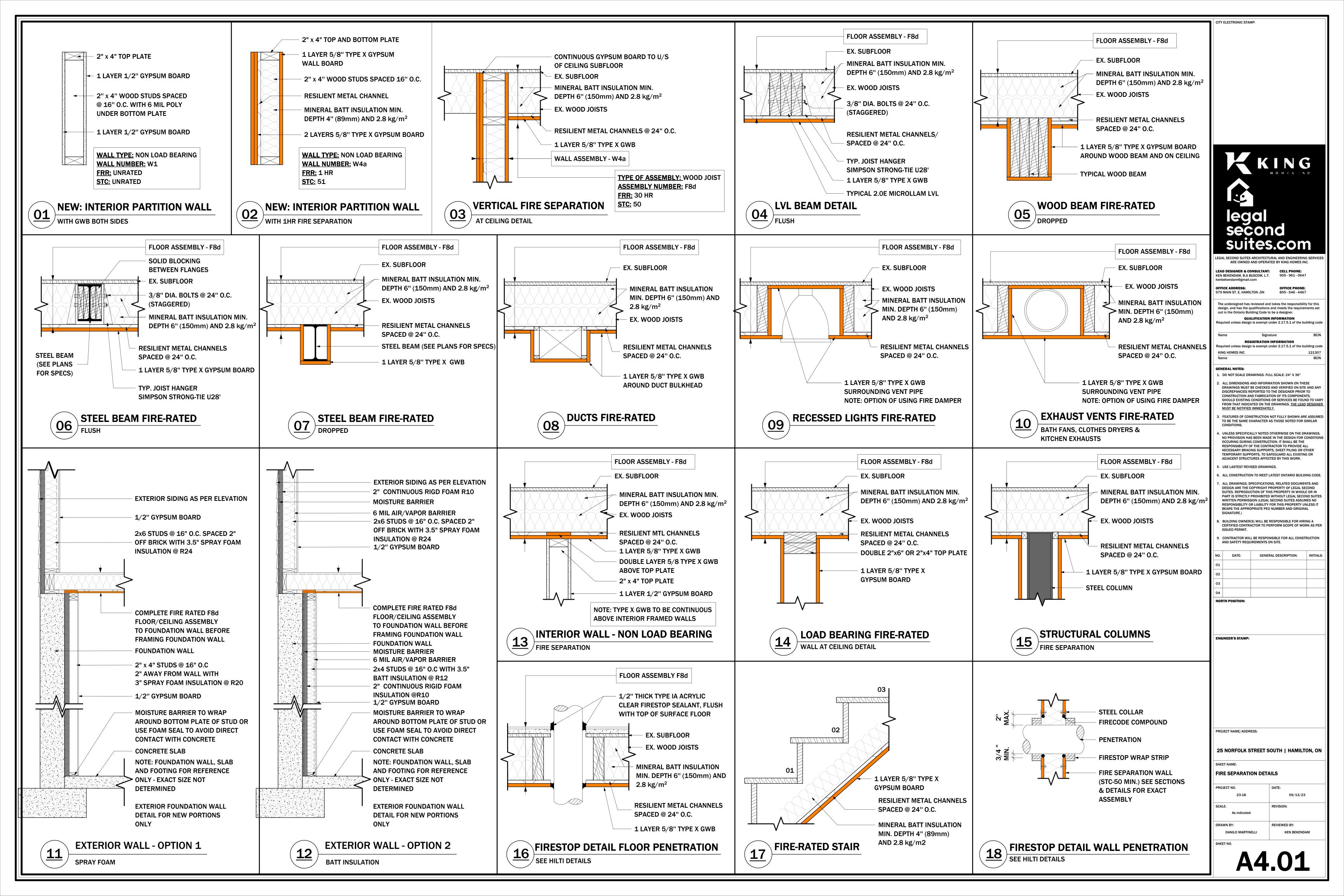
PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

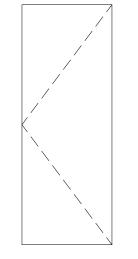
NEW DECK - LOCATION

PROJECT NO. 09/13/23 SCALE: 3/8" = 1'-0" DRAWN BY: REVIEWED BY:

SHEET NO.

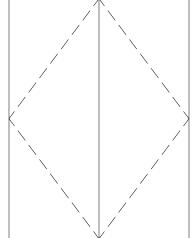


## **DOOR PANEL TYPES - ELEVATIONS**



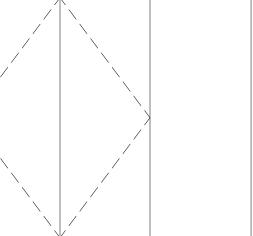
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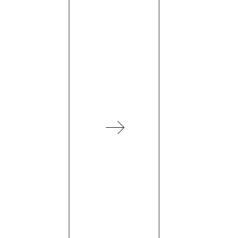
(SINGLE FLUSH PANEL)



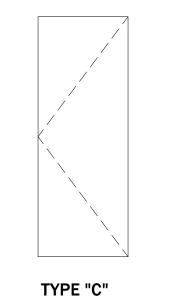
TYPE "A(2)"

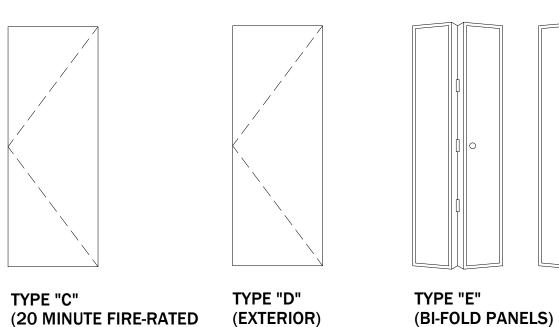
(DOUBLE FLUSH PANEL)

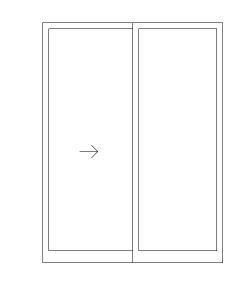


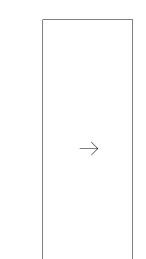


TYPE "B"









TYPE "G" (EXTERIOR GLASS SLIDING) (INTERIOR POCKET)

legal second

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC. LEAD DESIGNER & CONSULTANT:

KEN BEKENDAM, B.A BUSCOM, L.T. **OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON

CITY ELECTRONIC STAMP:

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. **QUALIFICATION INFORMATION** Required unless design is exempt under 2.17.5.1 of the building code

REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code KING HOMES INC.

