



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-23:297	SUBJECT PROPERTY:	25 Norfolk St S, Hamilton
ZONE:	“TOC1” (Transit Oriented Corridor Mixed Use Medium Density)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: Karnail Sandhar and Balwinder Sandhar
Agent: Ken Bekendam, King Homes Inc.

The following variances are requested:

1. Notwithstanding Subsection 11.1.1.1 (i) 1., Two dwelling unit(s) shall be permitted in a basement or cellar instead of the requirements that Notwithstanding Subsection 11.1.1.1(i)1. above, one dwelling unit(s) shall be permitted in a basement or cellar.
2. Parking, stacking lanes, or aisles shall be permitted to be located between the required building façade and the front lot line or flankage lot line instead of the requirement that no parking, stacking lanes, or aisle shall be located between the required building façade and the front lot line or flankage lot line.
3. One principle entrance shall face the street and be accessible from the building façade instead of the requirement that all principle entrances shall face the street and be accessible from the building façade with direct access from the public sidewalk.
4. One parking space shall be permitted to be located within the required front yard and 0 metres from a street line. Instead of the requirement that no parking shall be located within the required front yard or within 3.0 metres of a street line.

PURPOSE & EFFECT: To permit the construction of an addition for the conversion of an existing single detached dwelling into a multiple dwelling.

Notes: N/A

HM/A-23:297

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, December 7, 2023
TIME:	9:30 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	2nd floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:297, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: November 21, 2023

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2nd floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

25 NORFOLK STREET SOUTH - HAMILTON, ON.

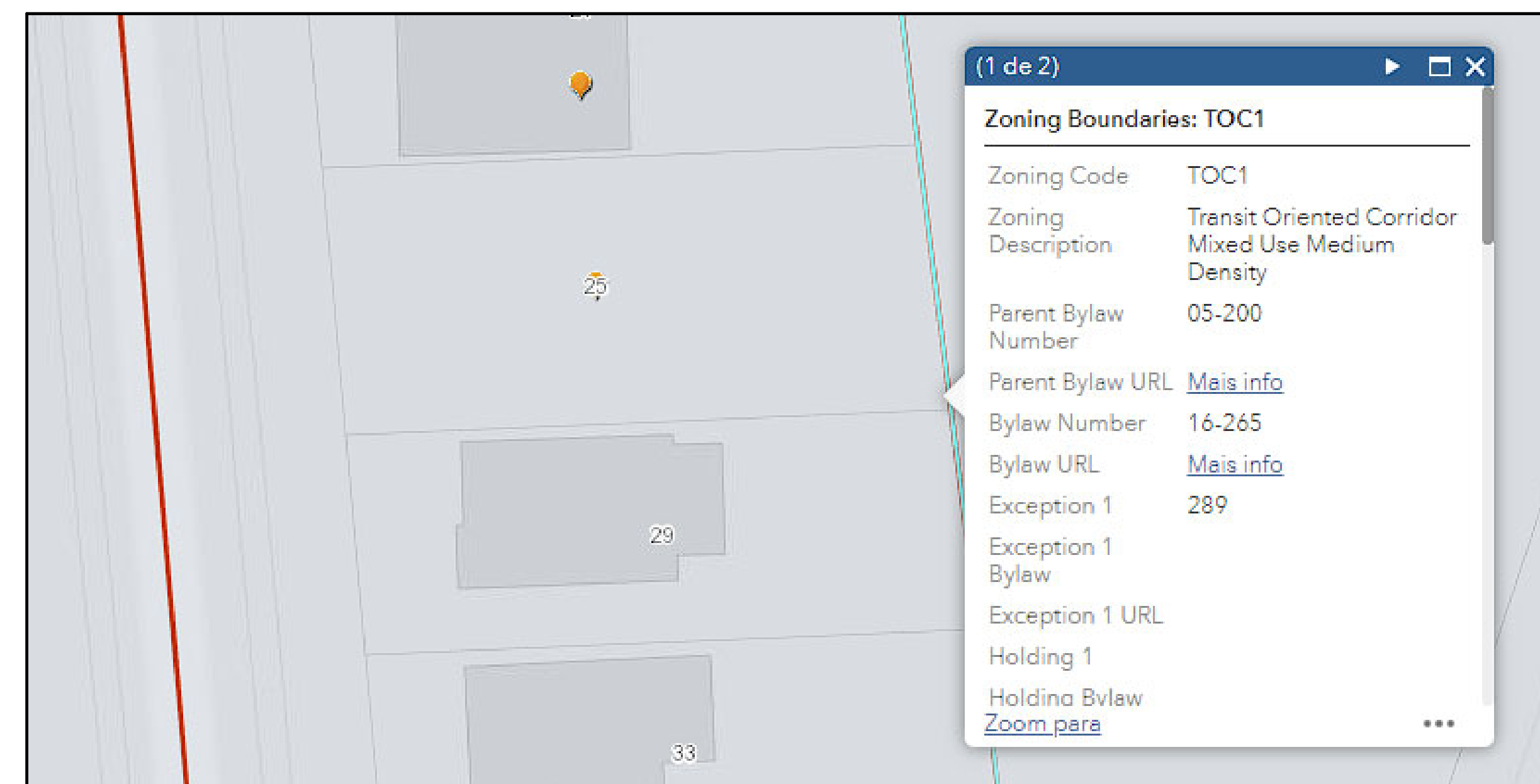
MULTI-UNIT CONVERSION



PROPOSED BUILDING PERSPECTIVE



AERIAL MAP



ZONING MAP

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

CELL PHONE:
905-961-0647

OFFICE ADDRESS:
979 MAIN ST. E. HAMILTON, ON

OFFICE PHONE:
905-546-4407

The undersigned has reviewed and takes the responsibility for this design, and the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Name: _____ Signature: _____ BCIN: _____

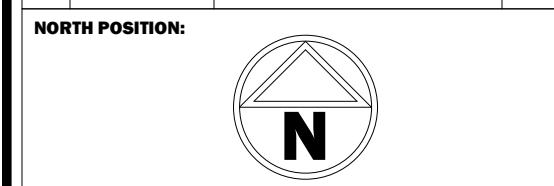
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Name: KING HOMES INC. 121307 BCIN: _____

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
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- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)
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- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:

TITLE PAGE

PROJECT NO.	DATE:
23-18	09/13/23
SCALE:	REVISION:
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

SHEET NO.

A0.01

MAIN STREET WEST
PART 1 PLAN 62R-9658

SURVEYOR'S REAL PROPERTY REPORT-PART 1

PLAN OF
PART OF LOT 5
REGISTERED PLAN 654

CITY OF HAMILTON

SCALE 1:150



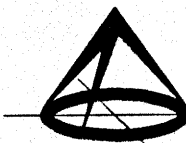
B.A. JACOBS SURVEYING LTD.
ONTARIO LAND SURVEYOR

METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE:
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
EASTERLY LIMIT OF NORFOLK STREET SOUTH AS SHOWN ON
REFERENC PLAN 62R-17411, HAVING A BEARING OF N 4°50'40" W.

LEGEND:
 ■ DENOTES SURVEY MONUMENT FOUND.
 □ DENOTES SURVEY MONUMENT PLANTED
 SIB DENOTES STANDARD IRON BAR
 IB DENOTES IRON BAR
 IP DENOTES IRON PIPE
 WT. DENOTES WITNESS
 P1 DENOTES PLAN 62R-17411
 (1213) DENOTES I.D. PETERS O.L.S.
 (1135) DENOTES L.G. WOODS O.L.S.
 (1629) DENOTES B.A. JACOBS O.L.S.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1662159



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
in accordance with
Regulation 1026, Section 29(3).

THIS REPORT WAS PREPARED FOR KARNAIL SANDHAR

PART 2
THIS PLAN MUST BE READ IN
CONJUNCTION WITH SURVEY REPORT
DATED: NOVEMBER 23, 2007

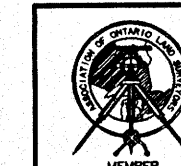
SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON NOVEMBER 7, 2007.

NOVEMBER 23, 2007.

DATE

Bryan Jacobs
BRYAN JACOBS
ONTARIO LAND SURVEYOR



B.A. JACOBS SURVEYING LTD.
131 JOHN STREET SOUTH, SUITE 101
HAMILTON, ONTARIO (L8N 2C3)
905-521-1535 FAX 905-521-0089

JOB No. 05S44-T-F

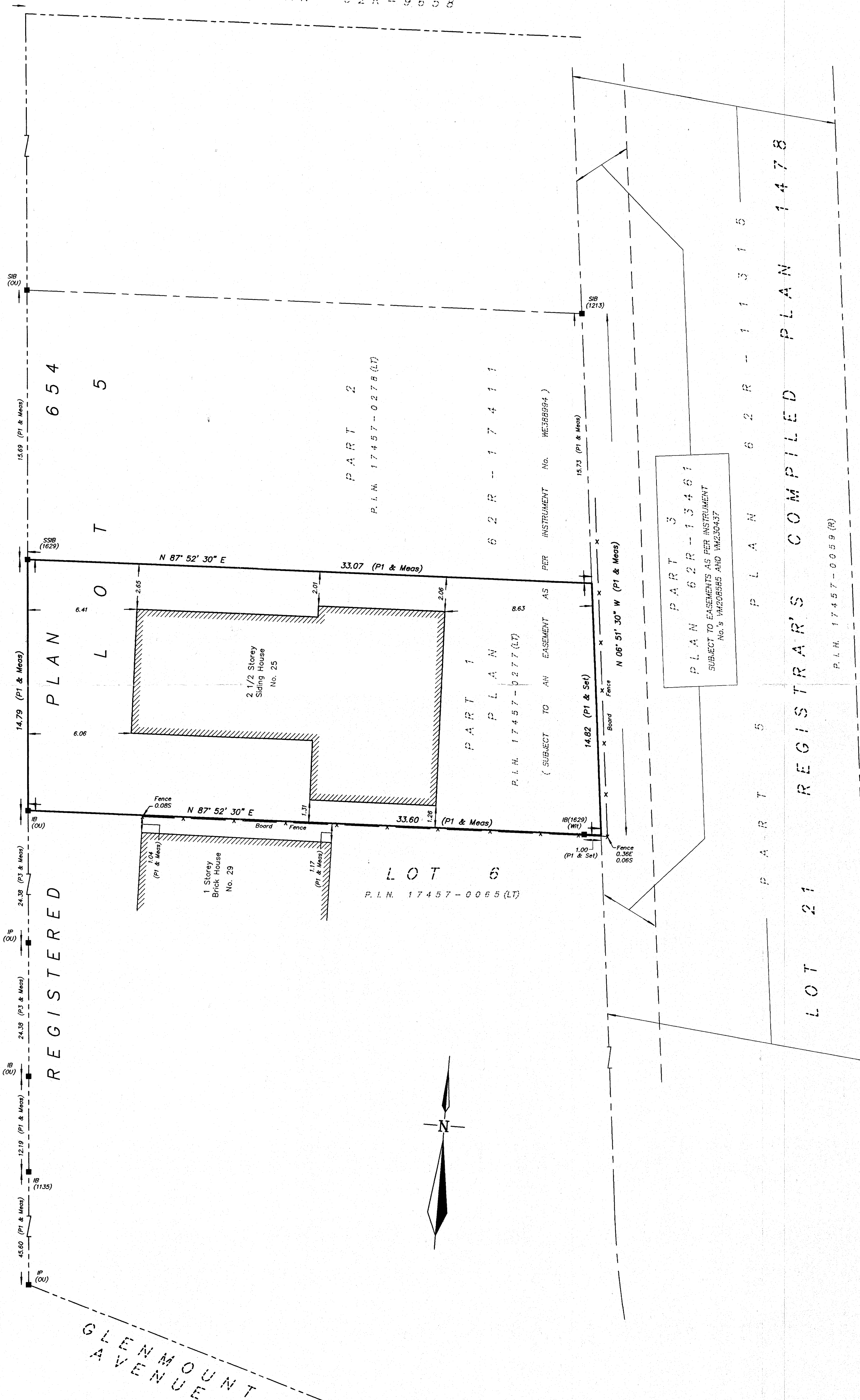
2014 (P1 & Set)

IB (OU)

NORFOLK STREET SOUTH

(BY REGISTERED PLAN 654, P.I.N. 17457-0255 (LT))

N 04° 50' 40" W (REFERENCE BEARING)



GLENMOUNT AVENUE

SITE INFORMATION & STATISTICS

ADDRESS:	25 NORFOLK ST. SOUTH HAMILTON, ON
ZONING TYPE:	TOC1
LOT AREA:	5290.72 SQ FT (491.52 m ²)
LOT FRONTAGE:	48' - 5 1/2" (14.76 m)

GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
2. ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
7. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION, AND INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFIRM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCING NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR
12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

EXISTING STRUCTURE NOTE:

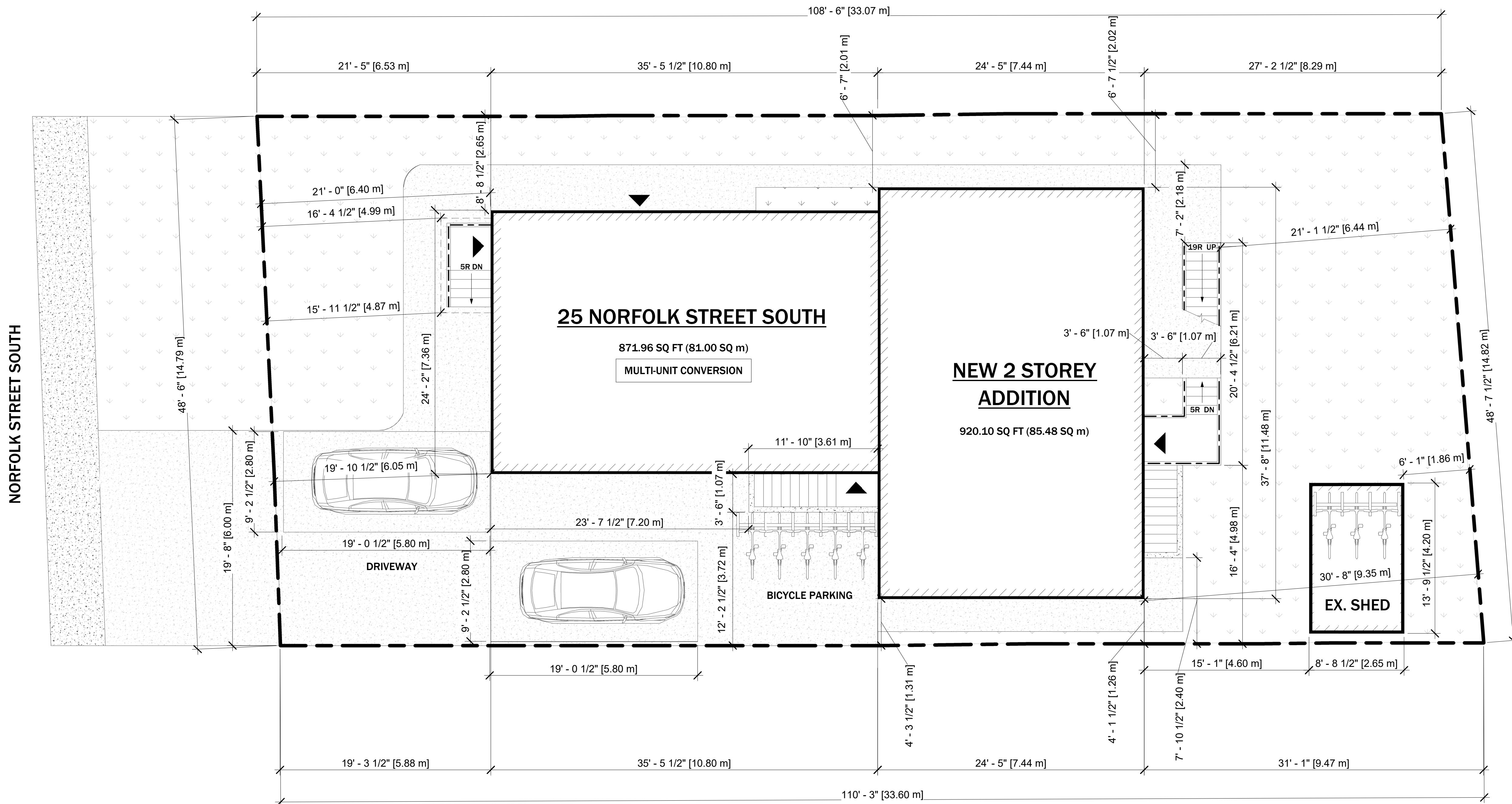
OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK, OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

BUILDING CODE COMPLIANCE NOTE:

THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE O.B.C. AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.

SITE PLAN:

BASED ON HAMILTON SITE MAPS AND MEASUREMENTS ON SITE DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS. THIS SITE SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES.



CITY ELECTRONIC STAMP:

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

CELL PHONE:
905-961-0647

OFFICE ADDRESS:
179 MAIN ST. E. HAMILTON ON

OFFICE PHONE:
905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

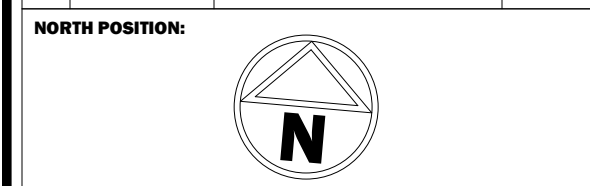
QUALIFICATION INFORMATION
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Name	Signature
REGISTRATION INFORMATION	BCIN
Required unless design is exempt under 2.17.5.1 of the building code	
KING HOMES INC.	121307
Name	BCIN

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7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION. LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.
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9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
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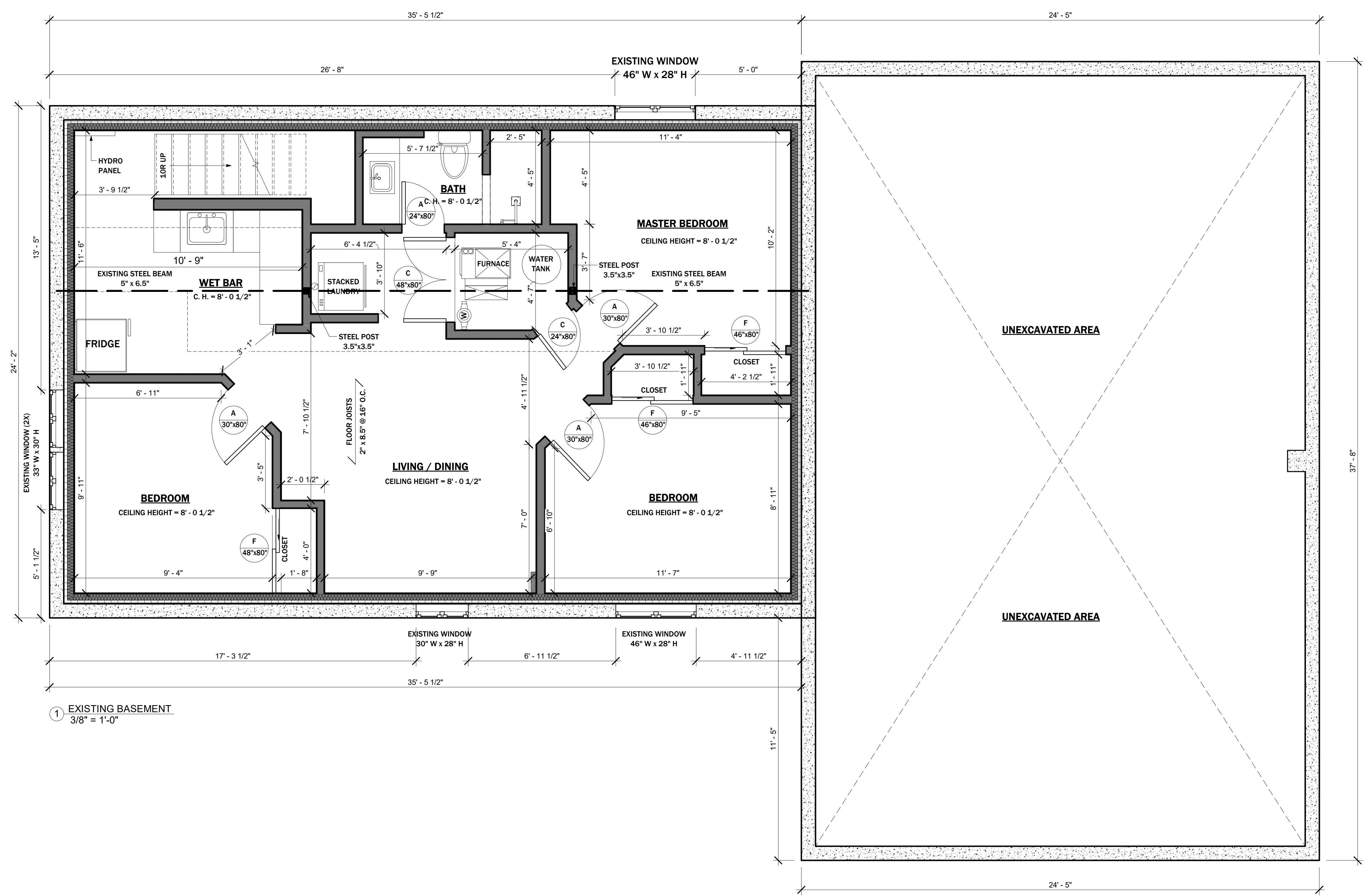
ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
SITE PLAN

PROJECT NO. 23-18	DATE: 09/13/23
SCALE: 3/16" = 1'-0"	REVISION:
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.
SP1.01



① EXISTING BASEMENT
3/8" = 1'-0"



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
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kenbekendam@gmail.com

CELL PHONE:
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OFFICE ADDRESS:
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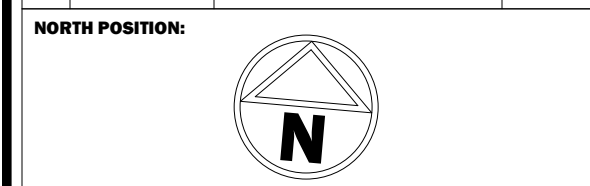
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BCIN: _____

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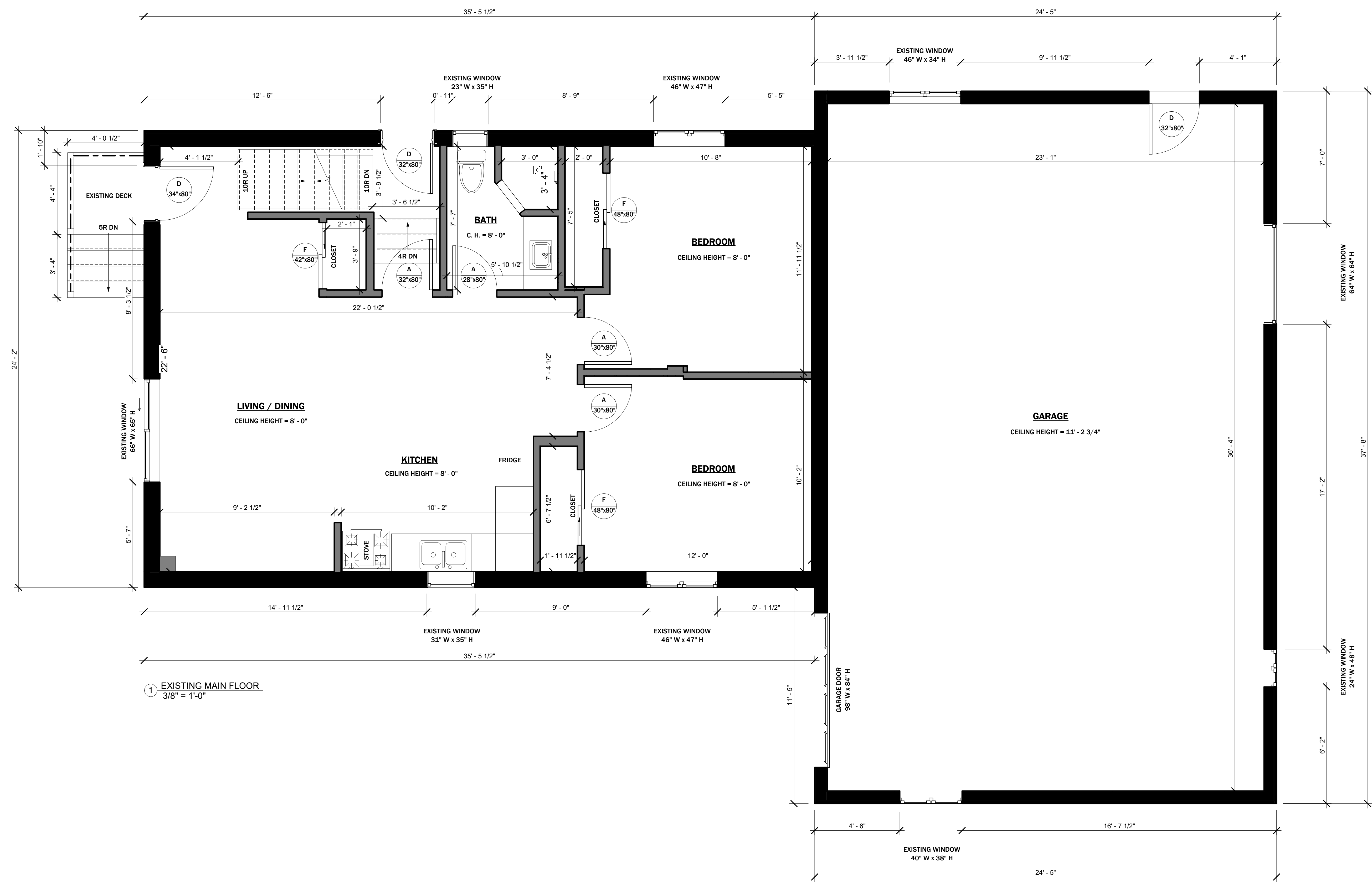
ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
EXISTING FLOOR PLAN - BASEMENT

PROJECT NO.	DATE	SCALE	REVISION
23-18	09/13/23	3/8" = 1'-0"	
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM		

SHEET NO.
A1.01



1 EXISTING MAIN FLOOR
3/8" = 1'-0"



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T.
CELL PHONE: 905-961-0647
kenbekendam@gmail.com

OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON
OFFICE PHONE: 905-546-4407

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Name	Signature	BCIN
KING HOMES INC.		121307
Name	Signature	BCIN

GENERAL NOTES:
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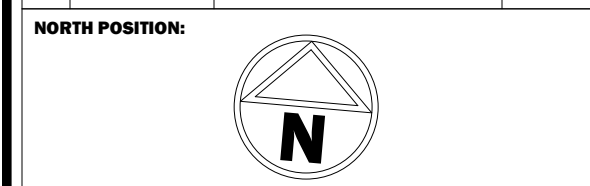
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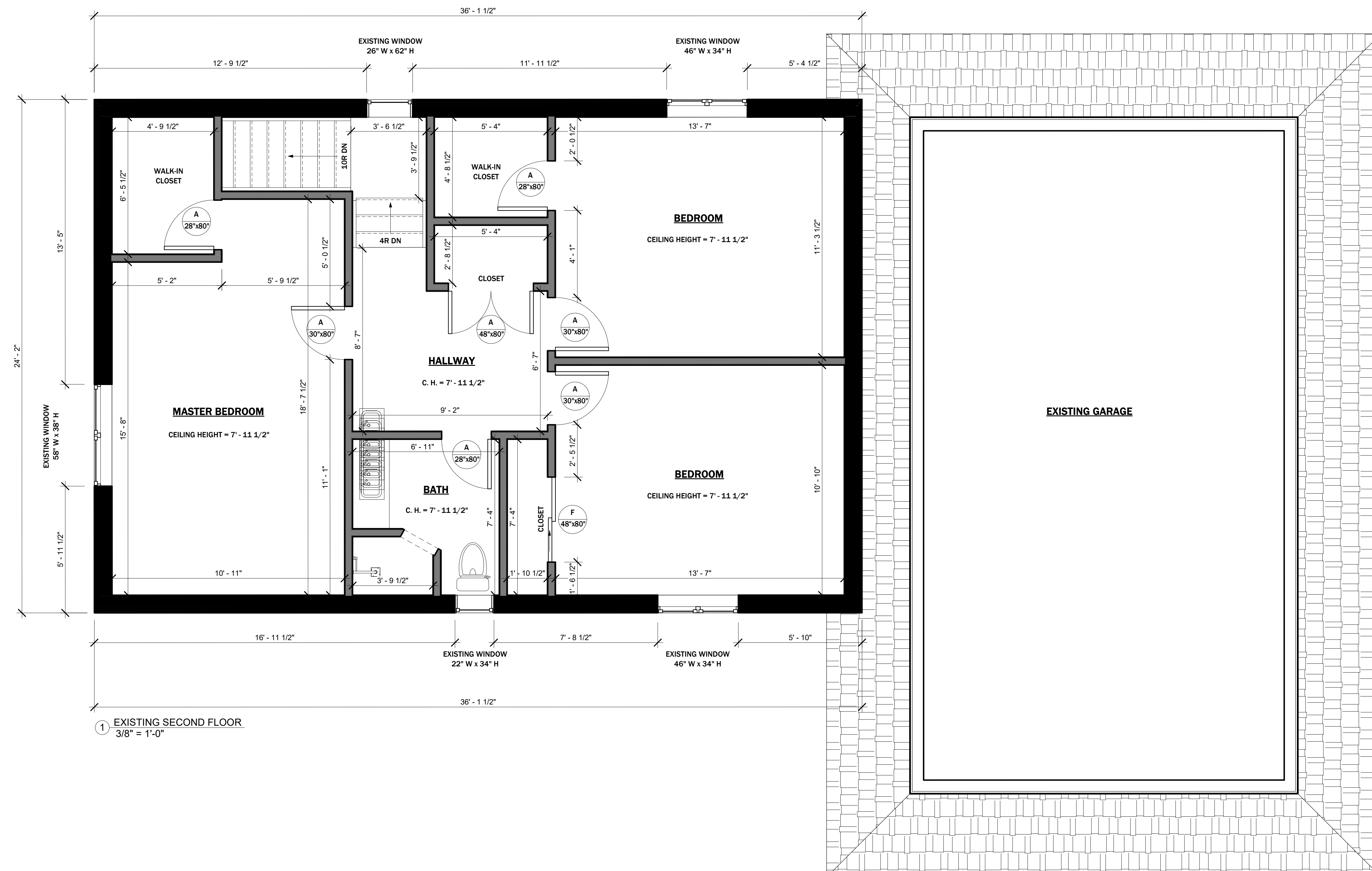
ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
EXISTING FLOOR PLAN - MAIN FLOOR

PROJECT NO. 23-18	DATE: 09/13/23
SCALE: 3/8" = 1'-0"	REVISION:
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.
A1.02



① EXISTING SECOND FLOOR
3/8" = 1'-0"



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

CELL PHONE:
905-961-0647

OFFICE ADDRESS:
979 MAIN ST. E. HAMILTON, ON

OFFICE PHONE:
905-546-4407

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

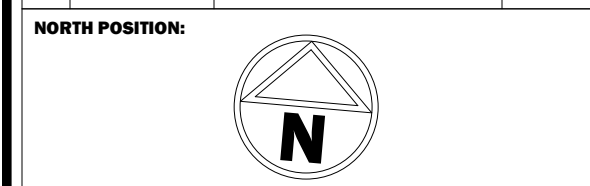
QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Name: _____ Signature: _____ BCIN: _____
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code
KING HOMES INC. 121307
Name: _____ BCIN: _____

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
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- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
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- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)
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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
EXISTING FLOOR PLAN - SECOND FLOOR

PROJECT NO. 23-18	DATE: 09/13/23
SCALE: 3/8" = 1'-0"	REVISION:
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.

A1.03

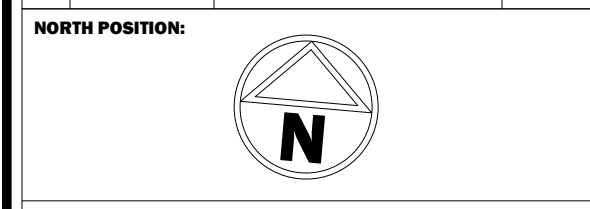


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QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code. REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code KING HOMES INC. 121307

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Table with 4 columns: NO., DATE, GENERAL DESCRIPTION, INITIALS. Rows 01 to 04.

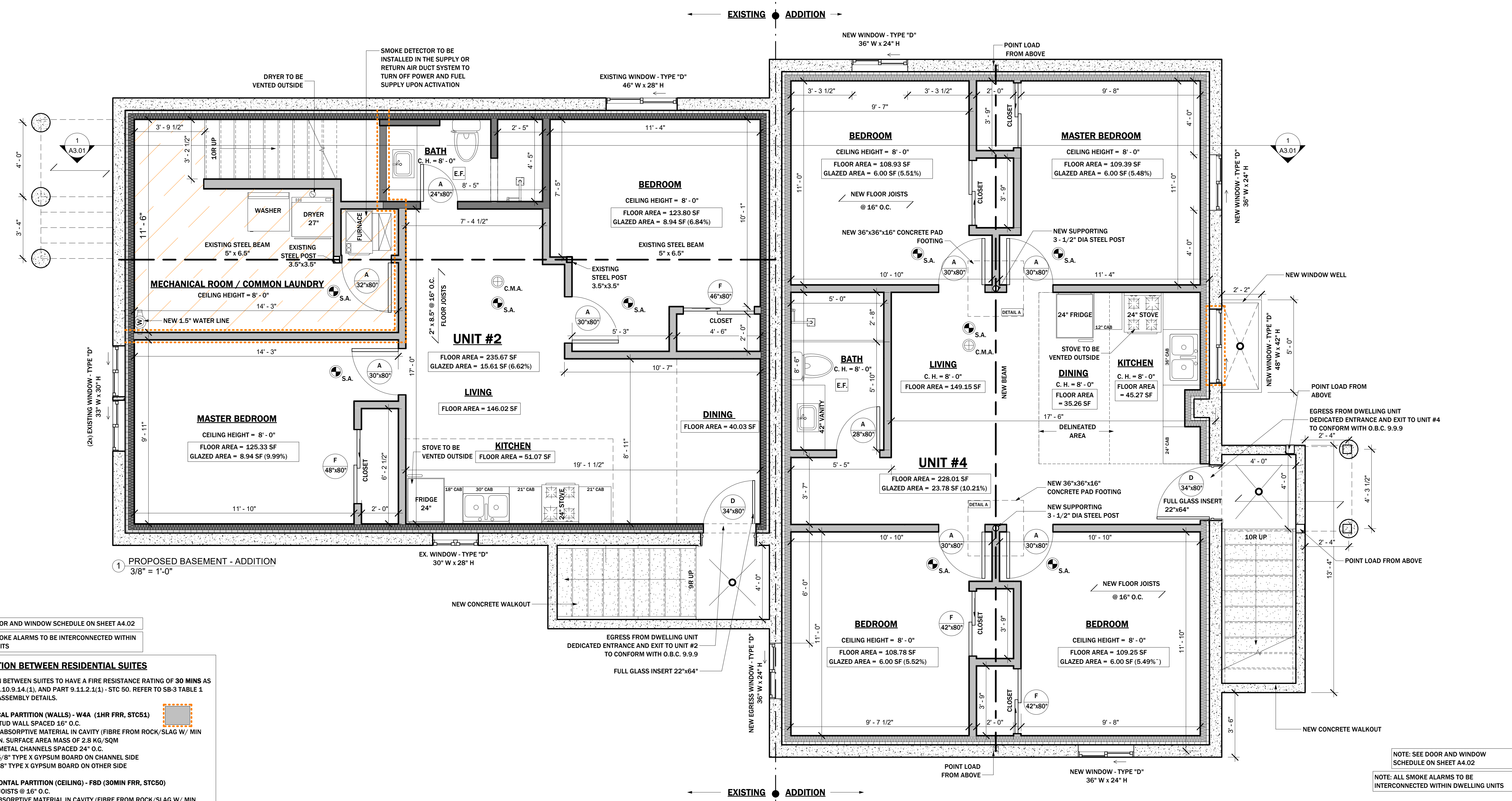


ENGINEER'S STAMP:

PROJECT NAME/ADDRESS: 25 NORFOLK STREET SOUTH | HAMILTON, ON SHEET NAME: PROPOSED FLOOR PLAN - BASEMENT PROJECT NO: 23-18 DATE: 09/13/23 SCALE: As indicated REVISION: DRAWN BY: DANILDO MARTINELLI REVIEWED BY: KEN BEKENDAM SHEET NO.

