



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221, 3935

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>HM/A-23:304</b>	<b>SUBJECT PROPERTY:</b>	37 Paradise Road South, Hamilton
<b>ZONE:</b>	“C” (Urban Protected Residential)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Hamilton 6593, as Amended 96-109

**APPLICANTS:** Owner: Yaser Jafar  
Applicant: A. J. Clarke & Associates – Ryan Ferrari

The following variances are requested:

1. A maximum height of 6.3 metres shall be permitted instead of a maximum height of 6.0 metres.
2. To permit a maximum Floor Area Ratio of 1.23 instead of the maximum Floor Area Ratio of 0.45.

**PURPOSE & EFFECT:** So as to permit a Secondary Dwelling Unit – Detached to an existing Single-Family Dwelling notwithstanding that:

**Notes:**

- i. Be advised, it appears the elevation of the “Crawl Space”, as indicated on the Elevation drawings, is shown to be 1.98 metres in height. As per a Divisional Policy ZON 006 in reference to Building Code Section 9.18.1.1, a Crawl Space must be less than 1.8 metres in height otherwise it shall be considered a basement or cellar. As such, the “Crawl Space” as indicated on the submitted material may be considered a cellar and would be included within the calculation of Gross Floor Area as per Section 1.(a)(ii) of Zoning By-Law Amendment 96-109.

Furthermore, it is unclear the total Gross Floor Area of the “Crawl Space” and if a portion of the area is intended to function as HVAC Equipment and Laundry Facilities. Please note, a maximum of 9.3 m<sup>2</sup> may be used for laundry facilities and a maximum of 6.5m<sup>2</sup> may be used for HVAC equipment. Be advised, should the inclusion of the Gross Floor Area of the cellar, minus any applicable area exclusions, result in a Gross Floor Area ratio greater than 1.23, additional variances may be required.

**HM/A-23:304**

- ii. Please note, in addition to the above comments should the “Crawl Space” be 1.8 metres or higher, the Gross Floor Area of the proposed Secondary Dwelling Unit – Detached will exceed the maximum permitted Gross Floor Area of 75m<sup>2</sup>, as required under Section 19.(1).2 (xi) of Hamilton Zoning By-Law 6593. Should the Gross Floor Area exceed the permitted 75m<sup>2</sup>, additional variance may be required.
- iii. Be advised, a Divisional interpretation has determined “Curb Level”, as it relates to average grade, shall be taken from the edge of the sidewalk closest to the property line. As per the submitted Grading Plan, the average “Curb Level” is indicated to be 98.5995 and the grade of the garage is indicated to be 98.8. As per Section 1.(a)(iv) of Zoning By-Law Amendment 96-109, the grade of the garage is required to be a minimum of 0.3 metres above average grade. As such, should the proposed grade of the garage not be a minimum of 0.3 metres above average grade as indicated, additional variances may be required.
- iv. Please note, insufficient information has been provided to determine if a landscaped area of 12.0 metres has been provided in accordance with Section 19.(1).2 (xii) of Hamilton Zoning By-Law 6593. Should a 12.0 metres landscaped area within the rear yard not be provided, additional variances may be required.
- v. Be advised, the additional dwelling unit is indicated to be located closer to the exterior side lot line than the existing Single-Family Dwelling. As per Section 19.(1).2 (vii) of Hamilton Zoning By-Law 6593 a Secondary Dwelling Unit – Detached, shall not be located closer to the flankage street than the principal dwelling. As such, should the Secondary Dwelling Unit – Detached be located closer to the street line than the principal dwelling, additional variances may be required.
- vi. Please be advised a Residential Boulevard Parking Agreement with the Hamilton Municipal Parking Authority may be required for the parking space shown to encroach on the Olmstead Street road allowance.

In addition to the above comment, it appears the eaves/troughs of the proposed Secondary Dwelling Unit - Detached is within the Olmstead Street road allowance. As such, an Encroachment Agreement with public works may be required for the eaves/troughs within the road allowance.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, December 7, 2023</b>
<b>TIME:</b>	<b>9:40 a.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>2<sup>nd</sup> floor City Hall, room 222 (see attached sheet for details), 71 Main St. W., Hamilton</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

## HM/A-23:304

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935

## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.


**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, including deadlines for registering to participate virtually and instructions for check in to participate in person.

## FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:304, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: November 21, 2023

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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## COMMITTEE OF ADJUSTMENT

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## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing or via email in advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon two days before the Hearing.**

Comment packages are available two days prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

**Interested members of the public, agents, and owners must register by noon the day before the hearing to participate Virtually.**

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting the Wednesday afternoon before the hearing. The link must not be shared with others as it is unique to the registrant.

#### 2. In person Oral Submissions

**Interested members of the public, agents, and owners who wish to participate in person must sign in at City Hall room 222 (2<sup>nd</sup> floor) no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.**

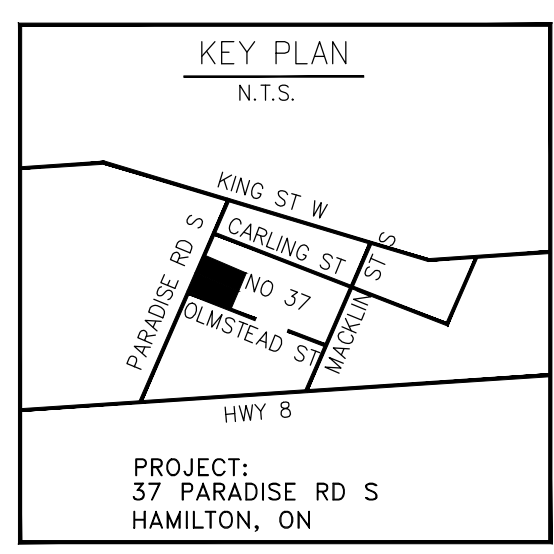
We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



# SITE PLAN FOR 37 PARADISE RD S CITY OF HAMILTON

- LEGEND**
- HT DENOTES HYDRO TRANSFORMER
  - MH DENOTES MANHOLE
  - CB DENOTES SINGLE CATCHBASIN
  - HP DENOTES HYDRO POLE
  - LS DENOTES LIGHT STANDARD
  - SGN DENOTES SIGN
  - TM DENOTES TELEPHONE CABLE MARKER
  - PED DENOTES TELEPHONE PEDESTAL
  - WV DENOTES WATER VALVE MAIN SHUT OFF
  - WB DENOTES WATER BOX/ CURB STOP
  - FN DENOTES FIRE HYDRANT
  - GM DENOTES GAS METER
  - OH DENOTES OVERHEAD HYDRO WIRE
  - UH DENOTES UNDERGROUND HYDRO WIRE
  - T DENOTES OVERHEAD TELEPHONE WIRE
  - C DENOTES UNDERGROUND GAS LINE
  - CT DENOTES OVERHEAD OR UNDERGROUND CABLE T.V.
  - B DENOTES BELL UNDERGROUND OR OVERHEAD
  - BP DENOTES BELL PEDESTAL
  - TV DENOTES CABLE T.V. PEDESTAL
  - MAILBOX
  - SAN. INV. SANITARY CONNECTION / INVERT
  - STM. INV. STORM CONNECTION / INVERT
  - WATER
  - CHAIN LINK FENCE
  - PRIVACY FENCE
  - FY FRONT YARD AREA
  - LA PROP. LANDSCAPED OPEN SPACE (MIN. 40%)
- GENERAL NOTES:**
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE LOCAL BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT THE RELATIVE ELEVATIONS AND DESCRIPTIONS AGREE WITH THE INFORMATION SHOWN ON THIS PLAN.
- IT SHALL BE RESPONSIBILITY OF THE BUILDERS TO HAVE ALL GRADES VERIFIED AND CHECKED BEFORE CONSTRUCTION BY AN APPROVED SURVEYOR ENGINEER. THESE GRADES AND THE PLACEMENT OF STORM AND SANITARY SERVICES ON THE STREET ARE TO MEET THE REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.
- JANSEN CONSULTING IS TO BE NOTIFIED PROMPTLY PRIOR TO ANY DISCREPANCIES AT LEAST 1 (ONE) WEEK BEFORE EXCAVATION COMMENCES IN ORDER THAT THE BUILDING CAN BE REJECTED FAILURE TO OBSERVE THESE CONDITIONS MAY REQUIRE MAY REQUIRE EXPENSIVE REMEDIAL ACTION THAT WILL NOT BE THE RESPONSIBILITY OF OR COST TO JANSEN CONSULTING FOUNDATIONS SHALL BE FLOURED TO A MINIMUM OF 6" ABOVE THE APPROVED GRADES.
- FINISH GRADE LINES AS INDICATED ON THE HOUSE PROTOTYPE.
- GARAGE FOOTINGS ARE TO BE EXTENDED TO ORIGINAL GROUND OR AS APPROVED BY SOILS ENGINEER.