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- 2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- 3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- 4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITION OCCURING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER
- ADJACENT STRUCTURES AFFECTED BY THIS WORK. USE LASTEST REVISED DRAWINGS.
- 6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE. 7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND
- DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL
- 8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER
- 9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01			
02			
03			
04			
NOR	TH POSITION:		

ENGINEER'S STAMP:

ISSUED PERMIT.

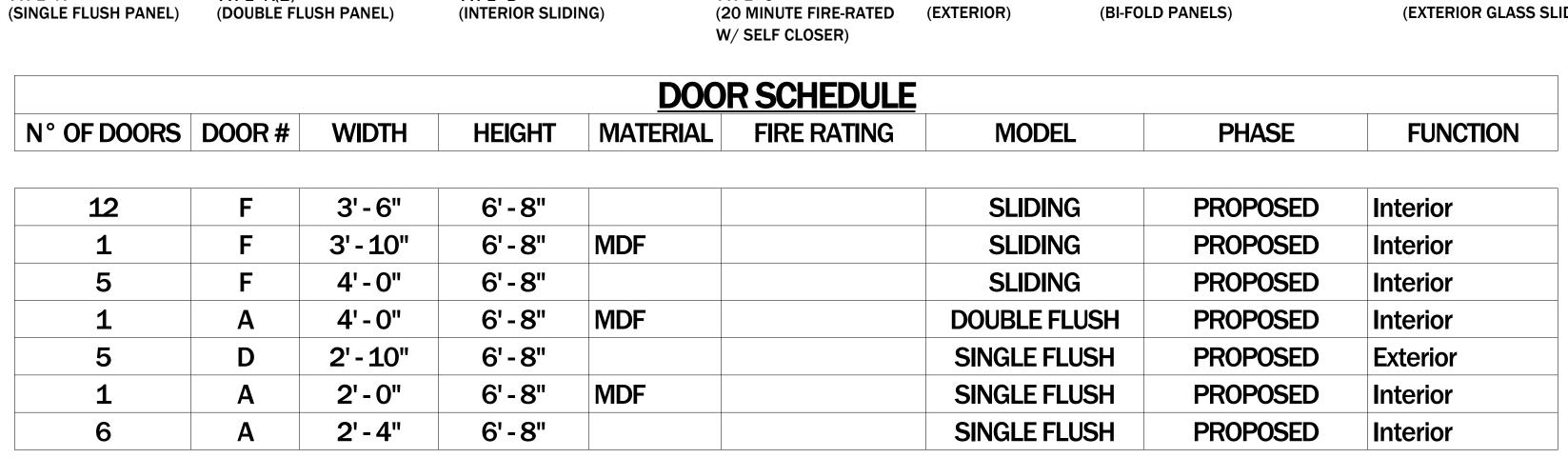
PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

DOOR & WINDOW SCHEDULE

PROJECT NO.	DATE:
23-18	09/13/23
SCALE:	REVISION:
3/8" = 1'-0"	
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

DANILO MARTINELLI



## NOTES:

**NOTES:** 

- 1. ALL FIRE RATED DOORS TO HAVE SELF-CLOSING DEVICES. CONFORMING TO 9.10.13.10 (1). ADDITIONALLY, LOCK SETS TO BE INSTALLED.
- ALL HINGES TO BE 3 1/2" X 3 1/2" SQUARE CORNER STAINLESS STEEL. MINIMUM 3 PER PANEL.

WINDOW WITH SILLS LESS THAN 5'-0" ABOVE TUB OR SHOWER FLOOR SHALL BE TEMPERED.

- PROVIDE SMOKE SEALS AT ALL FIRE RATED DOORS
- FINISHED FLOOR TO UNDERSIDE OF DOOR TO BE A CONSISTENT HEIGHT UP TO A MAXIMUM OF 1/4" FOR BEDROOMS AND 1/2" FOR BATHROOMS.

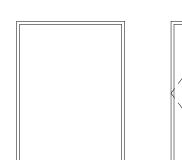
ALIGN TOP OF WINDOWS WITH TOP OF DOORS SO THAT TOP EDGES OF DOORS AND WINDOWS ALIGN IN A LEVEL PLANE ABOVE FINISH FLOOR.

- ALL DOORS ARE 1 3/4" THICK. SPRAYED TOP AND UNDERSIDE OF DOOR PANEL.
- CONTRACTOR TO ADD TRANSITION STRIP UNDERNEATH MIDDLE OF DOOR WHERE MATERIAL CHANGES IN ALL LOCATION (TYP.)
- ALL NEW DOORS BETWEEN UNITS TO HAVE A MINIMUM 20 MIN FIRE RATING

1. REFER TO FLOOR PLANS/ELEVATIONS FOR WINDOW SILL HEIGHTS

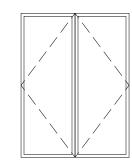
\*GC TO SITE VERIFY DOOR HEIGHT AND WIDTH

# WINDOW TYPE - ELEVATIONS

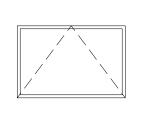


TYPE "A"

**FIXED** 

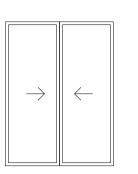


**CASEMENT** 

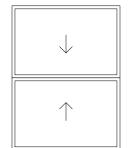


TYPE "C"