SEPARATION BETWEEN RESIDENTIAL SUITES SEPARATION ROOM TO CONFORM WITH O.B.C. PART 9.10.10.3 AND 9.10.10.4 (c) AND PART 11 C153 (a). 30 MINS FRR IS ACCEPTABLE FOR VERTICAL AND HORIZONTAL PARTITIONS. REFER TO SB3 TABLE 1 AND 2 FOR ASSEMBLY DETAILS. VERTICAL PARTITION (WALLS) - W4A (1HR FRR, STC51) - NEW 2 x 4 STUD WALL SPACED 16" O.C. - 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM) - RESILIENT METAL CHANNELS SPACED 24" O.C. - 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE NEW HORIZONTAL PARTITION (CEILING) - F8D (30MIN FRR, STC50) - EX. WOOD JOISTS @ 16" O.C. - 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM) - RESILIENT METAL CHANNELS SPACED @ 24" O.C. - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

A1.04

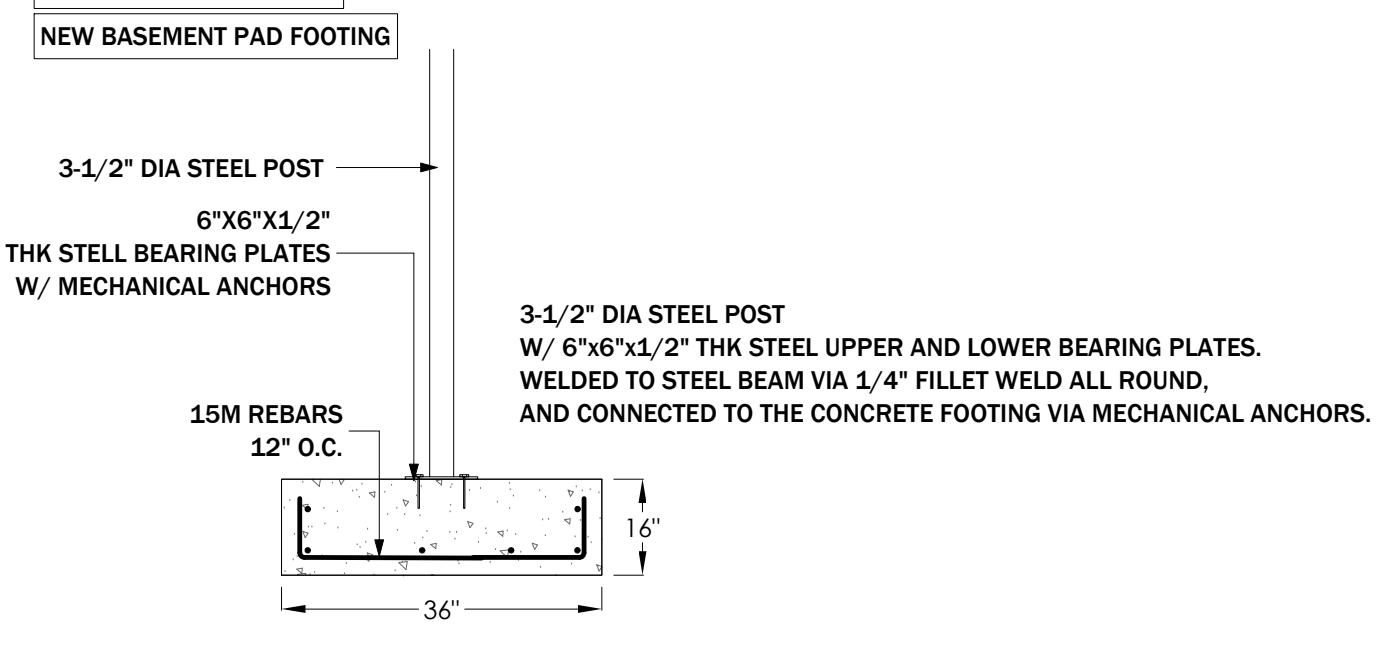


NOTE: SEE DOOR AND WINDOW SCHEDULE ON SHEET A4.02 NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNITS

SEPARATION BETWEEN RESIDENTIAL SUITES SEPARATION ROOM TO CONFORM WITH O.B.C. PART 9.10.10.3 AND 9.10.10.4 (c) AND PART 11 C153 (a). 30 MINS FRR IS ACCEPTABLE FOR VERTICAL AND HORIZONTAL PARTITIONS. REFER TO SB3 TABLE 1 AND 2 FOR ASSEMBLY DETAILS. VERTICAL PARTITION (WALLS) - W4A (1HR FRR, STC51) - NEW 2 x 4 STUD WALL SPACED 16" O.C. - 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM) - RESILIENT METAL CHANNELS SPACED 24" O.C. - 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE NEW HORIZONTAL PARTITION (CEILING) - F8D (30MIN FRR, STC50) - EX. WOOD JOISTS @ 16" O.C. - 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM) - RESILIENT METAL CHANNELS SPACED @ 24" O.C. - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

SEPARATION OF SERVICE ROOM SEPARATION ROOM TO CONFORM WITH O.B.C. PART 9.10.10.3 AND 9.10.10.4 (c) AND PART 11 C153 (a). 30 MINS FRR IS ACCEPTABLE FOR VERTICAL AND HORIZONTAL PARTITIONS. REFER TO SB3 TABLE 1 AND 2 FOR ASSEMBLY DETAILS. VERTICAL PARTITION (WALLS) - W4A (1HR FRR, STC51) - NEW 2 x 4 STUD WALL SPACED 16" O.C. - 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM) - RESILIENT METAL CHANNELS SPACED 24" O.C. - 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE NEW HORIZONTAL PARTITION (CEILING) - F8D (30MIN FRR, STC50) - EX. WOOD JOISTS @ 16" O.C. - 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM) - RESILIENT METAL CHANNELS SPACED @ 24" O.C. - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

DETAIL A



NOTE: SEE DOOR AND WINDOW SCHEDULE ON SHEET A4.02 NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNITS



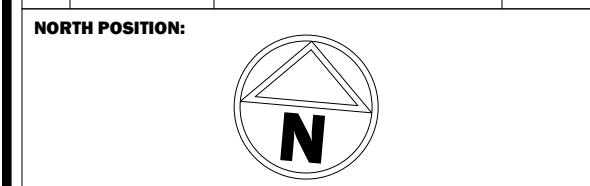
LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.
LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T.
OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON
CELL PHONE: 905-961-0647
OFFICE PHONE: 905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code
Name: Signature: BCIN:
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code
KING HOMES INC. 121307
Name: BCIN:

- GENERAL NOTES:**
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 - USE LATEST REVISED DRAWINGS.
 - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
 - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF LEGAL SECOND SUITES. WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)
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 - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
25 NORFOLK STREET SOUTH | HAMILTON, ON

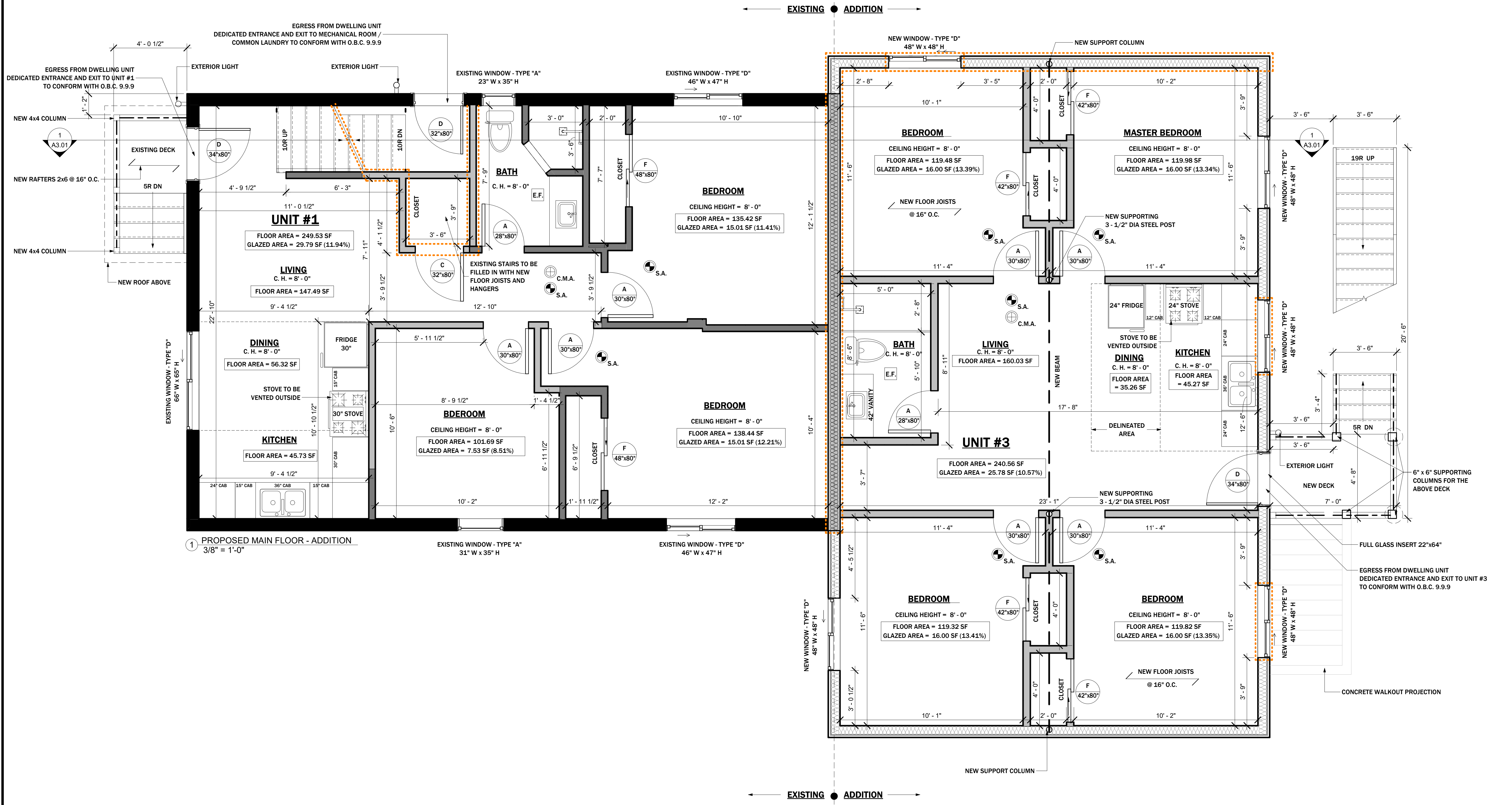
SHEET NAME:
PROPOSED FLOOR PLAN - MAIN FLOOR

PROJECT NO.	DATE:
23-18	09/13/23

SCALE:	REVISION:
As indicated	

DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

SHEET NO.
A1.05



SEPARATION BETWEEN RESIDENTIAL SUITES
SEPARATION BETWEEN SUITES TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14.(1), AND PART 9.11.2.1(1) - STC 50. REFER TO SB-3 TABLE 1 AND 2 FOR ASSEMBLY DETAILS.

NEW VERTICAL PARTITION (WALLS) - W4A (1HR FRR, STC51)
- NEW 2x4 STUD WALL SPACED 16" O.C.
- 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM
- RESILIENT METAL CHANNELS SPACED 24" O.C.
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

NEW HORIZONTAL PARTITION (CEILING) - F8D (30MIN FRR, STC50)
- EX. WOOD JOISTS @ 16" O.C.
- 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM
- RESILIENT METAL CHANNELS SPACED @ 24" O.C.
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

NOTE: SEE DOOR AND WINDOW SCHEDULE ON SHEET A4.02

NEW EXTERIOR WALL ASSEMBLY

- EXTERIOR SIDING AS PER ELEVATIONS
- SEE SIDING MANUFACTURER'S INSTRUCTIONS FOR REQUIRED FURRING.
- 1/2" SPRUCE PLYWOOD SHEATHING
- TYVEK (OR EQUAL) MOISTURE PROTECTION
- 2x6 SPF #2 WOOD STUDS @ 16" o.c.
- MINERAL WOOL INSULATION (R-VALUE AS PER HVAC)
- 6 MIL POLY VAPOUR BARRIER, TAPE & SEAL ALL JOINTS
- TYPE X 5/8" DRYWALL.
- TAPED & MUD, PRIMED & MIN. 2 COATS OF PAINT

SEPARATION BETWEEN RESIDENTIAL SUITES
SEPARATION BETWEEN SUITES TO HAVE A FIRE RESISTANCE RATING OF 45 MINS AS PER O.B.C. 9.10.9.14.(1), AND PART 9.11.2.1(1) - STC 50. REFER TO SB-3 TABLE 1 AND 2 FOR ASSEMBLY DETAILS.

NEW VERTICAL PARTITION (WALLS) - W4A (1HR FRR, STC51)
- NEW 2x4 STUD WALL SPACED 16" O.C.
- 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM
- RESILIENT METAL CHANNELS SPACED 24" O.C.
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

NEW HORIZONTAL PARTITION (CEILING) - F9C (45 HR FRR, STC52)
- EX. WOOD JOISTS @ 16" O.C.
- 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM
- RESILIENT METAL CHANNELS SPACED @ 16" O.C.
- 2 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T. 905-961-0647 kenbekendam@gmail.com

OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON OFFICE PHONE: 905-546-4467

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Required unless design is exempt under 2.17.5.1 of the building code.

REGISTRATION INFORMATION: KING HOMES INC. 121307

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Table with 4 columns: NO., DATE, GENERAL DESCRIPTION, INITIALS. Rows 01-04.

NORTH POSITION: [North Arrow]

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME: PROPOSED FLOOR PLAN - SECOND FLOOR

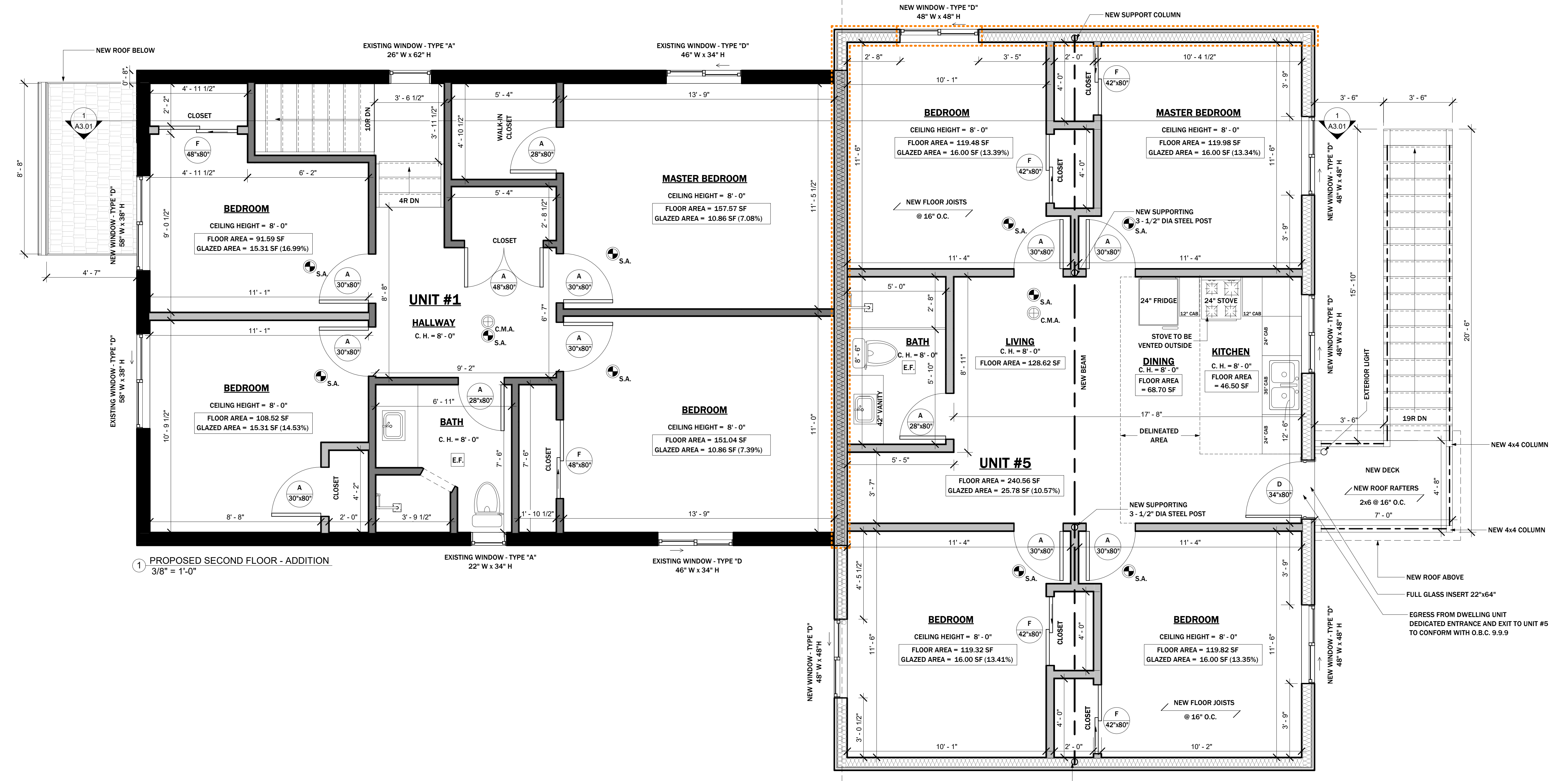
PROJECT NO. 23-18 DATE: 09/13/23

SCALE: As indicated REVISION:

DRAWN BY: DANILDO MARTINELLI REVIEWED BY: KEN BEKENDAM

SHEET NO. A1.06

EXISTING ● ADDITION



EXISTING ● ADDITION

SEPARATION BETWEEN RESIDENTIAL SUITES

SEPARATION BETWEEN SUITES TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14.(1), AND PART 9.11.2.1(1) - STC 50. REFER TO SB-3 TABLE 1 AND 2 FOR ASSEMBLY DETAILS.

NEW VERTICAL PARTITION (WALLS) - W4A (1HR FRR, STC51) - NEW 2x4 STUD WALL SPACED @ 16" O.C. - 3/5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM)

NEW HORIZONTAL PARTITION (CEILING) - F8D (30MIN FRR, STC50) - EX. WOOD JOISTS @ 16" O.C. - 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM)

NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNITS

NOTE: SEE DOOR AND WINDOW SCHEDULE ON SHEET A4.02

NEW HORIZONTAL PARTITION (CEILING) - F9C (1 HR FRR, STC52) - SUBFLOOR OF 1/2" PLYWOOD, OSB OR WAFERBOARD, OR 3/8" LONGUE AND GROOVE LUMBER - 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM)

NEW EXTERIOR WALL ASSEMBLY

- EXTERIOR SIDING AS PER ELEVATIONS
SEE SIDING MANUFACTURER'S INSTRUCTIONS FOR REQUIRED FURRING.
1/2" SPRUCE PLYWOOD SHEATHING
TYVEK (OR EQUAL) MOISTURE PROTECTION
2x6 SPF #2 WOOD STUDS @ 16" o.c.
MINERAL WOOL INSULATION (R-VALUE AS PER HVAC)
5 MIL POLY VAPOUR BARRIER, TAPE & SEAL ALL JOINTS
TYPE X 5/8" DRYWALL.
TAPED & MUD, PRIMED & MIN. 2 COATS OF PAINT



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.
LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T.
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OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON
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QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the building code

REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the building code
 Name: KING HOMES INC. BCIN: 121307

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:

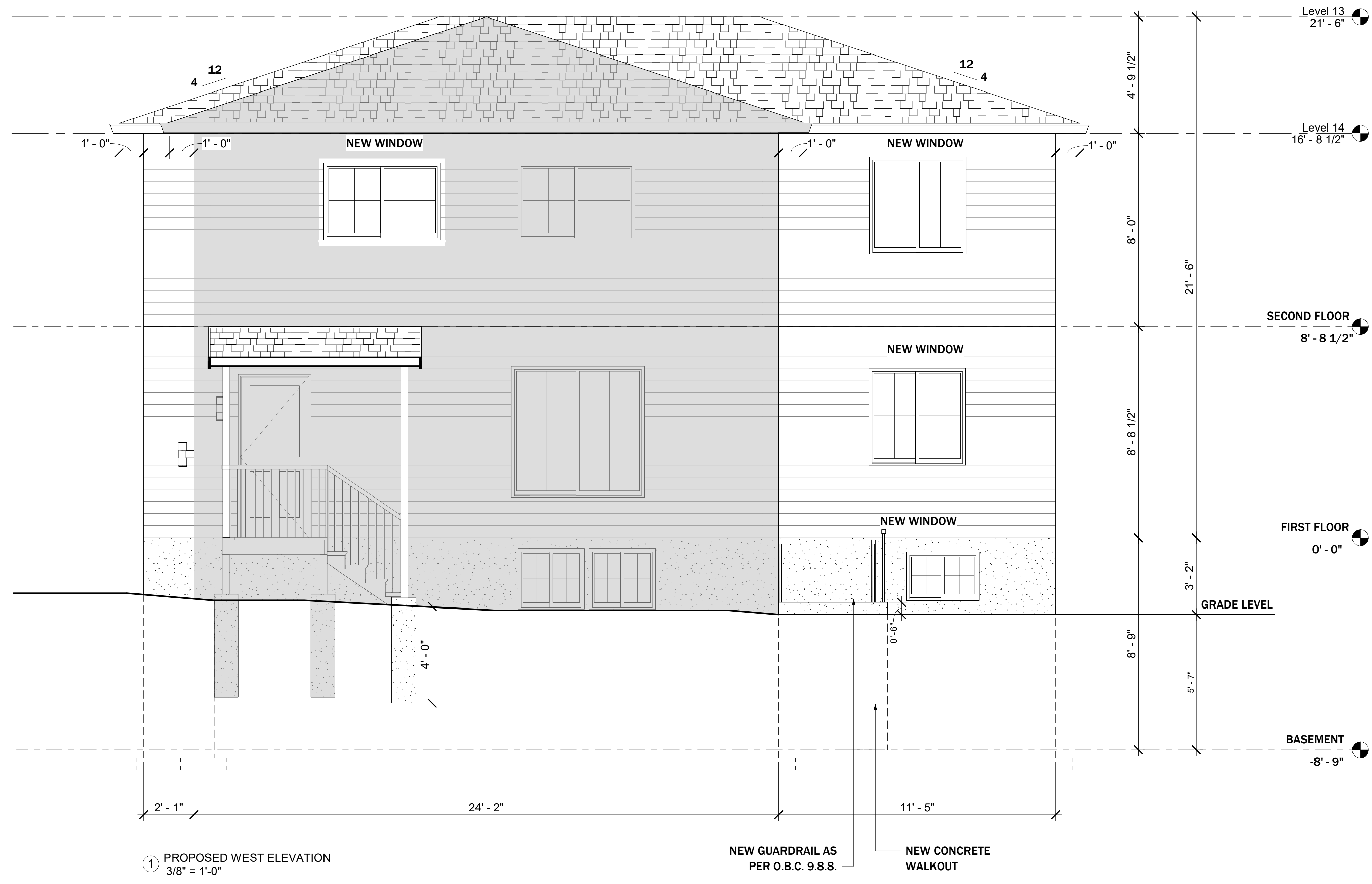
ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
 25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
 PROPOSED WEST ELEVATION

PROJECT NO. 23-18	DATE: 09/13/23
SCALE: 3/8" = 1'-0"	REVISION:
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.
A2.01





LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@royal.lk.com

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OFFICE PHONE:
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QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Name: _____ Signature: _____ BCIN: _____

REGISTRATION INFORMATION
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KING HOMES INC. 121307
Name: _____ BCIN: _____

GENERAL NOTES:

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
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04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
PROPOSED NORTH ELEVATION

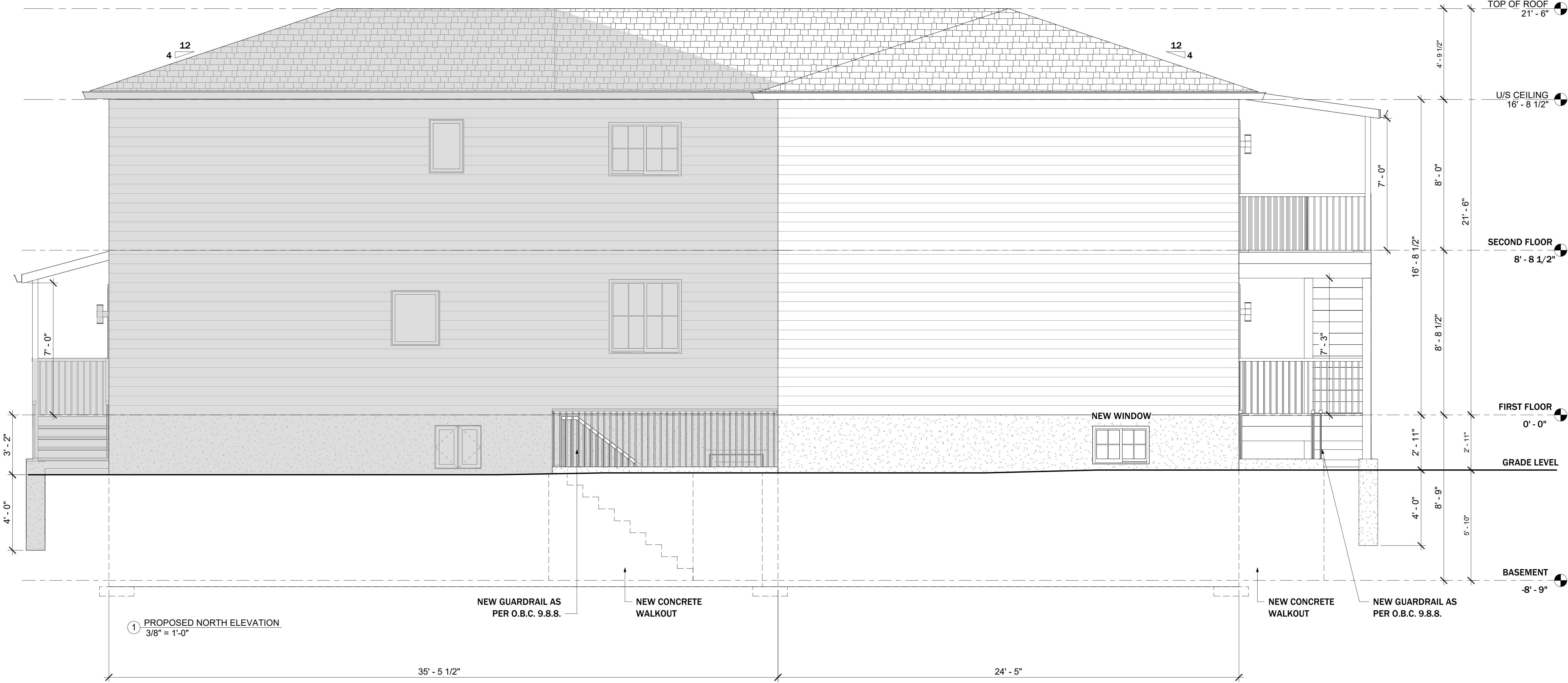
PROJECT NO.: 23-18 **DATE:** 09/13/23

SCALE: 3/8" = 1'-0" **REVISION:**

DRAWN BY: DANILO MARTINELLI **REVIEWED BY:** KEN BEKENDAM

SHEET NO.:

A2.02





LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

CELL PHONE:
905-961-0647

OFFICE ADDRESS:
979 MAIN ST. E. HAMILTON, ON

OFFICE PHONE:
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KING HOMES INC. 121307
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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

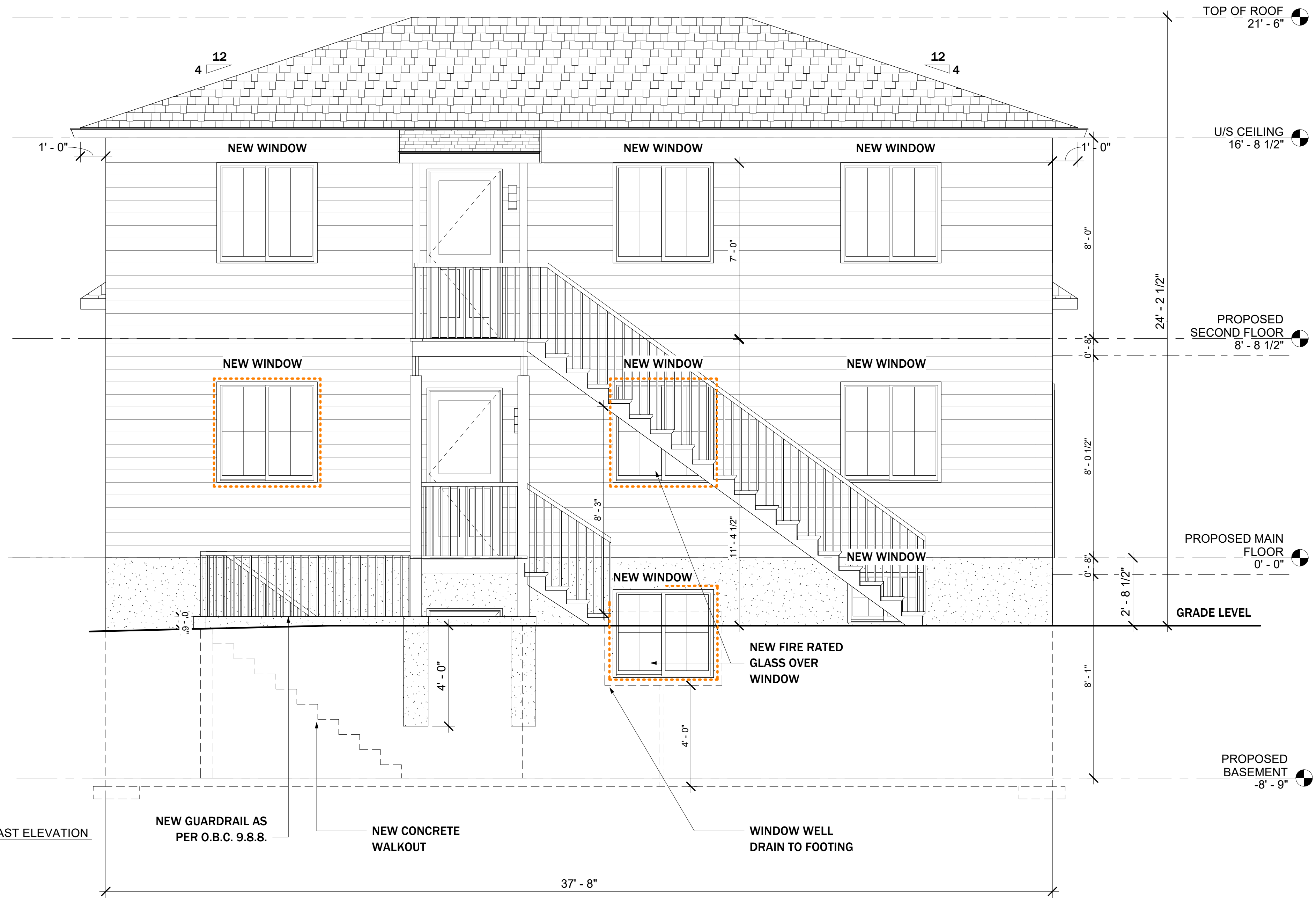
25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
PROPOSED EAST ELEVATION

PROJECT NO. 23-18	DATE: 09/13/23
SCALE: 3/8" = 1'-0"	REVISION:
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.

A2.03



FIRE RATED GLAZING
VDS LITE FIRE FRAME @ 45 MINUTES CAN 4 S 106
NON OPERABLE FIRE WINDOW
1.00" (25.4mm) CONTRAFAM 45 MINUTES FIRE
RATED BARRIER TO HEAT WINDOW CAN 4 S 101
POWDER COATING INCLUDED COLOUR TBD EPOXY,
INTERIOR APPLICATION, BARRIER TO HEAT

① PROPOSED EAST ELEVATION
3/8" = 1'-0"



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04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
PROPOSED SOUTH ELEVATION

PROJECT NO.	DATE:
23-18	09/13/23
SCALE:	REVISION:
3/8" = 1'-0"	
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

SHEET NO.