**GENERAL NOTES:**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE LOCAL BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT THE RELATIVE ELEVATIONS AND DESCRIPTIONS AGREE WITH THE INFORMATION SHOWN ON THIS PLAN.

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FINISH GRADE LINES AS INDICATED ON THE HOUSE PROTOTYPE.

GARAGE FOOTINGS ARE TO BE EXTENDED TO ORIGINAL GROUND OR AS APPROVED BY SOILS ENGINEER.

**LOCATES:**

PRIOR TO DIGGING LOCATES REQUIRED FOR SEWER IF APPLICABLE

PRIOR TO DIGGING LOCATES REQUIRED FOR WATER IF APPLICABLE

BEFORE DIGGING, UNDERGROUND SERVICES SHOULD BE LOCATED ON SITE BY THE RESPECTIVE AGENCIES.

CALL LOCATES FOR ALL UNDERGROUNDS PRIOR TO EXCAVATION

THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO INSTALLATION OF HOARDING WITHIN MUNICIPAL RIGHT OF WAY

**GRADING NOTES:**

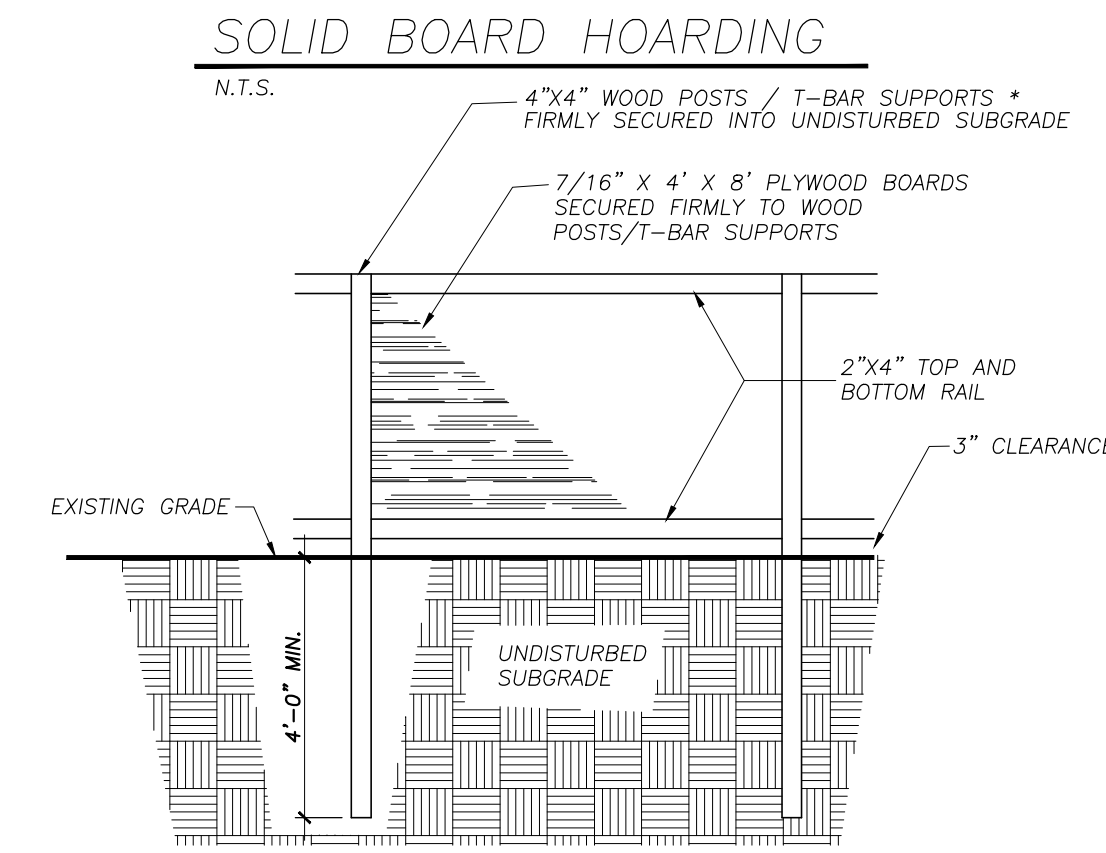
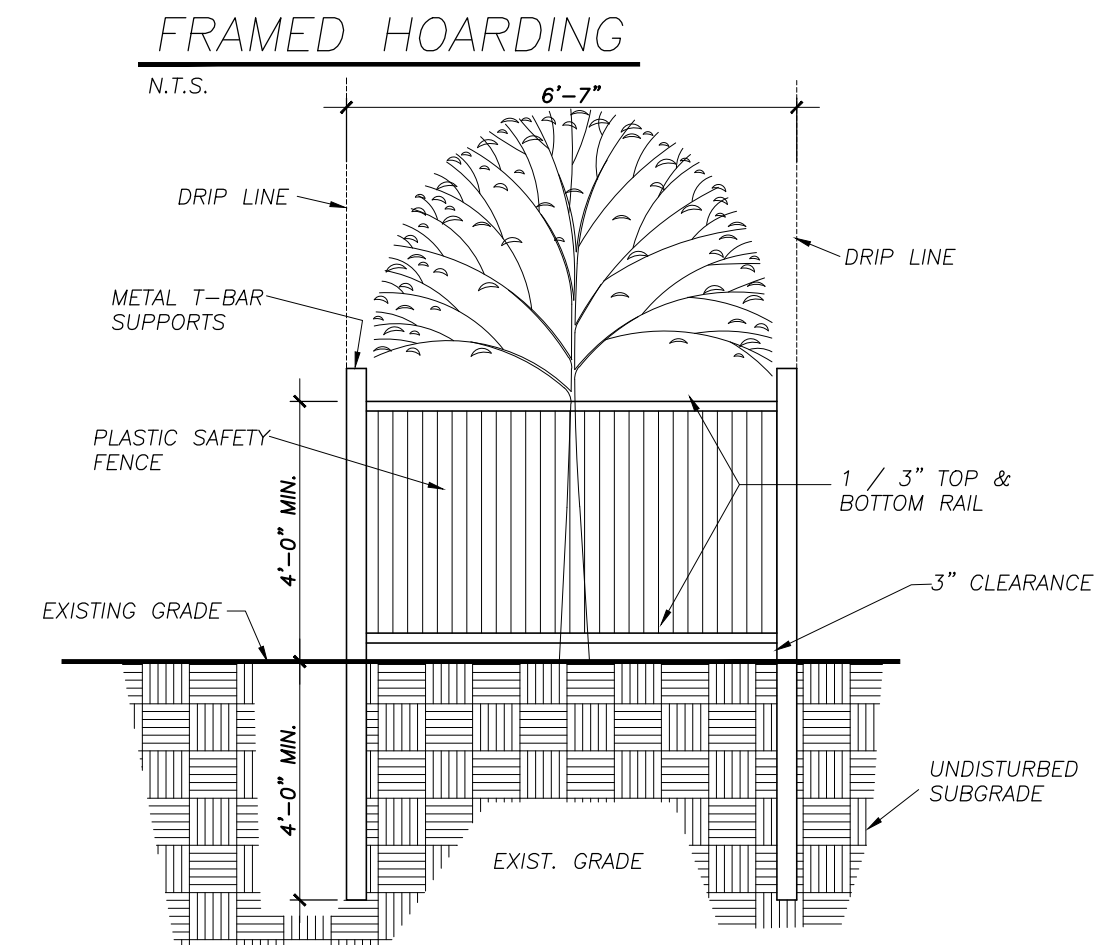
- EXISTING DRAINAGE OF ABUTTING LANDS IS NOT TO BE DISTURBED.
- BASEMENT OPENINGS TO BE MINIMUM 300MM ABOVE THE CENTERLINE OF ROAD UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- GROUND ELEVATIONS AT BUILDINGS ABUTTING OVERLAND FLOW ROUTES ARE TO BE 225 ABOVE OVERLAND FLOW ROUTE ELEVATIONS.
- SUMP PUMP MUST DISCHARGE DIRECTLY INTO MUNICIPAL STORM SEWER OR TO GRADE.
- A MINIMUM OF 150MM (6") FROM THE TOP OF FOUNDATION TO THE FINISHED GRADE OUTSIDE THE BUILDING MUST BE PROVIDED, TYP.
- THE FINISHED FLOOR ELEVATION, UNDERSIDE OF FOOTING ELEVATION, BASEMENT WINDOW SILL ELEVATION, ETC. ARE TO BE CONFIRMED BY THE CONTRACTOR IN CONSULTATION WITH THE BUILDING DESIGNER, BASED ON THE MIN. TOP OF FOUNDATION ELEVATION PROVIDED.