**AWNING & HOPPER** 

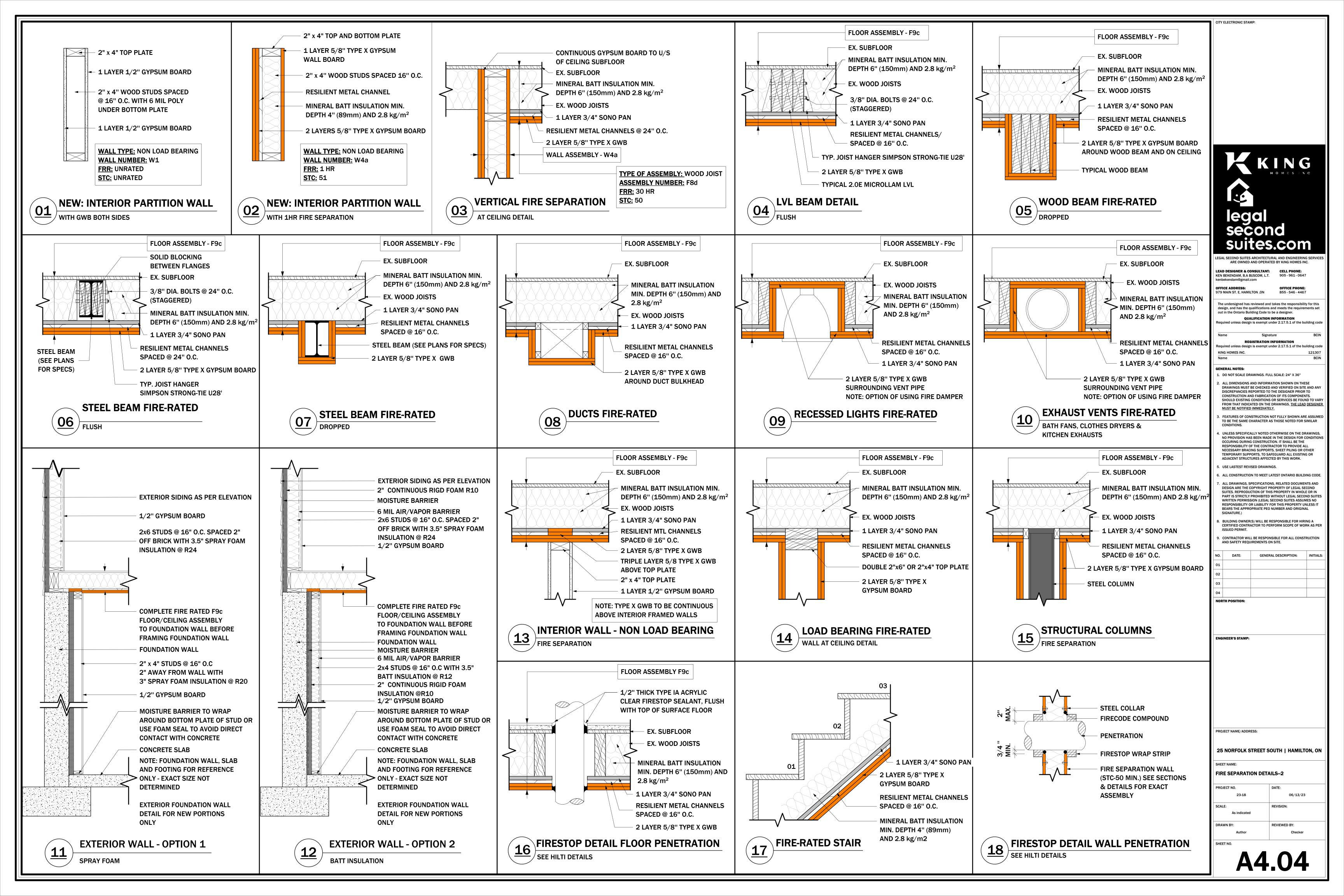


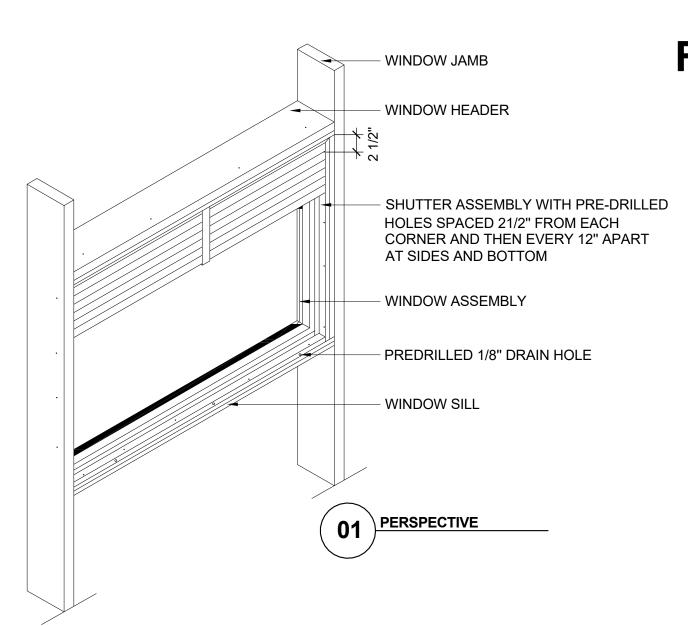
SLIDING



TYPE "E" DOUBLE-HUNG

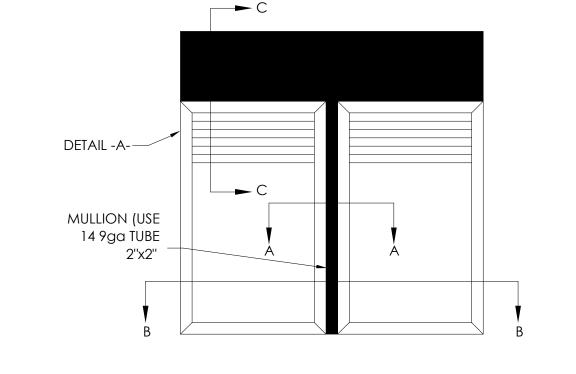
WINDOW SCHEDULE								
Count	Туре	Width	Height	Sill Height	FIRE RATED	Model	PHASE	FRAME MATERIAL
1	PROPOSED - 22" x 34"	1'-10"	2'-10"	4' - 1"		FIXED	PROPOSED	PVC
1	PROPOSED - 23" x 35"	1'-11"	2'-11"	3'-8"		FIXED	PROPOSED	PVC
1	PROPOSED - 26" x 62"	2'-2"	5' - 2"	2'-91/2"		SLIDING	PROPOSED	PVC
1	PROPOSED - 31" x 35"	2'-7"	2'-11"	3'-8"		FIXED	PROPOSED	PVC
2	PROPOSED - 33" x 30"	2'-9"	2'-6"	5' - 10"		SLIDING	PROPOSED	PVC
2	PROPOSED - 36" x 24"	3'-0"	2'-0"	6' - 2"		SLIDING	PROPOSED	PVC
2	PROPOSED - 36" x 24" - 2	3'-0"	2'-0"	6' - 2"		SLIDING	PROPOSED	PVC
1	PROPOSED - 46" x 28"	3'-10"	2'-4"	5' - 10"		SLIDING	PROPOSED	PVC
2	PROPOSED - 46" x 34"	3'-10"	2'-10"	3' - 11"		SLIDING	PROPOSED	PVC
2	PROPOSED - 46" x 47"	3'-10"	3'-11"	3'-3"		SLIDING	PROPOSED	PVC
1	PROPOSED - 48" x 42"	4' - 0"	3'-6"	4' - 0"	45 min	SLIDING	PROPOSED	PVC
7	PROPOSED - 48" x 48" - 2	4' - 0"	4' - 0"	3' - 0"	45 min	SLIDING	PROPOSED	PVC
3	PROPOSED - 48" x 48" - 3	4' - 0"	4' - 0"	3' - 0"		SLIDING	PROPOSED	PVC
1	PROPOSED - 56" x 48"	4'-8"	4' - 0"	4' - 0"	45 min	SLIDING	PROPOSED	PVC
2	PROPOSED - 58" x 38"	4' - 10"	3'-2"	3' - 7"		SLIDING	PROPOSED	PVC
1	PROPOSED - 66" x 65"	5' - 6"	5' - 5"	1'-8"		SLIDING	PROPOSED	PVC