A2.04



1 PROPOSED SOUTH ELEVATION
3/8" = 1'-0"

FIRE RATED GLAZING
VDS LITE FIRE FRAME @ 60 MINUTES CAN 4 S 106
NON OPERABLE FIRE WINDOW
1.00" (25.4mm) CONTRAFLAM 60 MINUTES FIRE
RATED BARRIER TO HEAT WINDOW CAN 4 S 101
POWDER COATING INCLUDED COLOUR TBD EPOXY,
INTERIOR APPLICATION, BARRIER TO HEAT



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CELL PHONE: 905-961-0647
OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON
OFFICE PHONE: 905-546-4407

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02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

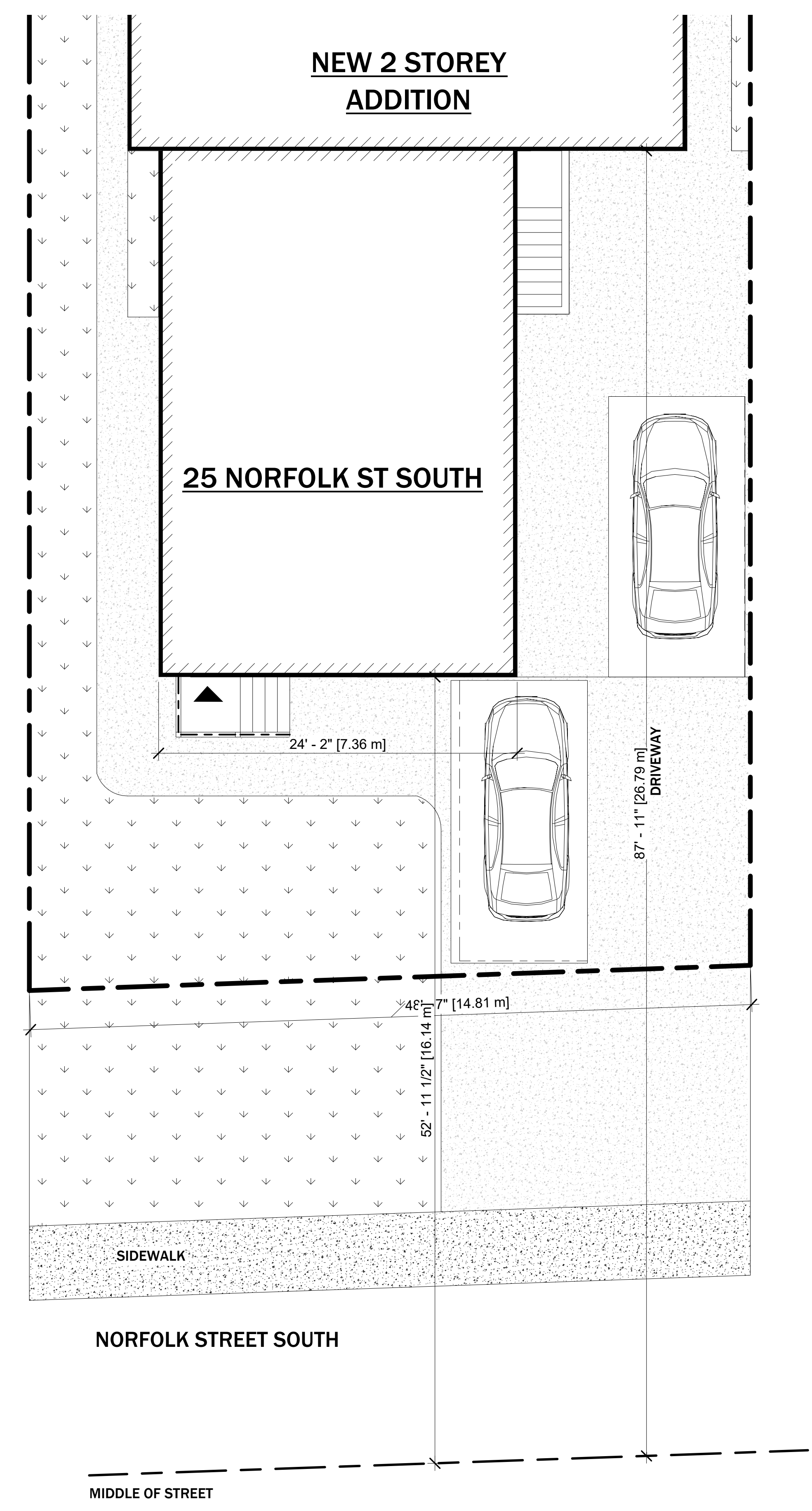
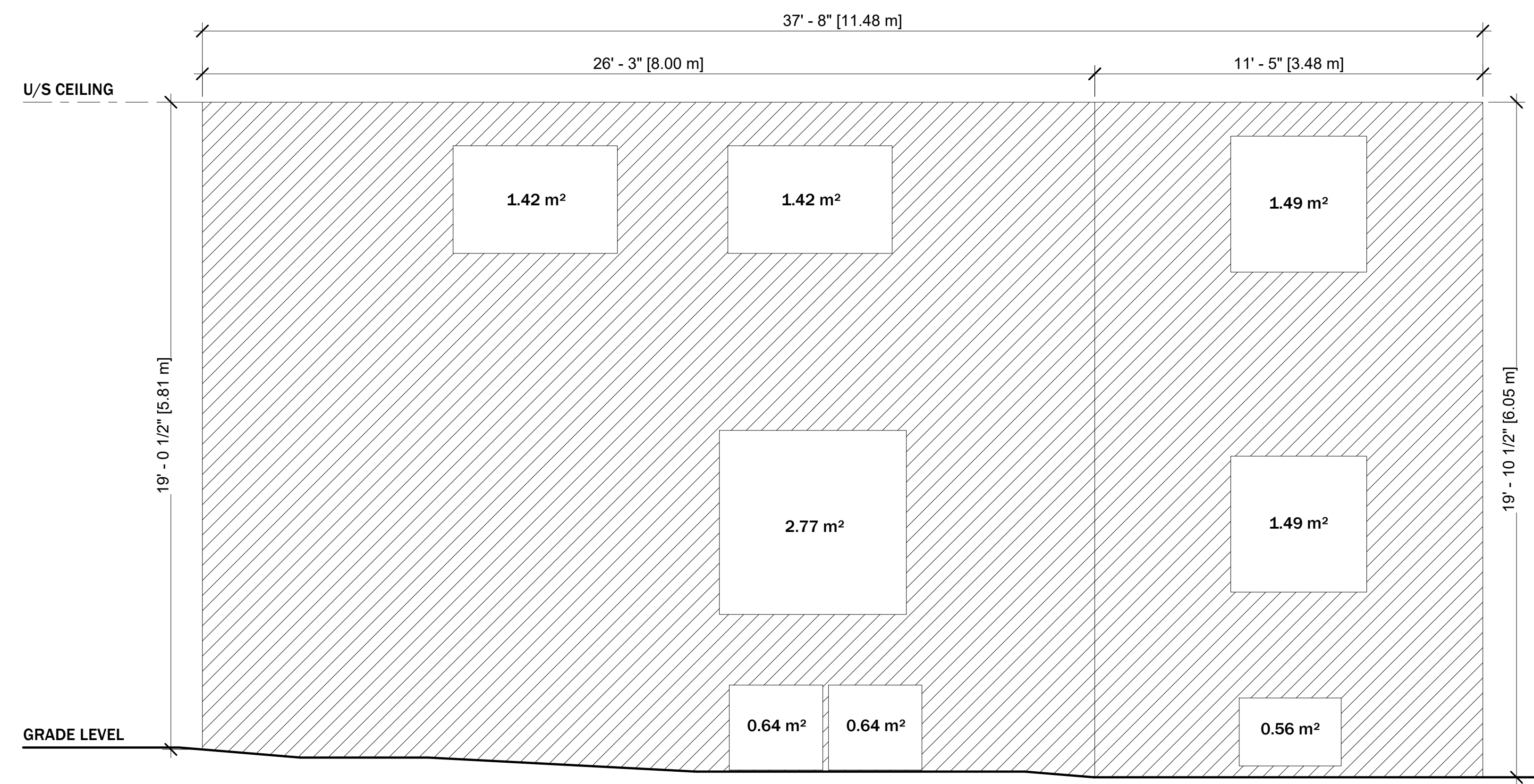
SHEET NAME:

SPATIAL SEPARATION - WEST ELEVATION

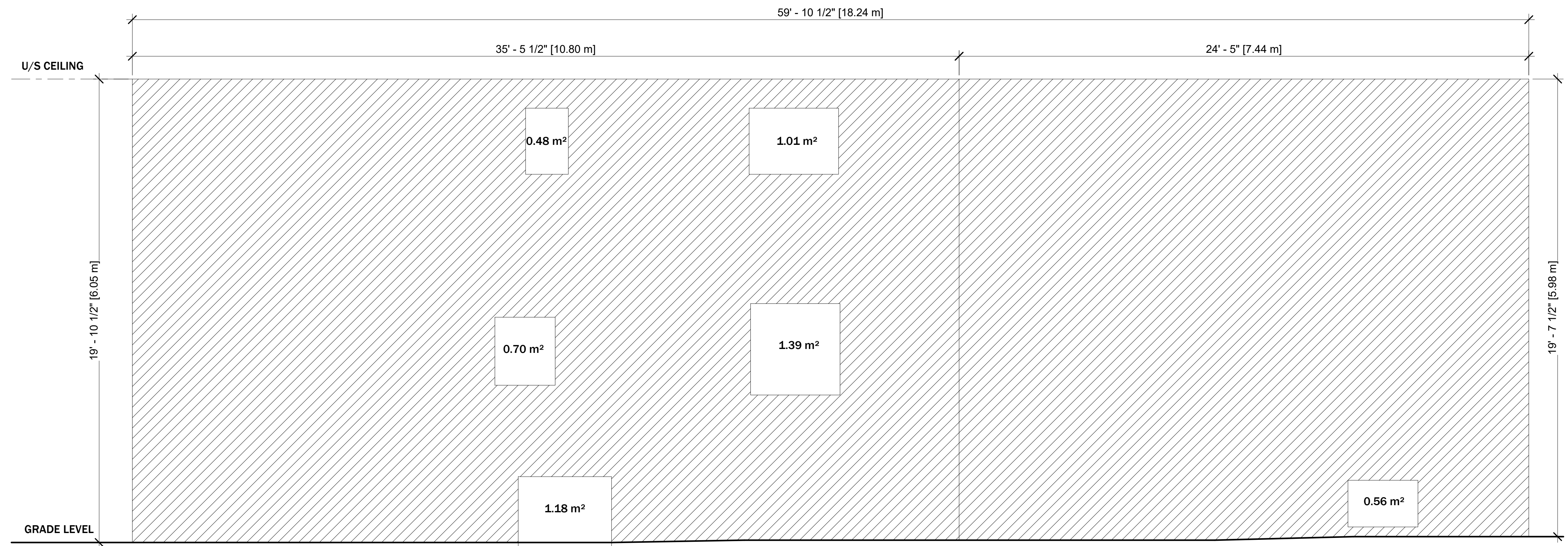
PROJECT NO. 23-18	DATE: 09/13/23
SCALE: As indicated	REVISION:
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.

A2.05



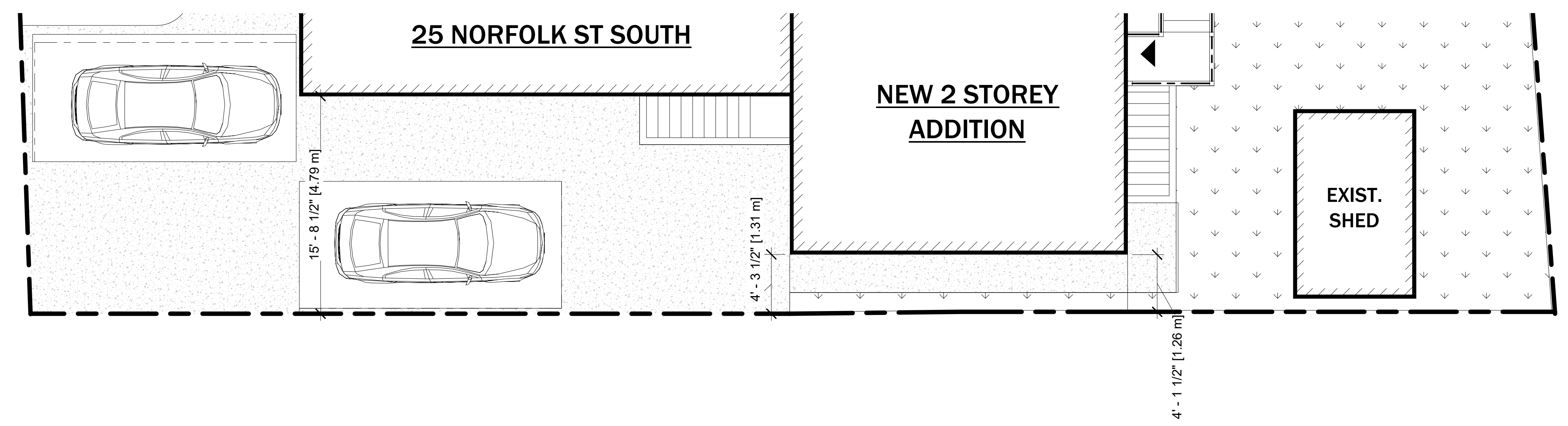
SPATIAL SEPARATION CALCULATION			
SECTION AREA	43.93 m ²		21.10 m ²
EXISTING LIMIT DISTANCE	16.14 m		26.79 m
EXPOSED BUILDING FACE	68.55 m ²		68.55 m ²
MAX ALLOWED AREA OF GLAZED OPENINGS	- m ² - 100%		- m ² - 100%
TOTAL GLAZED AREA	6.89 m ²		3.54 m ²
MINIMUM REQUIRED FRR	45 min		45 min
NONCOMBUSTIBLE CLADDING	NOT REQUIRED		NOT REQUIRED



NORTH ELEVATION

EXPOSED BUILDING FACE - TOTAL AREA = 110.29 m²

SPATIAL SEPARATION CALCULATION			
SECTION AREA	65.05 m ²		44.49 m ²
EXISTING LIMIT DISTANCE	4.79 m		1.26 m
EXPOSED BUILDING FACE	110.29 m ²		110.29 m ²
MAX ALLOWED AREA OF GLAZED OPENINGS	13.20 m ² - 12%		8.80 m ² - 8%
TOTAL GLAZED AREA	4.76 m ²		0.56 m ²
MINIMUM REQUIRED FRR	1 h		1 h
NONCOMBUSTIBLE CLADDING	REQUIRED		REQUIRED



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LEAD DESIGNER & CONSULTANT:
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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
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04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
SPATIAL SEPARATION - NORTH ELEVATION

PROJECT NO. 23-18	DATE: 09/13/23
SCALE: As indicated	REVISION:
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.
A2.06



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

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02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

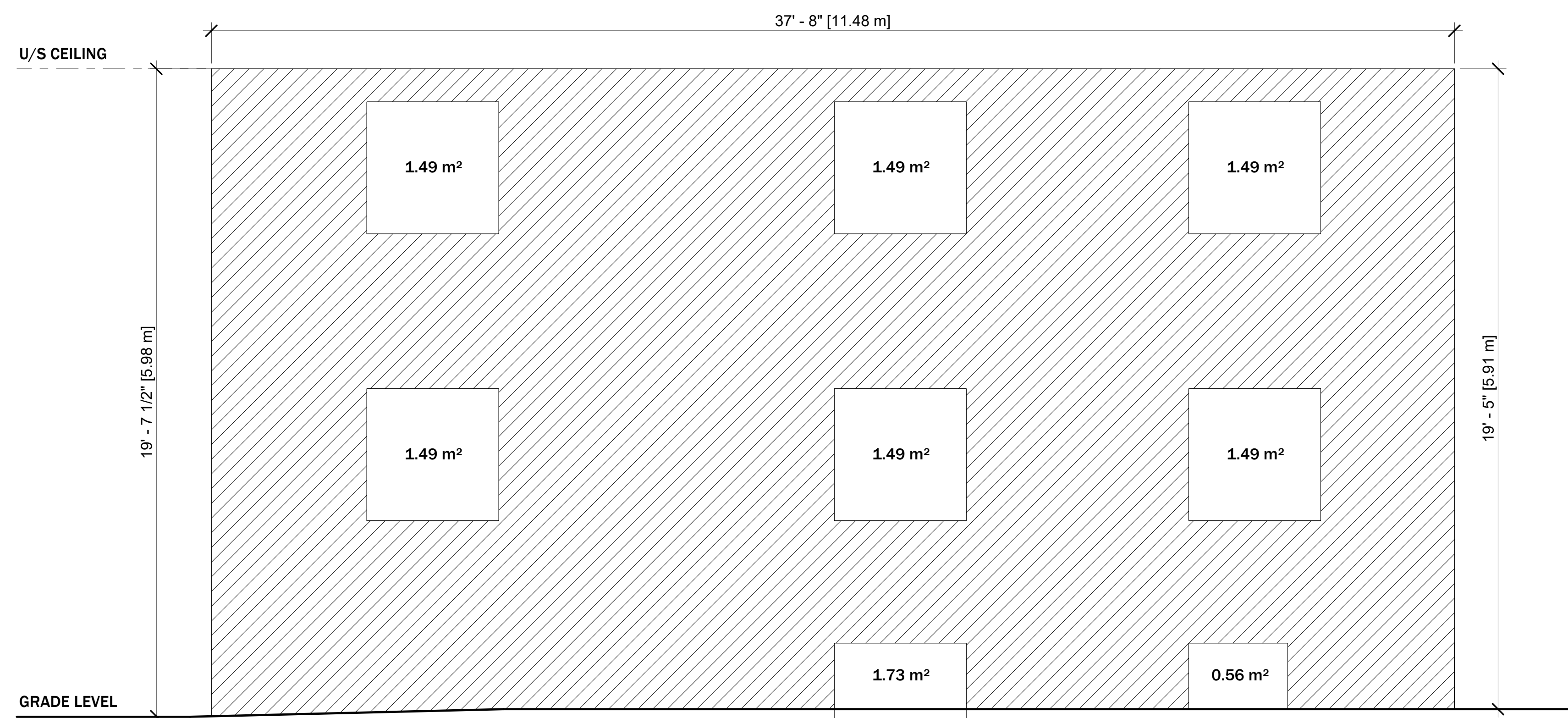
SHEET NAME:

SPATIAL SEPARATION - EAST ELEVATION

PROJECT NO. 23-18	DATE: 09/13/23
SCALE: As indicated	REVISION:
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.

A2.07

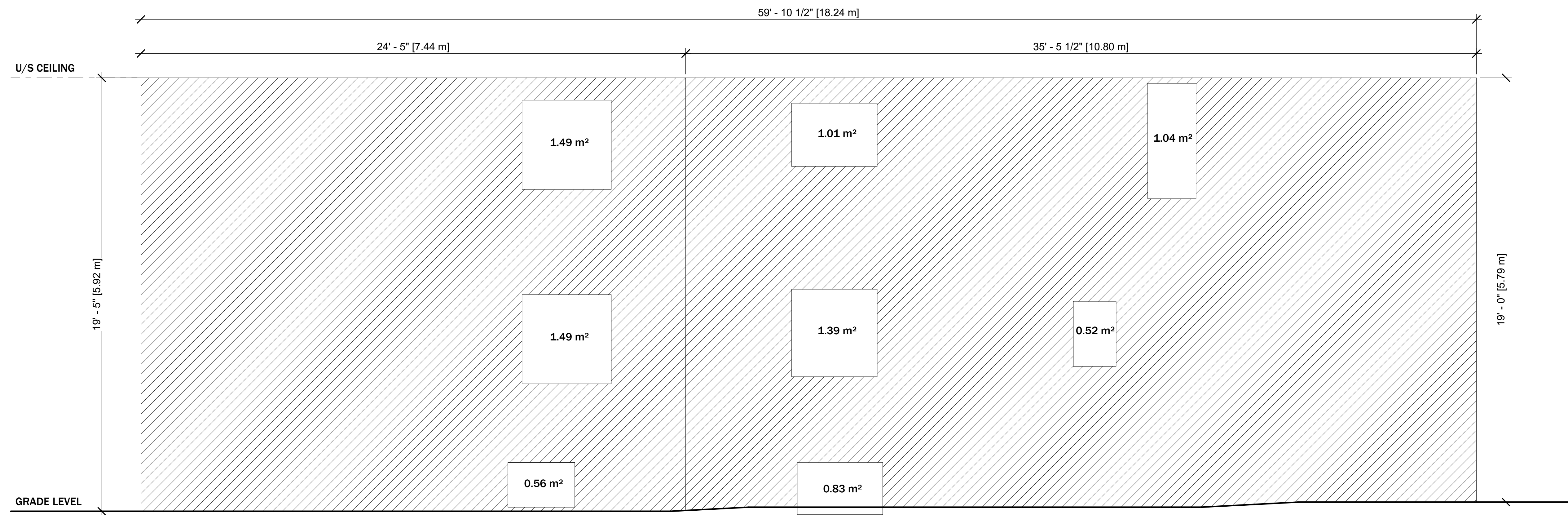


EAST ELEVATION

EXPOSED BUILDING FACE - TOTAL AREA = 67.96 m²

SPATIAL SEPARATION CALCULATION	
SECTION AREA	67.96 m ²
EXISTING LIMIT DISTANCE	8.53 m
EXPOSED BUILDING FACE	67.96 m ²
MAX ALLOWED AREA OF GLAZED OPENINGS	38.10 m ² - 56%
TOTAL GLAZED AREA	11.23 m ²
MINIMUM REQUIRED FRR	45 min
NONCOMBUSTIBLE CLADDING	NOT REQUIRED

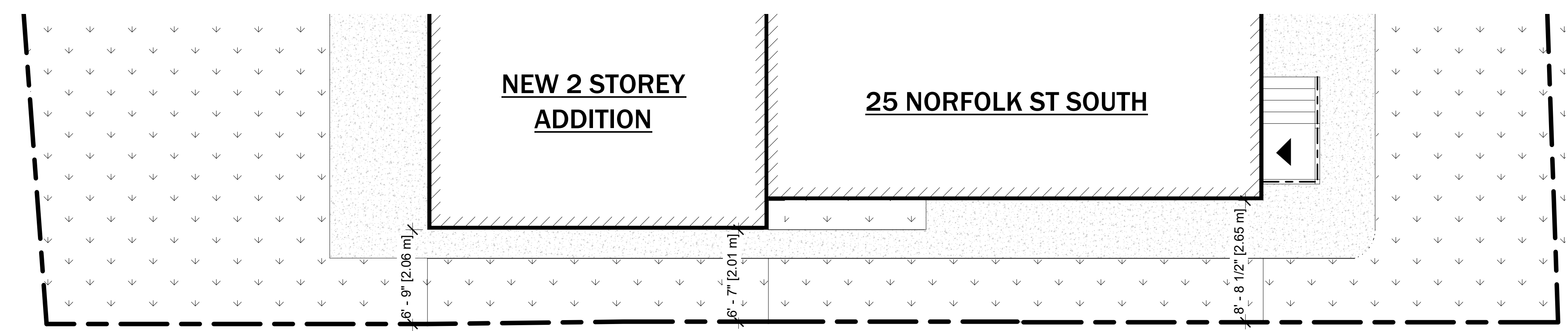




SOUTH ELEVATION

EXPOSED BUILDING FACE - TOTAL AREA = 108.35 m²

SPATIAL SEPARATION CALCULATION			
SECTION AREA	44.04 m ²		65.06 m ²
EXISTING LIMIT DISTANCE	2.01 m		2.65 m
EXPOSED BUILDING FACE	108.35 m ²		108.35 m ²
MAX ALLOWED AREA OF GLAZED OPENINGS	8.7 m ² - 8%		9.8 m ² - 9%
TOTAL GLAZED AREA	3.54 m ²		4.79 m ²
MINIMUM REQUIRED FRR	1 h		1 h
NONCOMBUSTIBLE CLADDING	REQUIRED		REQUIRED



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NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:

SPATIAL SEPARATION - SOUTH ELEVATION

PROJECT NO. 23-18	DATE: 09/13/23
SCALE: As indicated	REVISION:
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.

A2.08



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

CELL PHONE:
905-961-0647

OFFICE ADDRESS:
979 MAIN ST. E. HAMILTON, ON

OFFICE PHONE:
905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Name: _____ Signature: _____ BCIN: _____

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Name: KING HOMES INC. BCIN: 121307

GENERAL NOTES:

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- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
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- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)
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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

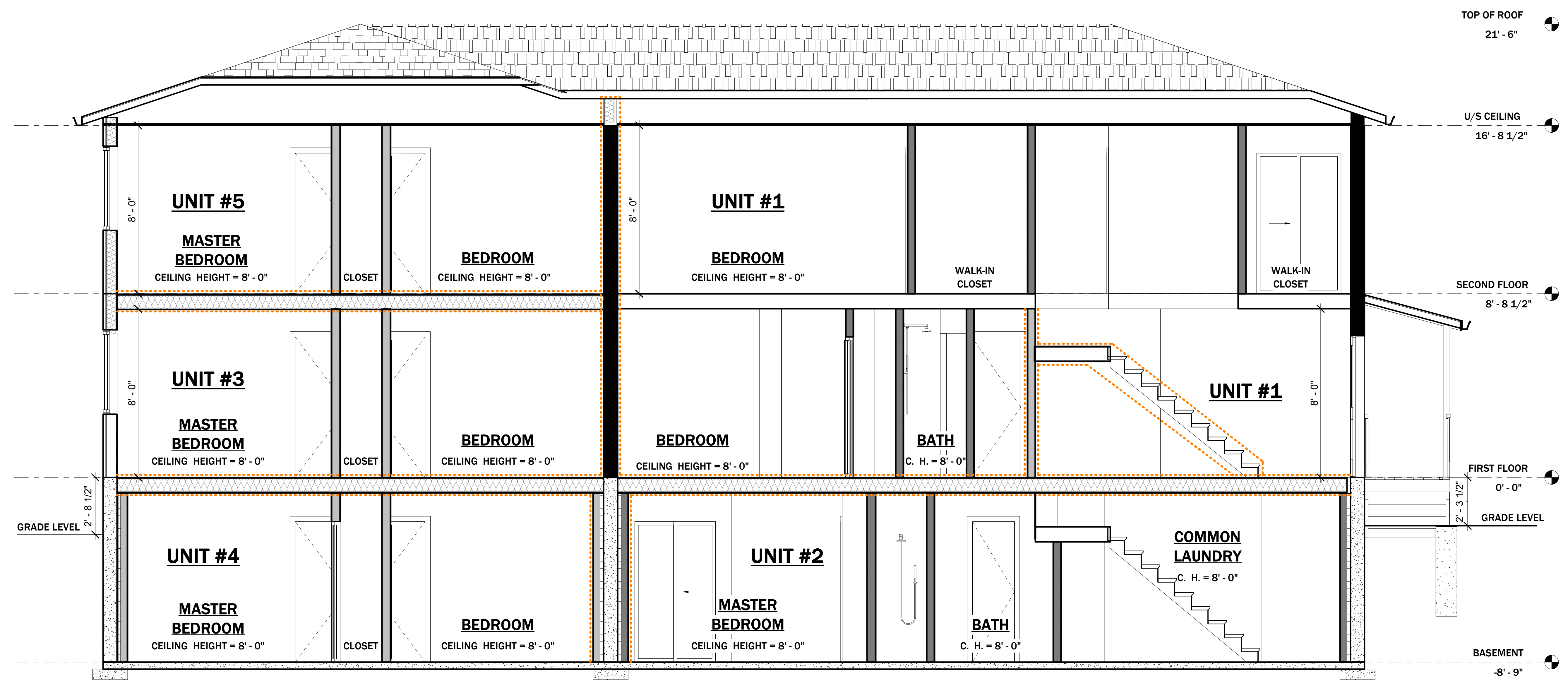
25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
CROSS SECTION

PROJECT NO. 23-18	DATE: 09/13/23
SCALE: 3/8" = 1'-0"	REVISION:
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.

A3.01



1 Section 1
3/8" = 1'-0"



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

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REGISTRATION INFORMATION
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KING HOMES INC. 121307
Name: _____ BCIN: _____

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
NEW ROOF

PROJECT NO. 23-18 **DATE:** 09/13/23

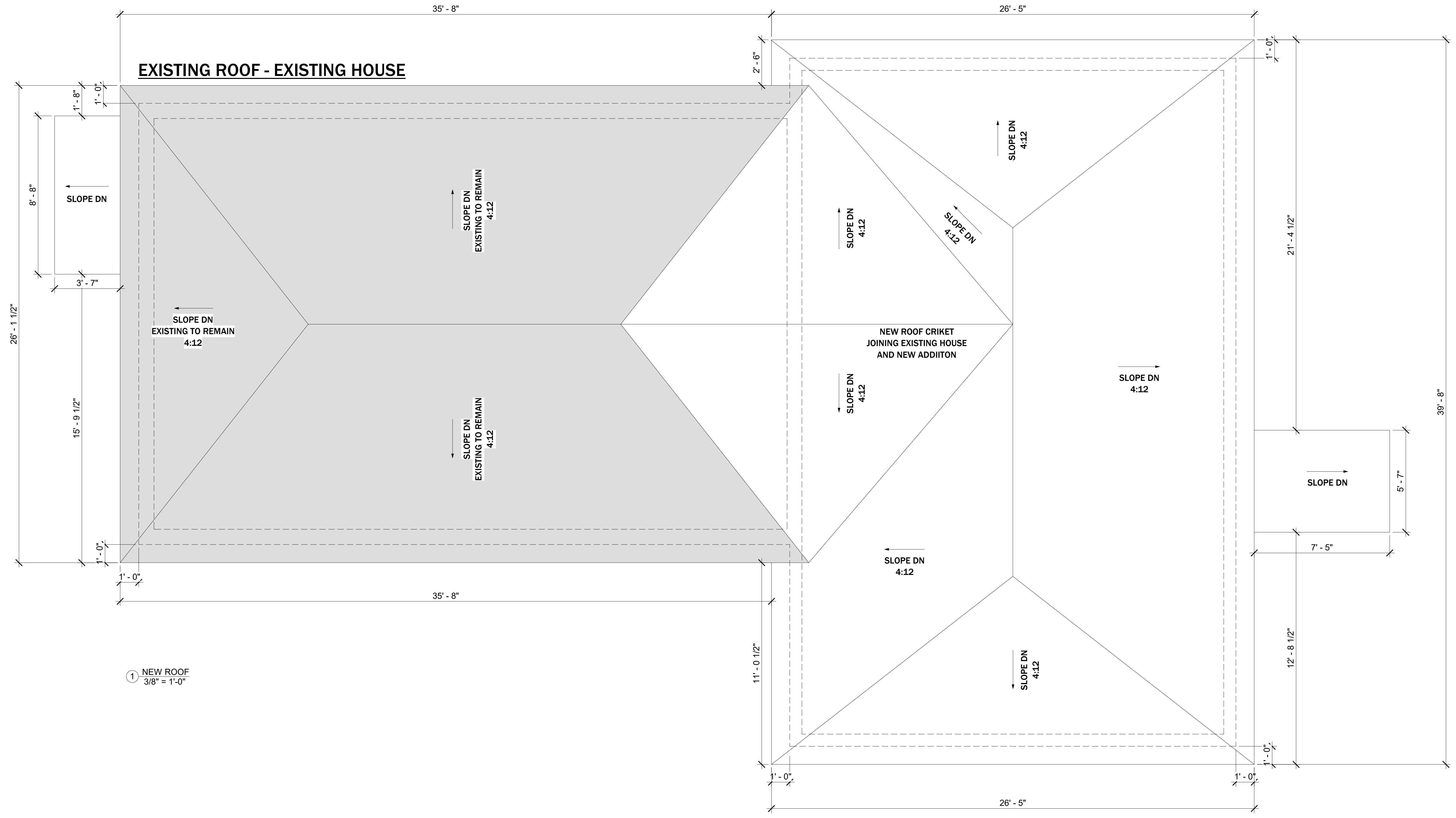
SCALE: 3/8" = 1'-0" **REVISION:**

DRAWN BY: DANILO MARTINELLI **REVIEWED BY:** KEN BEKENDAM

SHEET NO.

A3.02

NEW ROOF - NEW 2 STOREY ADDITION



EXISTING ROOF - EXISTING HOUSE

NEW ROOF CRICKET JOINING EXISTING HOUSE AND NEW ADDITION

① NEW ROOF
3/8" = 1'-0"



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 Name BGIN

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04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
 25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
 DECK DETAILS - 1/2

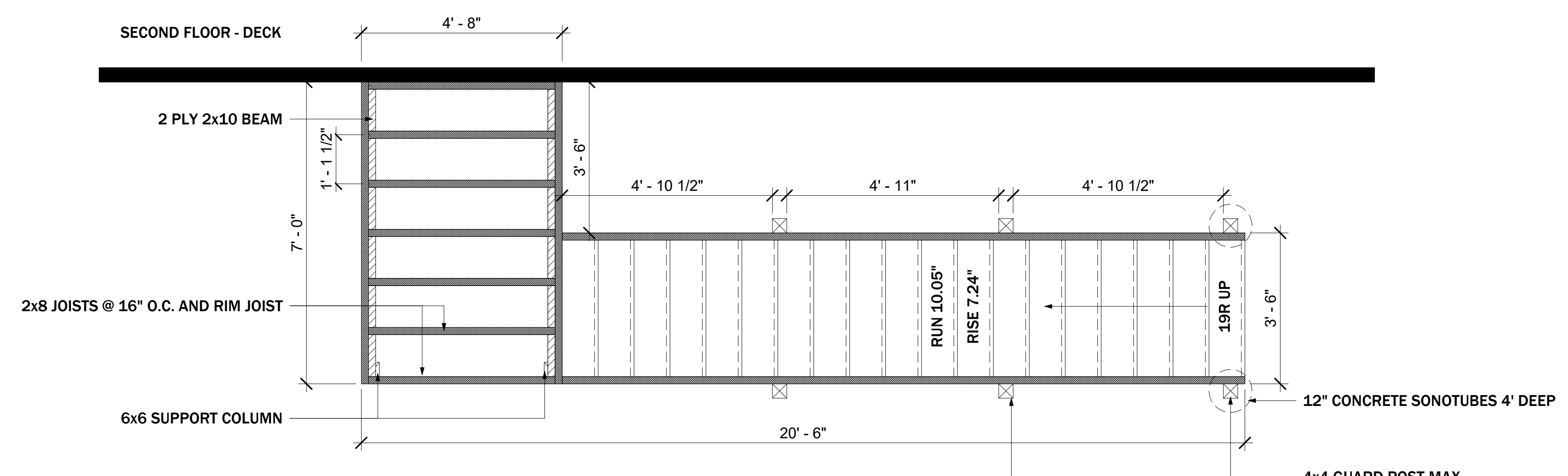
PROJECT NO.: 23-18 **DATE:** 09/13/23

SCALE: As indicated **REVISION:**

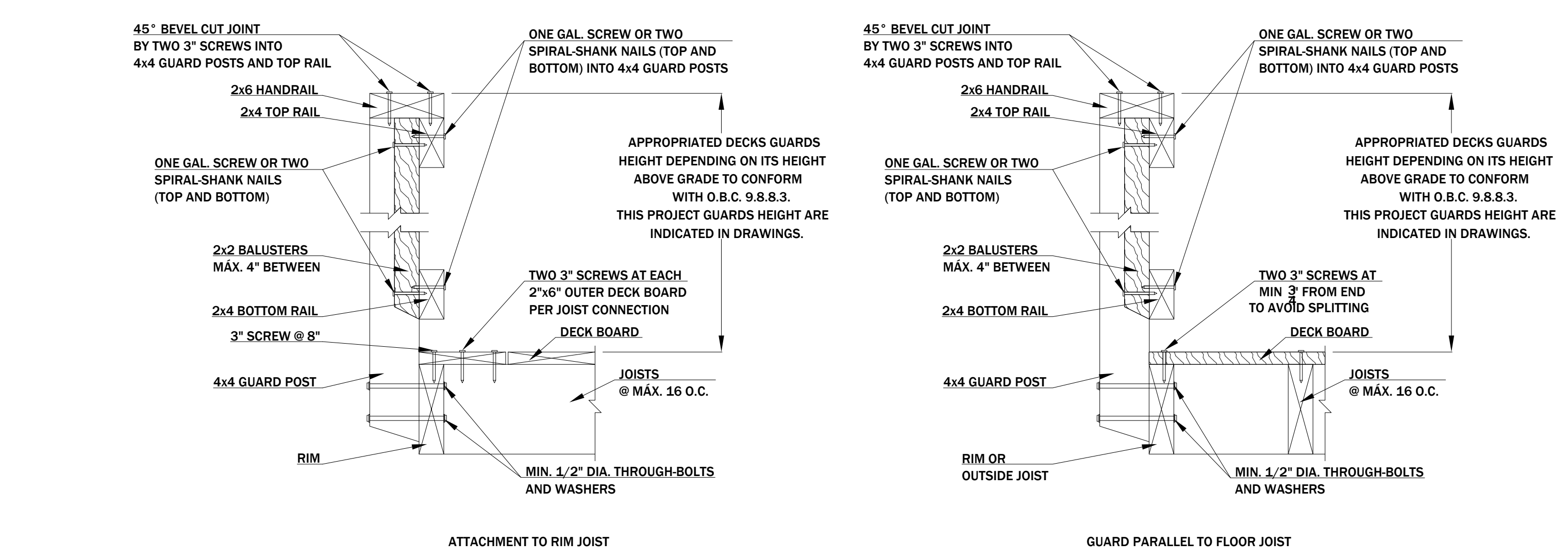
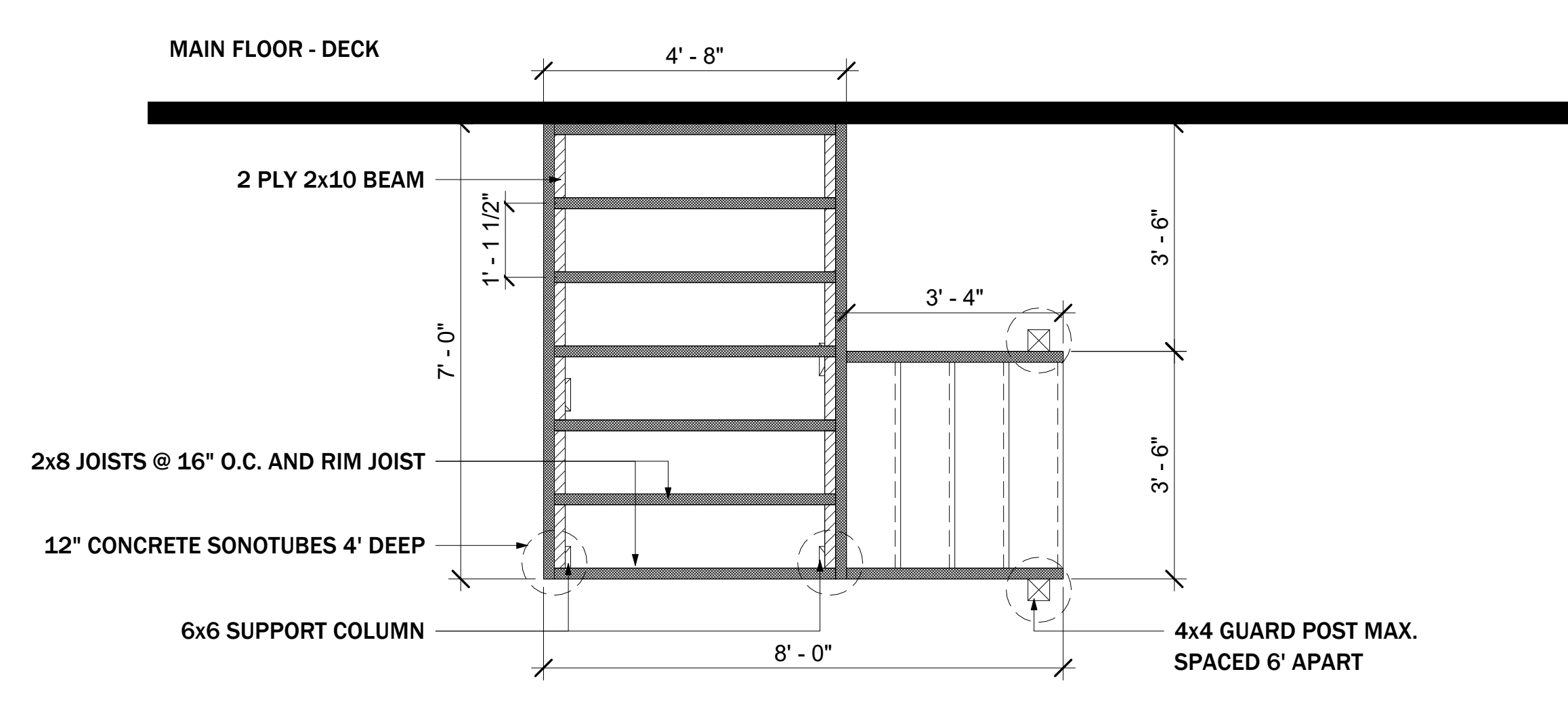
DRAWN BY: DANILDO MARTINELLI **REVIEWED BY:** KEN BEKENDAM