NEW GAS LINE TO BE INSTALLED TO DWELLING

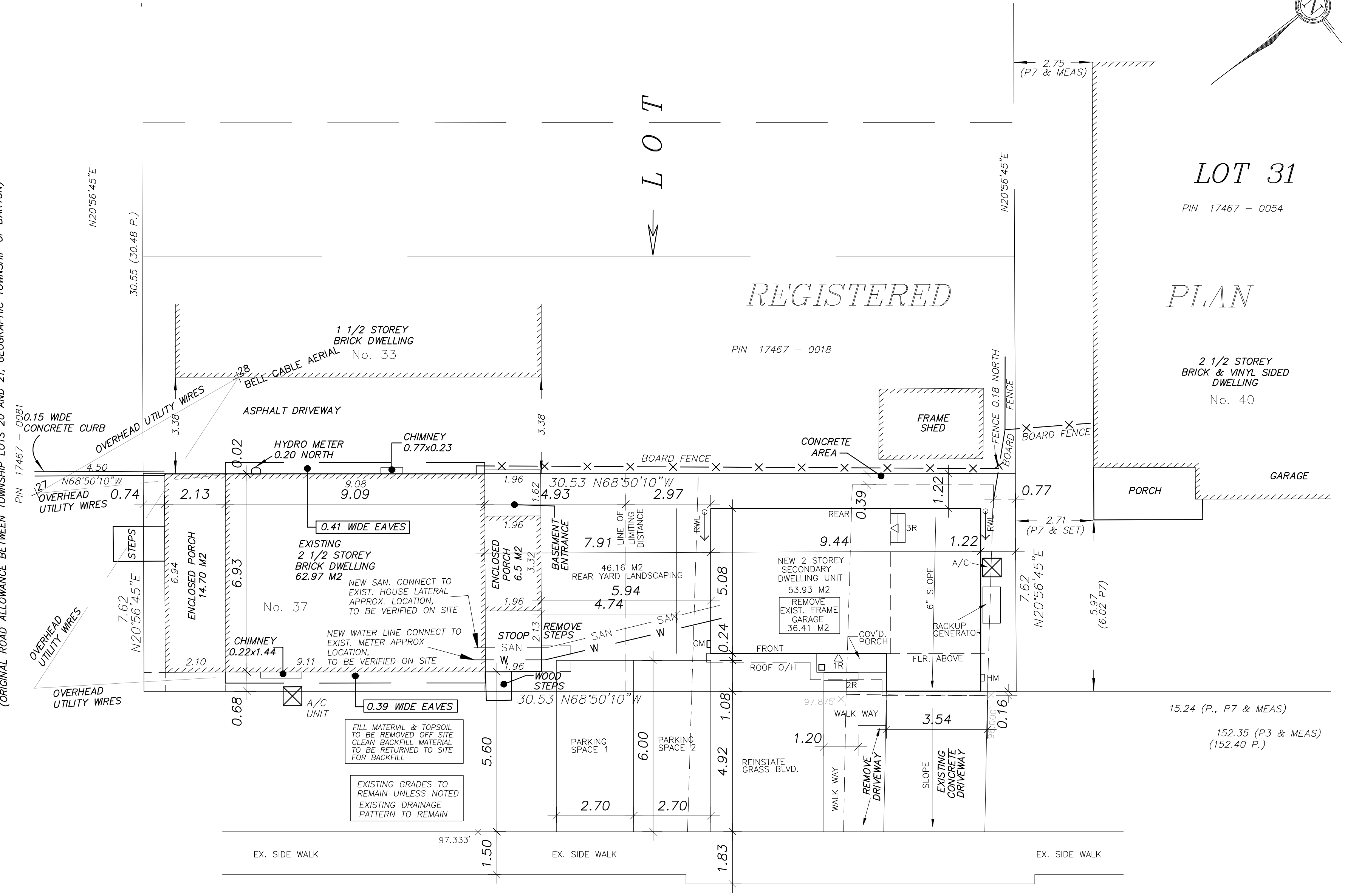
INSTALL NEW OVERHEAD SERVICE TO NEW DWELLINGS

NEW WATER LINE FROM WATER BOX INTO HOUSE 3/4" DIA. LINE IF REQUIRED CITY INSPECTIONS REQ'D.

NOTE: ALL LOCATES WILL BE OBTAINED PRIOR TO THE INSTALLATION OF ANY HOARDING WITHIN MUNICIPAL RIGHT OF WAY



PARADISE ROAD SOUTH  
(ORIGINAL ROAD ALLOWANCE BETWEEN TOWNSHIP LOTS 20 AND 21, GEOGRAPHIC TOWNSHIP OF BARTON)



**OLMSTEAD STREET**  
ADELAIDE STREET ESTABLISHED ACCORDING TO REGISTERED PLAN No. 118  
(NAME CHANGED BY-LAW No 9162 REGISTERED AS INSTRUMENT 145905 H.L.)

JANSEN CONSULTING PREPARED THIS SITE PLAN BASED OFF A DATED SITE PLAN PROVIDED BY THE OWNERS. JANSEN CONSULTING DOES NOT TAKE ANY RESPONSIBILITY FOR SET BACKS TO EXISTING OR PROPOSED BUILDINGS AS THE PROVIDED SITE PLAN WAS NOT BASED OFF AN ONTARIO LAND SURVEYOR.

**METRIC** DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

I, JEFF JANSEN DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF JANSEN CONSULTING UNDER DIVISION C, SUBSECTION 3.2.5 AND 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED SET OUT BY THE O.B.C. QUALIFIED DESIGNER BCIN - 30272 FIRM BCIN - 110042  
DATE: MAY 11 23 SIGNATURE: [Signature]

**JC Janesen Consulting**  
70 Main Street N, P.O. Box 38  
Campbellville, ON, L0P 1B0  
Ph. 905-854-9696  
Fax 905-854-9559  
Call 905-815-3438  
EMAIL: jeffjansendesign@gmail.com