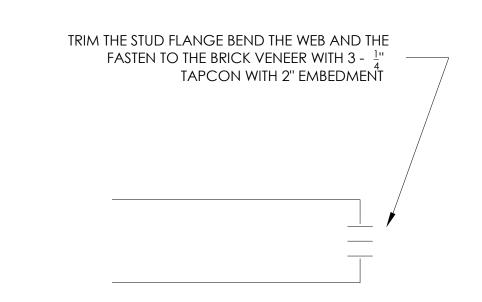




# FIREOXX SHUTTER

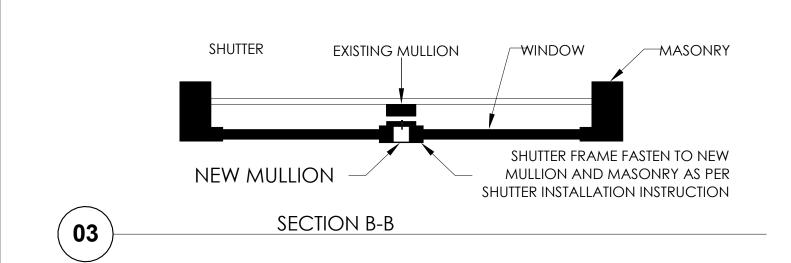
WARNOCK HERSEY LISTED 20 MINUTE RATED FIRE SHUTTER MEETS CAN/ULC S104-10

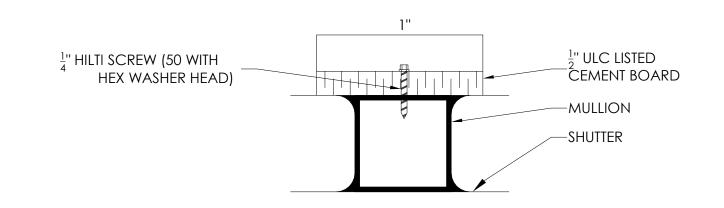




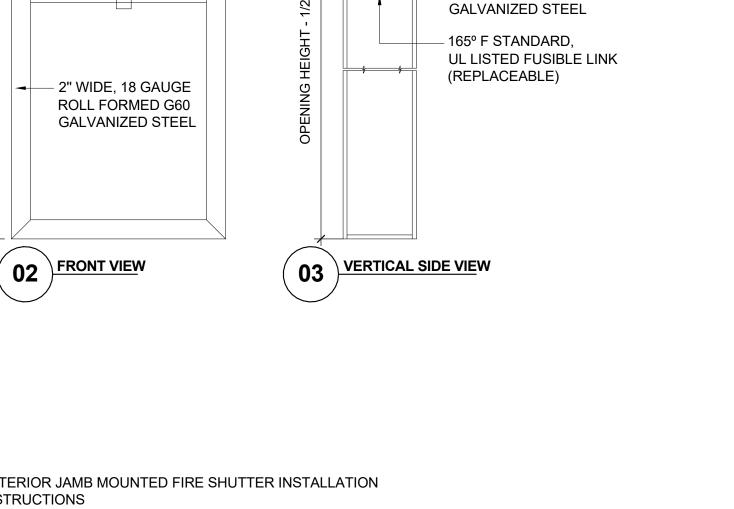












ROLL-FORMED STEEL

BLADES, 22 GAUGE

**ROLL-FORMED G60** 

- INTERLOCKING CURTAIN

18ga. (FRAME)

EXTERIOR JAMB MOUNTED FIRE SHUTTER INSTALLATION

WIDTH: NOMINAL OPENING WIDTH - 1/2"

INSTRUCTIONS

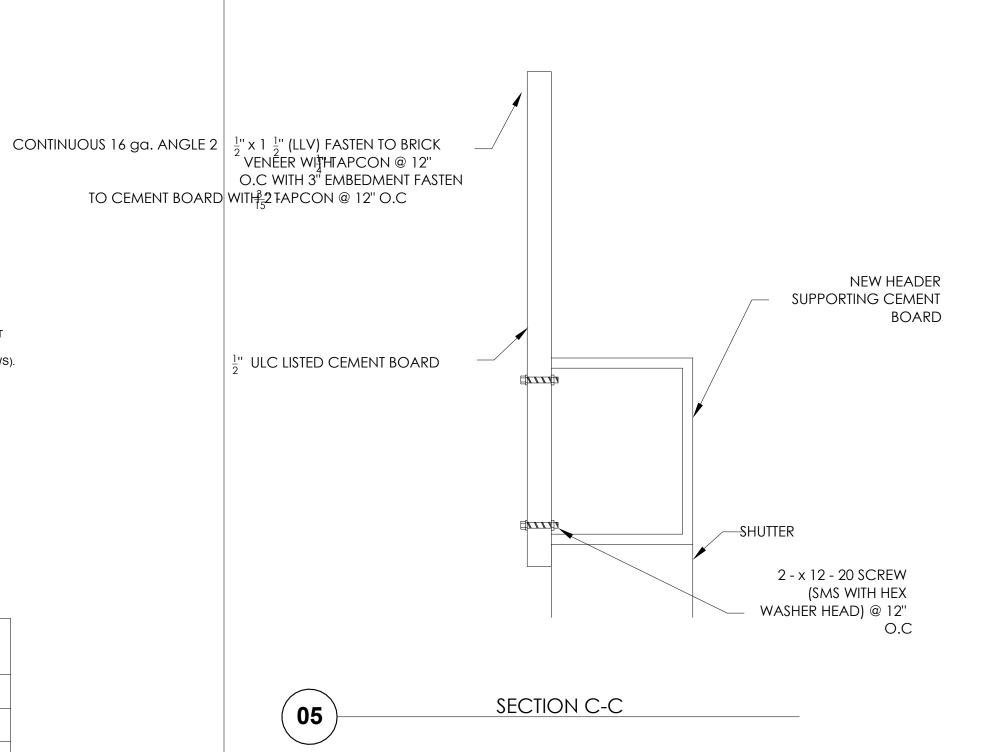
SHUTTER SIZES TO A MAXIMUM OF 42" WIDE AND 60" HIGH SHUTTER TO BE MOUNTED TO BRICK JAMB OR EQUIVALENT NON-COMPUSTABLE SURFACE