SHEET NO.:

A3.03

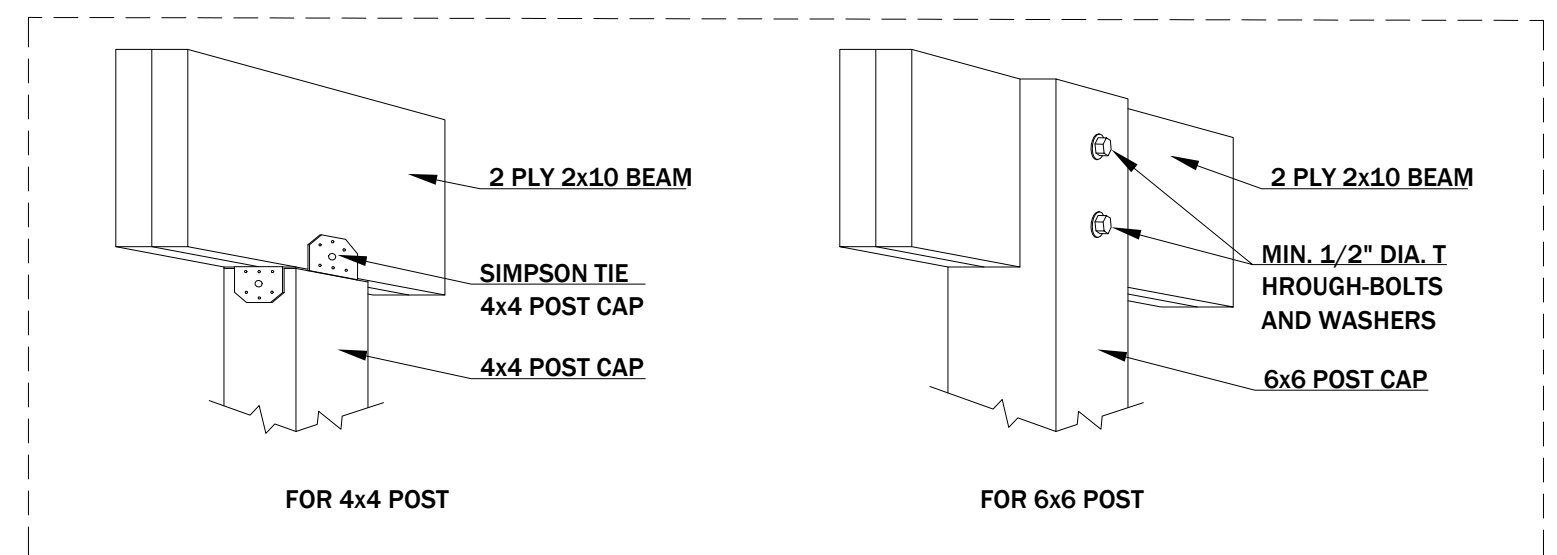


1 DECK DETAILS - 1
 1/2" = 1'-0"



ATTACHMENT TO RIM JOIST

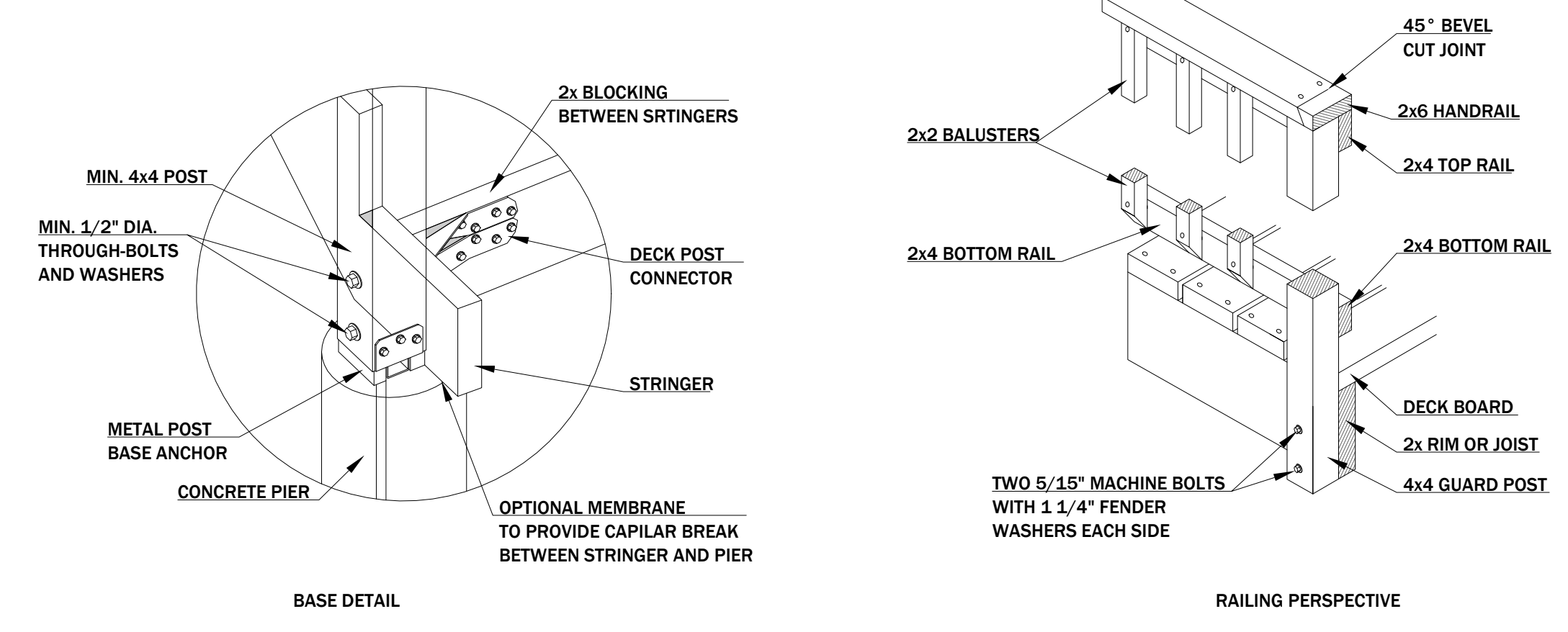
GUARD PARALLEL TO FLOOR JOIST



CONNECTION DETAIL

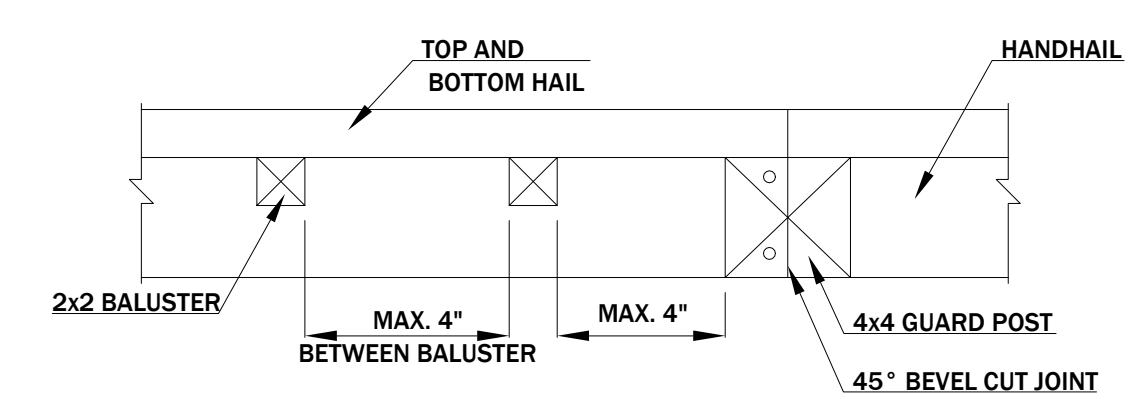
DECK GUARD DETAILS

HEIGHT OF GUARDS (O.B.C. 9.8.8.3):
 - MIN. 35" FOR DECKS BETWEEN 24" AND 5'-11" ABOVE GRADE;
 - MIN. 42" FOR DECKS MORE THAN 5'-11" ABOVE GRADE;



BASE DETAIL

RAILING PERSPECTIVE



GUARD PLAN

2 DECK DETAILS - 2
 3/8" = 1'-0"



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NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:

DECK DETAILS - 2/2

PROJECT NO.: 23-18

DATE: 09/13/23

SCALE: 3/4" = 1'-0"

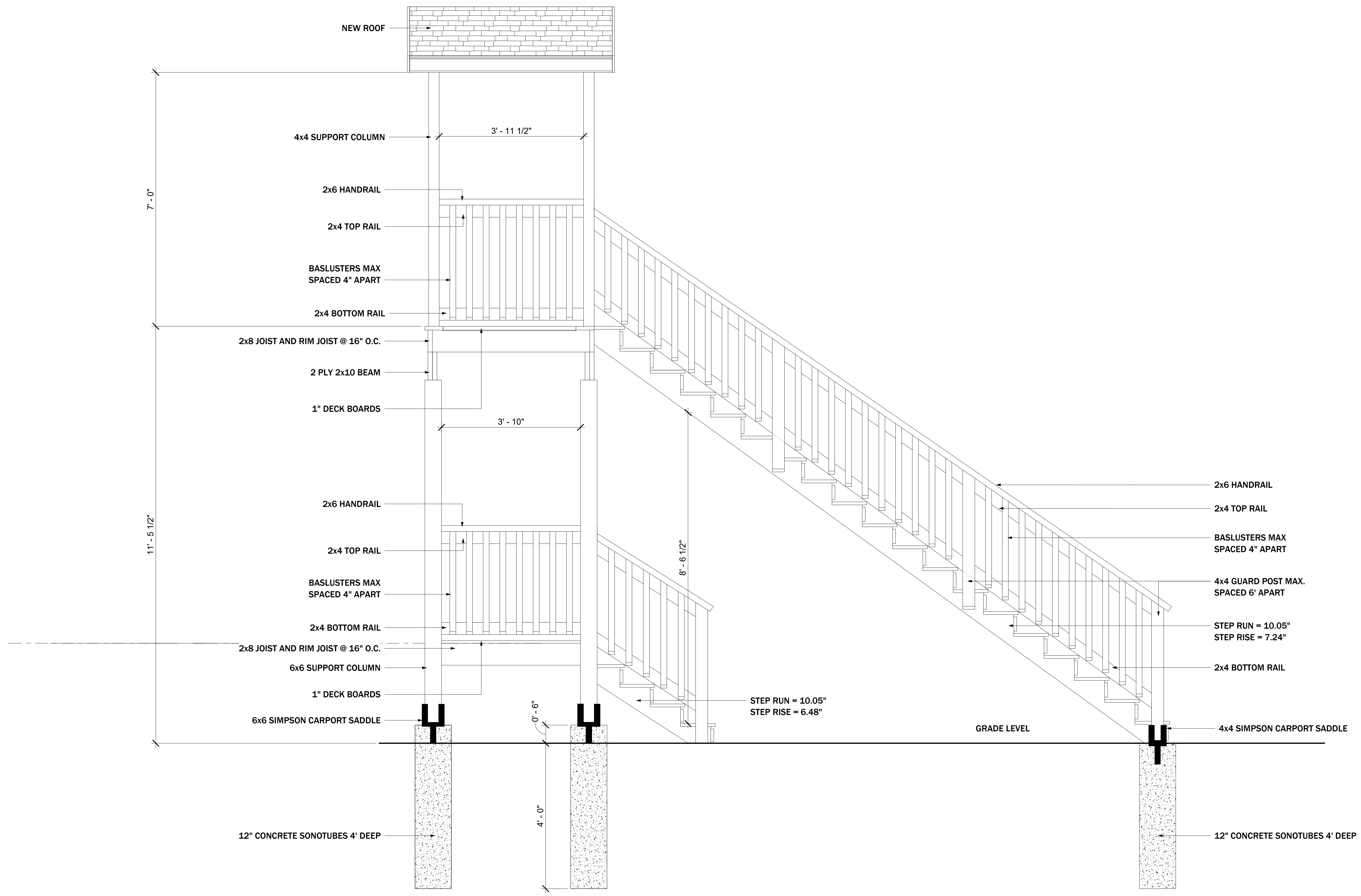
REVISION:

DRAWN BY: DANILO MARTINELLI

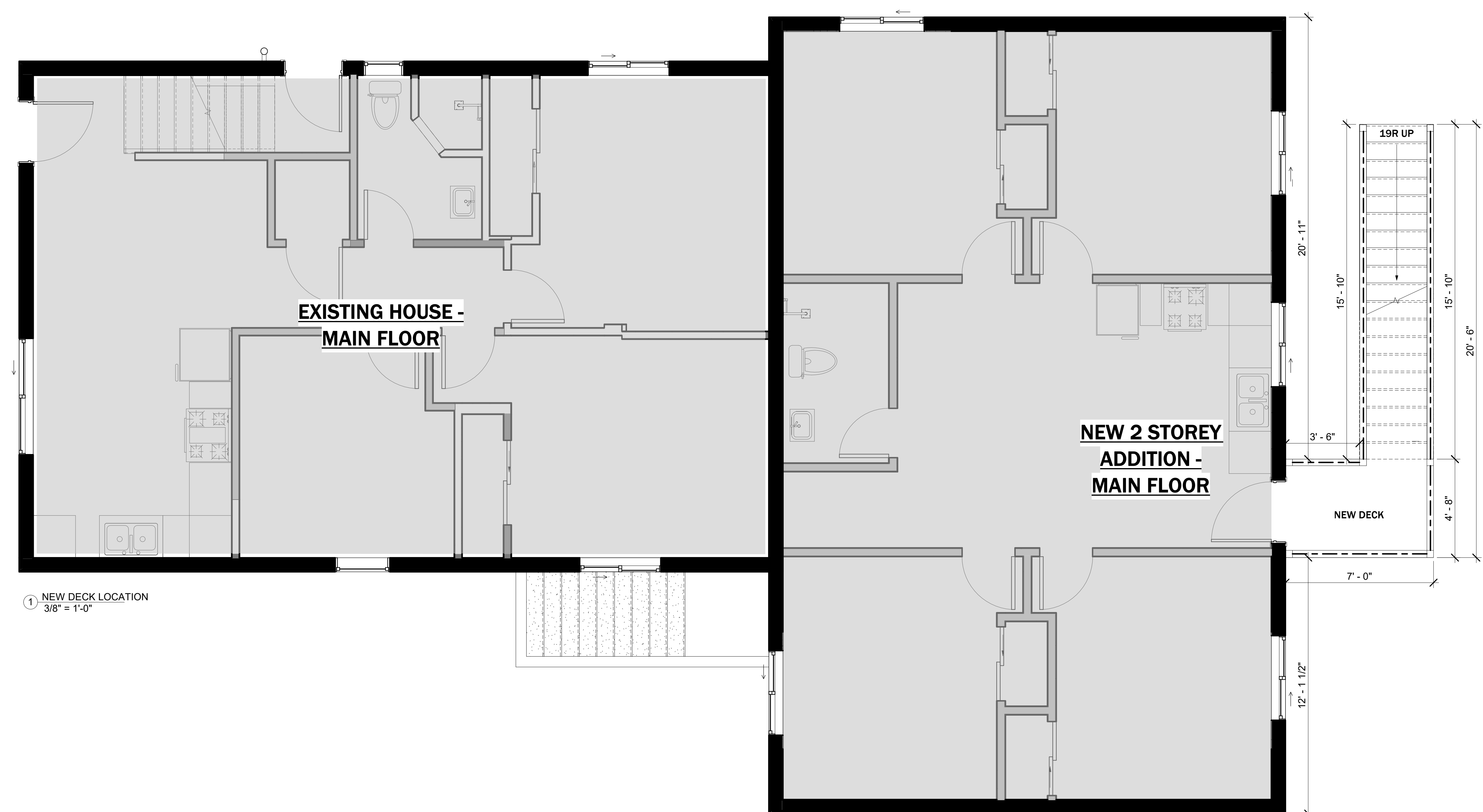
REVIEWED BY: KEN BEKENDAM

SHEET NO.:

A3.04



1 DECK ELEVATION
3/4" = 1'-0"



① NEW DECK LOCATION
3/8" = 1'-0"



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NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
NEW DECK - LOCATION

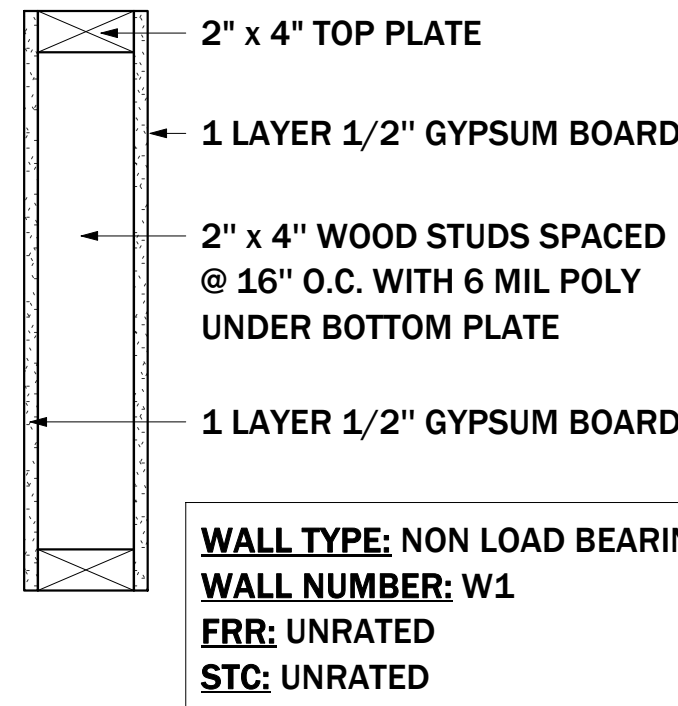
PROJECT NO.: 23-18 **DATE:** 09/13/23

SCALE: 3/8" = 1'-0" **REVISION:**

DRAWN BY: DANILO MARTINELLI **REVIEWED BY:** KEN BEKENDAM

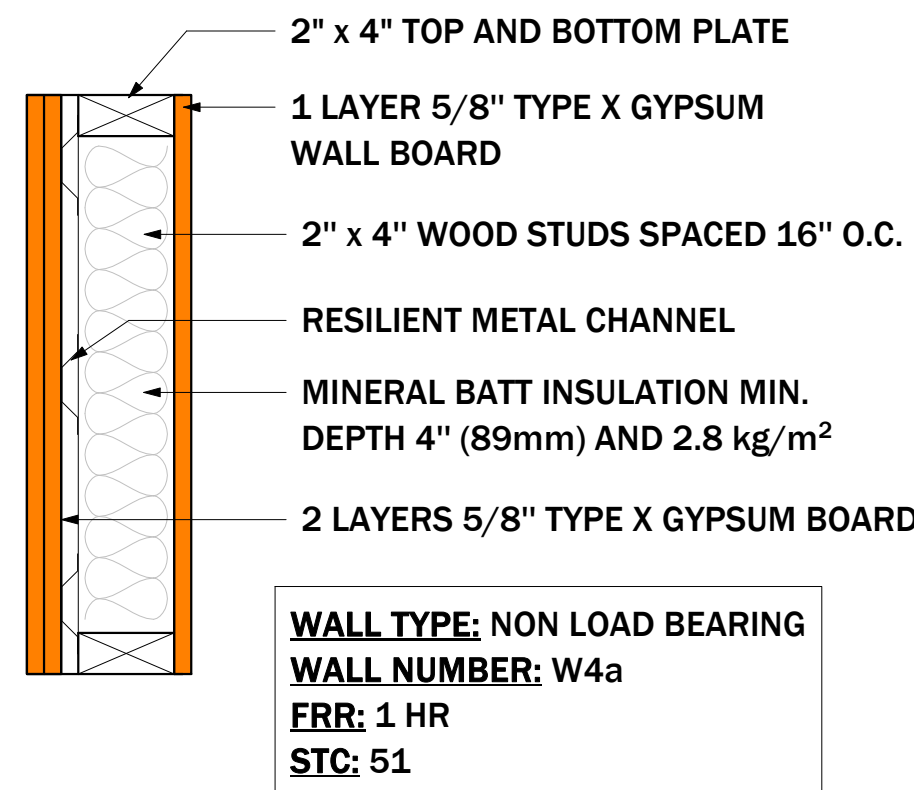
SHEET NO.:

A3.05



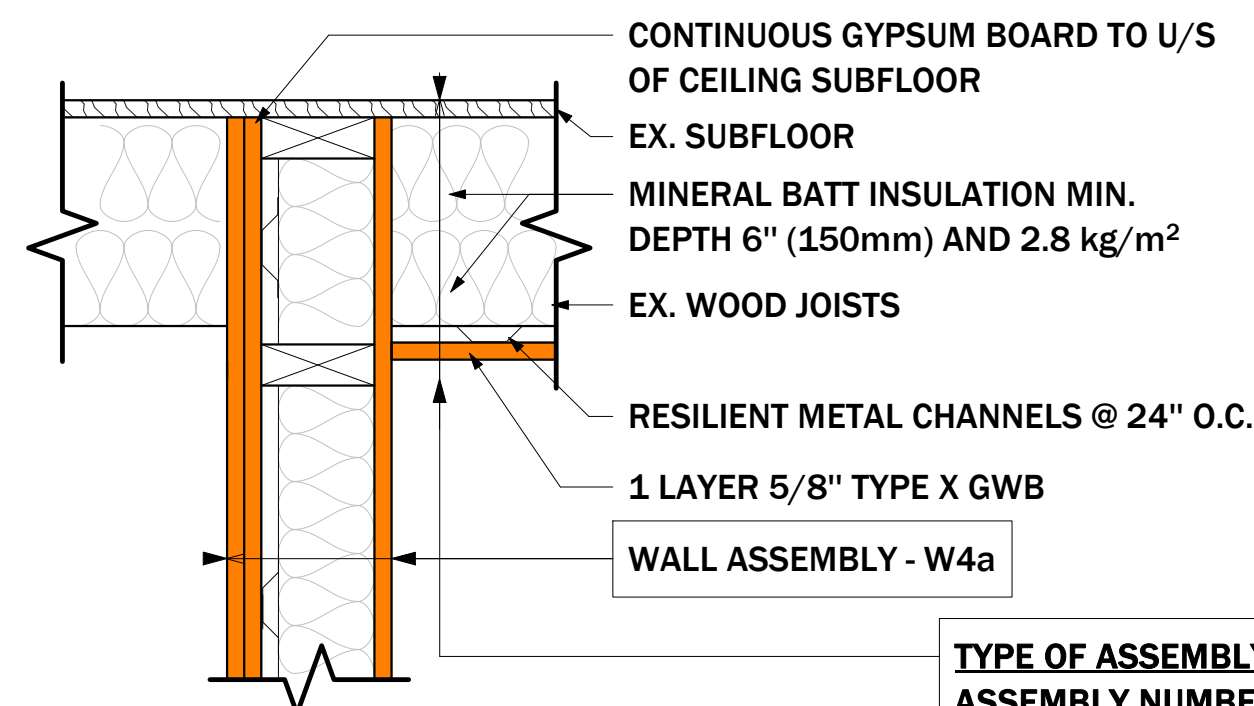
01 NEW: INTERIOR PARTITION WALL
WITH GWB BOTH SIDES

WALL TYPE: NON LOAD BEARING
WALL NUMBER: W1
FRR: UNRATED
STC: UNRATED



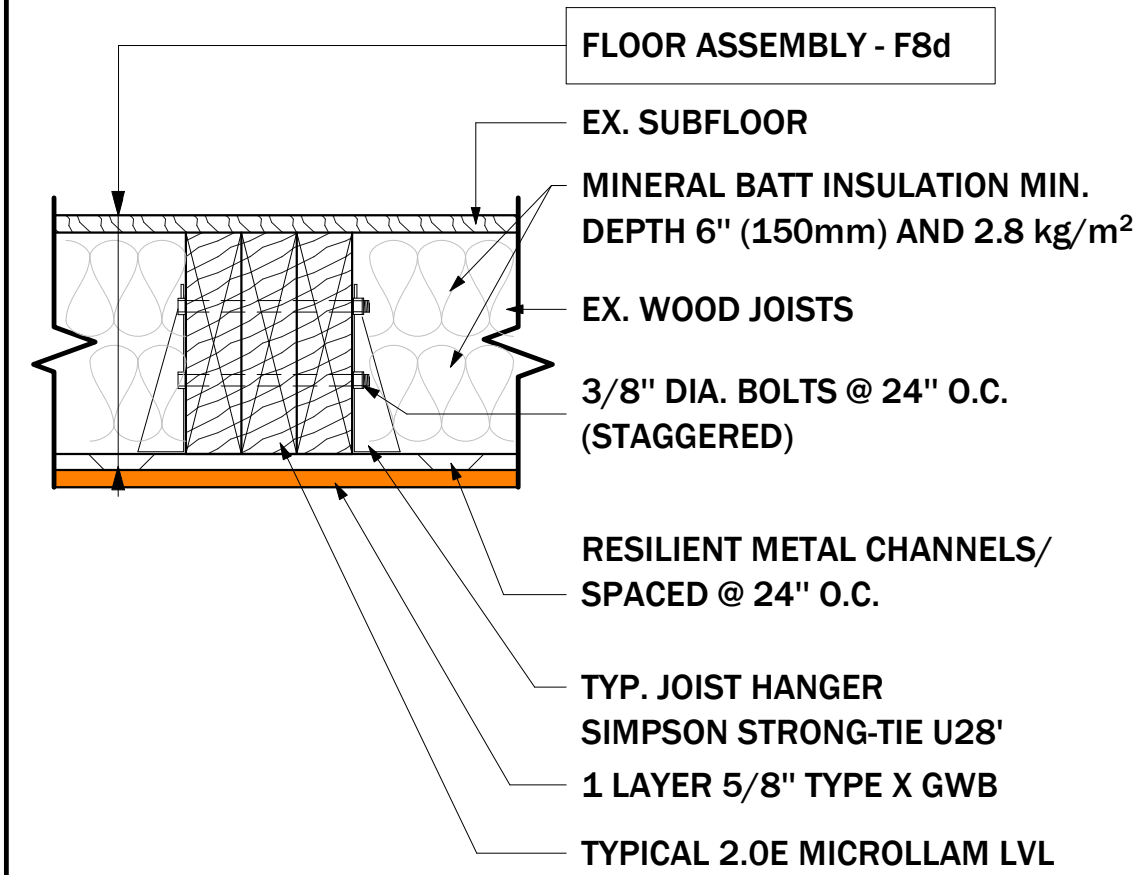
02 NEW: INTERIOR PARTITION WALL
WITH 1HR FIRE SEPARATION

WALL TYPE: NON LOAD BEARING
WALL NUMBER: W4a
FRR: 1 HR
STC: 51

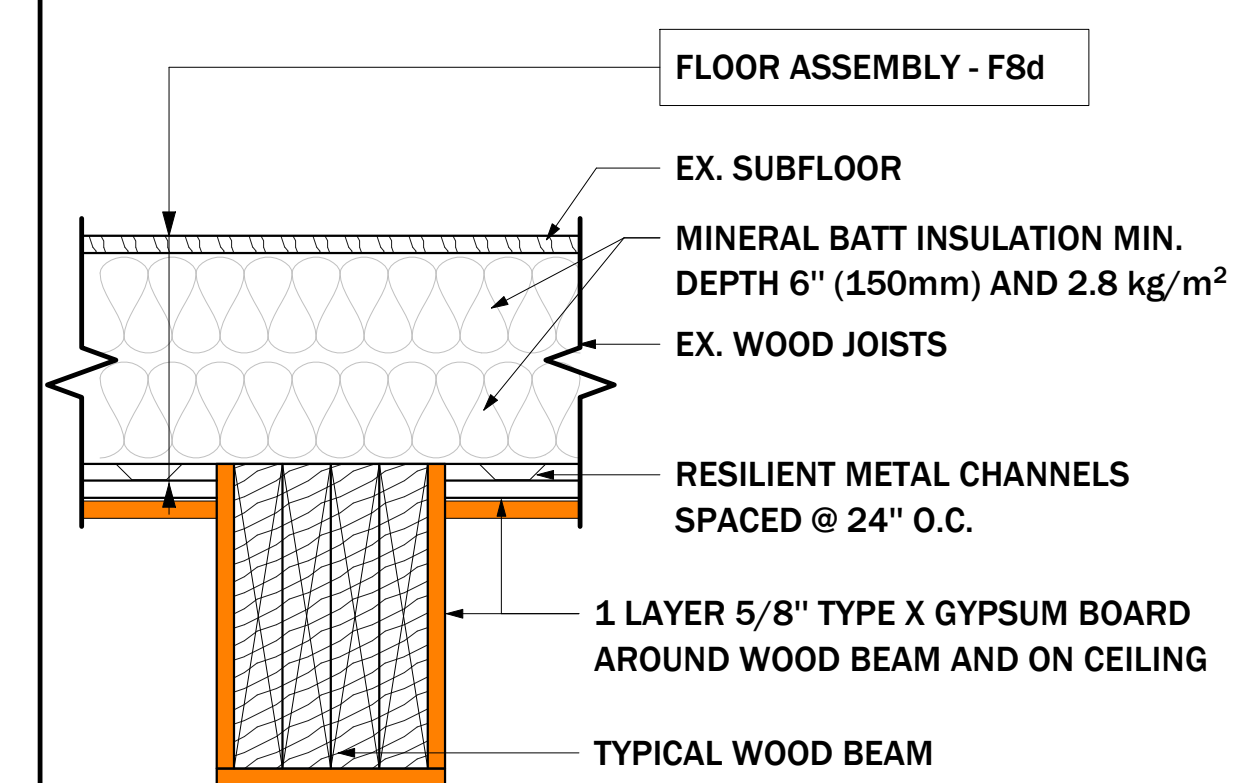


03 VERTICAL FIRE SEPARATION
AT CEILING DETAIL

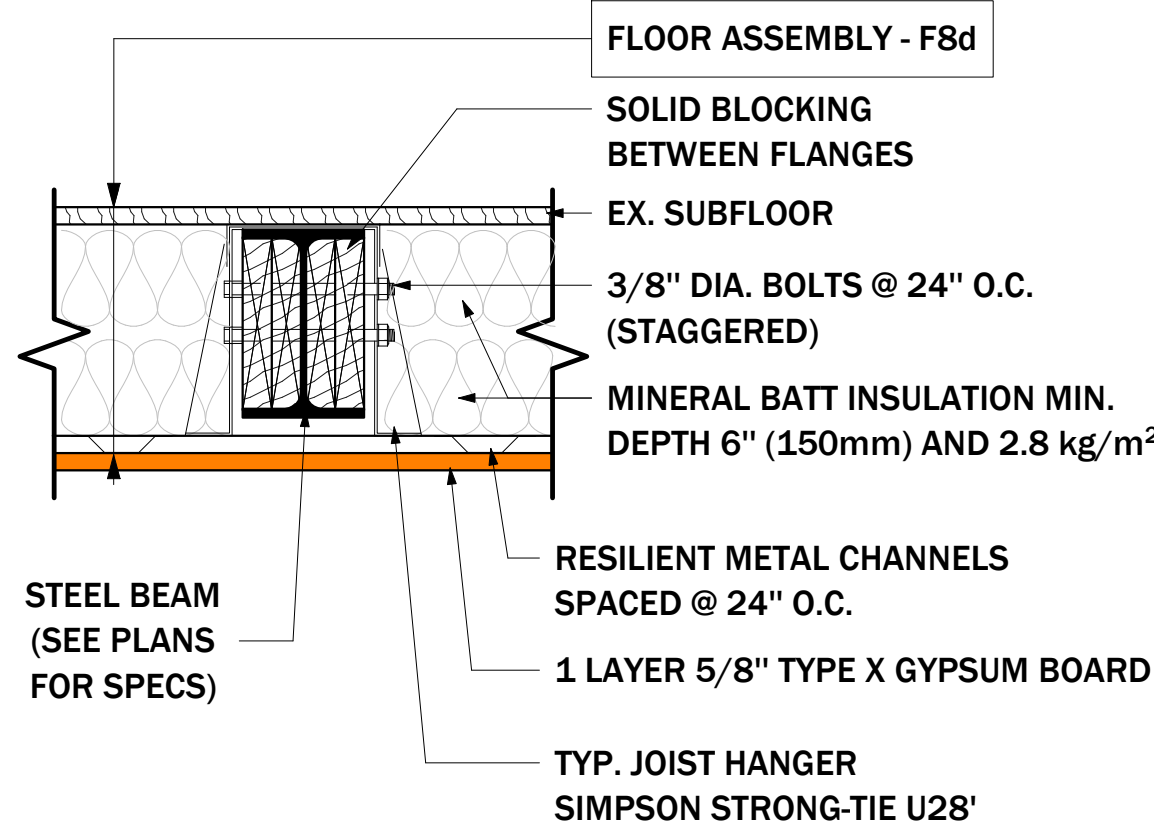
TYPE OF ASSEMBLY: WOOD JOIST
ASSEMBLY NUMBER: F8d
FRR: 30 HR
STC: 50



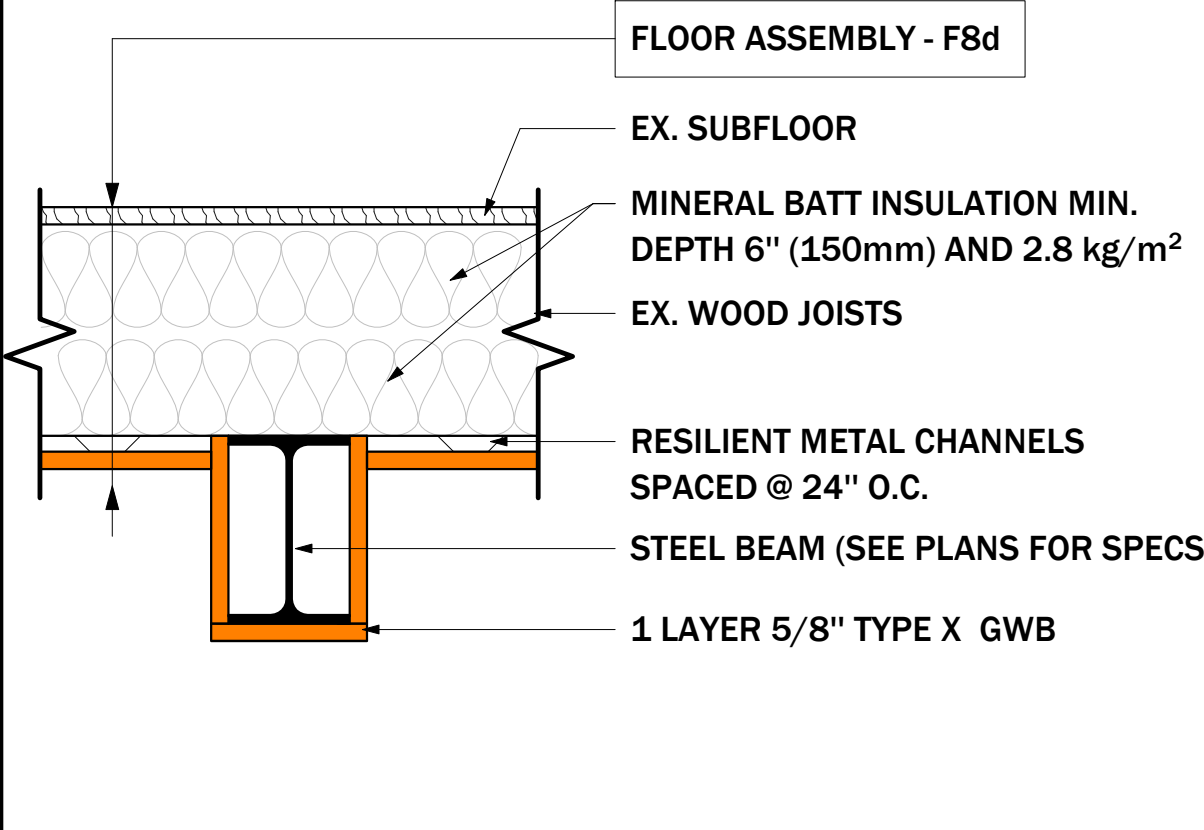
04 LVL BEAM DETAIL
FLUSH



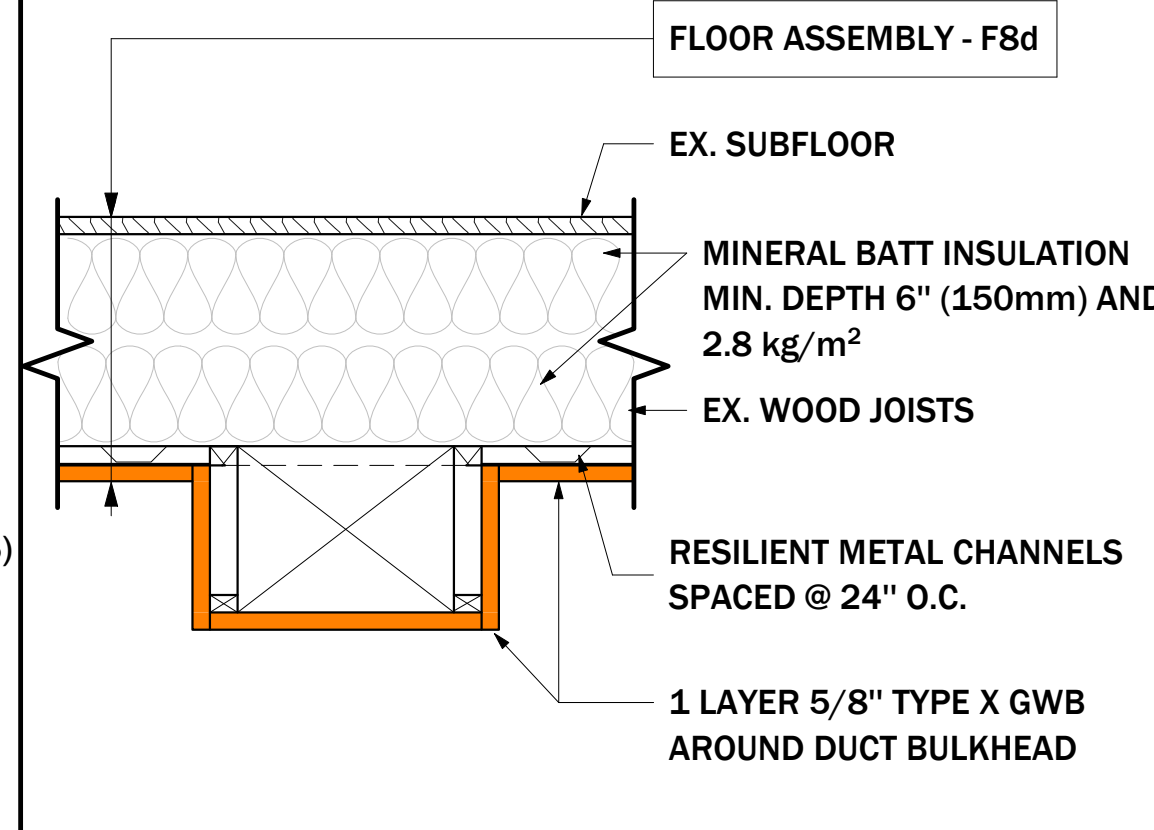
05 WOOD BEAM FIRE-RATED
DROPPED



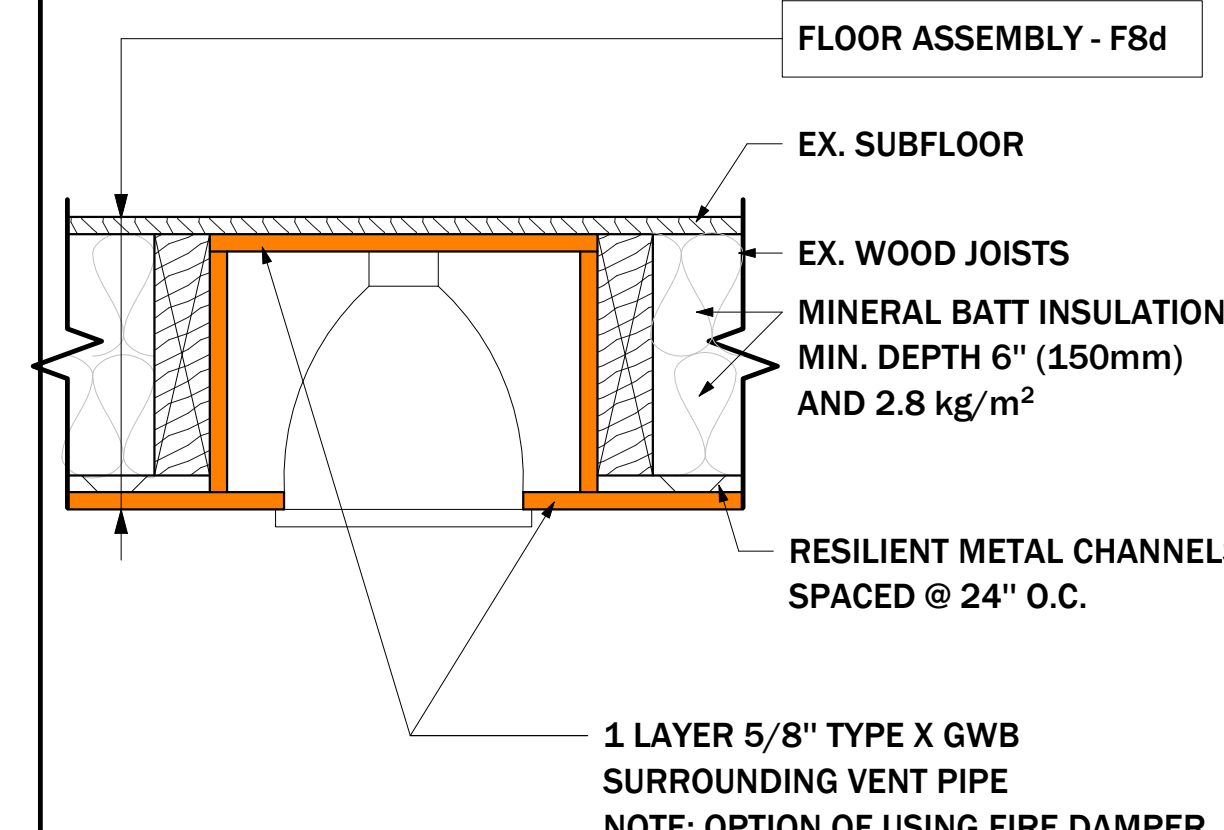
06 STEEL BEAM FIRE-RATED
FLUSH



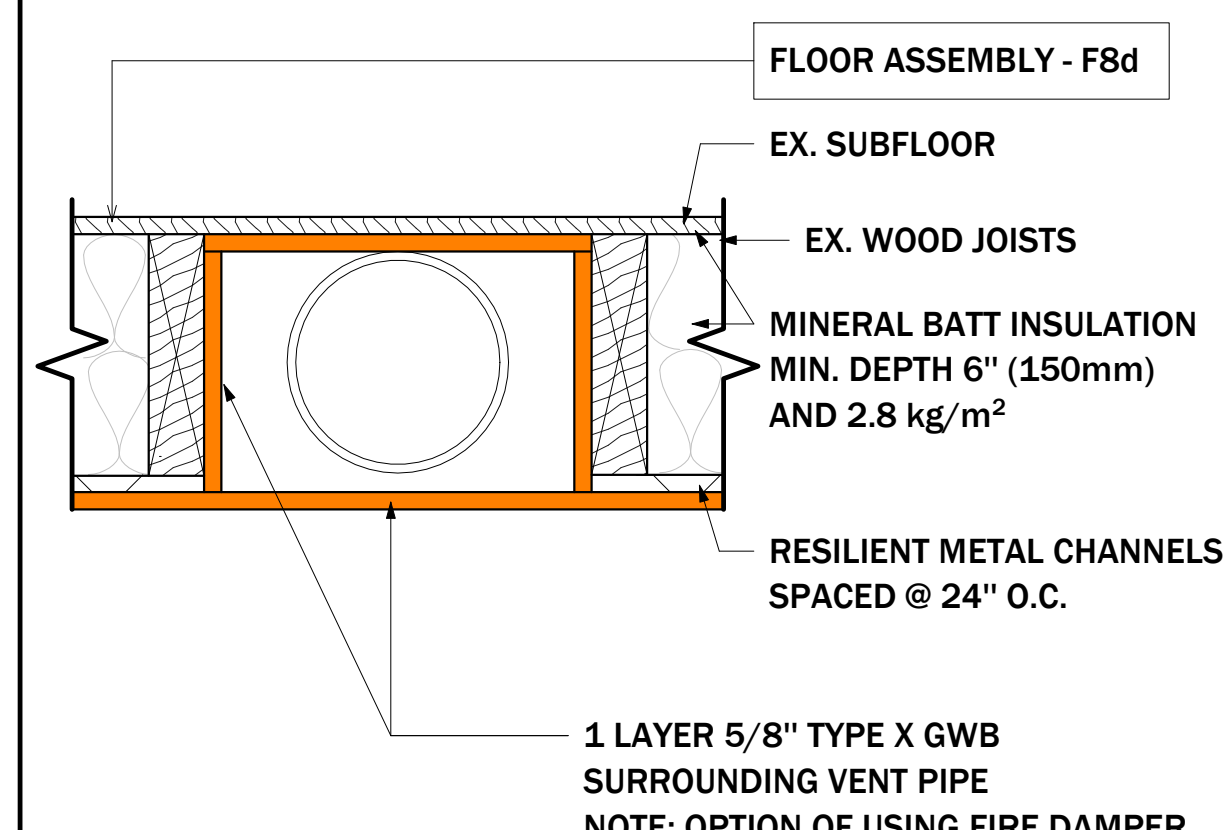
07 STEEL BEAM FIRE-RATED
DROPPED



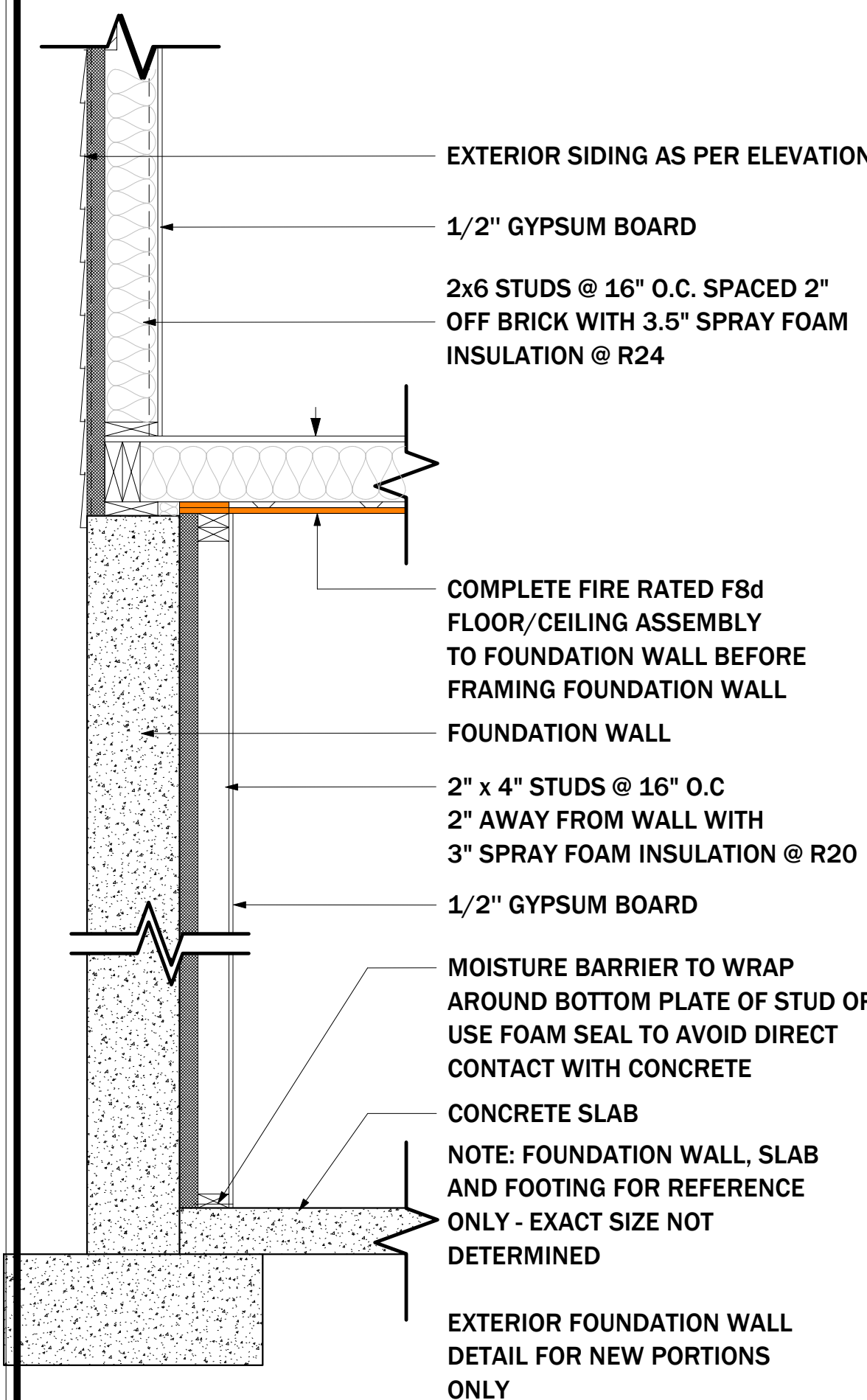
08 DUCTS FIRE-RATED



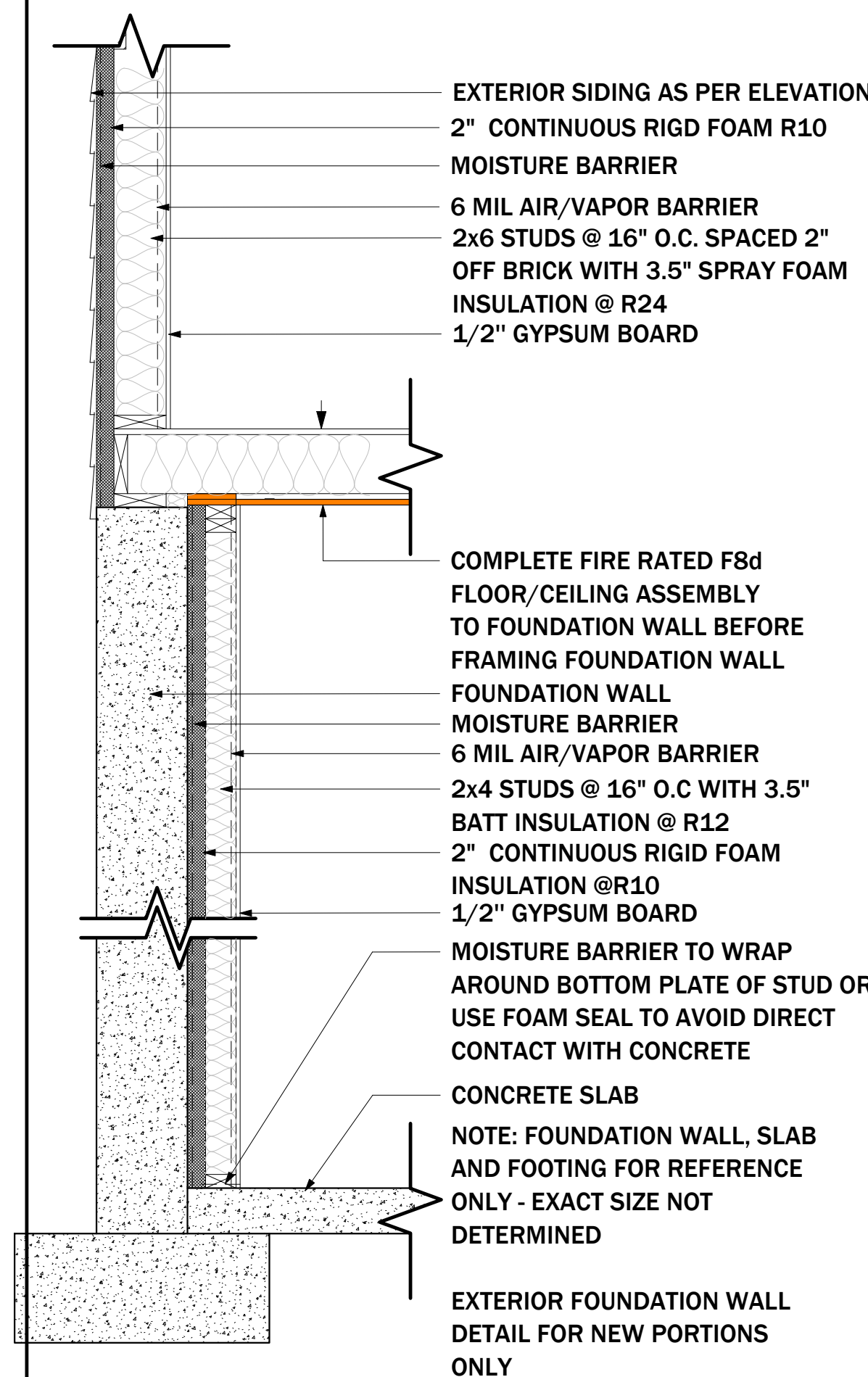
09 RECESSED LIGHTS FIRE-RATED



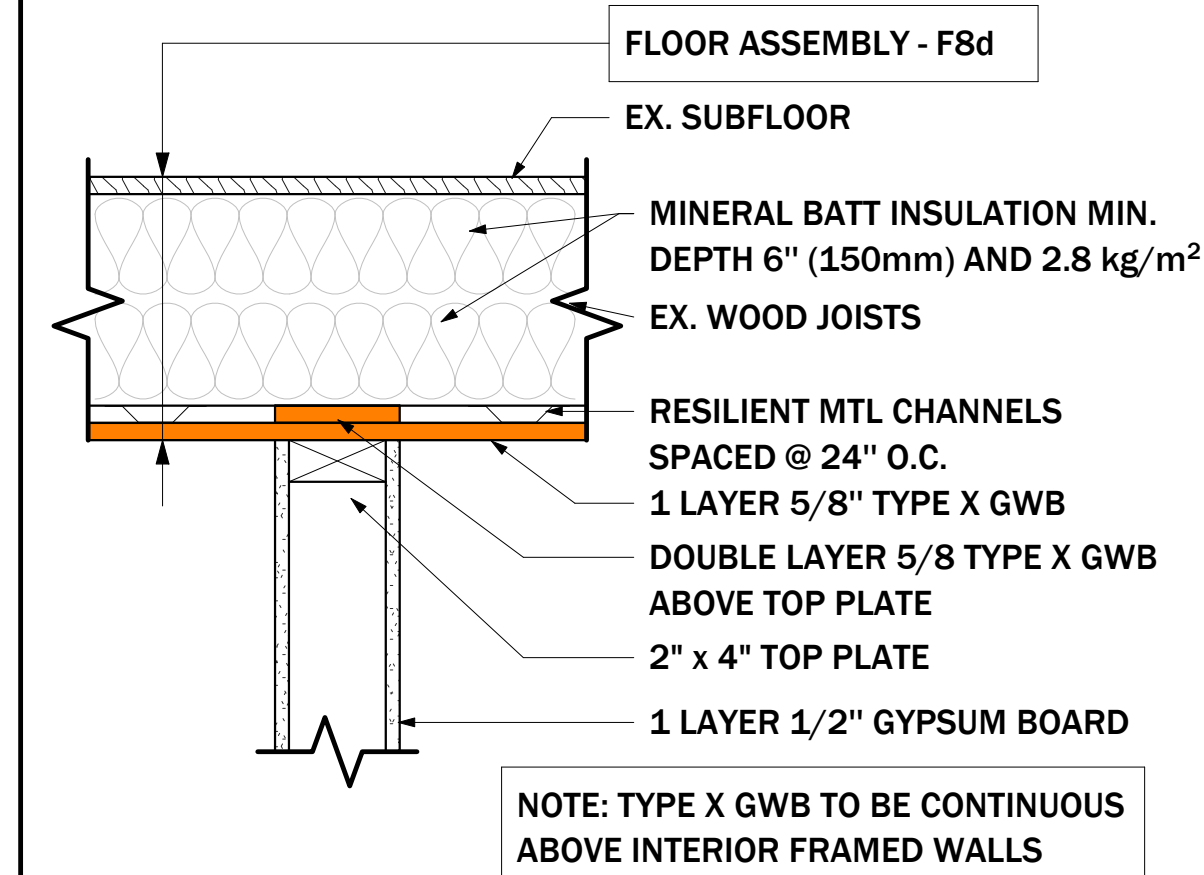
10 EXHAUST VENTS FIRE-RATED
BATH FANS, CLOTHES DRYERS & KITCHEN EXHAUSTS



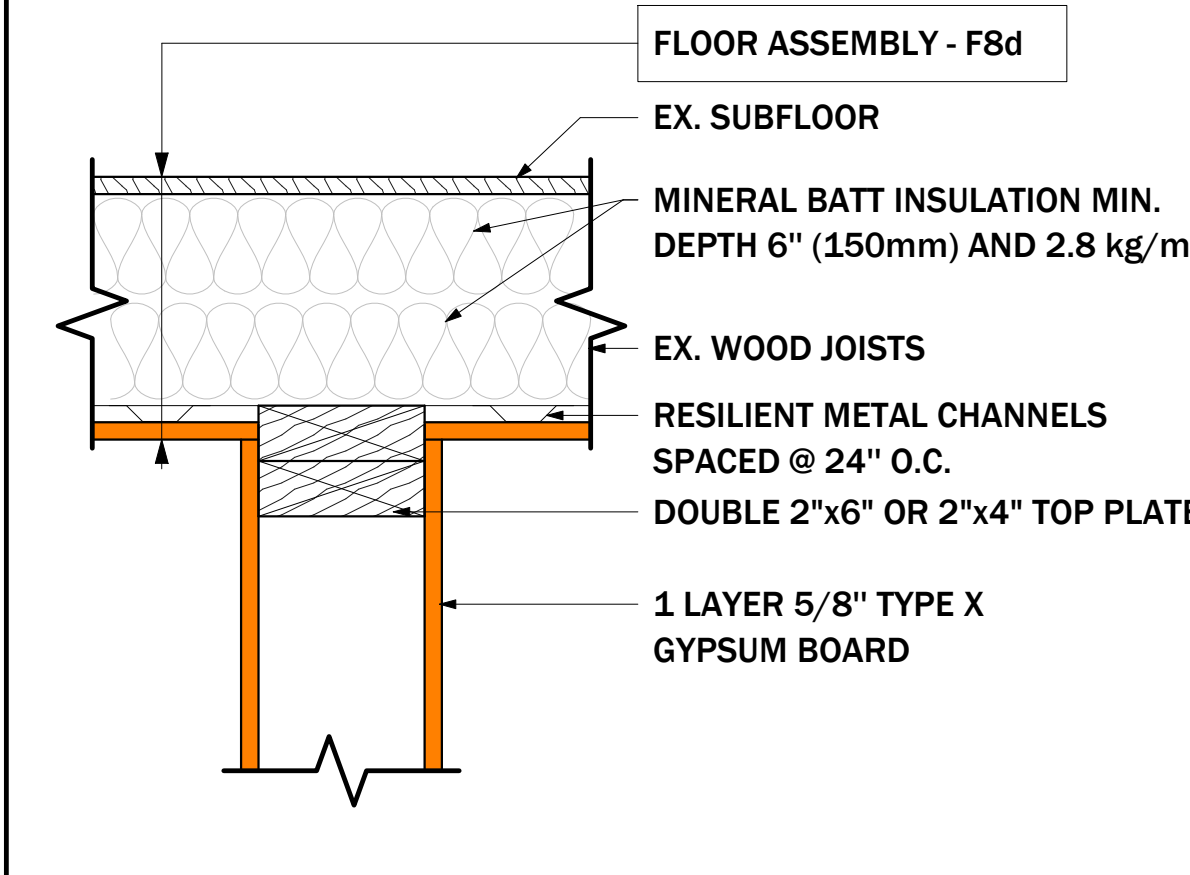
11 EXTERIOR WALL - OPTION 1
SPRAY FOAM



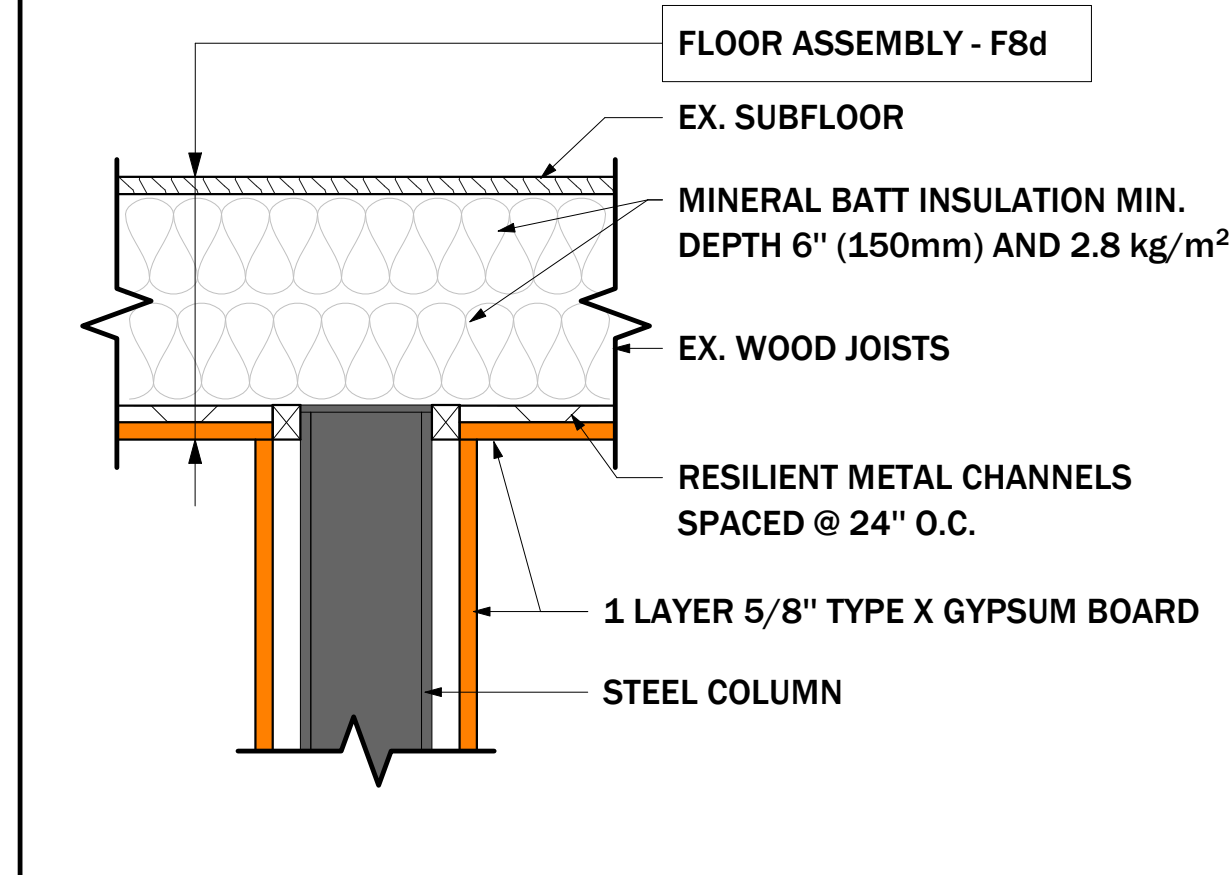
12 EXTERIOR WALL - OPTION 2
BATT INSULATION



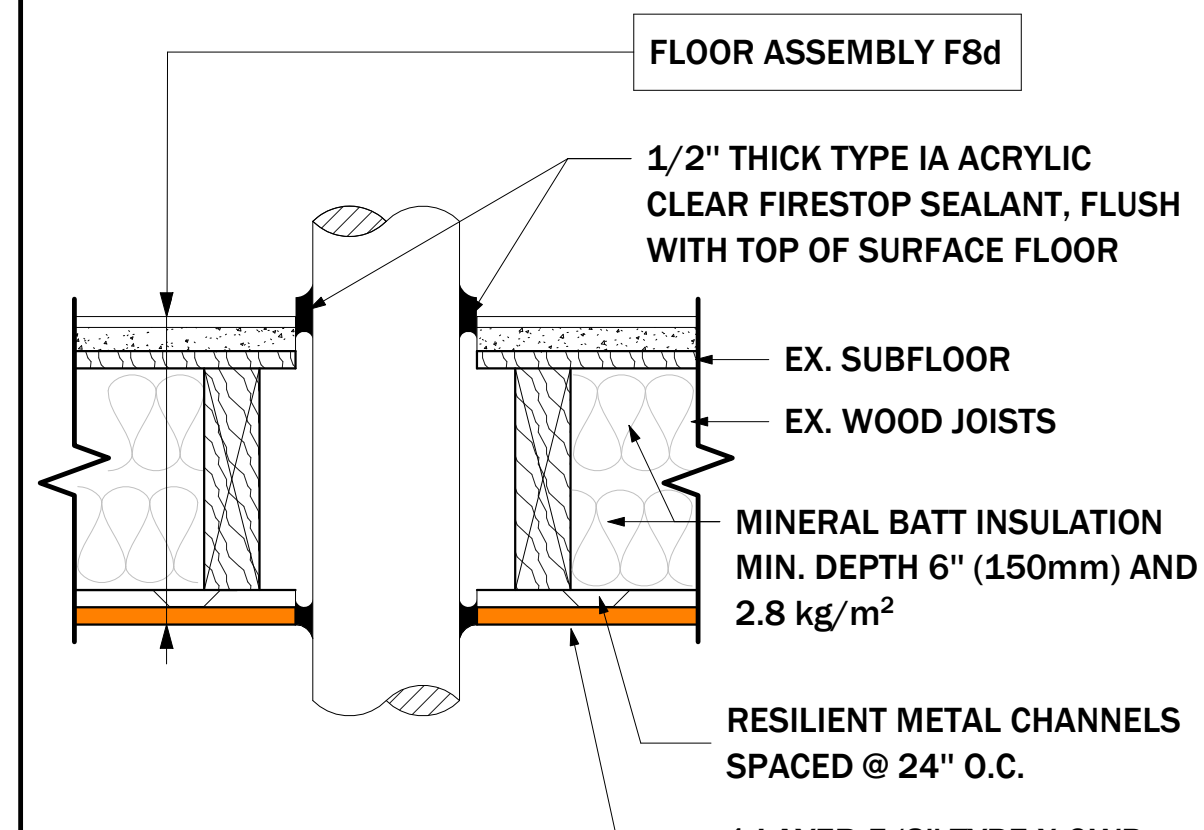
13 INTERIOR WALL - NON LOAD BEARING
FIRE SEPARATION



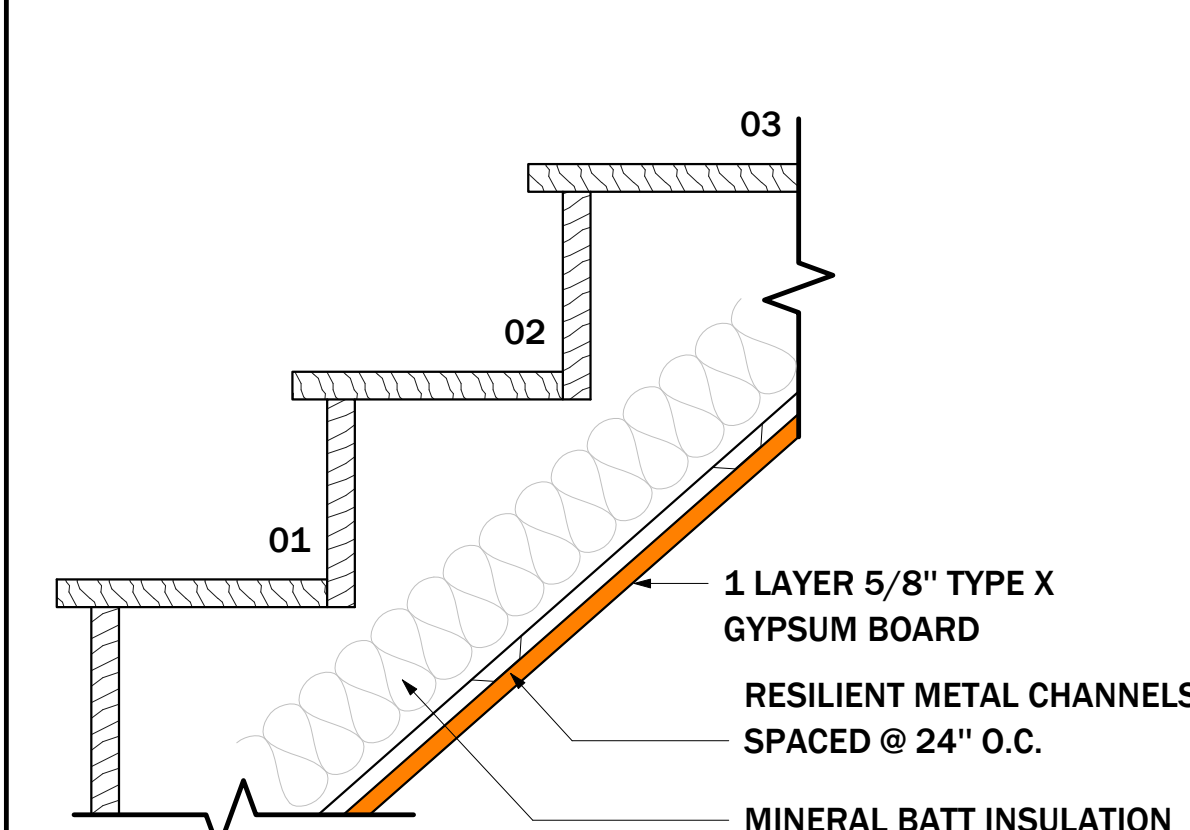
14 LOAD BEARING FIRE-RATED
WALL AT CEILING DETAIL



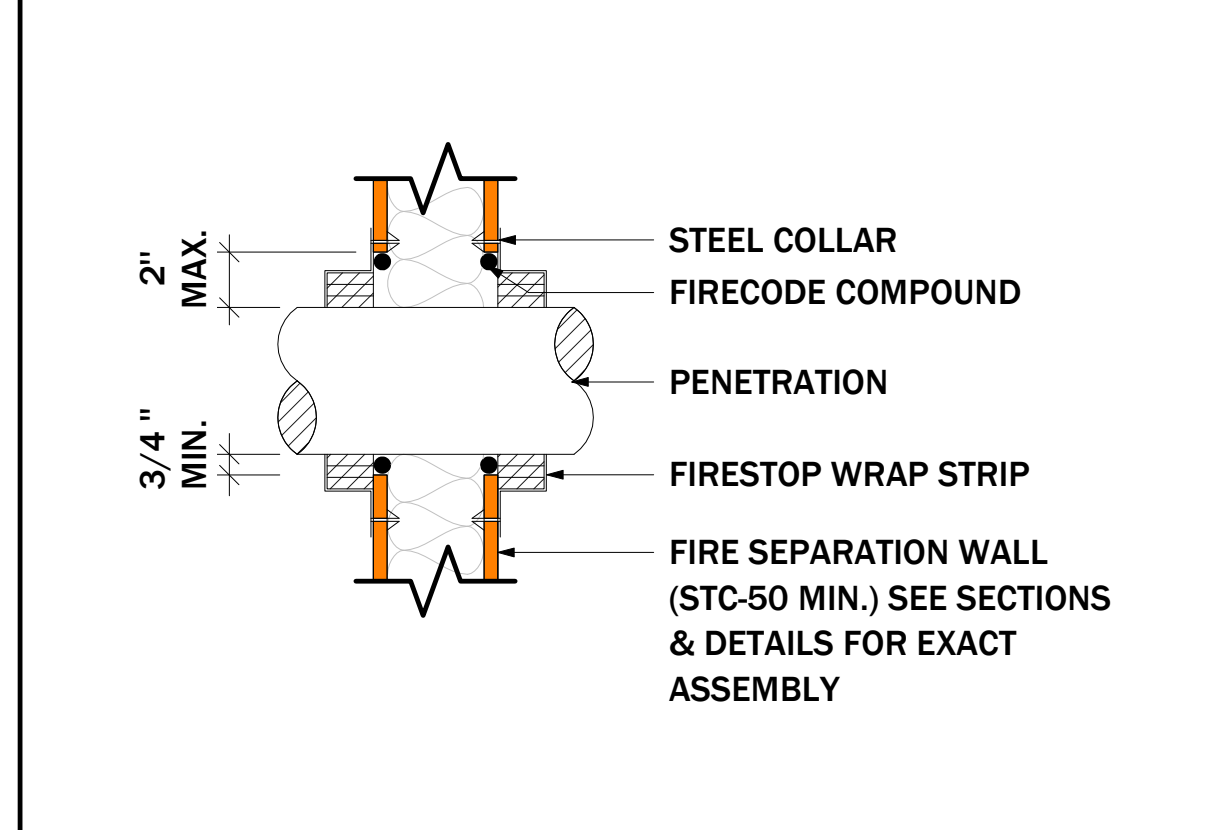
15 STRUCTURAL COLUMNS
FIRE SEPARATION



16 FIRESTOP DETAIL FLOOR PENETRATION
SEE HILTI DETAILS



17 FIRE-RATED STAIR



18 FIRESTOP DETAIL WALL PENETRATION
SEE HILTI DETAILS

CITY ELECTRONIC STAMP:

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kenbekendam@gmail.com

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01			
02			
03			
04			

ENGINEER'S STAMP:

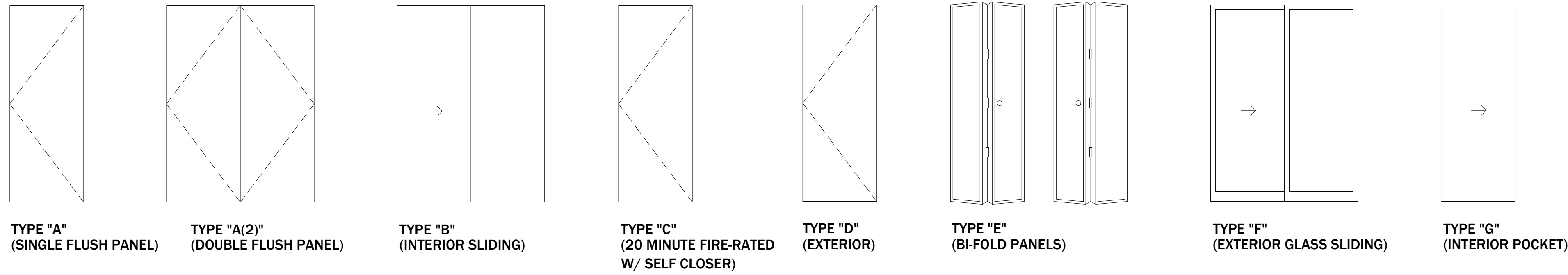
PROJECT NAME/ADDRESS:
25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
FIRE SEPARATION DETAILS

PROJECT NO. 23-18	DATE: 09/13/23
SCALE: As indicated	REVISION:
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO. **A4.01**

DOOR PANEL TYPES - ELEVATIONS



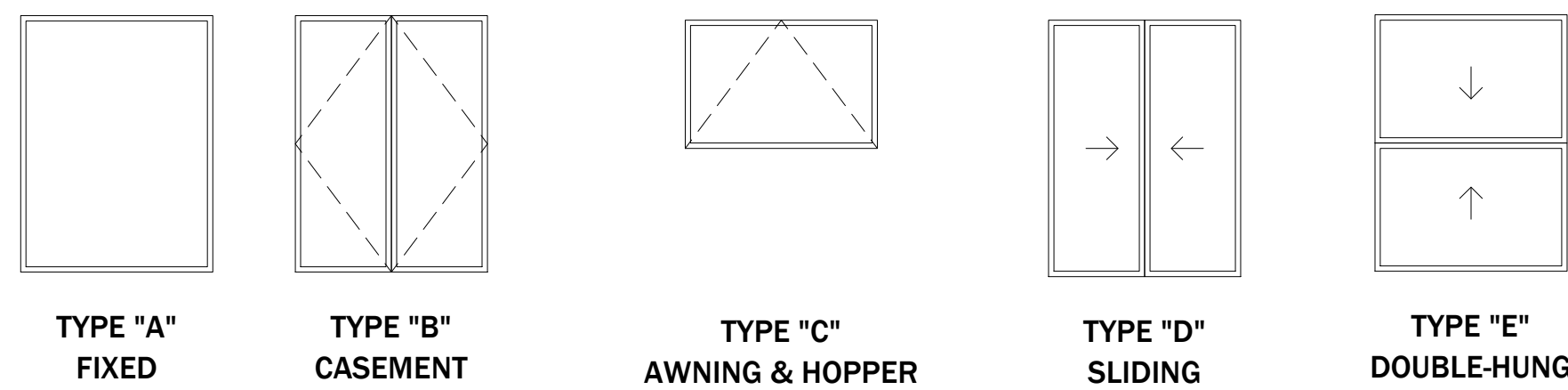
DOOR SCHEDULE								
N° OF DOORS	DOOR #	WIDTH	HEIGHT	MATERIAL	FIRE RATING	MODEL	PHASE	FUNCTION
12	F	3' - 6"	6' - 8"			SLIDING	PROPOSED	Interior
1	F	3' - 10"	6' - 8"	MDF		SLIDING	PROPOSED	Interior
5	F	4' - 0"	6' - 8"			SLIDING	PROPOSED	Interior
1	A	4' - 0"	6' - 8"	MDF		DOUBLE FLUSH	PROPOSED	Interior
5	D	2' - 10"	6' - 8"			SINGLE FLUSH	PROPOSED	Exterior
1	A	2' - 0"	6' - 8"	MDF		SINGLE FLUSH	PROPOSED	Interior
6	A	2' - 4"	6' - 8"			SINGLE FLUSH	PROPOSED	Interior

NOTES:

- ALL FIRE RATED DOORS TO HAVE SELF-CLOSING DEVICES. CONFORMING TO 9.10.13.10 (1). ADDITIONALLY, LOCK SETS TO BE INSTALLED.
- ALL HINGES TO BE 3 1/2" X 3 1/2" SQUARE CORNER STAINLESS STEEL. MINIMUM 3 PER PANEL.
- PROVIDE SMOKE SEALS AT ALL FIRE RATED DOORS
- FINISHED FLOOR TO UNDERSIDE OF DOOR TO BE A CONSISTENT HEIGHT UP TO A MAXIMUM OF 1/4" FOR BEDROOMS AND 1/2" FOR BATHROOMS.
- ALL DOORS ARE 1 3/4" THICK. SPRAYED TOP AND UNDERSIDE OF DOOR PANEL.
- CONTRACTOR TO ADD TRANSITION STRIP UNDERNEATH MIDDLE OF DOOR WHERE MATERIAL CHANGES IN ALL LOCATION (TYP.)
- ALL NEW DOORS BETWEEN UNITS TO HAVE A MINIMUM 20 MIN FIRE RATING

*GC TO SITE VERIFY DOOR HEIGHT AND WIDTH

WINDOW TYPE - ELEVATIONS



WINDOW SCHEDULE									
Count	Type	Width	Height	Sill Height	FIRE RATED	Model	PHASE	FRAME MATERIAL	
1	PROPOSED - 22" x 34"	1' - 10"	2' - 10"	4' - 1"		FIXED	PROPOSED	PVC	
1	PROPOSED - 23" x 35"	1' - 11"	2' - 11"	3' - 8"		FIXED	PROPOSED	PVC	
1	PROPOSED - 26" x 62"	2' - 2"	5' - 2"	2' - 9 1/2"		SLIDING	PROPOSED	PVC	
1	PROPOSED - 31" x 35"	2' - 7"	2' - 11"	3' - 8"		FIXED	PROPOSED	PVC	
2	PROPOSED - 33" x 30"	2' - 9"	2' - 6"	5' - 10"		SLIDING	PROPOSED	PVC	
2	PROPOSED - 36" x 24"	3' - 0"	2' - 0"	6' - 2"		SLIDING	PROPOSED	PVC	
2	PROPOSED - 36" x 24" - 2	3' - 0"	2' - 0"	6' - 2"		SLIDING	PROPOSED	PVC	
1	PROPOSED - 46" x 28"	3' - 10"	2' - 4"	5' - 10"		SLIDING	PROPOSED	PVC	
2	PROPOSED - 46" x 34"	3' - 10"	2' - 10"	3' - 11"		SLIDING	PROPOSED	PVC	
2	PROPOSED - 46" x 47"	3' - 10"	3' - 11"	3' - 3"		SLIDING	PROPOSED	PVC	
1	PROPOSED - 48" x 42"	4' - 0"	3' - 6"	4' - 0"	45 min	SLIDING	PROPOSED	PVC	
7	PROPOSED - 48" x 48" - 2	4' - 0"	4' - 0"	3' - 0"	45 min	SLIDING	PROPOSED	PVC	
3	PROPOSED - 48" x 48" - 3	4' - 0"	4' - 0"	3' - 0"		SLIDING	PROPOSED	PVC	
1	PROPOSED - 56" x 48"	4' - 8"	4' - 0"	4' - 0"	45 min	SLIDING	PROPOSED	PVC	
2	PROPOSED - 58" x 38"	4' - 10"	3' - 2"	3' - 7"		SLIDING	PROPOSED	PVC	
1	PROPOSED - 66" x 65"	5' - 6"	5' - 5"	1' - 8"		SLIDING	PROPOSED	PVC	

NOTES:

- REFER TO FLOOR PLANS/ELEVATIONS FOR WINDOW SILL HEIGHTS
- ALIGN TOP OF WINDOWS WITH TOP OF DOORS SO THAT TOP EDGES OF DOORS AND WINDOWS ALIGN IN A LEVEL PLANE ABOVE FINISH FLOOR.
- WINDOW WITH SILLS LESS THAN 5'-0" ABOVE TUB OR SHOWER FLOOR SHALL BE TEMPERED.

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T. kenbekendam@gmail.com CELL PHONE: 905-961-0647

OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON OFFICE PHONE: 855-546-4467

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NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:

DOOR & WINDOW SCHEDULE

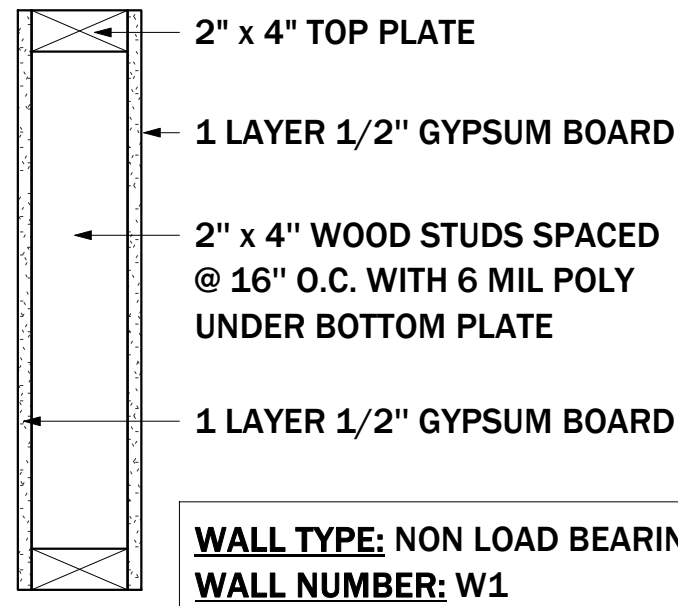
PROJECT NO. 23-18 DATE: 09/13/23

SCALE: 3/8" = 1'-0" REVISION:

DRAWN BY: DANILO MARTINELLI REVIEWED BY: KEN BEKENDAM

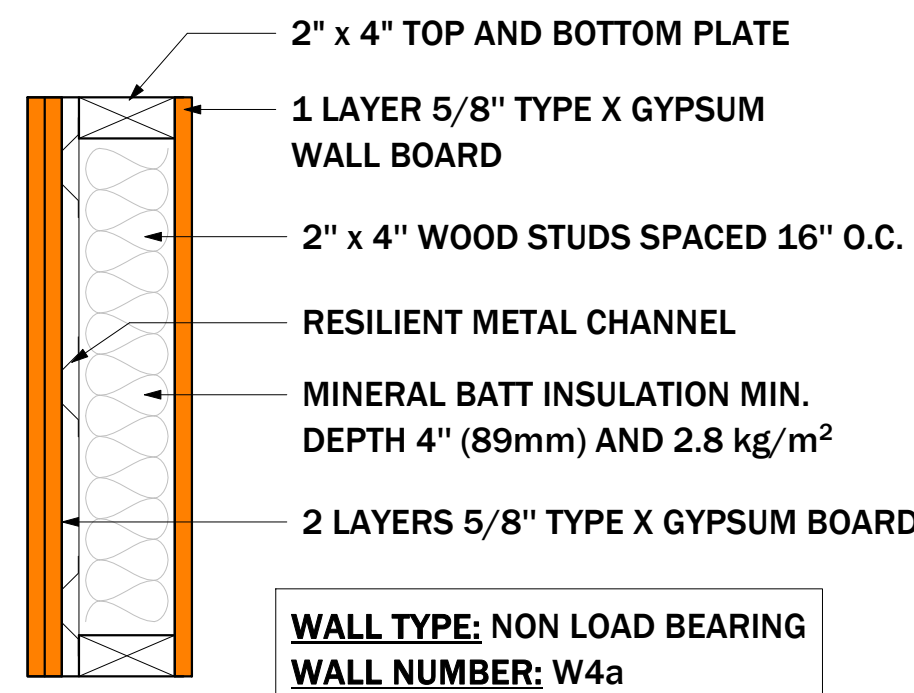
SHEET NO.