**TYPE: H-007**  
PROJECT: 37 PARADISE RD S  
LOCATION: HAMILTON, ON

**OWNERS INFORMATION:**  
YASER JAFAR  
37 PARADISE RD S  
HAMILTON, ON

**SITE PLAN**

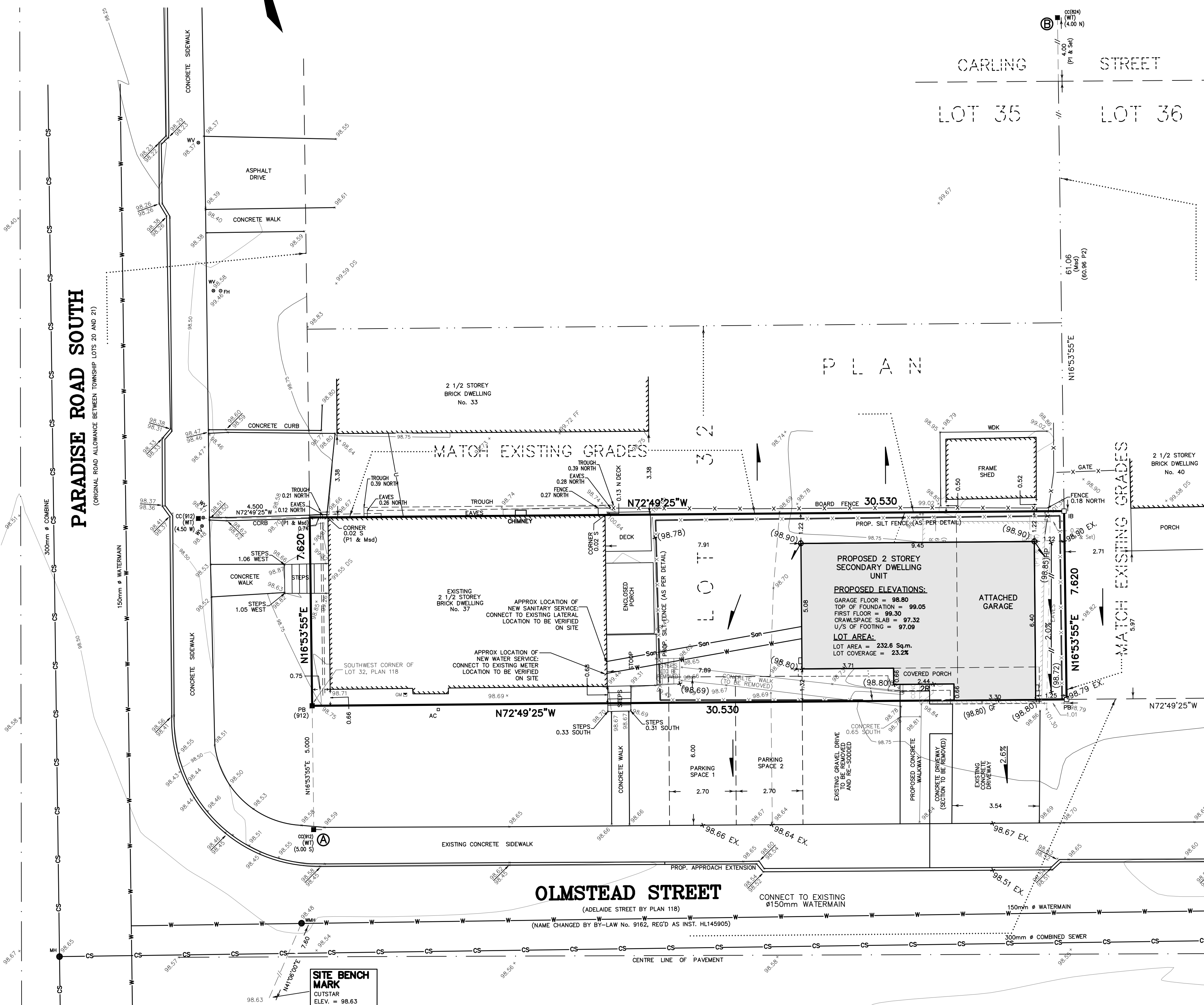
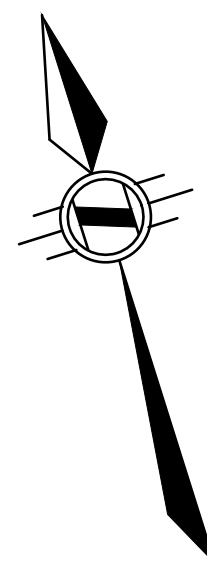
SCALE: HCO	DATE: MAY 11 23	PROJECT NO.: 2023-007
DRAWN BY: AS	CHECKED BY: [Signature]	
FILE NAME: 2023-007	DRAWING NO.: S1	
REVISIONS		



**SITE, GRADING, AND SERVICING PLAN**  
OF PART OF  
**LOT 32**  
REGISTERED PLAN 118  
IN THE  
**CITY OF HAMILTON**

SCALE 1:100 METRIC  
2 4 6 metres

R.A. McLAREN, O.L.S. - 2023



- GENERAL GRADING NOTES:**
1. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SODDED SLOPES (min. 3H TO 1V) AND/OR RETAINING WALLS AS SPECIFIED.
  2. ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.ENG.
  3. SLOPES OF SWALES FOR BOTH "BACK AND FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 3.5% GRADE (3:1 SLOPES).
  4. WHEN MATCHING TO EXISTING PROPERTIES WHERE 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED, PROVIDED A 150mm SUB-DRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, (WITH A MINIMUM OF 0.30m COVER OVER THE SUB-DRAIN), OR OTHER MITIGATION MEASURES.
  5. MINIMUM SLOPES FOR A WRAP AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
  6. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
  7. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (min.) ABOVE FINISHED GRADE.
  8. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2.0% AND NOT MORE THAN 7.0% REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
  9. GARAGE FLOOR ELEVATION TO BE SET 0.30m (min.) HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
  10. ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS OF NOT EXCEEDING 300mm LIFTS.
  11. FOR DELINEATION OF TREE PROJECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC. REFER TO TREE PROTECTION PLAN.
  12. LOT GRADING FOR ALL LOTS IN THE SUBDIVISION SHALL CONFORM STRICTLY WITH THIS PLAN. ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY, SHALL RESULT IN NON-ACCEPTANCE OF THE SUBDIVISION BY THE CITY.
  13. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT, WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
  14. THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
  15. DRIVEWAYS AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MINIMUM 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
  16. ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER, DEVELOPMENT ENGINEERING APPROVALS.
  17. CONSTRUCTION OF SANITARY & STORM SEWERS & PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
  18. CONSTRUCTION OF ROADWAYS AND RELATED WORKS SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS (LATEST EDITION).
  19. THE AREA WITHIN THE ROAD ALLOWANCE MUST BE RESTORED TO EXISTING CONDITION OR BETTER.

- BACKYARD GRADING NOTES:**
- a. DEFINITION: "REQUIRED BACKYARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6 METRES.
  - b. THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5%, EXCEPT AS SET OUT BELOW.
  - c. THE 5% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT PROVIDING THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
  - d. WHERE THE 5% RESTRICTION ON THE BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND BACK OF THE LOT. SLOPES WITH A MAXIMUM OF THREE HORIZONTAL TO ONE VERTICAL MAY REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.30m.
  - e. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
  - f. THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDING THE TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT IN ITEM (b) ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FLEXIBILITY OF HOUSE CONSTRUCTION.
  - g. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS AND BACK YARDS, OUTSIDE THE AREA DEFINED IN ITEM (a) ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (min. 3H:1V).

**NOTES:**

UNDERGROUND SERVICE AND UTILITY LOCATIONS WERE LOCATED BY CITY OF HAMILTON DRAWING NO. P179 RDWYS (SHEET 1 OF 4) AND BY CITY OF HAMILTON DRAWING NO. A-108-S1 DATED SEPTEMBER 1934.

THE LOCATION OF THE UNDERGROUND SERVICES AND UTILITIES MUST BE VERIFIED PRIOR TO CONSTRUCTION.

INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION.

THE DEVELOPER IS RESPONSIBLE FOR ALL WASTE REMOVAL UP UNTIL THE TIME THAT MUNICIPAL COLLECTION SERVICES ARE INITIATED.

ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS TO A MINIMUM DISTANCE OF 0.6m FROM THE BUILDING FACE.