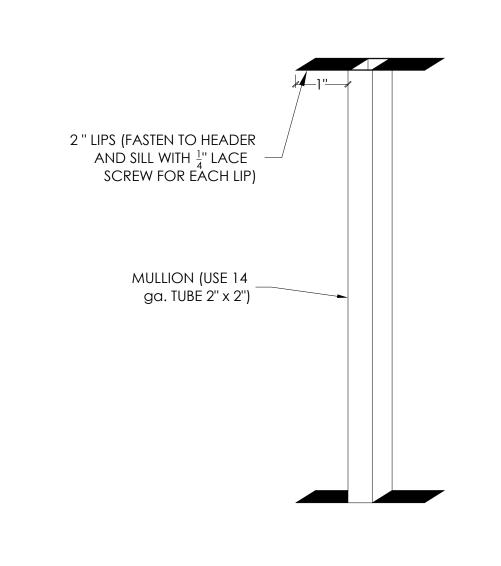
1. PREPARE AND CLEAN THE EXTERIOR SIDE OF THE WINDOW OPENING.

- 2. PLACE FIRE SHUTTER WITH CORNER BRACKETS FACING THE WINDOW INTO THE WINDOW OPENING WITH A 1/4" SPACE FROM THE FACE OF THE WINDOW.
- 3. SHIM THE SHUTTER ASSEMBLY WITH A MINIMUM 1/4" GAP TO WINDOW OPENING AT BOTTOM AND SIDES. SHIM WHERE PRE-DRILLED HOLES ARE LOCATED TO PREVENT
- 4. LOCATE PRE-DRILLED HOLES AT SIDES AND BOTTOM AND INSERT SCREWS AS REQUIRED TO SECURE SHUTTER ASSEMBLY. (SEE TABLE 1 FOR THE REQUIRED SCREWS). 5. TO INSTALL SCREWS AT TOP CORNER, CAREFULLY REMOVE THE FUSIBLE LINK HOLDING STRAP WITH ONE HAND AND HOLD BOTTOM OF CURTAIN BLADE WITH THE OTHER HAND ALLOWING CURTAIN TO DROP. INSTALL SCREWS AND RESET CURTAIN TO UPRIGHT POSITION AND RE-SET FUSIBLE LINK HOLDING STRAP.
- USE CAUTION WHEN LOWERING CURTAIN BLADE 6. REMOVE ALL SHIMS AND TIGHTLY FILL GAPS WITH RATED MINERAL
- WOOL AND APPLY A GOOD QUALITY CAULKING, FILLING ALL GAPS
- BETWEEN THE FIRE SHUTTER AND MOUNTING SURFACE. 7. TEST DROP CURTAIN TO ENSURE IT WILL FREE FALL WITHOUT
- OBSTRUCTION. 8. RESET CURTAIN IN UPRIGHT POSITION AND SECURE WITH FUSIBLE
- LINK STRAPING.
- 1. INSTALL IN ACCORDANCE WITH INSTRUCTIONS TO MAINTAIN APPROVED LISTING.

# TABLE 01

OPENING MATERIAL SCREW TYPE			SCREW HEAD	MIN.
			TYPE	PENETRATION
CONCRETE	#8 DX-KWIK	OR EQUIVALENT	FLAT HEAD	1 1/2"
LIGHT GAUGE STEEL	#8 KWIK-PRO SELF DRILLING	OR EQUIVALENT	FLAT HEAD	1/2"
MASONRY	#8 DX-KWIK	OR EQUIVALENT	FLAT HEAD	1 1/2"
STEEL	#8 KWIK-PRO SELF DRILLING	OR EQUIVALENT	FLAT HEAD	1/2"
WOOD	#8 ROBERTSON SCREW	OR EQUIVALENT	FLAT HEAD	1 1/2"





MULLION DETAILS

legal second LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES

ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A BUSCOM, L.T. **OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON

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NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
01			
02			
03			
04			
NOR	TH POSITION:		

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

FIRE SHUTTER DETAILS

PROJECT NO. 05/26/23 SCALE: 12" = 1'-0" DRAWN BY:

#### 3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

#### 3.1 Nature and extent of relief applied for:

- 1. To permit a finished floor elevation of any dwelling unit to be below grade to permit the two additional residential units in the basement whereas the zoning bylaw 11.1.1.1(i) requires 0.9m above grade
- 2. To permit two dwelling units to be permitted in a basement or a cellar whereas zoning bylaw 11.1.1.1(i)1 permits only one dwelling unit in a basement or cellar.
- 3. To permit 1 parking space to be between the building façade and the front lot line whereas zoning bylaw 11.1.3(g)vi permits no parking between the building façade and the front lot line.
- 4. To permit principal entrances that do not face the street or are accessible from the front building façade and have no direct access from the public sidewalk whereas zoning bylaw 11.1.3(g)vii requires all principal entrances shall face the street and be accessible from the building façade with direct access from the public sidewalk.
- 5. To permit a parking space 0.0m in front of the street line whereas the zoning bylaw section 5.1 requires 3.0m
- 6. To permit an aisle width of 0m whereas zoning bylaw section 5.1 requires 6m

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

Planning Division

71 Main Street West, 5<sup>th</sup> Floor Hamilton, Ontario, L8P 4Y5

Phone: 905-546-2424 x1719 Fax: 905-546-4202





October 23,2023 FILE: ALR

FOLDER: 23-135581-02 ALR
ATTENTION OF: Alyssa Vaccari
TELEPHONE NO: (905) 546-2424
EXTENSION: 2356-

Chris Houghton 979 MAIN STREET E HAMILTON, ON L8M 1N2

#### **Attention:**

Re: APPLICABLE LAW REVIEW - ZONING BYLAW

**Present Zoning: TOC1** 

Address: 25 NORFOLK ST S HAMILTON, ON

An Applicable Law Review respecting zoning bylaw compliance has been completed and the following comments are provided.