A4.02



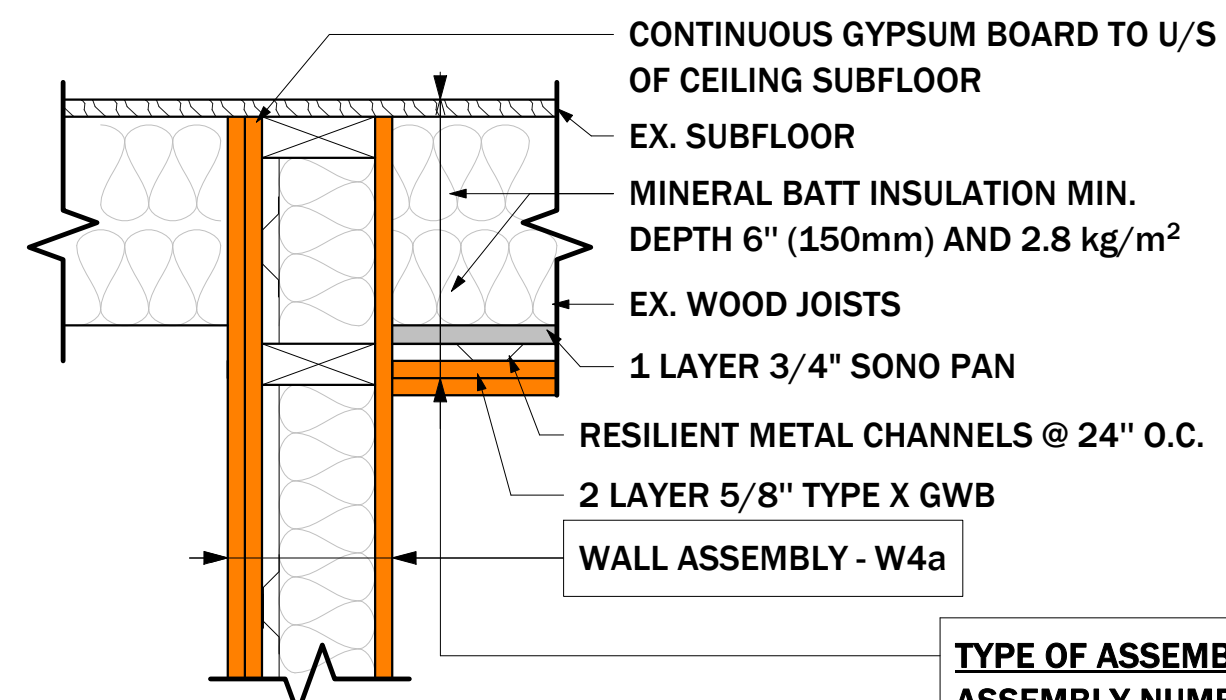
WALL TYPE: NON LOAD BEARING
WALL NUMBER: W1
FRR: UNRATED
STC: UNRATED

01 NEW: INTERIOR PARTITION WALL
 WITH GWB BOTH SIDES



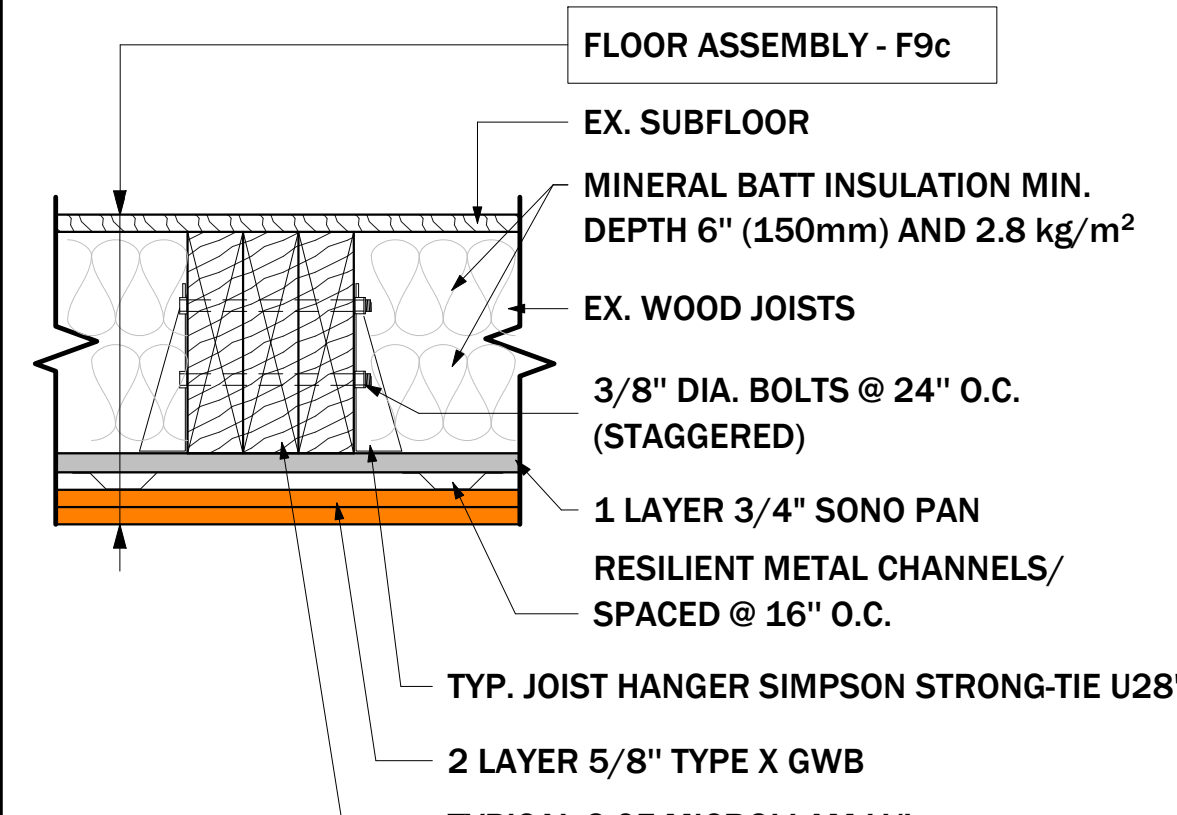
WALL TYPE: NON LOAD BEARING
WALL NUMBER: W4a
FRR: 1 HR
STC: 51

02 NEW: INTERIOR PARTITION WALL
 WITH 1HR FIRE SEPARATION

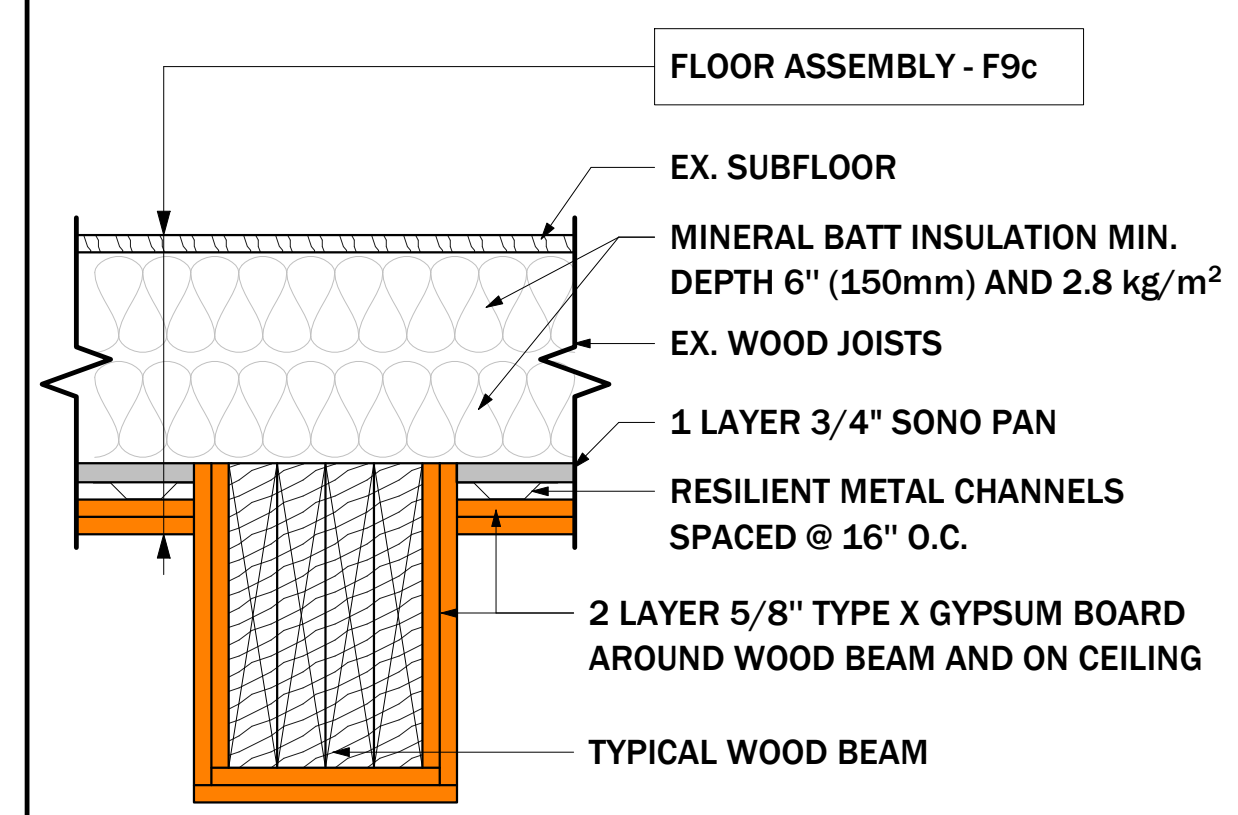


TYPE OF ASSEMBLY: WOOD JOIST
ASSEMBLY NUMBER: F8d
FRR: 30 HR
STC: 50

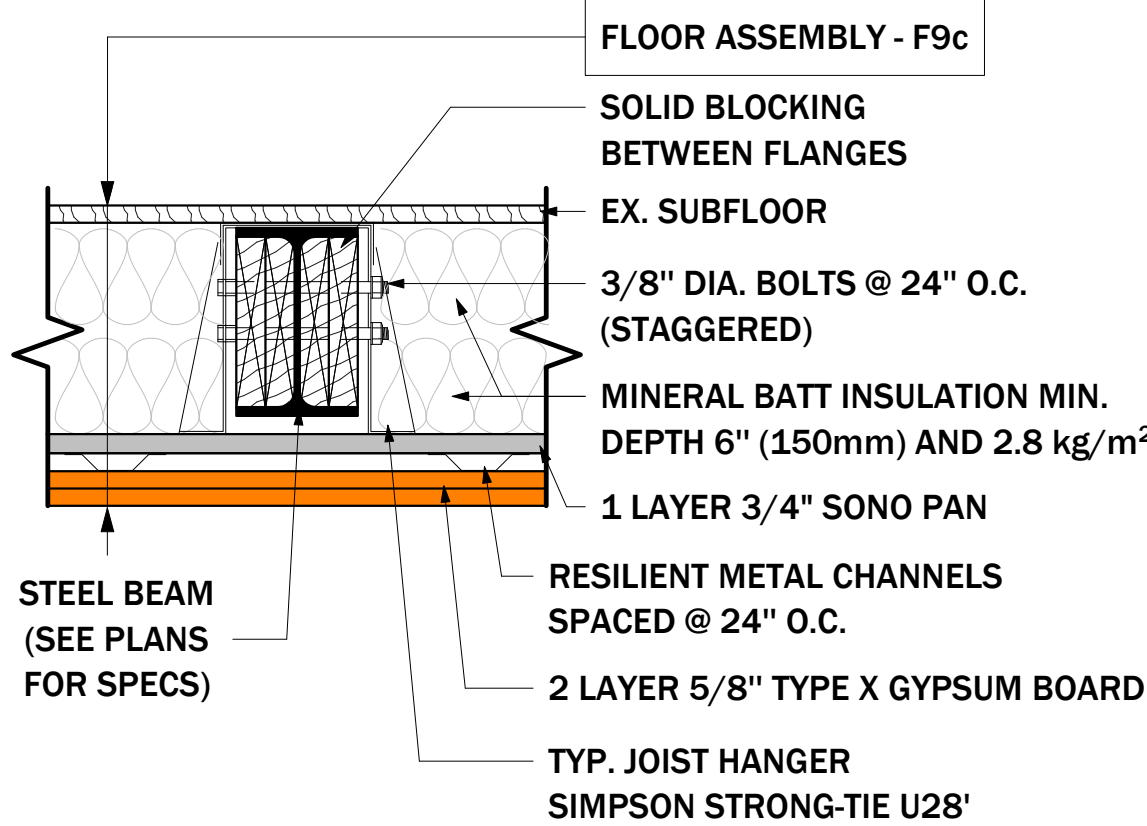
03 VERTICAL FIRE SEPARATION
 AT CEILING DETAIL



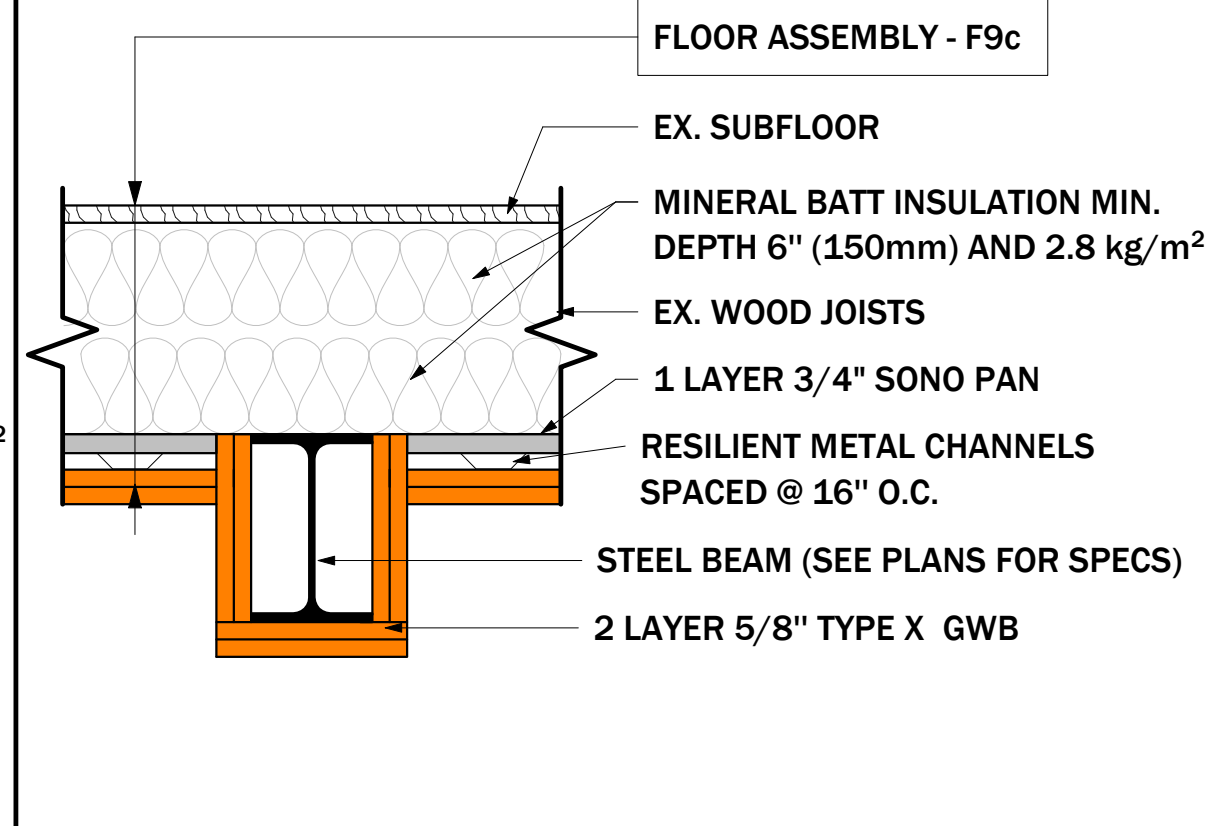
04 LVL BEAM DETAIL
 FLUSH



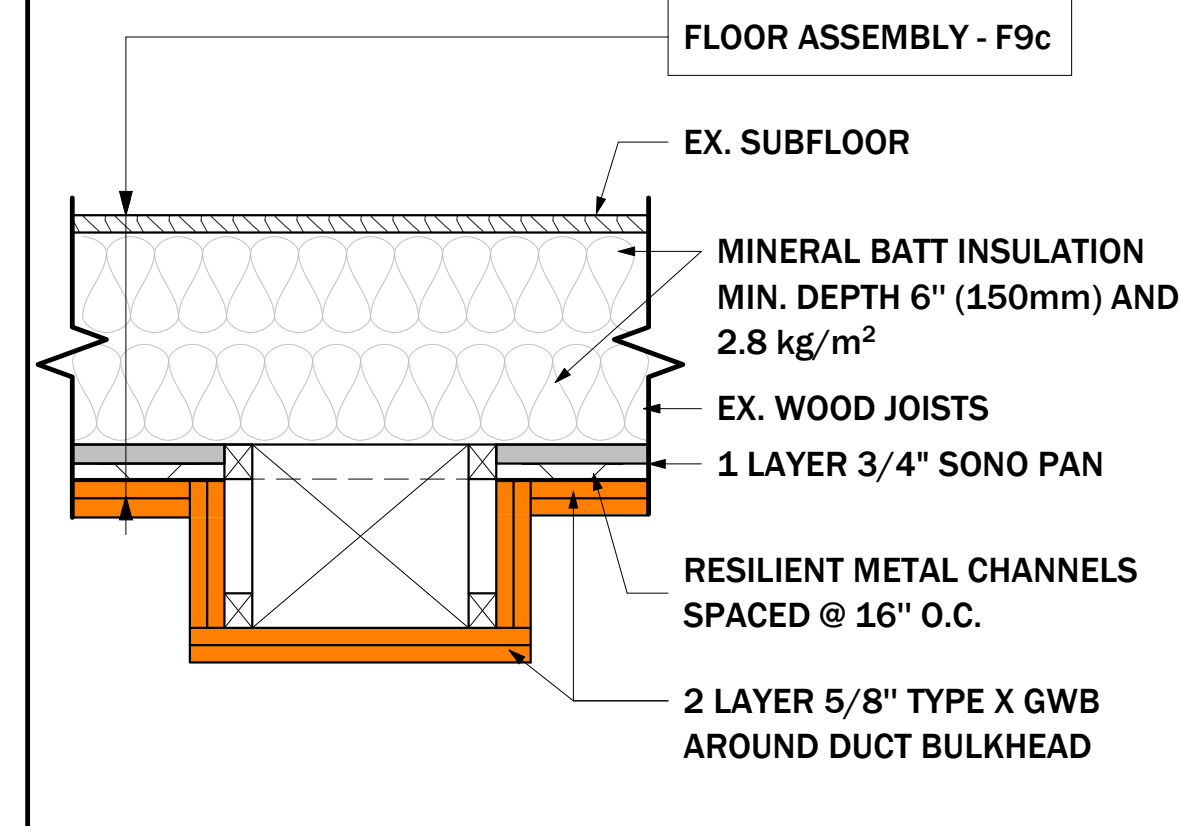
05 WOOD BEAM FIRE-RATED
 DROPPED



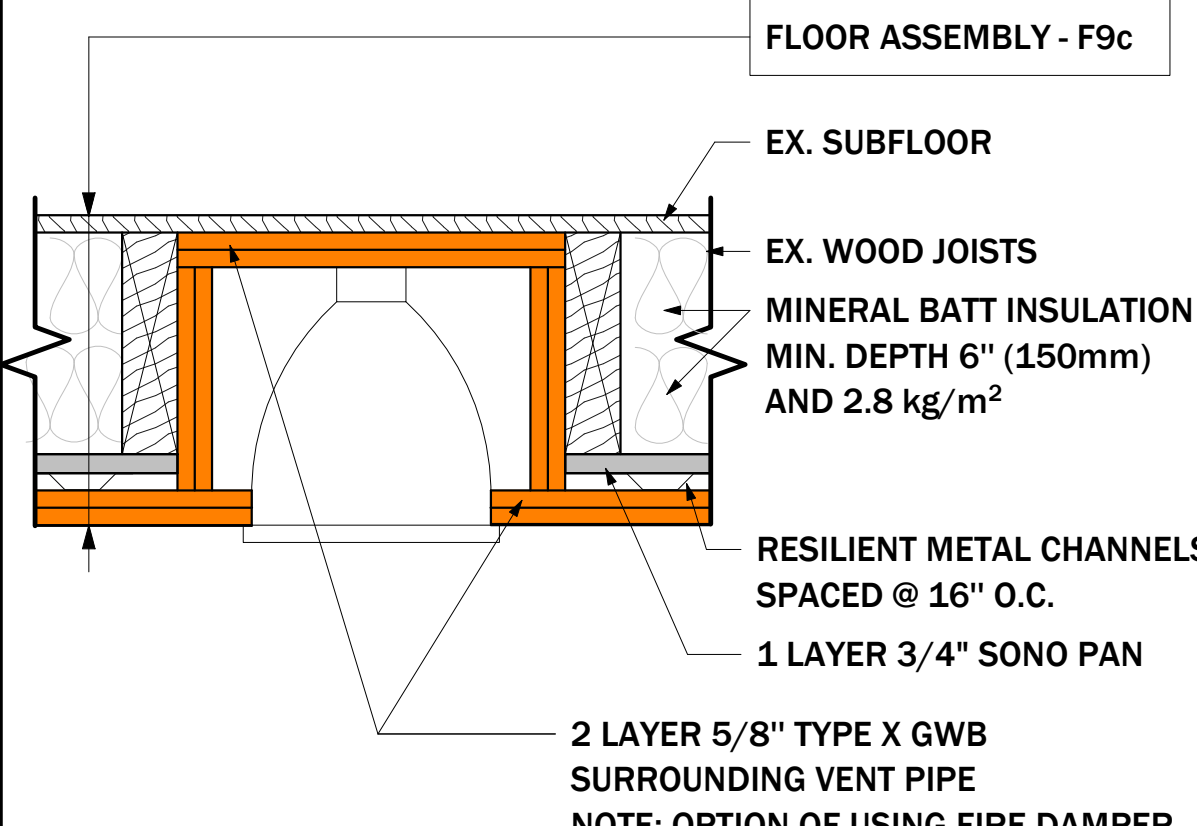
06 STEEL BEAM FIRE-RATED
 FLUSH



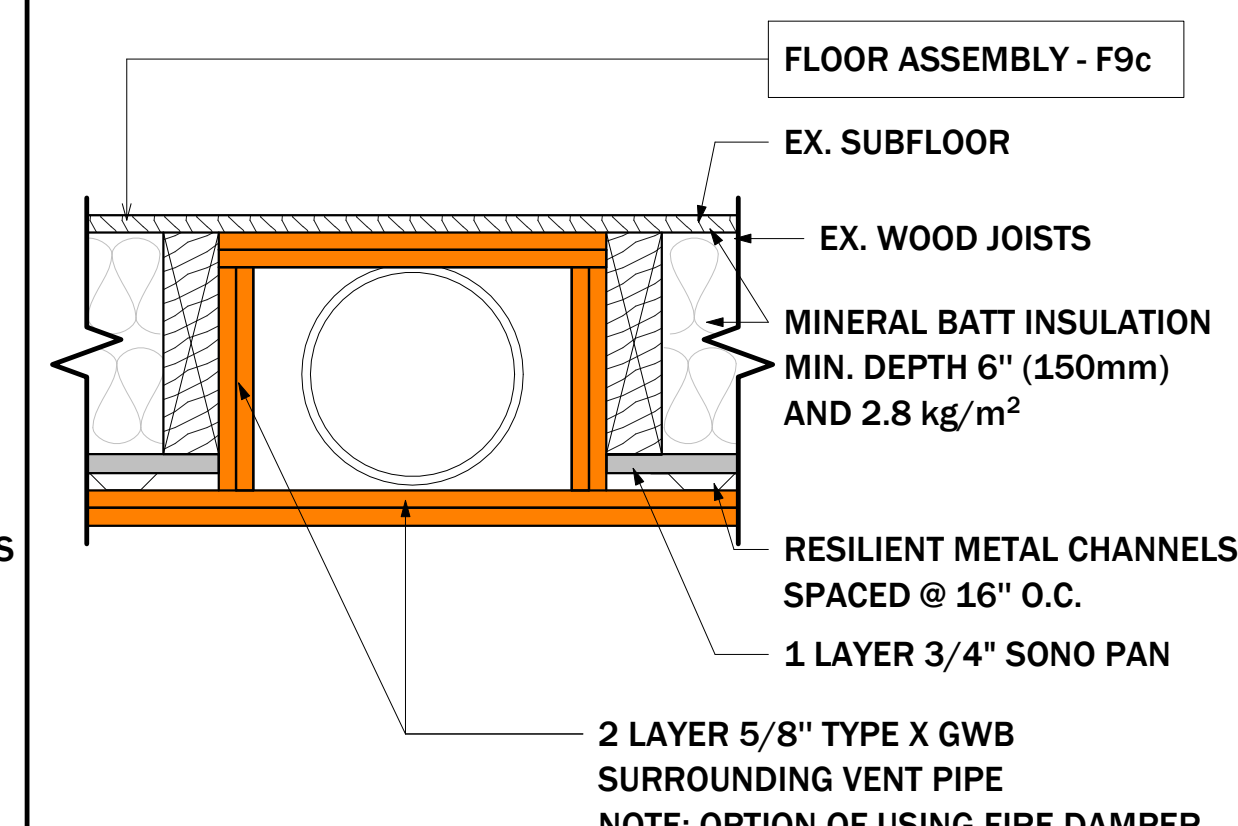
07 STEEL BEAM FIRE-RATED
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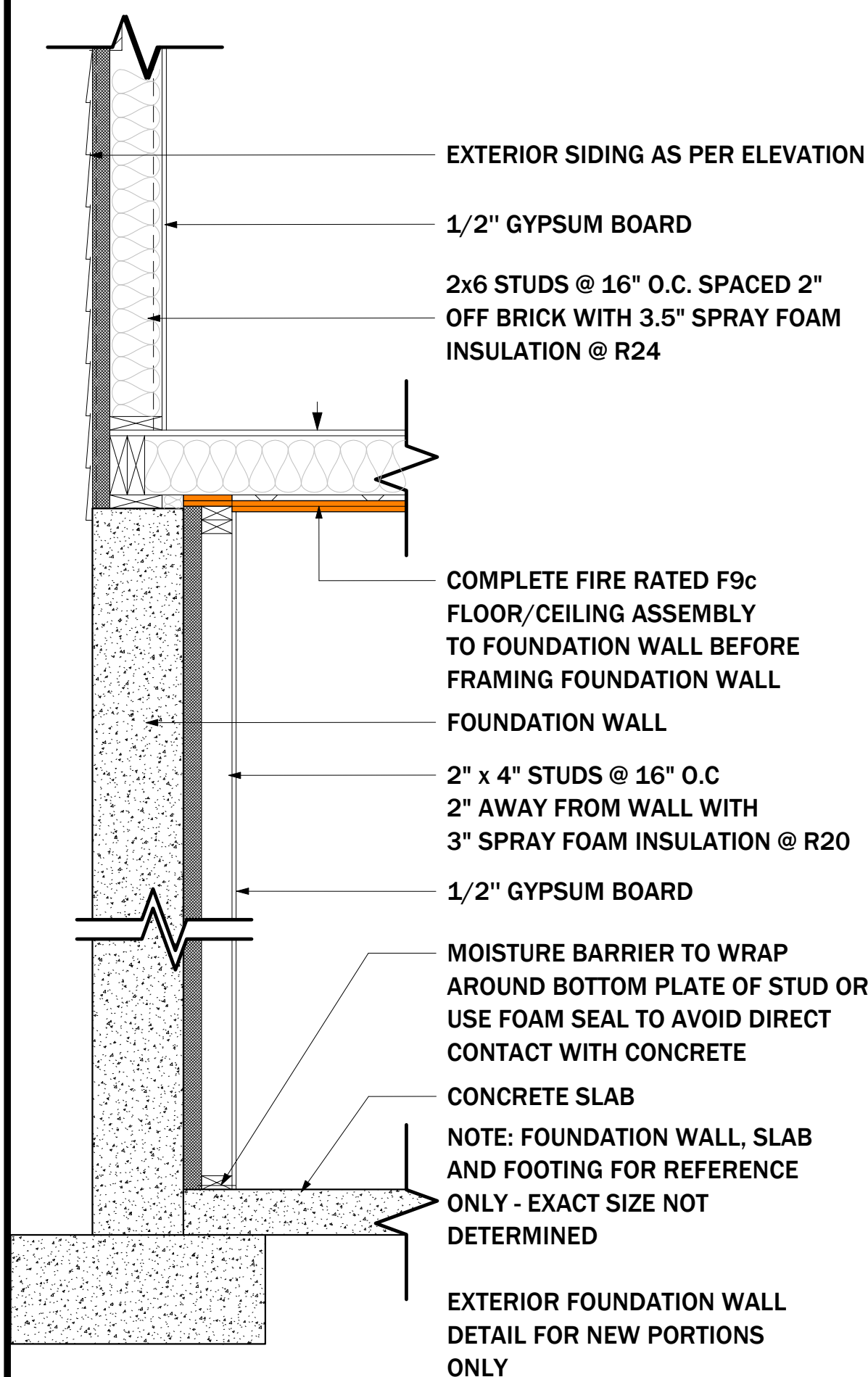
08 DUCTS FIRE-RATED



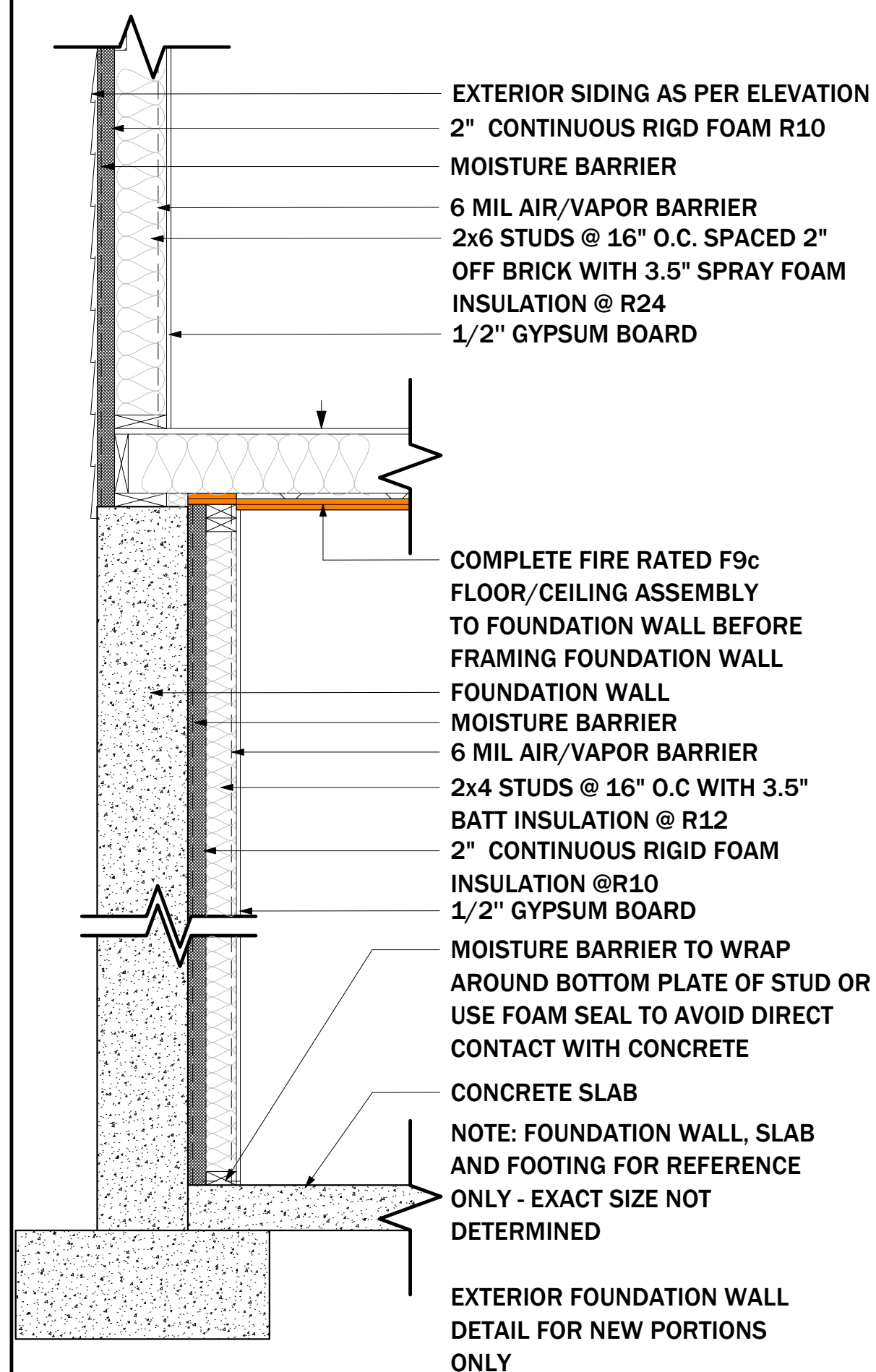
09 RECESSED LIGHTS FIRE-RATED



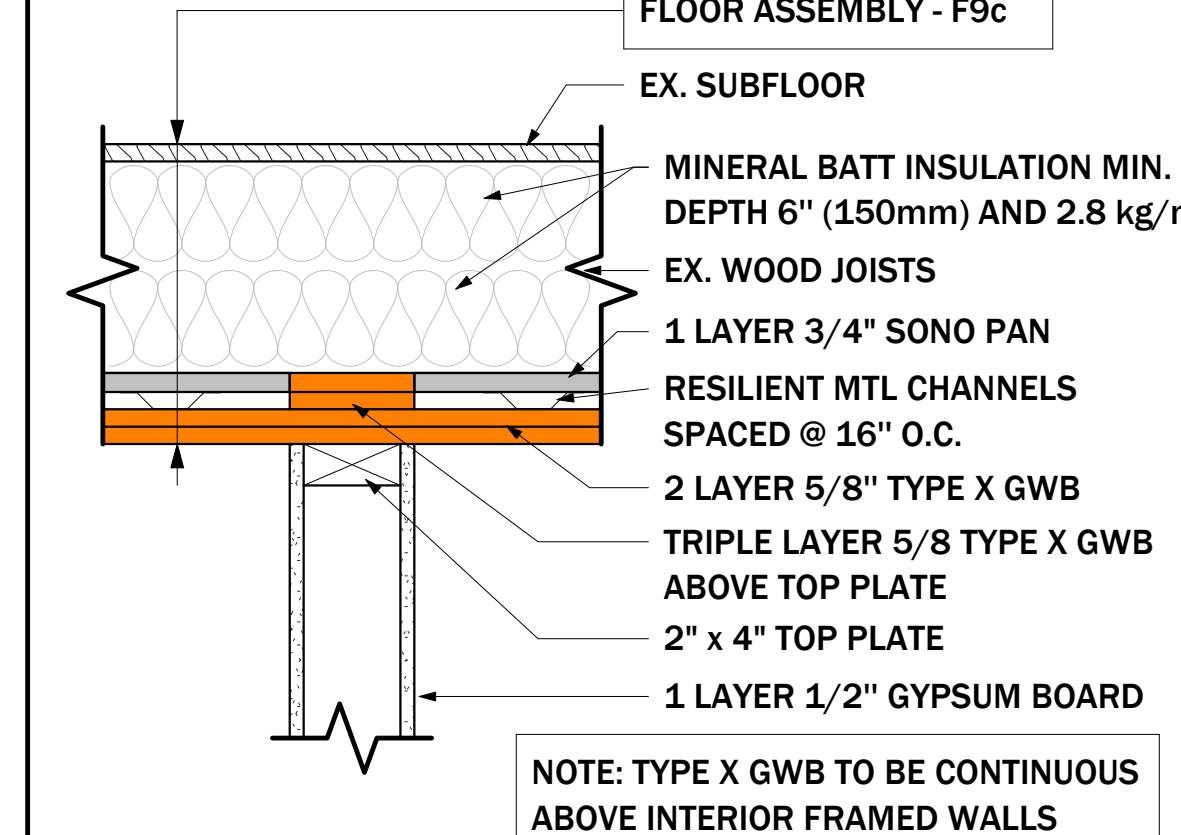
10 EXHAUST VENTS FIRE-RATED
 BATH FANS, CLOTHES DRYERS &
 KITCHEN EXHAUSTS



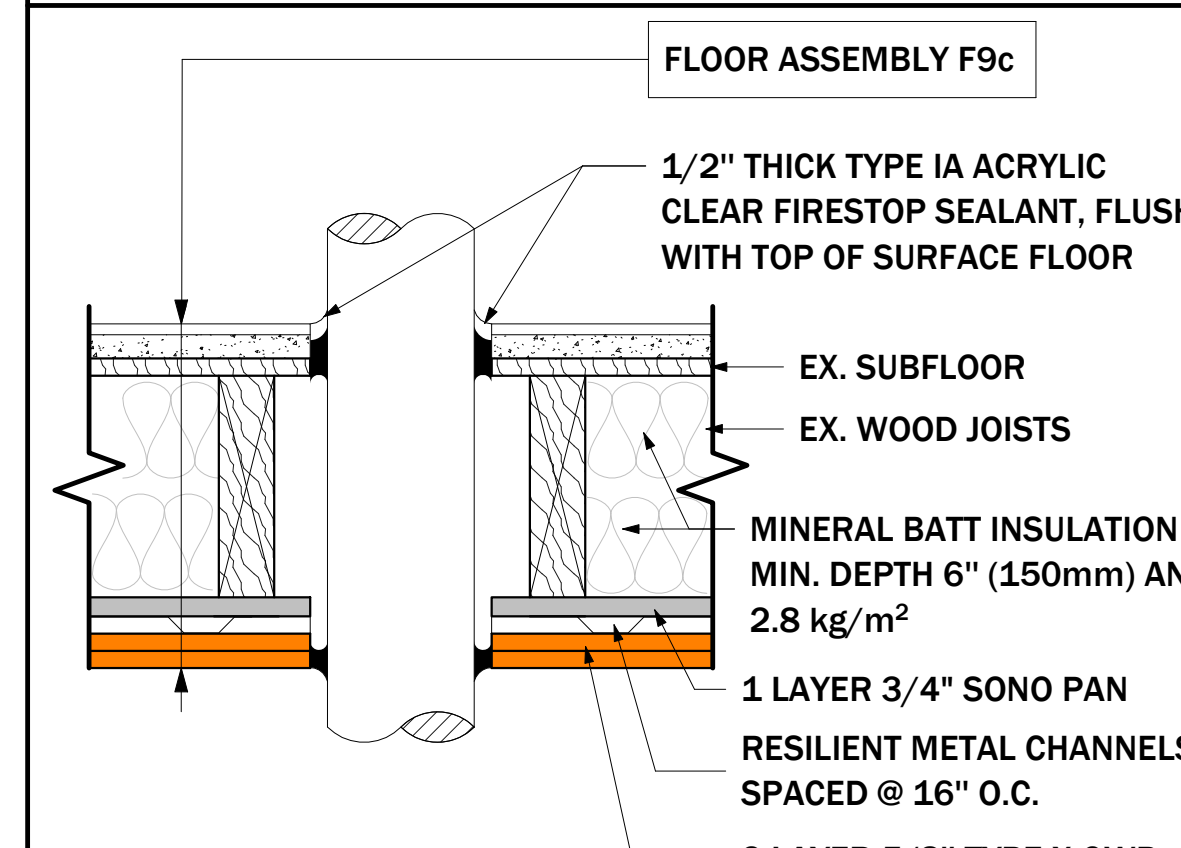
11 EXTERIOR WALL - OPTION 1
 SPRAY FOAM



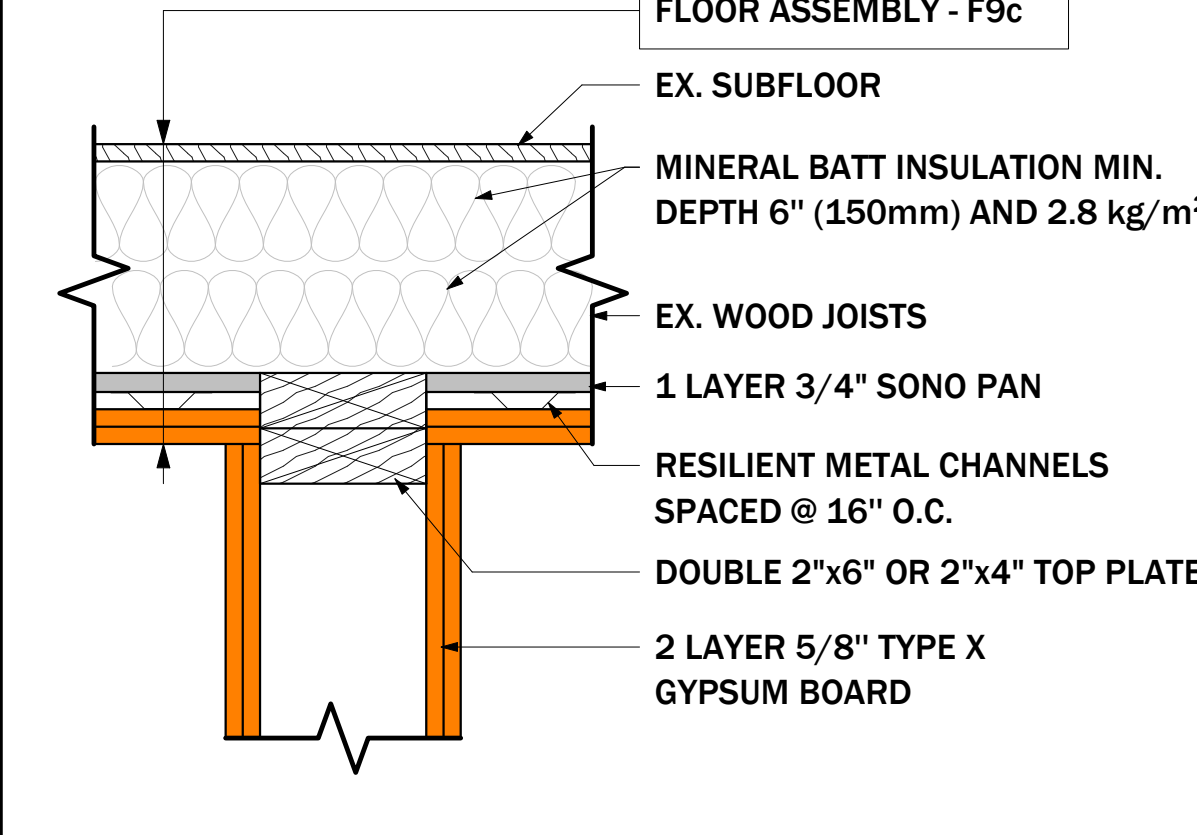
12 EXTERIOR WALL - OPTION 2
 BATT INSULATION



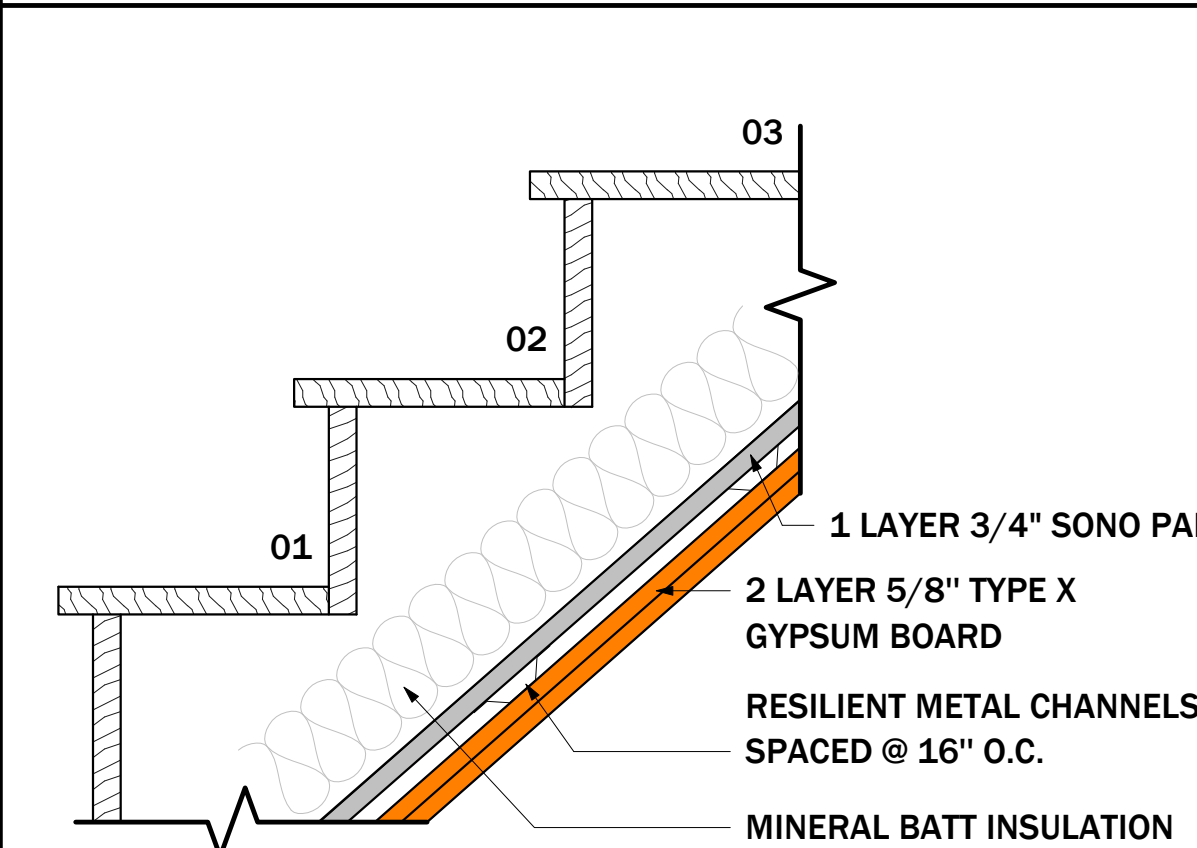
13 INTERIOR WALL - NON LOAD BEARING
 FIRE SEPARATION



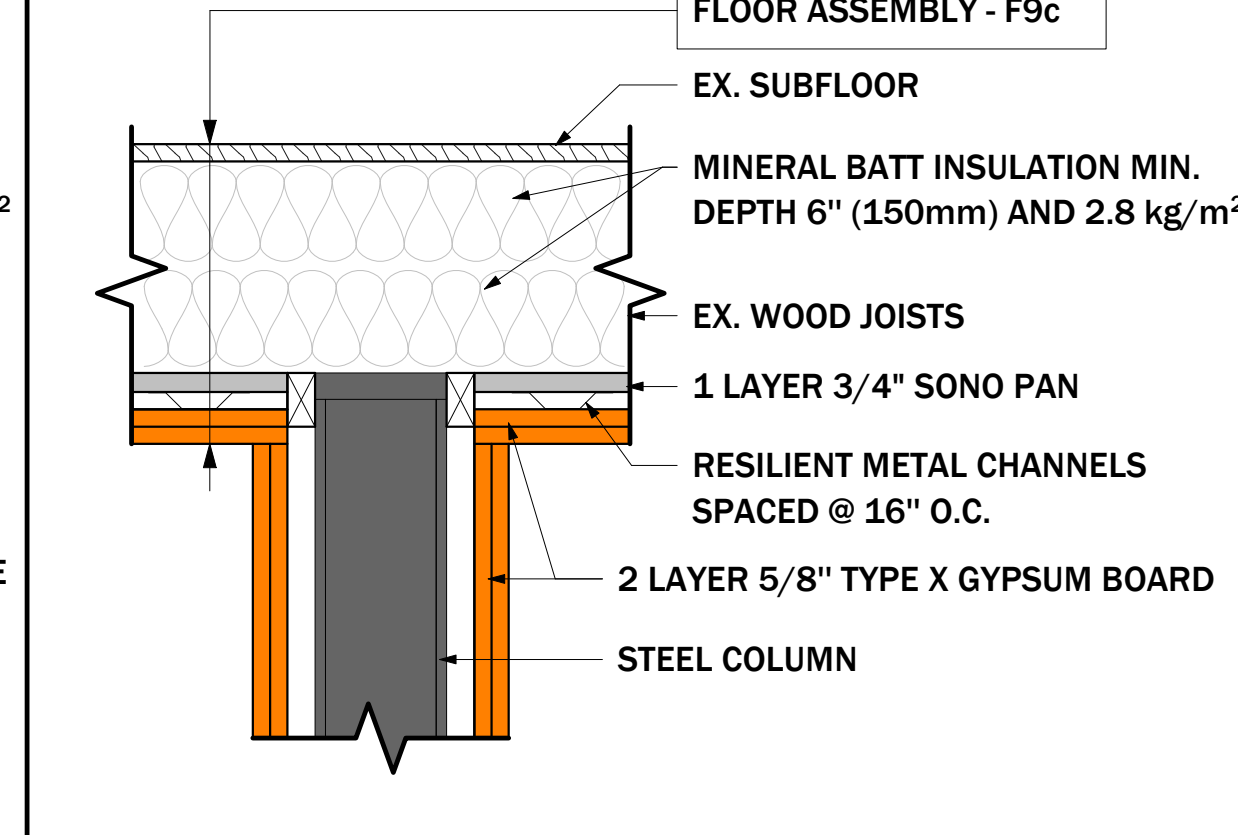
16 FIRESTOP DETAIL FLOOR PENETRATION
 SEE HILTI DETAILS



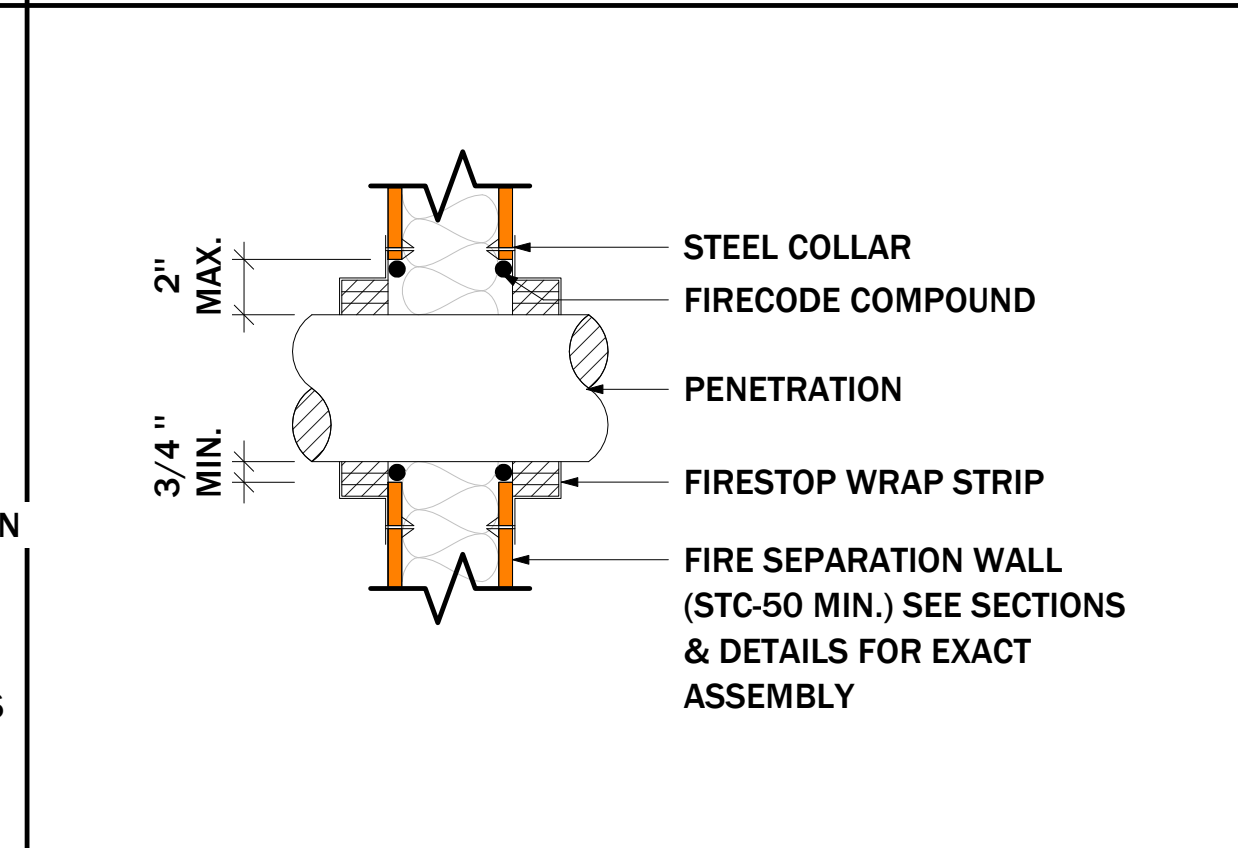
14 LOAD BEARING FIRE-RATED
 WALL AT CEILING DETAIL



17 FIRE-RATED STAIR



15 STRUCTURAL COLUMNS
 FIRE SEPARATION



18 FIRESTOP DETAIL WALL PENETRATION
 SEE HILTI DETAILS

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LEAD DESIGNER & CONSULTANT: KEN BERENDAM, B.A. BUSCON, L.T.
 979 MAIN ST. E. HAMILTON, ON

CELL PHONE: 905-961-0647
OFFICE PHONE: 905-546-4467

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ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:
FIRE SEPARATION DETAILS-2

PROJECT NO. 23-18 DATE: 06/13/23
 SCALE: As indicated REVISION:
 DRAWN BY: Author REVIEWED BY: Checker
 SHEET NO.

A4.04

FIREOXX SHUTTER

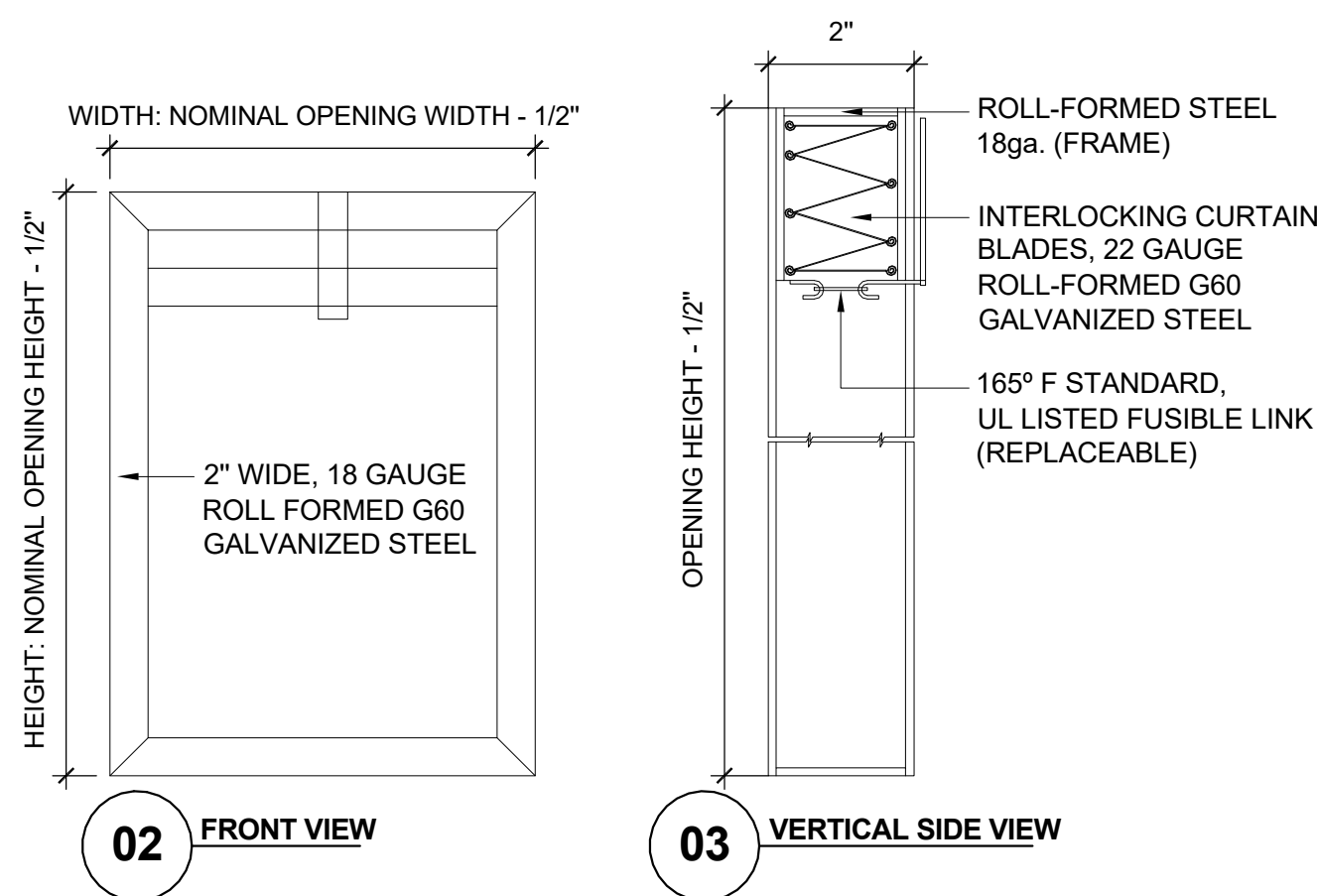
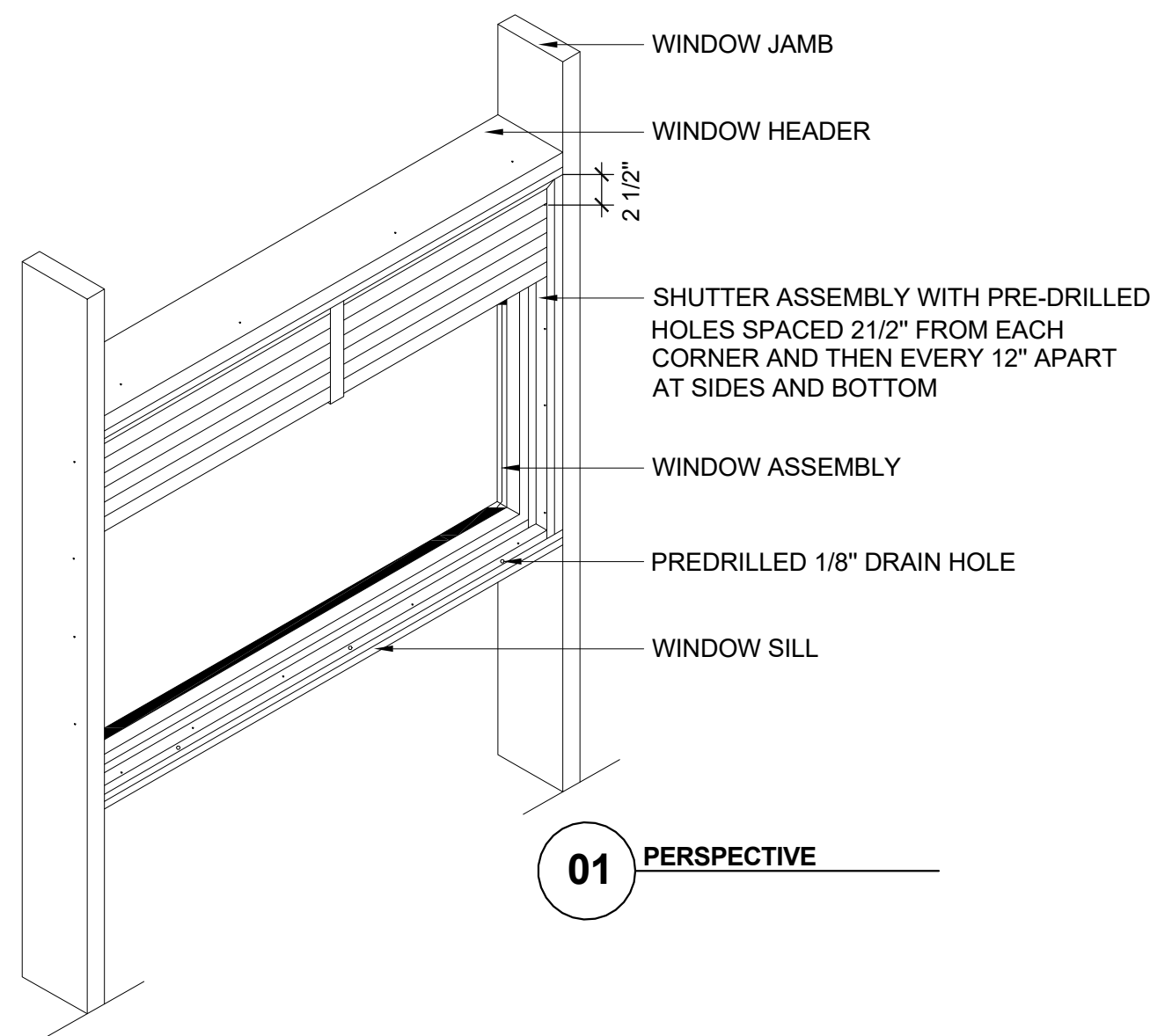
WARNOCK HERSEY

LISTED 20 MINUTE

RATED FIRE SHUTTER

MEETS CAN/ULC

S104-10



EXTERIOR JAMB MOUNTED FIRE SHUTTER INSTALLATION INSTRUCTIONS

SHUTTER SIZES TO A MAXIMUM OF 42" WIDE AND 60" HIGH
SHUTTER TO BE MOUNTED TO BRICK JAMB OR EQUIVALENT NON-COMBUSTIBLE SURFACE

1. PREPARE AND CLEAN THE EXTERIOR SIDE OF THE WINDOW OPENING.
2. PLACE FIRE SHUTTER WITH CORNER BRACKETS FACING THE WINDOW INTO THE WINDOW OPENING WITH A 1/4" SPACE FROM THE FACE OF THE WINDOW.
3. SHIM THE SHUTTER ASSEMBLY WITH A MINIMUM 1/4" GAP TO WINDOW OPENING AT BOTTOM AND SIDES. SHIM WHERE PRE-DRILLED HOLES ARE LOCATED TO PREVENT BENDING OF FRAME.
4. LOCATE PRE-DRILLED HOLES AT SIDES AND BOTTOM AND INSERT SCREWS AS REQUIRED TO SECURE SHUTTER ASSEMBLY. (SEE TABLE 1 FOR THE REQUIRED SCREWS).
5. TO INSTALL SCREWS AT TOP CORNER, CAREFULLY REMOVE THE FUSIBLE LINK HOLDING STRAP WITH ONE HAND AND HOLD BOTTOM OF CURTAIN BLADE WITH THE OTHER HAND ALLOWING CURTAIN TO DROP. INSTALL SCREWS AND RESET CURTAIN TO UPRIGHT POSITION AND RE-SET FUSIBLE LINK HOLDING STRAP.