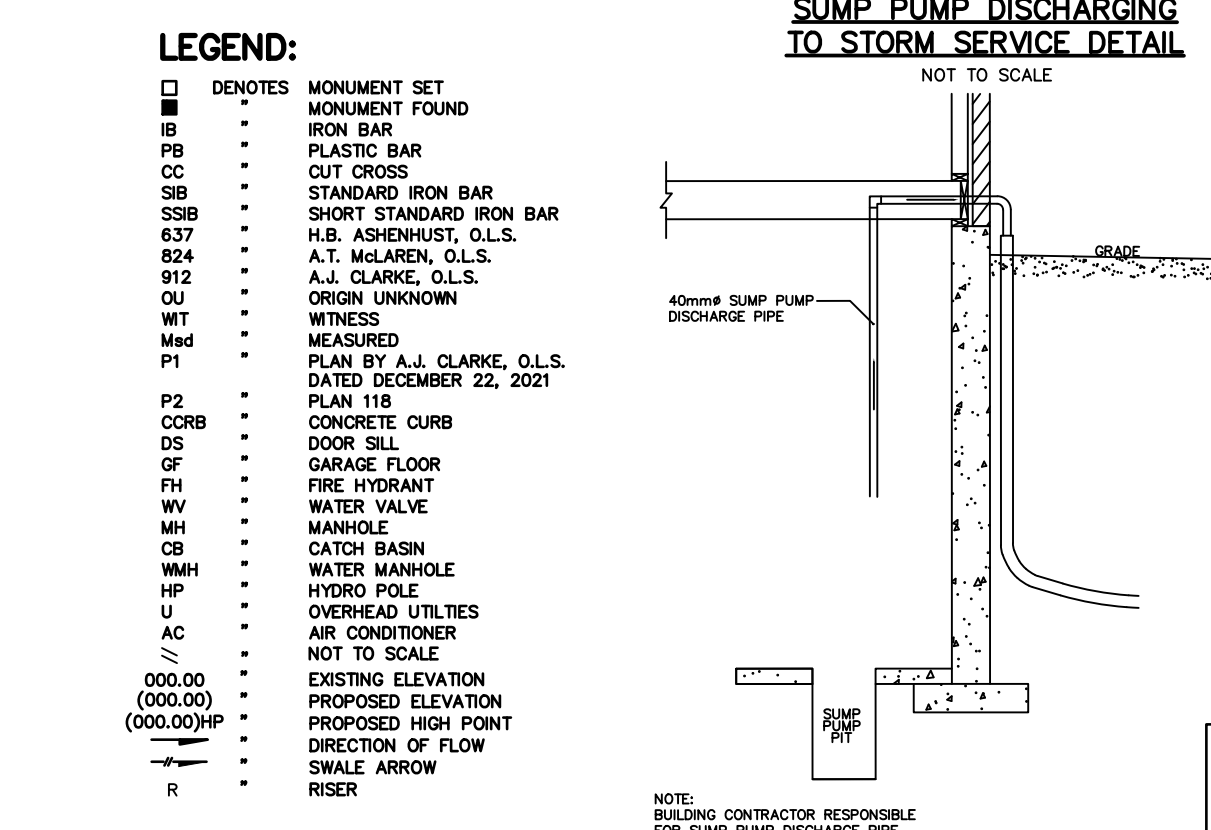
ALL ROOFWATER LEADERS SHALL BE DIRECTED TOWARDS OLMSTEAD STREET.

BUILDERS TO VERIFY ELEVATION OF SERVICE CONNECTIONS PRIOR TO BASEMENT EXCAVATION TO CONFIRM THAT SUFFICIENT FALL IS PROVIDED FOR GRAVITY SERVICES.

U/S FOOTINGS TO BE MINIMUM OF 1.2m BELOW FINISHED GRADE.

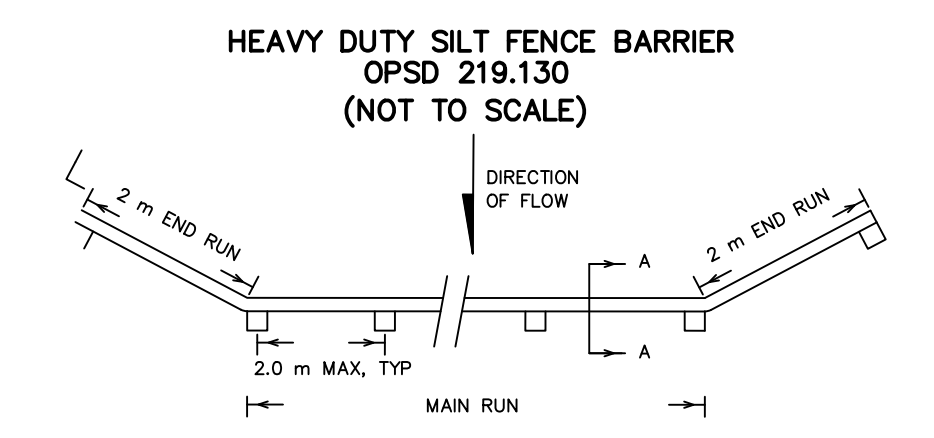
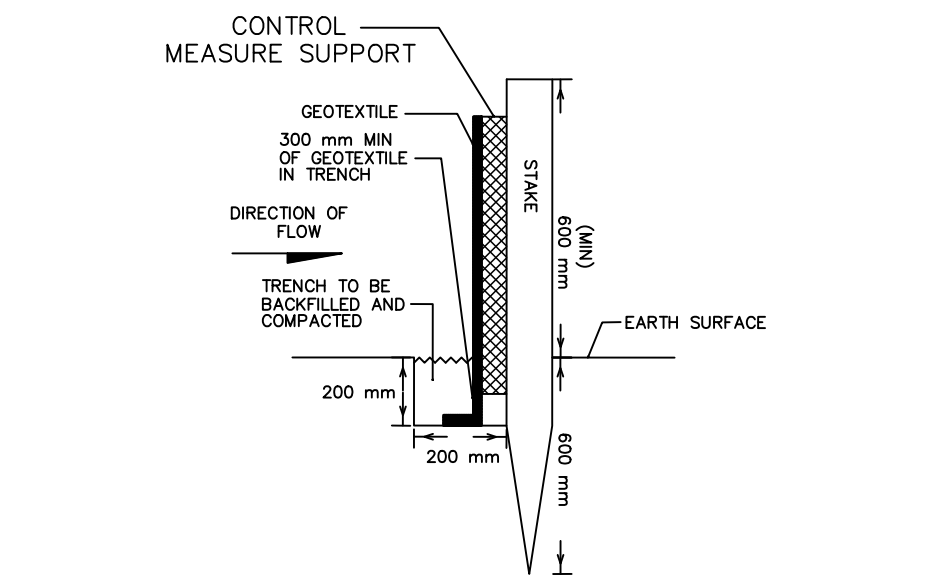
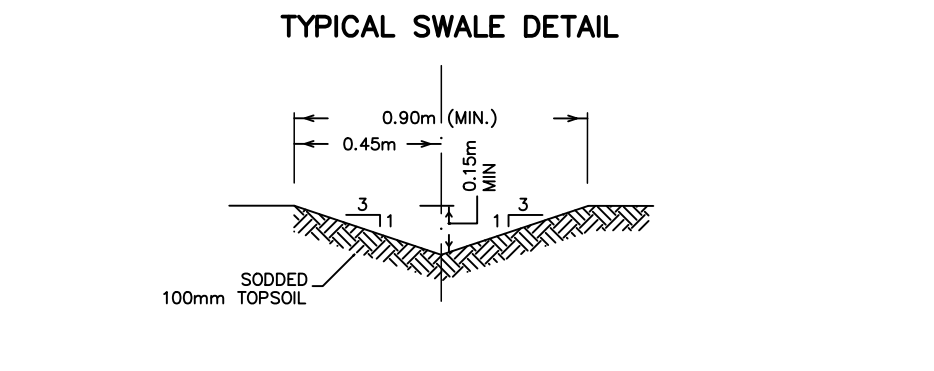
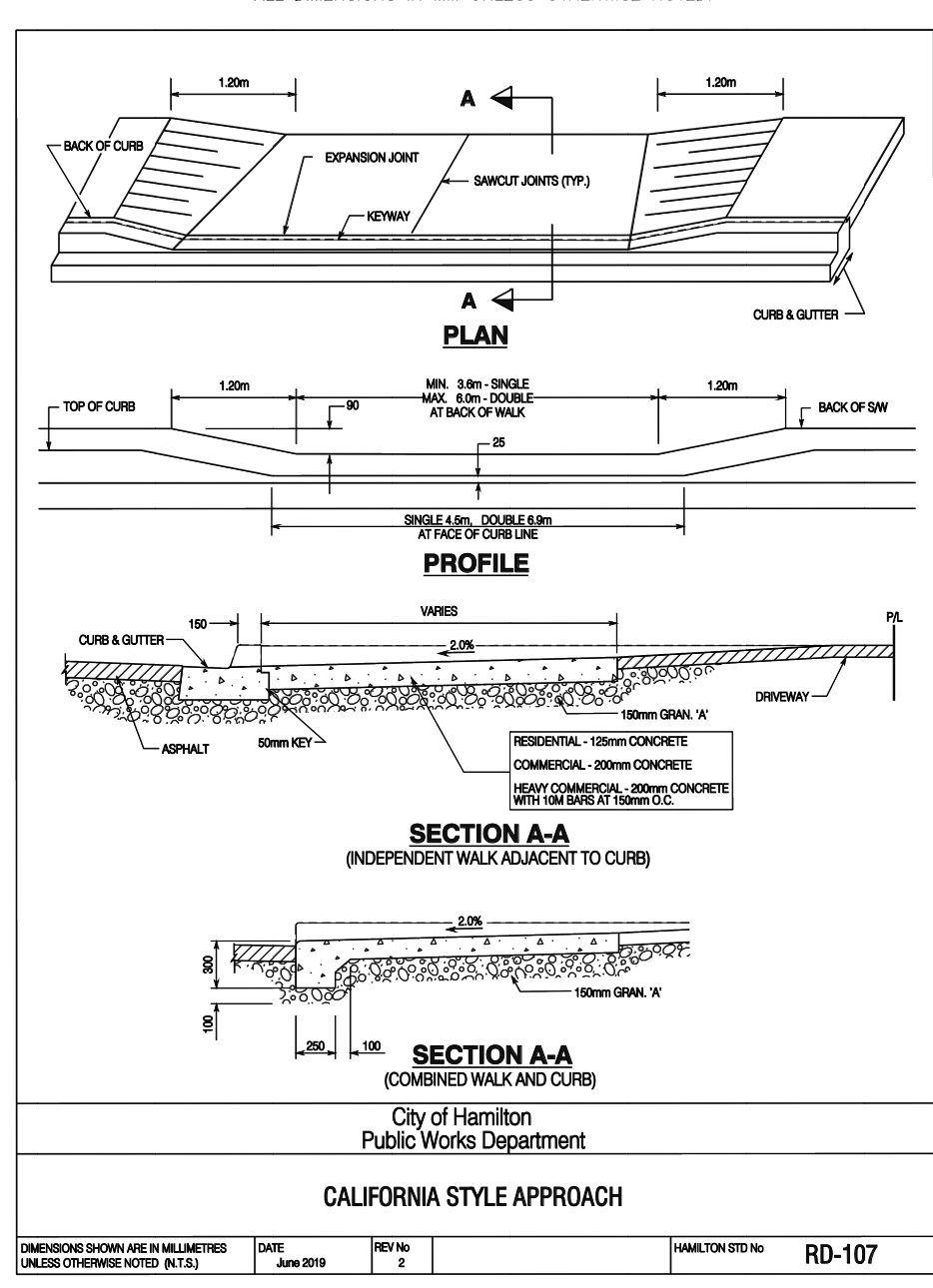
DWELLING TO BE EQUIPPED WITH SLUMP PUMPS WITH DISCHARGE TO STORM SEWER.