#### **COMMENTS**:

- 1. The applicant is proposing to convert an existing single detached dwelling into a multiple dwelling containing five (5) dwelling units. A second storey addition above the existing attached garage is proposed to accommodate the proposed use.
- The proposed use of a multiple dwelling is permitted in the current "TOC1" Transit
  Oriented Corridor Mixed Use Medium Density Zone in the Hamilton Zoning By-law 05200.
- 3. Existing shed to remain and no changes are proposed. Therefor the review has been conducted for the principle dwelling.
- 4. Construction of the proposed multiple dwelling is subject to the issuance of a building permit in the normal manner.
- 5. The propsoed development has be reviewed and compared to the standards of the "TPC1" Zone as indicated in the following chart:

# TOC1 Zone – Transit Oriented Corridor Mixed Use Medium Density

(Section 11.1 of Hamilton Zoning By-law 05-200)

	Required By By-Law	Provided	Conforming/ Non-Conforming		
Section 11.1.1.1 – Restricted Uses					
Restriction of Uses within a Building	1. The finished floor elevation of any dwelling unit shall be a minimum of 0.9m above grade; and  2. Notwithstanding Subsection 11.1.1.1(i)1. above, one dwelling unit(s) shall be permitted in a basement or cellar.	Units 1, 3 and 5 are located 0.9m above grade.	Conforms		
[as per section 11.1.1.1(i) of Hamilton Zoning By-law 05-200]		2 units finished floor elevation is below grade.	Non-conforming		
		2 units are proposed within the basement/cellar	Non-conforming		
	Section 11.1.3- TOC1 Re	quirements			
Building Setback from a Street Line [as per section 11.1.3(a)	i) Minimum 3.0 metres for a building with residential units on the ground floor facing a street,	6.05m (existing)	Conforms		
of Hamilton Zoning By-law 05-200]	ii) Maximum 4.5 metres, except where a visibility triangle is required for a driveway access.	Existing 6.05m	Existing condition		
	iii) Notwithstanding Section i) above, a minimum setback of 6.0 metres for that portion of a building providing an access driveway to a garage.				
	iv) Section i) above, shall not apply for any portion of a building that exceeds the requirement established in Section 11.1.3 g) ii) and iii) below.	Please note			
Minimum Rear Yard [as per section 11.1.3(b) of Hamilton Zoning By-law 05-200]	7.5 metres;	9.35m (existing)	Conforms		
Minimum Interior Side Yard [as per section 11.1.3(c) of Hamilton Zoning By-law 05-200]	i) 7.5 metres abutting a Single Detached Dwelling, Semi-Detached Dwelling and Street Townhouse.	Existing 1.26m	Conforms (Policy ZON-041)		
Building Height [as per section 11.1.3(d) of Hamilton Zoning By-law	i) Minimum 11.0 metres; and,	7.37m	Conforms as per Section 4.12 e)		
05-200]	ii) Maximum 22.0 metres.	7.37m	Conforms		
	iii) In addition to Subsection i) and notwithstanding Subsection ii), the minimum building height may be equivalently increased as the yard increases beyond the minimum yard requirement established in				

Required By By-Law	Provided	Conforming/ Non-Conforming
Subsection 11.1.3. b) and c), when abutting a Residential or Institutional Zone, to a maximum of 22.0 metres.		-
iv) In addition to the definition of Building Height, any wholly enclosed or partially enclosed amenity area, or any portion of a building designed to provide access to a rooftop amenity area shall be permitted to project above the uppermost point of the building, subject to the following regulations:	Not proposed	N/A
A. The total floor area of the wholly enclosed or partially enclosed structure belonging to an amenity area, or portion of a building designed to provide access to a rooftop amenity area shall not exceed 10% of the floor area of the storey directly beneath;		
B. The wholly enclosed or partially enclosed amenity area, or portion of a building designed to provide access to a rooftop amenity area shall be setback a minimum of 3.0 metres from the exterior walls of the storey directly beneath; and,		
C. The wholly enclosed or partially enclosed amenity area, or portion of a building designed to provide access to a rooftop amenity area shall not be greater than 3.0 metres in vertical distance from the uppermost point of the building to the uppermost point of the rooftop enclosure.		

	Required By By-Law	Provided	Conforming/ Non-Conforming
Built Form for New Development [as per section 11.1.3(g) of Hamilton Zoning By-law 05-200]	In the case of buildings constructed after the effective date of this By-law excluding any alterations to façade, windows or doors, after the effective date of this by-law:		
	i) Rooftop mechanical equipment shall be located and/or screened from view of any abutting street.	Not proposed	N/A
	ii) For an interior lot or a through lot the minimum width of the ground floor façade facing the front lot line shall be greater than or equal to 75% of the measurement of the front lot line.	Existing front façade, addition in the rear	Existing condition
	v) Notwithstanding ii) and iii) above, a maximum of one driveway with a maximum width of 6.0 metres shall be permitted for ingress and egress.	One 6.0m driveway	Conforms
vi) No parking, stacking lanes, of aisles shall be located between required building façade and the front lot line or flankage lot line.		Parkin sgpace is located partially between building façade and front lot line	Non-conforming
	vii) All principal entrances shall face the street and be accessible from the building façade with direct access from the public sidewalk.	Not all principal entrances are facing the street or accessible from the building façade and have direct access from the public sidewalk	Non-conforming
	viii) Notwithstanding the definition of planting strip, a sidewalk shall be permitted where required by Section vi) above.  ix) Notwithstanding Subsection 11.1.3, for properties designated under the Ontario Heritage Act, any	Please note	
alternative building design or building materials approved through the issuance of a Heritage Permit shall be deemed to comply with this Subsection.		Please note	