USE CAUTION WHEN LOWERING CURTAIN BLADE

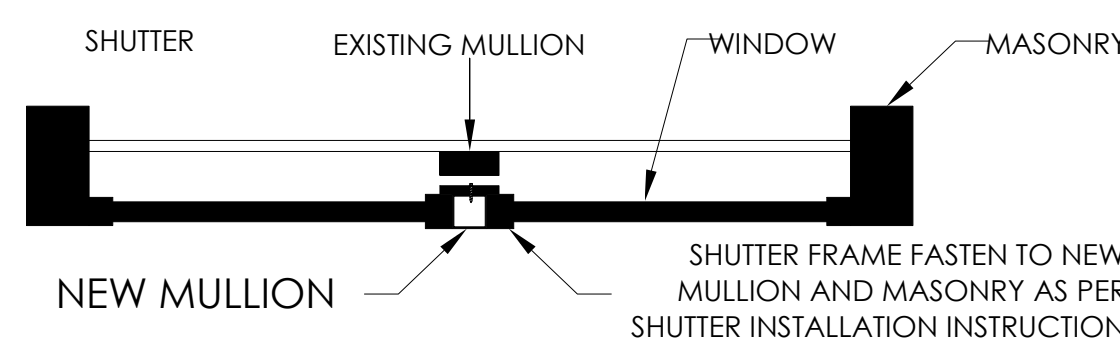
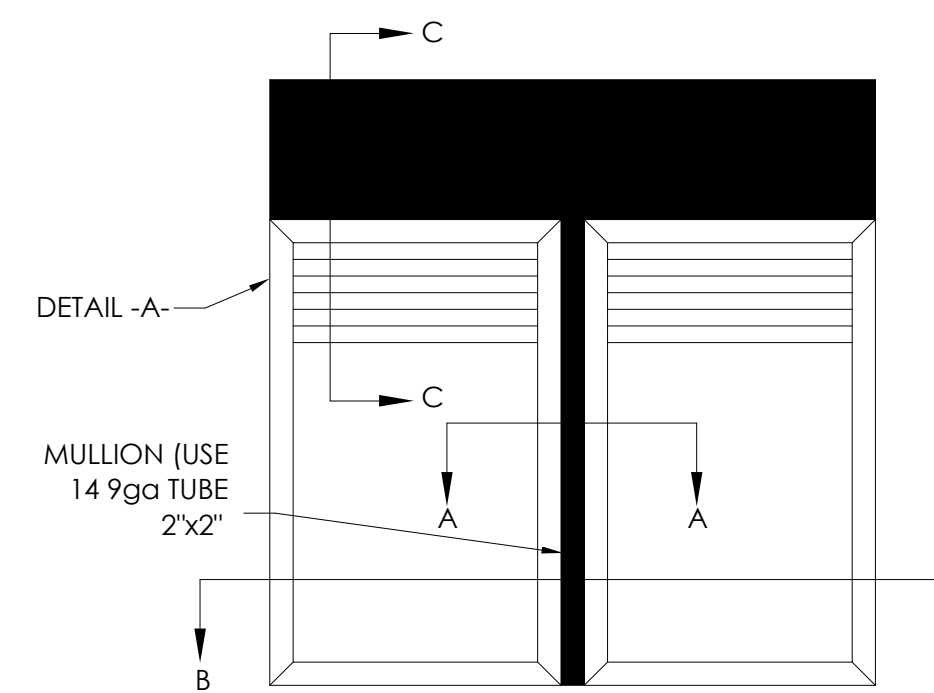
6. REMOVE ALL SHIMS AND TIGHTLY FILL GAPS WITH RATED MINERAL WOOL AND APPLY A GOOD QUALITY CAULKING, FILLING ALL GAPS BETWEEN THE FIRE SHUTTER AND MOUNTING SURFACE.
7. TEST DROP CURTAIN TO ENSURE IT WILL FREE FALL WITHOUT OBSTRUCTION.
8. RESET CURTAIN IN UPRIGHT POSITION AND SECURE WITH FUSIBLE LINK STRAPING.

NOTES:

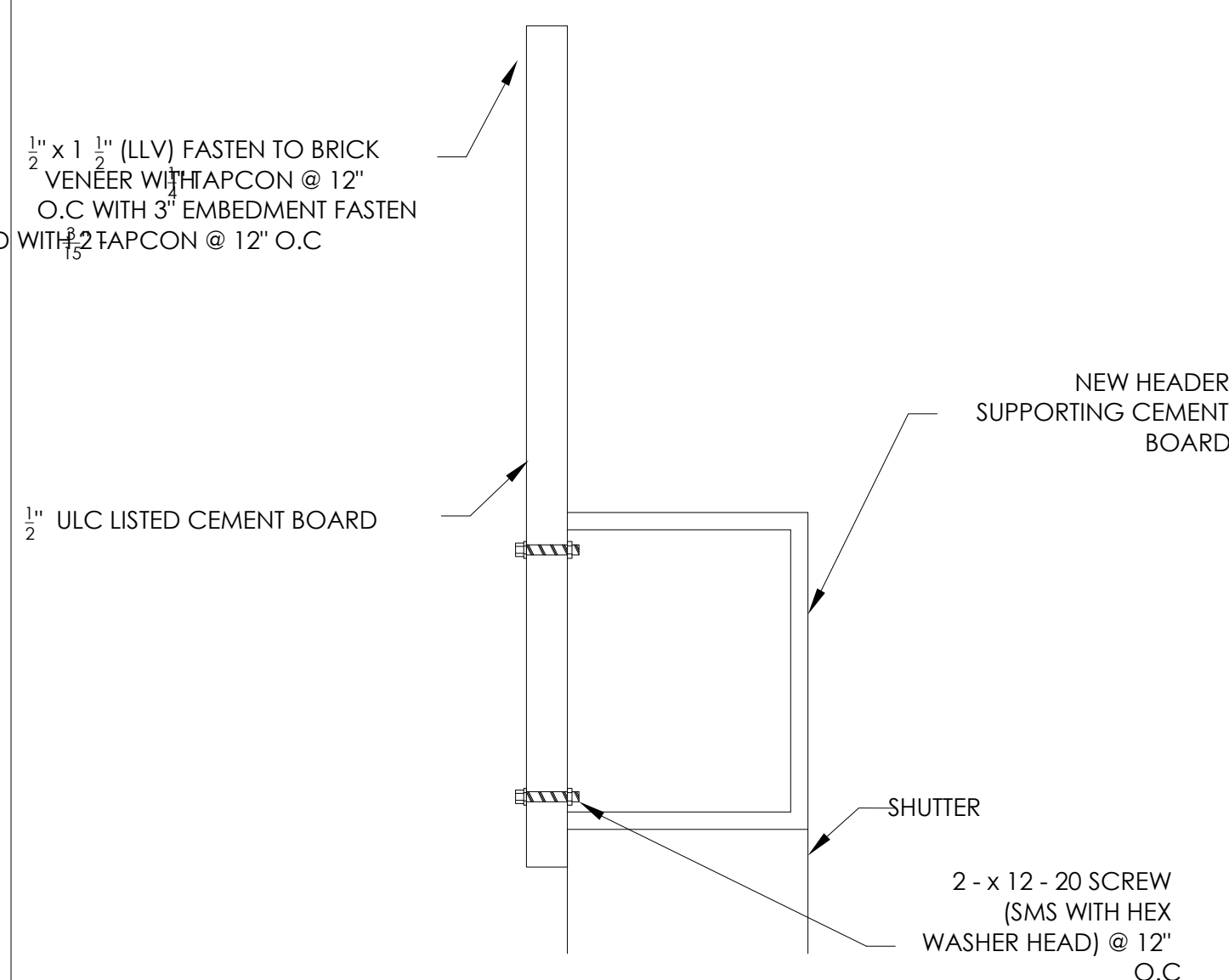
1. INSTALL IN ACCORDANCE WITH INSTRUCTIONS TO MAINTAIN APPROVED LISTING.

TABLE 01

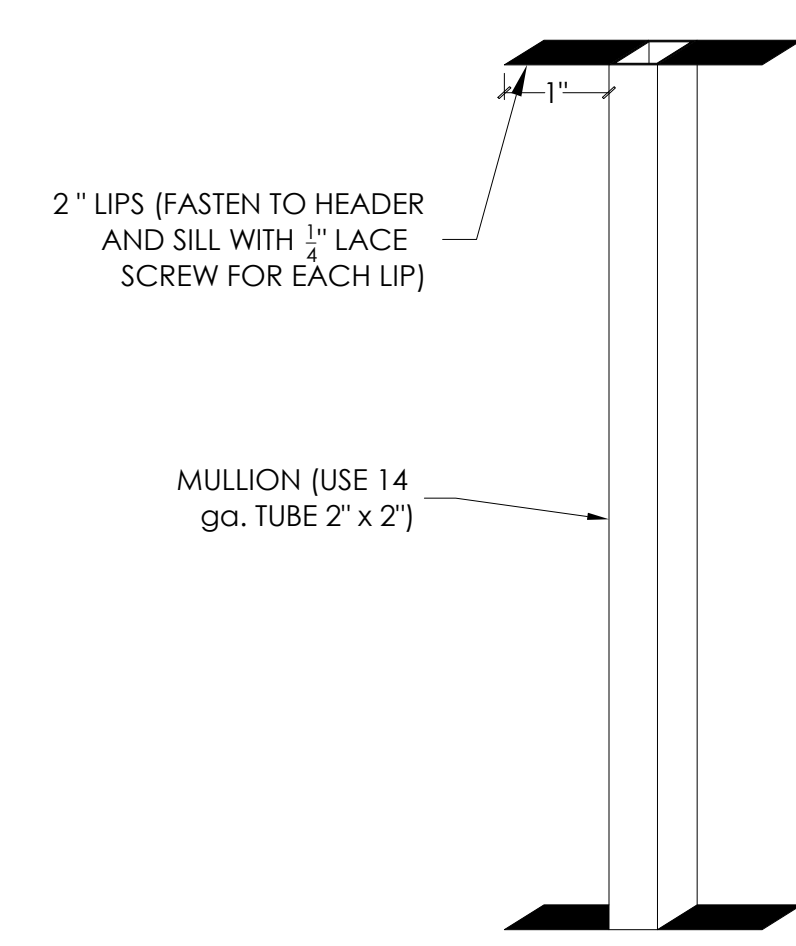
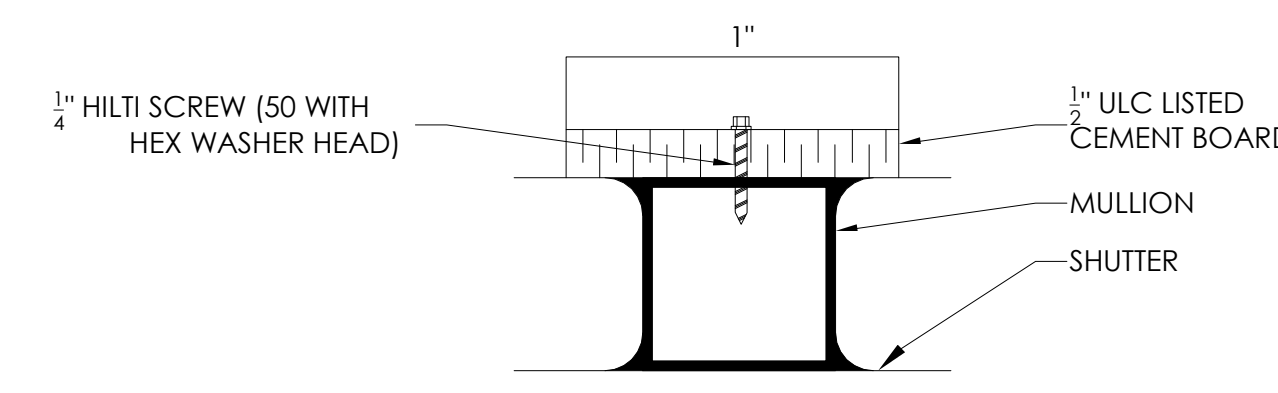
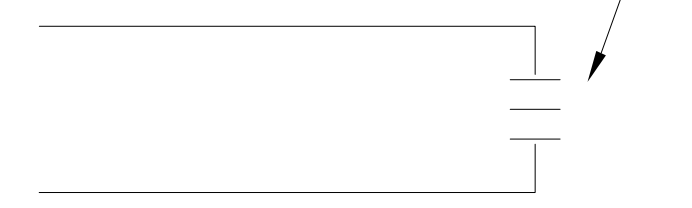
OPENING MATERIAL	MATERIAL	SCREW TYPE	SCREW HEAD TYPE	MIN. PENETRATION
CONCRETE	#8 DX-KWIK	OR EQUIVALENT	FLAT HEAD	1 1/2"
LIGHT GAUGE STEEL	#8 KWIK-PRO SELF DRILLING	OR EQUIVALENT	FLAT HEAD	1/2"
MASONRY	#8 DX-KWIK	OR EQUIVALENT	FLAT HEAD	1 1/2"
STEEL	#8 KWIK-PRO SELF DRILLING	OR EQUIVALENT	FLAT HEAD	1/2"
WOOD	#8 ROBERTSON SCREW	OR EQUIVALENT	FLAT HEAD	1 1/2"



CONTINUOUS 16 ga. ANGLE 2 1/2" x 1 1/2" (LV) FASTEN TO BRICK VENEER WITH TAPCON @ 12" O.C WITH 3" EMBEDMENT FASTEN TO CEMENT BOARD WITH TAPCON @ 12" O.C



TRIM THE STUD FLANGE BEND THE WEB AND THE FASTEN TO THE BRICK VENEER WITH 3 - 1/2" TAPCON WITH 2" EMBEDMENT



1 FIRE SHUTTER DETAILS
12" = 1'-0"

CITY ELECTRONIC STAMP:



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kenbekendam@gmail.com

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5. USE LATEST REVISED DRAWINGS.
6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)
8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

25 NORFOLK STREET SOUTH | HAMILTON, ON

SHEET NAME:

FIRE SHUTTER DETAILS

PROJECT NO. 23-18 DATE: 05/26/23

SCALE: 1/2" = 1'-0" REVISION:

DRAWN BY: DANIL0 MARTINELLI REVIEWED BY: KEN BEKENDAM

SHEET NO.

A4.05

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

1. To permit a finished floor elevation of any dwelling unit to be below grade to permit the two additional residential units in the basement whereas the zoning bylaw 11.1.1.1(i) requires 0.9m above grade
2. To permit two dwelling units to be permitted in a basement or a cellar whereas zoning bylaw 11.1.1.1(i)1 permits only one dwelling unit in a basement or cellar.
3. To permit 1 parking space to be between the building façade and the front lot line whereas zoning bylaw 11.1.3(g)vi permits no parking between the building façade and the front lot line.
4. To permit principal entrances that do not face the street or are accessible from the front building façade and have no direct access from the public sidewalk whereas zoning bylaw 11.1.3(g)vii requires all principal entrances shall face the street and be accessible from the building façade with direct access from the public sidewalk.
5. To permit a parking space 0.0m in front of the street line whereas the zoning bylaw section 5.1 requires 3.0m
6. To permit an aisle width of 0m whereas zoning bylaw section 5.1 requires 6m



Hamilton

October 23, 2023

FILE: ALR
FOLDER: 23-135581-02 ALR
ATTENTION OF: Alyssa Vaccari
TELEPHONE NO: (905) 546-2424
EXTENSION: 2356-

Chris Houghton
979 MAIN STREET E
HAMILTON, ON L8M 1N2

Attention:

Re: APPLICABLE LAW REVIEW – ZONING BYLAW
Present Zoning: TOC1
Address: 25 NORFOLK ST S HAMILTON, ON

An Applicable Law Review respecting zoning bylaw compliance has been completed and the following comments are provided.

COMMENTS:

1. The applicant is proposing to convert an existing single detached dwelling into a multiple dwelling containing five (5) dwelling units. A second storey addition above the existing attached garage is proposed to accommodate the proposed use.
2. The proposed use of a multiple dwelling is permitted in the current “TOC1” Transit Oriented Corridor Mixed Use Medium Density Zone in the Hamilton Zoning By-law 05-200.
3. Existing shed to remain and no changes are proposed. Therefore the review has been conducted for the principle dwelling.
4. Construction of the proposed multiple dwelling is subject to the issuance of a building permit in the normal manner.
5. The proposed development has been reviewed and compared to the standards of the “TOC1” Zone as indicated in the following chart:

**TOC1 Zone – Transit Oriented Corridor Mixed Use Medium
Density**
(Section 11.1 of Hamilton Zoning By-law 05-200)

	Required By By-Law	Provided	Conforming/ Non-Conforming
Section 11.1.1.1– Restricted Uses			
Restriction of Uses within a Building [as per section 11.1.1.1(i) of Hamilton Zoning By-law 05-200]	<p>1. The finished floor elevation of any dwelling unit shall be a minimum of 0.9m above grade; and</p> <p>2. Notwithstanding Subsection 11.1.1.1(i)1. above, one dwelling unit(s) shall be permitted in a basement or cellar.</p>	<p>Units 1, 3 and 5 are located 0.9m above grade.</p> <p>2 units finished floor elevation is below grade.</p> <p>2 units are proposed within the basement/cellar</p>	<p>Conforms</p> <p>Non-conforming</p> <p>Non-conforming</p>
Section 11.1.3– TOC1 Requirements			
Building Setback from a Street Line [as per section 11.1.3(a) of Hamilton Zoning By-law 05-200]	<p>i) Minimum 3.0 metres for a building with residential units on the ground floor facing a street,</p> <p>ii) Maximum 4.5 metres, except where a visibility triangle is required for a driveway access.</p> <p>iii) Notwithstanding Section i) above, a minimum setback of 6.0 metres for that portion of a building providing an access driveway to a garage.</p> <p>iv) Section i) above, shall not apply for any portion of a building that exceeds the requirement established in Section 11.1.3 g) ii) and iii) below.</p>	<p>6.05m (existing)</p> <p>Existing 6.05m</p> <p>Please note</p>	<p>Conforms</p> <p>Existing condition</p>
Minimum Rear Yard [as per section 11.1.3(b) of Hamilton Zoning By-law 05-200]	7.5 metres;	9.35m (existing)	Conforms
Minimum Interior Side Yard [as per section 11.1.3(c) of Hamilton Zoning By-law 05-200]	i) 7.5 metres abutting a Single Detached Dwelling, Semi-Detached Dwelling and Street Townhouse.	Existing 1.26m	Conforms (Policy ZON-041)
Building Height [as per section 11.1.3(d) of Hamilton Zoning By-law 05-200]	<p>i) Minimum 11.0 metres; and,</p> <p>ii) Maximum 22.0 metres.</p> <p>iii) In addition to Subsection i) and notwithstanding Subsection ii), the minimum building height may be equivalently increased as the yard increases beyond the minimum yard requirement established in</p>	<p>7.37m</p> <p>7.37m</p>	<p>Conforms as per Section 4.12 e)</p> <p>Conforms</p>

	Required By By-Law	Provided	Conforming/ Non-Conforming
	<p>Subsection 11.1.3. b) and c), when abutting a Residential or Institutional Zone, to a maximum of 22.0 metres.</p> <p>iv) In addition to the definition of Building Height, any wholly enclosed or partially enclosed amenity area, or any portion of a building designed to provide access to a rooftop amenity area shall be permitted to project above the uppermost point of the building, subject to the following regulations:</p> <p>A. The total floor area of the wholly enclosed or partially enclosed structure belonging to an amenity area, or portion of a building designed to provide access to a rooftop amenity area shall not exceed 10% of the floor area of the storey directly beneath;</p> <p>B. The wholly enclosed or partially enclosed amenity area, or portion of a building designed to provide access to a rooftop amenity area shall be setback a minimum of 3.0 metres from the exterior walls of the storey directly beneath; and,</p> <p>C. The wholly enclosed or partially enclosed amenity area, or portion of a building designed to provide access to a rooftop amenity area shall not be greater than 3.0 metres in vertical distance from the uppermost point of the building to the uppermost point of the rooftop enclosure.</p>	Not proposed	N/A

	Required By By-Law	Provided	Conforming/ Non-Conforming
<p>Built Form for New Development [as per section 11.1.3(g) of Hamilton Zoning By-law 05-200]</p>	<p>In the case of buildings constructed after the effective date of this By-law excluding any alterations to façade, windows or doors, after the effective date of this by-law:</p> <p>i) Rooftop mechanical equipment shall be located and/or screened from view of any abutting street.</p> <p>ii) For an interior lot or a through lot the minimum width of the ground floor façade facing the front lot line shall be greater than or equal to 75% of the measurement of the front lot line.</p> <p>v) Notwithstanding ii) and iii) above, a maximum of one driveway with a maximum width of 6.0 metres shall be permitted for ingress and egress.</p> <p>vi) No parking, stacking lanes, or aisles shall be located between the required building façade and the front lot line or flankage lot line.</p> <p>vii) All principal entrances shall face the street and be accessible from the building façade with direct access from the public sidewalk.</p> <p>viii) Notwithstanding the definition of planting strip, a sidewalk shall be permitted where required by Section vi) above.</p> <p>ix) Notwithstanding Subsection 11.1.3, for properties designated under the Ontario Heritage Act, any alternative building design or building materials approved through the issuance of a Heritage Permit shall be deemed to comply with this Subsection.</p>	<p>Not proposed</p> <p>Existing front façade, addition in the rear</p> <p>One 6.0m driveway</p> <p>Parking space is located partially between building façade and front lot line</p> <p>Not all principal entrances are facing the street or accessible from the building façade and have direct access from the public sidewalk</p> <p>Please note</p> <p>Please note</p>	<p>N/A</p> <p>Existing condition</p> <p>Conforms</p> <p>Non-conforming</p> <p>Non-conforming</p>

	Required By By-Law	Provided	Conforming/ Non-Conforming
Minimum Amenity Area for Dwelling Units and Multiple Dwellings [as per section 11.1.3(h) of Hamilton Zoning By-law 05-200]	<p>On a lot containing more than 10 dwelling units, the following Minimum Amenity Area requirements shall be provided:</p> <p>i) An area of 4.0 square metres for each dwelling unit less than 50 square metres;</p> <p>ii) An area of 6.0 square metres for each dwelling unit more than 50 square metres;</p> <p>iii) In addition to the definition of Amenity Area, an Amenity Area located outdoors shall be unobstructed and shall be at or above the surface, and exposed to light and air and may include balconies and patios; and,</p> <p>iv) In addition to the definition of Amenity Area, the required Amenity Area shall be provided exclusively for the residential component and shall be functionally separated from public areas associated with any commercial component.</p>	5 dwelling units proposed, not applicable	N/A
Visual Barrier [as per section 11.1.3(i) of Hamilton Zoning By-law 05-200]	<p>i) A visual barrier shall be required along any lot line abutting a Downtown D5 Zone, Institutional Zone or Residential Zone in accordance with the requirements of Section 4.19 of this Bylaw.</p> <p>ii) Notwithstanding i) above, no visual barrier(s) shall be permitted between the building façade and the street.</p>	Abutting a TOC1 zone on all sides	N/A
Outdoor Storage [as per section 11.1.3(j) of Hamilton Zoning By-law 05-200]	<p>i) No outdoor storage of goods, materials, or equipment shall be permitted.</p> <p>ii) Notwithstanding Section i) above, the display of goods or materials for retail purposes accessory to a retail use shall only be permitted in a front yard or flankage yard.</p>	Not proposed	N/A
Section 4 – General Provisions			
<i>(In accordance with the applicable regulations of Section 4 in the Hamilton Zoning By-law 05-200)</i>			
Permitted Yard Encroachments	a) The usual projections of window sills, chimney breasts, belt courses,	Side and rear yard: 0.3m	Conforms

	Required By By-Law	Provided	Conforming/ Non-Conforming
<p>[as per section 4.6 of Hamilton Zoning By-law 05-200]</p>	<p>cornices, eaves, troughs and other similar architectural features, ductwork, venting and other similar appurtenances may be permitted in any required yard, provided that no such feature shall project more than 0.6 metres into the required yard, or to a maximum of half the distance of the required yard, whichever is the lesser;</p>		
	<p>b) A fire escape or exterior staircase may encroach into a required side or rear yard to a maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser;</p>	<p>Not located within the side yard</p>	<p>Conforms</p>
	<p>c) An unenclosed ramp for wheelchair access may encroach into any required yard to no maximum distance;</p>	<p>1.49m into required rear yard</p>	<p>Conforms</p>
	<p>d) A porch, deck or canopy may encroach into any required yard to a maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser;</p>	<p>Please note</p>	
	<p>e) A balcony may encroach into any required yard to a maximum of 1.0 metres, except into a required side yard of not more than one-third of its width or 1.0 metres, whichever is the lesser; and,</p>	<p>Front porch is not located within the required front yard.</p>	<p>Conforms</p>
	<p>f) A bay window or alcove, without foundation, may encroach into any required yard to a maximum of 0.6 metres, or half the distance of the required yard, whichever is the lesser. No such feature shall have a width greater than 3.0 metres.</p>	<p>Not located within the side yard</p>	<p>Conforms</p>
	<p>g) An existing building may encroach, or further encroach, into a</p>	<p>0.71m into required rear yard</p>	<p>Conforms</p>

	Required By By-Law	Provided	Conforming/ Non-Conforming
	required yard to a maximum of 0.15 metres for the purpose of recladding the building	Not proposed Does not appear to be proposed	Appears to N/A
Mechanical and Unitary Equipment [as per section 4.9 of Hamilton Zoning By-law 05-200]	Hot boxes, air conditioners and pumps (including heat pumps and swimming pool pumps) and other similar mechanical equipment shall be located only in accordance with the following regulations: a) Within a required front yard, provided such equipment shall have a minimum setback of 3.0 metres from the street line, a minimum setback of 0.6 metres from a side lot line and is screened from the street by an enclosure or landscaping; and, b) Within a required side yard or required rear yard provided such equipment has a minimum setback of 0.6 metres from the side lot line or rear lot line.	Mechanical room proposed within the building	Conforms
Section 5– Parking Provisions <i>(In accordance with the applicable regulations of Section 5 in the Hamilton Zoning By-law 05-200)</i>			
Location [as per section 5.1 of Hamilton Zoning By-law 05-200]	a) All Uses i) Required parking facilities shall be located on the same lot as the use requiring the parking. d) Multiple Dwellings On a lot containing a multiple dwelling: i) With the exception of any visitor parking required by Section 5.6, required parking for multiple dwellings shall not be located between the façade and the front lot line or between the façade and flankage lot line. In no case shall any parking be located within the required front yard or required flankage yard or within 3.0 metres of a street line. ii) Visitor parking may be permitted	Locate don the lot Located between the building façade and front lot line. One parking space is located closer than 3m to the street line	Conforms Non-conforming

	Required By By-Law	Provided	Conforming/ Non-Conforming
	between the façade and a street provided that no more than 50% of the front yard shall be used for visitor parking and access to such parking.	Visitor parking is not proposed	N/A
Design Standards [as per section 5.1 of Hamilton Zoning By-law 05-200]	b) Unless permitted by another regulation in this By-law, parking space sizes shall be: i) Minimum 2.8 metres in width and 5.8 metres in length;	2.8m x 5.8m	Conforms
	c) All required parking shall be provided as follows: i) With adequate means of ingress and egress to and from the street or laneway without the necessity of moving any other motor vehicle, except that the accessibility to a maximum of one of the required parking spaces for a single detached dwelling may be obstructed by another motor vehicle.	Adequate means of ingress and egress is provided to and from the street without the necessity of moving another vehicle	Conforms
	ii) Shall be arranged so as to not interfere with normal public use of the street or laneway;	Does not appear to interfere	Appears to conform
	iii) Shall be accessed by means of an access driveway: 1. Located on the lot; or, 2. Located party on the lot in the case of a mutual driveway; or, 3. By means of a Right-of-Way.	Located on the driveway/right of way	NOTE: confirmation for transportation may be required
e) i) Parking Spaces, Driveways and Widening(s) in All Zones a) Shall be provided and maintained with stable surfaces such as asphalt, concrete or other hard-surfaced material, crushed stone, permeable pavers or gravel, and shall be maintained in a dust free condition.	Appears to be existing stable surface (asphalt) driveway	Conforms	

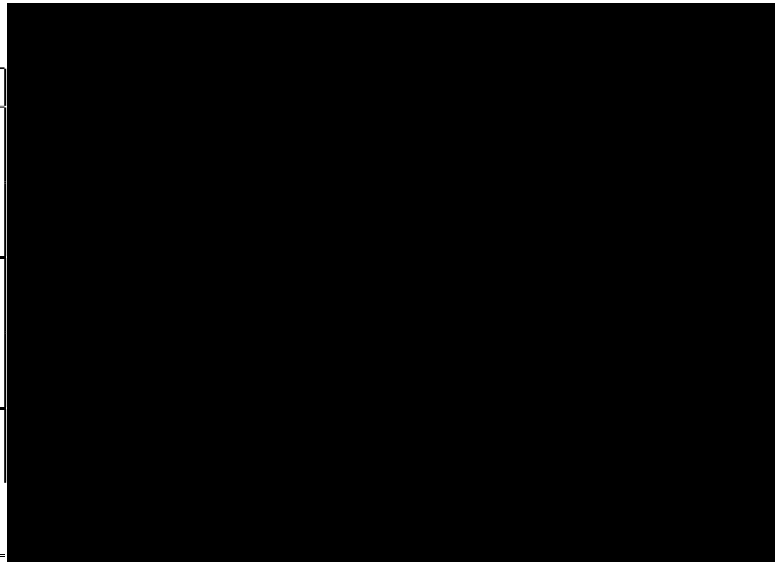
	Required By By-Law	Provided	Conforming/ Non-Conforming
	i) Aisle width: 90° = 6.0m	6m	Appears to conform Conforms
Parking Schedule [as per section 5.6 c) of Hamilton Zoning By-law 05-200]	<p>Multiple Dwelling (Commercial and Mixed Use (C5) Zone and all Transit Oriented Corridor Zones):</p> <p>i) Dwelling units less than 50m² in gross floor area: min 0.3 per unit/ max 1.25 per unit</p> <p>ii) Dwelling units greater than 50m² in gross floor area: 1-14 units – min 0.7 per unit/max 1.25 per unit</p> <p>Calculation:</p> <p>Unit 2 (below 50m²) – 0.3 min . 1.25 max</p> <p>Unit 1, 3, 4 and 5 (above 50m²) – 0.7 x 4 = 2.8 = 2 min 1.25 x 4 = 5 max</p> <p>Total Minimum Required: 2 parking spaces</p> <p>Total Maximum: 6.25 parking spaces</p>	2 parking spaces provided	Conforms
Bicycle Parking [as per section 5.7 of Hamilton Zoning By-law 05-200]	<p>a) Locational Requirements</p> <p>i) Long-term Bicycle Parking Space shall be located in a secure enclosed bicycle parking area.</p> <p>ii) Short-term Bicycle Parking Space shall be located within a bicycle parking area at grade</p> <p>c) In the Downtown (D1), (D2) and (D5) Zones, Transit Oriented</p>	Bicycle parking is not proposed	Non-conforming

	Required By By-Law	Provided	Conforming/ Non-Conforming
	<p>Corridor Zones and Commercial and Mixed Use Zones short-term bicycle parking shall be provided in each and every building in the minimum quantity specified in accordance with the following requirements:</p> <p>Multiple Dwelling: 5 short term spaces</p> <p>e) Notwithstanding Section b) and in addition to c) above, in the Downtown (D1), (D2), and (D5) Zones, Transit Oriented Corridor Zones long-term bicycle parking shall be provided in the minimum quantity specified in accordance with the following requirements:</p> <p>Multiple Dwelling: 0.5 per dwelling unit</p> <p>f) Notwithstanding Sections c) and e) above, for any use within a the Downtown (D1), (D2) and (D5) Zones, Transit Oriented Corridor Zones or the Commercial and Mixed Use Zones located in all or part of a building existing on the effective date of this By-law, no bicycle parking spaces are required, provided that the number of bicycle parking spaces which existed on the effective date of this By-law shall continue to be provided and maintained except a use shall not be required to provide additional bicycle parking beyond that which is required by Section c) and e) of this Where an addition, alteration or expansion of an existing building is proposed, the bicycle parking requirements of Section c) and e) above shall only apply to the increased gross floor area of the building.</p>		

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Karnail Sandhar Balwinder Sandhar
Applicant(s)	
Agent or Solicitor	Ken Bekendam King Homes Inc



1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	25 Norfolk St S		
Assessment Roll Number	01004201735000		
Former Municipality	Hamilton		
Lot	5 RP	Concession	
Registered Plan Number	654	Lot(s)	
Reference Plan Number (s)	62R17411	Part(s)	1

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

[See attached ALR and additional sheet](#)

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

[Existing site constraints](#)

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
14.76	33.07	490.52	3.7

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
See site plan				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
See site plan				

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
See site plan				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
See site plan				

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Multiple Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

unknown

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:

unknown

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? TOC1

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No n/a

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 5

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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