BUILDER TO ENSURE FOOTINGS ARE ON SOIL CAPABLE OF SUPPORTING THE ANTICIPATED LOADS.



- LEGEND:**
- DENOTES MONUMENT SET
  - DENOTES MONUMENT FOUND
  - IRB IRON BAR
  - PE PLASTIC BAR
  - CS CUT CROSS
  - SB STANDARD IRON BAR
  - SSB SHORT STANDARD IRON BAR
  - H.S. H.S. ASHNET, O.L.S.
  - A.T. A.T. McLAREN, O.L.S.
  - A.L. A.L. CLARKE, O.L.S.
  - OU ORIGIN UNKNOWN
  - WT WITNESS MEASURED
  - P1 PLAN BY A.L. CLARKE, O.L.S. DATED DECEMBER 22, 2001
  - P2 PLAN 118
  - CSB CONCRETE CURB
  - DS DOOR SILL
  - GF GARAGE FLOOR
  - PH FIRE HYDRANT
  - WV WATER VALVE
  - MH MANHOLE
  - CB CATCH BASIN
  - WHH WATER MANHOLE
  - HP HYDRO POLE
  - U OVERHEAD UTILITIES
  - AC AIR CONDITIONER
  - NOT TO SCALE
  - S EXISTING ELEVATION
  - (000.00) PROPOSED ELEVATION
  - (000.00)HP PROPOSED HIGH POINT
  - DIRECTION OF FLOW
  - SWALE ARROW
  - R RISER

**CITY OF HAMILTON STANDARD DRAWING RD-107**  
ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.



**BENCHMARK:**  
MONUMENT 0011985U025  
WESTDALE SECONDARY SCHOOL AT NORTHEAST CORNER OF MAIN STREET AND LONGWOOD ROAD, TABLET IN NORTH CONCRETE FOUNDATION WALL, 7.62 M EAST OF NORTHWEST CORNER AT REAR SIDE ENTRANCE, 30 CM BELOW BRICK, SLIGHTLY BELOW ROAD LEVEL.  
ELEVATION: 99.340 metres CGVD-1928:1978

**BUILDING HEIGHT NOTE:**  
BUILDING HEIGHT WAS CALCULATED AS THE VERTICAL DISTANCE MEASURED IN LINEAR METRES BETWEEN GRADE AND THE HIGHEST POINT OF A FLAT OR PEAKED ROOF.  
GRADE SHALL MEAN THE AVERAGE LEVEL OF THE PROPOSED OR FINISHED GROUND ADJOINING A BUILDING CALCULATED ALONG THE PERIMETER OF ALL EXTERIOR WALLS.

HEIGHT OF ADDITION	FIRST FLOOR	GRADE	DIFF IN GRADE
	99.30	98.84	0.46

BUILDING HEIGHT	DIFF IN GRADE	ACTUAL HEIGHT
5.54	+ 0.46	6.00



**CONSTRUCTION NOTES:**

- DIMENSIONS OF EXISTING ARE APPROXIMATIONS BASED ON ROUGH SITE MEASUREMENTS. ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR AFTER DEMOLITION AND PRIOR TO ORDER OF ANY MATERIALS.
- ALL CONSTRUCTION TO CONFORM TO THE CONSTRUCTION REQUIREMENTS OF THE ONTARIO BUILDING CODE - PART 9, DRAWING MUST NOT BE SCALED.
- HAND WRITTEN NOTES WHICH APPEAR ON THE DRAWINGS HAVE MANUFACTURED ITEMS AND MATERIALS MUST COMPLY WITH ALL REQUIREMENTS OF U.L.C. OR ANY OTHER REGULATOR BODIES AS PER THE APPLICABLE CODES.

**THERMAL PERFORMANCE REQUIREMENTS FOR NEW CONSTRUCTION:**  
TABLE - 3.1.1.2.A. ZONE 1 - PACKAGE A1

- FOUNDATION WALL:**
  - MINIMUM DAMP PROOFING AS PER SECTION 9.1.3 AND PROVIDE DRAINAGE AS PER SECTION 9.1.4 TO SURFACE OF 8" OR 10"
  - POURED CONCRETE FOUNDATION WALL ON CONCRETE FOOTINGS - SEE PLAN
  - CONCRETE FOR WALLS TO BE 15 MPA (2200 PSI) OR 20 MPA UPGRADE AT 28 DAYS UNLESS NOTED OTHERWISE - SEE DWO'S FOR FDN THICKNESS.

- FOOTINGS:**
  - SHALL REST ON NATURAL UNDISTURBED SOIL AND MUST BE 4"-0" BELOW GRADE. CONCRETE FOR FOOTINGS SHALL BE 15 MPA (2200 PSI) OR 20 MPA UPGRADE AT 28 DAYS.

- WEEDING TILES:**
  - 4" DIA. WITH 6" MIN CRUSHED STONE COVER TOP AND SIDES. (AS PER SUBSECTION 9.1.4.3 O.B.C.)

- BASEMENT FLOOR SLAB:**
  - 3" POURED CONCRETE 20 MPA (2900 PSI AT 28 DAYS) ON MIN. 4" OF CRUSHED STONE (AS PER 9.1.6.2 OF O.B.C.)