	Required By By-Law	Provided	Conforming/ Non-Conforming		
Minimum Amenity Area for Dwelling Units and Multiple Dwellings [as per section 11.1.3(h)	On a lot containing more than 10 dwelling units, the following Minimum Amenity Area requirements shall be provided:	5 dwelling units proposed, not applicable	N/A		
of Hamilton Zoning By-law 05-200]	i) An area of 4.0 square metres for each dwelling unit less than 50 square metres;				
	ii) An area of 6.0 square metres for each dwelling unit more than 50 square metres;				
	iii) In addition to the definition of Amenity Area, an Amenity Area located outdoors shall be unobstructed and shall be at or above the surface, and exposed to light and air and may include balconies and patios; and,				
	iv) In addition to the definition of Amenity Area, the required Amenity Area shall be provided exclusively for the residential component and shall be functionally separated from public areas associated with any commercial component.				
Visual Barrier [as per section 11.1.3(i) of Hamilton Zoning By-law 05-200]	i) A visual barrier shall be required along any lot line abutting a Downtown D5 Zone, Institutional Zone or Residential Zone in accordance with the requirements of Section 4.19 of this Bylaw.	Abutting a TOC1 zone on all sides	N/A		
	ii) Notwithstanding i) above, no visual barrier(s) shall be permitted between the building façade and the street.				
Outdoor Storage [as per section 11.1.3(j) of Hamilton Zoning By-law	i) No outdoor storage of goods, materials, or equipment shall be permitted.	Not propsoed	N/A		
05-200]	ii) Notwithstanding Section i) above, the display of goods or materials for retail purposes accessory to a retail use shall only be permitted in a front yard or flankage yard.				
(In accordance v	Section 4 – General Provisions  (In accordance with he applicable regulations of Section 4 in the Hamilton Zoning By-law 05-200)				
Permitted Yard Encroachments	a) The usual projections of window sills, chimney breasts, belt courses,	Side and rear yard: 0.3m	Conforms		

	Required By By-Law	Provided	Conforming/ Non-Conforming
[as per section 4.6 of Hamilton Zoning By-law 05-200]	cornices, eaves, troughs and other similar architectural features, ductwork, venting and other similar appurtenances may be permitted in any required yard, provided that no such feature shall project more than 0.6 metres into the required yard, or to a maximum of half the distance of the required yard, whichever is the lesser;		
	b) A fire escape or exterior staircase may encroach into a required side or rear yard to a maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser;	Not located within the side yard	Conforms
	c) An unenclosed ramp for wheelchair access may encroach into any required yard to no maximum distance;	1.49m into required rear yard	Conforms
	d) A porch, deck or canopy may encroach into any required yard to a maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser;	Please note	
	e) A balcony may encroach into any required yard to a maximum of 1.0 metres, except into a required side yard of not more than one-third of its width or 1.0 metres, whichever is the lesser; and,	Front porch is not located within the required front yard.	Conforms
	f) A bay window or alcove, without foundation, may encroach into any required yard to a maximum of 0.6 metres, or half the distance of the required yard, whichever is the lesser. No such feature shall have a width greater than 3.0 metres.	Not located within the side yard  0.71m into required rear yard	Conforms Conforms
	g) An existing building may encroach, or further encroach, into a		

	Required By By-Law	Provided	Conforming/ Non-Conforming
	required yard to a maximum of 0.15 metres for the purpose of recladding the building	Not proposed	
		Does not appear to be proposed	Appears to N/A
Mechanical and Unitary Equipment  [as per section 4.9 of Hamilton Zoning By-law 05-200]	Hot boxes, air conditioners and pumps (including heat pumps and swimming pool pumps) and other similar mechanical equipment shall be located only in accordance with the following regulations:  a) Within a required front yard, provided such equipment shall have a minimum setback of 3.0 metres from the street line, a minimum setback of 0.6 metres from a side lot line and is screened from the street by an enclosure or landscaping; and, b) Within a required side yard or required rear yard provided such equipment has a minimum setback of 0.6 metres from the side lot line or rear lot line.	Mechanical room proposed within the building	Conforms
(In accordance v	Section 5– Parking Proview of the Applicable regulations of Section		aw 05-200)
Location	a) All Uses		
[as per section 5.1 of Hamilton Zoning By-law 05-200]	i) Required parking facilities shall be located on the same lot as the use requiring the parking.  d) Multiple Dwellings On a lot containing a multiple dwelling:  i) With the exception of any visitor.	Locate don the lot	Conforms
	i) With the exception of any visitor parking required by Section 5.6, required parking for multiple dwellings shall not be located between the façade and the front lot line or between the façade and flankage lot line. In no case shall any parking be located within the required front yard or required flankage yard or within 3.0 metres of a street line.  ii) Visitor parking may be permitted	Located between the building façade and front lot line.  One parking space is located closer than 3m to the street line	Non-conforming

	Required By By-Law	Provided	Conforming/ Non-Conforming
	between the façade and a street provided that no more than 50% of the front yard shall be used for visitor parking and access to such parking.	Visitor parking is not proposed	N/A
Design Standards [as per section 5.1 of Hamilton Zoning By-law 05-200]	b) Unless permitted by another regulation in this By-law, parking space sizes shall be: i) Minimum 2.8 metres in width and 5.8 metres in length;	2.8m x 5.8m	Conforms
	c) All required parking shall be provided as follows:  i) With adequate means of ingress and egress to and from the street or laneway without the necessity of moving any other motor vehicle, except that the accessibility to a maximum of one of the required parking spaces for a single detached dwelling may be obstructed by another motor vehicle.  ii) Shall be arranged so as to not interfere with normal public use of the street or laneway;	Adequate means of ingress and egress is provided to and from the street without the necessity of moving another vehicle	Conforms
	iii) Shall be accessed by means of an access driveway:	Does not appear to interfere	Appears to conform  NOTE: confirmation for transportation may be required
	<ol> <li>Located on the lot; or,</li> <li>Located party on the lot in the case of a mutual driveway; or,</li> <li>By means of a Right-of-Way.</li> </ol>	Located on the driveway/right of way	Conforms
	e) i) Parking Spaces, Driveways and Widening(s) in All Zones a) Shall be provided and maintained with stable surfaces such as asphalt, concrete or other hard-surfaced material, crushed stone, permeable pavers or gravel, and shall be maintained in a dust free condition.	Appears to be existing stable surface (asphalt) driveway	

	Required By By-Law	Provided	Conforming/ Non-Conforming
	i) Aisle width: 90° = 6.0m		Appears to conform
		6m	Conforms
Parking Schedule [as per section 5.6 c) of Hamilton Zoning By-law 05-200]	Multiple Dwelling (Commercial and Mixed Use (C5) Zone and all Transit Oriented Corridor Zones):  i) Dwelling units less than 50m² in gross floor area: min 0.3 per unit/ max 1.25 per unit  ii) Dwelling units greater than 50m² in gross floor area:  1-14 units – min 0.7 per unit/max 1.25 per unit  Calculation:  Unit 2 (below 50m²) – 0.3 min . 1.25 max  Unit 1, 3, 4 and 5 (above 50m²) –  0.7 x 4 = 2.8 = 2 min  1.25 x 4 = 5 max  Total Minimum Required: 2 parking spaces  Total Maximum: 6.25 parking spaces	2 parking spaces provided	Conforms
Bicycle Parking [as per section 5.7 of Hamilton Zoning By-law 05-200]	a) Locational Requirements  i) Long-term Bicycle Parking Space shall be located in a secure enclosed bicycle parking area.  ii) Short-term Bicycle Parking Space shall be located within a bicycle parking area at grade  c) In the Downtown (D1), (D2) and	Bicycle parking is not propsoed	Non-conforming