- GARAGE SLAB:**
  - 3" POURED CONCRETE 32 MPa(4650 PSI AT 28 DAYS) ON MIN. 3" CRUSHED STONE. CONCRETE TO HAVE 5% TO 8% AIR ENTRAINMENT. REINFORCE WITH 6X6 6/8 W/M.

- BRICK/CONCRETE SLAB OR STEPS:**

- STEEL PIPE COLUMN:**
  - 2 7/8" DIA.(MIN) AND A WALL THICKNESS OF 3/16"(MIN) WITH 4"x4"x1/4" TYPED HELDED TOP AND BOTTOM AND SUPPORTED ON A CONCRETE FOOTING COLUMN PERMANENTLY FIXED TO TOP AND BOTTOM SEE FLOOR PLAN FOR FOOTING PAD SIZES.

- LATERAL SUPPORT OF FOUNDATION WALLS:**
  - ANCHOR 2"x4" SILL PLATE WITH 1/2" DIA. ANCHOR BOLT SET 4" INTO CONCRETE AT 7'-10" O.C. MAXIMUM.

- BRICK VENEER WALL CONSTRUCTION:**
  - AS PER TABLE 3.1.1.2.A O.B.C. SB-12

- 3 1/2" FACE BRICK OR 3 1/2" FACE STONE W/ 3/8" DIA. WEEP HOLES AT 32" O.C. FROM STARTER COURSE TO BE LEFT CLEAN. -BASE FLASHING TO BE CARRIED MIN. 6" UP BEHIND WALL SHEATHING PAPER.
- DAILY METAL TIES 122 GA. x 7/8" WIDE AT 15 3/4" HORIZONTAL AND 23 5/8" VERTICAL. 1" AIR SPACE.

- ASSEMBLY:**
- 15# BUILDING PAPER. OVERLAP LAYERS. OR TYVEK AIR BARRIER.
  - 1/4" EXT. SHEATHING OR 7/16" EXT. SHEATHING.
  - R-22 BATT INSULATION BETWEEN 2"x6" STUDS @ 16" ON CENTER.
  - 6 MIL VAPOUR BARRIER ON WARM SIDE. 1/2" GYPSUM BOARD TAPED AND SANDED.
  - GIRTS AT 4'-0" O.C. STUD HEIGHTS GREATER THAN 8'-0". DOUBLE PLATES AT TOP. SILL PLATE AT BOTTOM.

- NOTE - MAX. OVERHANG FROM FOUNDATION FOR 3 1/2" (90MM) VENEER IS 1" (25MM) AS PER O.B.C. 9.20.1.1(2), & 9.20.1.2.2.**

- NOTE - MASONRY CORRELLING MAX. 1"/UNIT FOR A TOTAL OF 1/3" OF WALL THICKNESS.**

- FRAME WALL CONSTRUCTION:**
  - AS PER TABLE 3.1.1.2.A O.B.C. SB-12 - WOOD OR ALUMINUM SINGLIS AS PER MATERIALS.

- ASSEMBLY:**
- WOOD SIDING OR BOARD AND BATTEN AS PER MNF.
  - INSTALLATION
  - 15# BUILDING PAPER. OVERLAP LAYERS. OR TYVEK AIR BARRIER.
  - 1/4" EXT. SHEATHING OR 7/16" EXT. SHEATHING.
  - R-22 BATT INSULATION BETWEEN 2"x6" STUDS @ 16" ON CENTER.
  - 6 MIL VAPOUR BARRIER ON WARM SIDE. 1/2" GYPSUM BOARD TAPED AND SANDED.
  - GIRTS AT 4'-0" O.C. STUD HEIGHTS GREATER THAN 8'-0". DOUBLE PLATES AT TOP. SILL PLATE AT BOTTOM.

- BEARING STUD PARTITION:**

- INTERIOR:**
- 2"x4" SPRUCE STUDS AT 16" O.C. DOUBLE TOP PLATES. DOUBLE AT OPENINGS ON 2"x4" WOOD SILL PLATE.

- BASEMENT:**
- BASEMENT BEARING WALL TO BE ANCHORED TO 4" CONCRETE OR CONCRETE BLOCK CURB WITH 1/2" DIA. BOLTS AT 7'-10" O.C. MAXIMUM.

- FOOTINGS:**
- 1 STOREY - 4"x8" CONT.
  - 2 STOREY - 5"x14" CONT.

- LOAD BEARING STUD PARTITION:**
  - 2"x4" OR 2"x6" @ 16" O.C.

- 1/2" INTERIOR GYPSUM BOARD:**
  - BOTH SIDES OF 2"x4" STUDS AT 16" O.C.

- TRUSSES:**
  - TO BE MAX. 2'-0" O.C. PROVIDE RESTRAINT PERPENDICULAR TO ROOF TRUSSES. 2"x4" AT 4'-0" O.C. AND 4'-0" LONG.
  - TRUSS MANUFACTURER TO CHECK AND VERIFY THAT ALL LOADING AND STRESSES COMPLY WITH AND ARE IN ACCORDANCE TO LOCAL CONDITIONS AND REQUIREMENTS.
  - TRUSS MANUFACTURER TO NOTIFY ARCHITECTS OF ANY DISCREPANCIES THAT MAY AFFECT ROOF LINES AS DRAWN.

- NOTE - R-50 NON-COMBUSTIBLE INSULATION 6 MIL POLY VAPOUR BARRIER (WARM SIDE) 1/2" GYPSUM BOARD TAPED AND SANDED.**

- FINISHED BASEMENT WALL:**
- INSULATION AND MOISTURE BARRIER TO EXTEND 250MM ABOVE THE BASEMENT SLAB (WALK OUT OR LOOK OUT TO EXTEND 2' / 50MM ABOVE SLAB).

- NOTE - 2"x4" STUD WALL TO BE FINISHED WITH 1/2" GYPSUM BOARD TAPED AND SANDED.**

- NOTE - BASE BLANKET NOT TO BE COMPRESSED WITH STUD WALL.**

- OR**
- AS PER TABLE 3.1.1.2.A O.B.C. SB-12

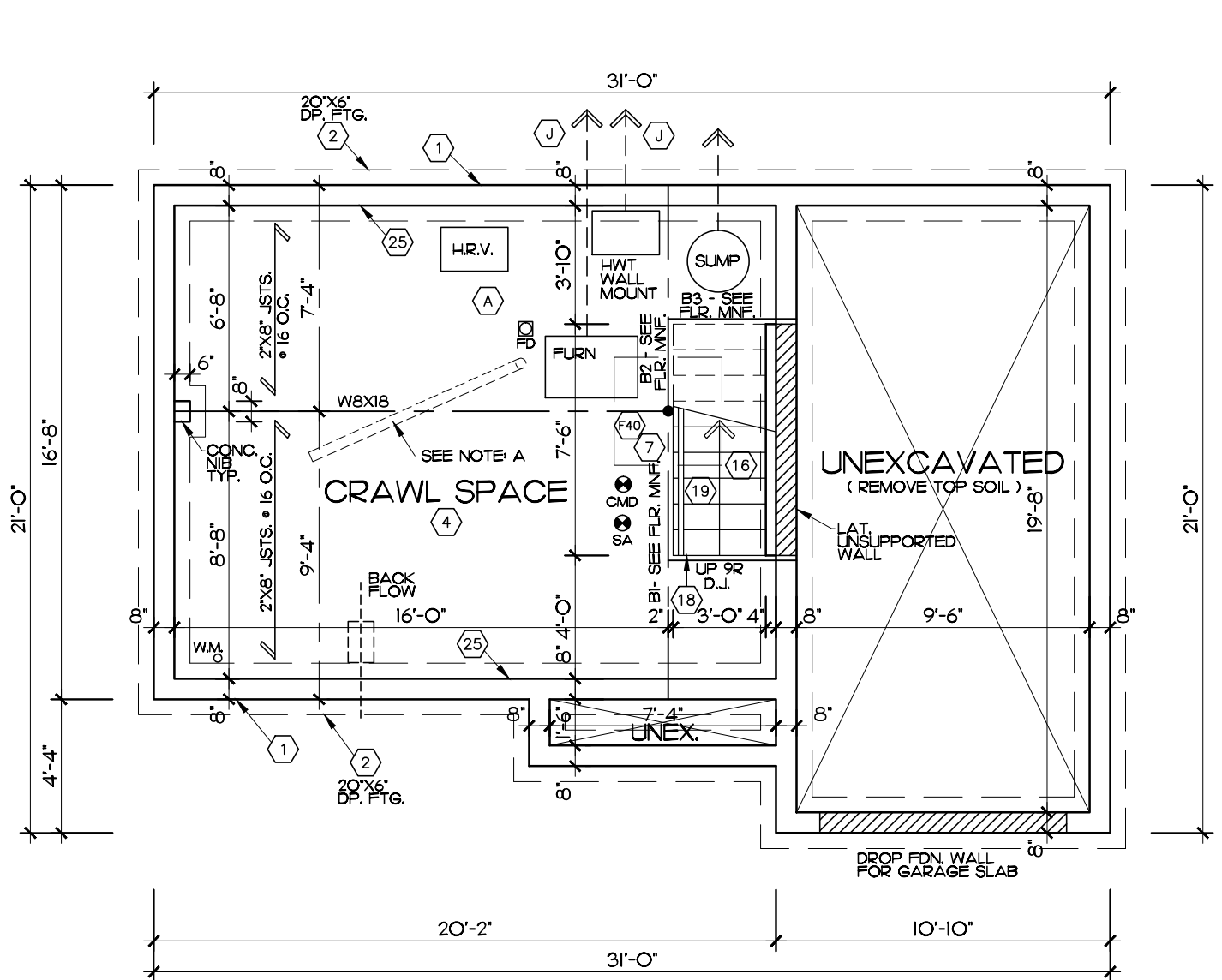
- FINISHED BASEMENT WALL:**
- 2" R-10 CONTINUOUS FOAM RIGID SHEATHING INSTALLED AS PER MNF. TO FOUNDATION WALL.