Required By By-Law	Provided	Conforming/ Non-Conforming
Corridor Zones and Commercial and Mixed Use Zones short-term bicycle parking shall be provided in each and every building in the minimum quantity specified in accordance with the following requirements:		
Multiple Dwelling: 5 short term spaces		
e) Notwithstanding Section b) and in addition to c) above, in the Downtown (D1), (D2), and (D5) Zones, Transit Oriented Corridor Zones long-term bicycle parking shall be provided in the minimum quantity specified in accordance with the following requirements:  Multiple Dwelling: 0.5 per dwelling unit		
f) Notwithstanding Sections c) and e) above, for any use within a the Downtown (D1), (D2) and (D5) Zones, Transit Oriented Corridor Zones or the Commercial and Mixed Use Zones located in all or part of a building existing on the effective date of this By-law, no bicycle parking spaces are required, provided that the number of bicycle parking spaces which existed on the effective date of this By-law shall continue to be provided and maintained except a use shall not be required to provide additional bicycle parking beyond that which is required by Section c) and e) of this Where an addition, alteration or expansion of an existing building is proposed, the bicycle parking requirements of Section c) and e) above shall only apply to the		



# **Committee of Adjustment**

City Hall, 5<sup>th</sup> Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

# APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE PLANNING ACT

I. APPLICANT	INFORMATION			
	NAME			
Registered Owners(s)	Karnail Sandhar Balwinder Sandhar			
Applicant(s)				
Agent or Solicitor	Ken Bekendam King Homes Inc			
.2 All correspond	ence should be sent to	☐ Purcha		<ul><li>☐ Owner</li><li>☒ Agent/Solicitor</li></ul>
1.3 Sign should be	e sent to	☐ Purcha ☐ Applica		<ul><li>☐ Owner</li><li>☒ AgentSolicitor</li></ul>
.4 Request for dig	gital copy of sign	☐Yes*	<b>⊠</b> No	
If YES, provide	e email address where si	gn is to be s	ent	
.5 All correspond	ence may be sent by em	ail	X Yes*	□No
(if applicable).	email must be included fo Only one email address oes not guarantee all cor	submitted wi	Il result in the	•

### 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	25 Norfolk St S		
Assessment Roll Number	01004201735000		
Former Municipality	Hamilton		
Lot	5 RP	Concession	
Registered Plan Number	654	Lot(s)	
Reference Plan Number (s)	62R17411	Part(s)	1

2.2	Are there any easements or restrictive covenants affecting the subject land?
	☐ Yes ☒ No If YES, describe the easement or covenant and its effect:

#### 3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

See attached ALR and additional sheet

☐ Second Dwelling Unit	
Why it is not possible to comply w	vith the provisions of the By-law?
Existing site constriants	

3.3 Is this an application 45(2) of the Planning Act.

If yes, please provide an explanation:  $\square$  Yes  $\square$  No

# DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

# 4.1 Dimensions of Subject Lands:

3.2

Lot Frontage	Lot Depth	Lot Area	Width of Street
14.76	33.07	490.52	3.7

	buildings and structur ce from side, rear and		the subject lands:	
Existing:				
Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
See site plan				
Proposed:				
Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
See site plan				
4.3. Particulars of a sheets if neces  Existing:	•	ures on or proposed	forthe subject lands (a	attach additional
Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
See site plan				
Proposed:				
Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
See site plan				
publicly ow	supply: (check approp ned and operated pip vned and operated in	ed water system	☐ lake or other☐ other means	•
4.5 Type of storm drainage: (check appropriate boxes)  ☑ publicly owned and operated storm sewers ☐ swales		☐ ditches ☐ other means	s (specify)	

4.6	□ publicly owned and operated sanitary sewage     □ system privately owned and operated individual     □ septic system other means (specify)					
4.7	Type of access: (check appropriate box)  ☐ provincial highway ☐ municipal road, seasonally maintained ☐ municipal road, maintained all year  ☐ municipal road, maintained all year					
4.8	Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  Multiple Dwelling					
4.9	Existing uses of abutting properties (single detached dwelling duplex, retail, factoryetc.):  Single Detached Dwelling					
7	HISTORY OF THE SUBJECT LAND					
7.1	Date of acquisition of subject lands:  unknown					
7.2	Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc) single detached dwelling					
7.3	Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc) single detached dwelling					
7.4	Length of time the existing uses of the subject property have continued: unknown					
7.5	5 What is the existing official plan designation of the subject land?					
Rural Hamilton Official Plan designation (if applicable):						
	Rural Settlement Area:					
	Urban Hamilton Official Plan designation (if applicable)  Neighbourhoods					
	Please provide an explanation of how the application conforms with the Official Plan.					
7.6	What is the existing zoning of the subject land? TOC1					
7.8	Has the owner previously applied for relief in respect of the subject property? (Zoning By-lawAmendment or Minor Variance)  ☐ Yes ☒ No					
	If yes, please provide the file number:					

7.9	Is the subject property the subject Planning Act?	t of a current appli ☐ Yes	cation for	consent under Section 53 of the	
	If yes, please provide the file nur	mber:			
7.10	If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?				
		☐ Yes	□No	n/a	
7.11	If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.				
8	ADDITIONAL INFORMATION				
8.1	Number of Dwelling Units Existing	g: <u>1</u>	_		
8.2	Number of Dwelling Units Propos	ed: <u>5</u>	_		
8.3	Additional Information (please include separate sheet if needed):				

# All Applications 11.1 Application Fee X Site Sketch Complete Application form X Signatures Sheet 11.4 Other Information Deemed Necessary Cover Letter/Planning Justification Report Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance ☐ Minimum Distance Separation Formulae (data sheet available upon request) Hydrogeological Assessment Septic Assessment Archeological Assessment ☐ Parking Study

**COMPLETE APPLICATION REQUIREMENTS**