- OR**
- APPLY 1 1/2" SPRAY FOAM (R-10 MIN.) TO FDN. WALL.

- OR**
- ADD ADDITIONAL SPRAY FOAM BETWEEN STUDS TO R-12 MIN.
  - 6 MIL VAPOUR BARRIER ON WARM SIDE
  - 2"x4" STUD WALL TO BE FINISHED WITH 1/2" GYPSUM BOARD TAPED AND SANDED

- OR**
- ADD ADDITIONAL SPRAY FOAM BETWEEN STUDS TO R-12 MIN.
  - 6 MIL VAPOUR BARRIER ON WARM SIDE
  - 2"x4" STUD WALL TO BE FINISHED WITH 1/2" GYPSUM BOARD TAPED AND SANDED

- FINISHED NATURAL WOOD HANDRAIL:**
  - METAL OR WOOD PICKETS (MAX. 4" O.C.) OR METAL HANDRAIL BRACKETS FIRMLY SECURED TO WALL STUDS - SEE SECTION.



**BASEMENT FLOOR PLAN**

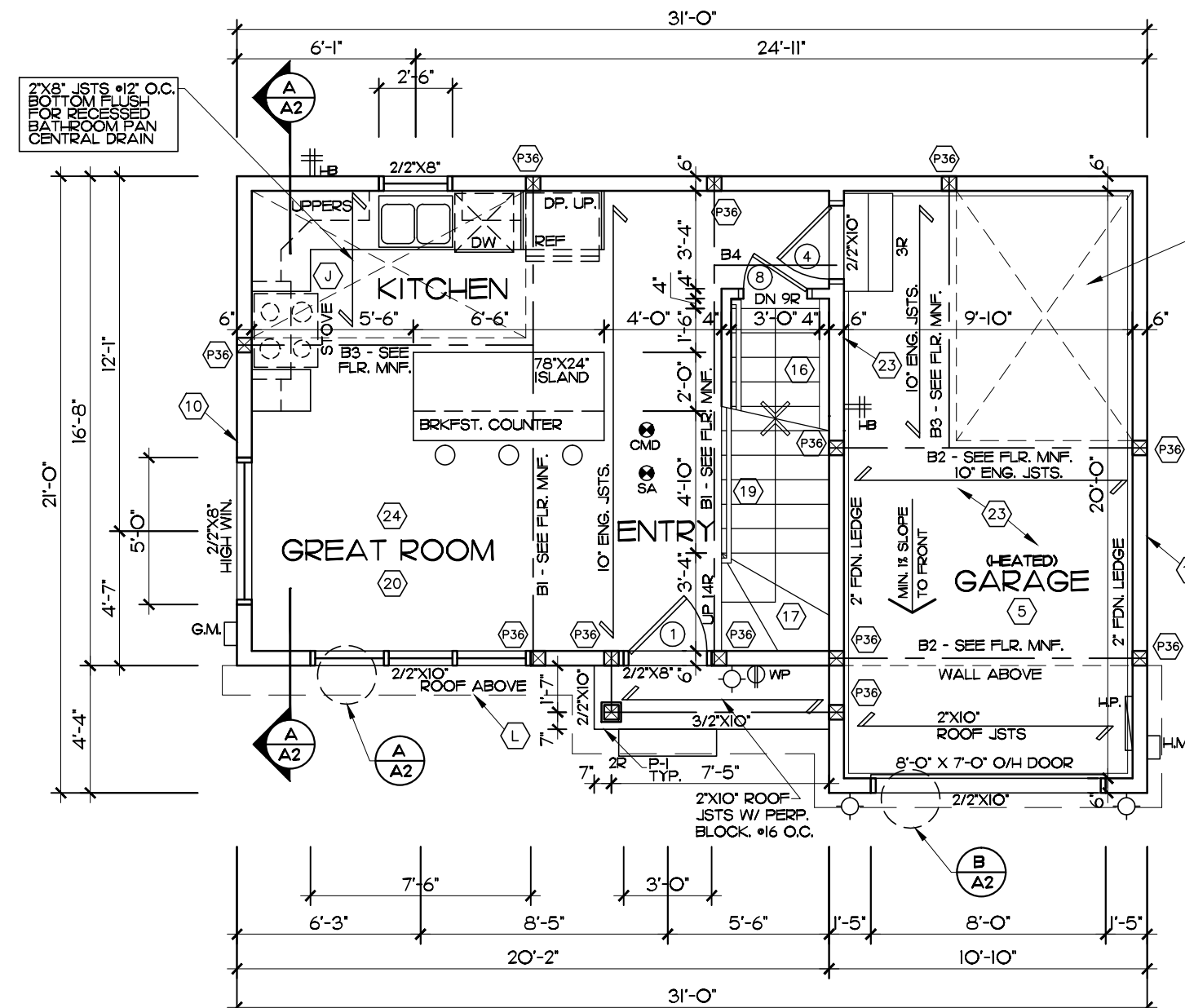
LOT AREA = 232.62 M<sup>2</sup>

EXISTING HOUSE LOT COVERAGE = 36.2% = 84.2 M<sup>2</sup> (906.35 S.F.)

ALLOWED SECONDARY DWELLING LOT COVERAGE = 25% = 58.15M<sup>2</sup> (625.99 S.F.)

PROPOSED SECONDARY DWELLING LOT COVERAGE ALLOWED = 23.2% = 53.97 M<sup>2</sup> (581 S.F.)

- NOTE: A**
- RADON ROUGH IN PIPE: A 100MM (4 INCH) DIA. GREY PVC PIPE TO BE SOUGHED IN THE FLOOR SLAB TOWARDS THE CENTER OF THE BASEMENT. ADD MIN ISOM & 10CM OF GRANULAR MATERIALS FOR A RADON GAS CAP. 300MM (12 INCH) CENTERED ON THE PIPE WITH THE BOTTOM OF THE PIPE OPEN TO THE GALLER. THE UPPER END OF THE PIPE TO PROVIDED WITH A REMOVABLE SEAL AND LABELED FOR RADON GAS ONLY.
- POINT LOADS:**
- S.B: SOLID BLOCKING AT RIM JOISTS AND STUDS TO TRANSFER CONTINUOUS LOADS FROM ABOVE.



**MAIN FLOOR PLAN**

MAIN FLOOR AREA = 290 S.F.

SECOND FLOOR AREA = 516 S.F.

TOTAL AREA = 806 S.F. (74.87 M<sup>2</sup>)

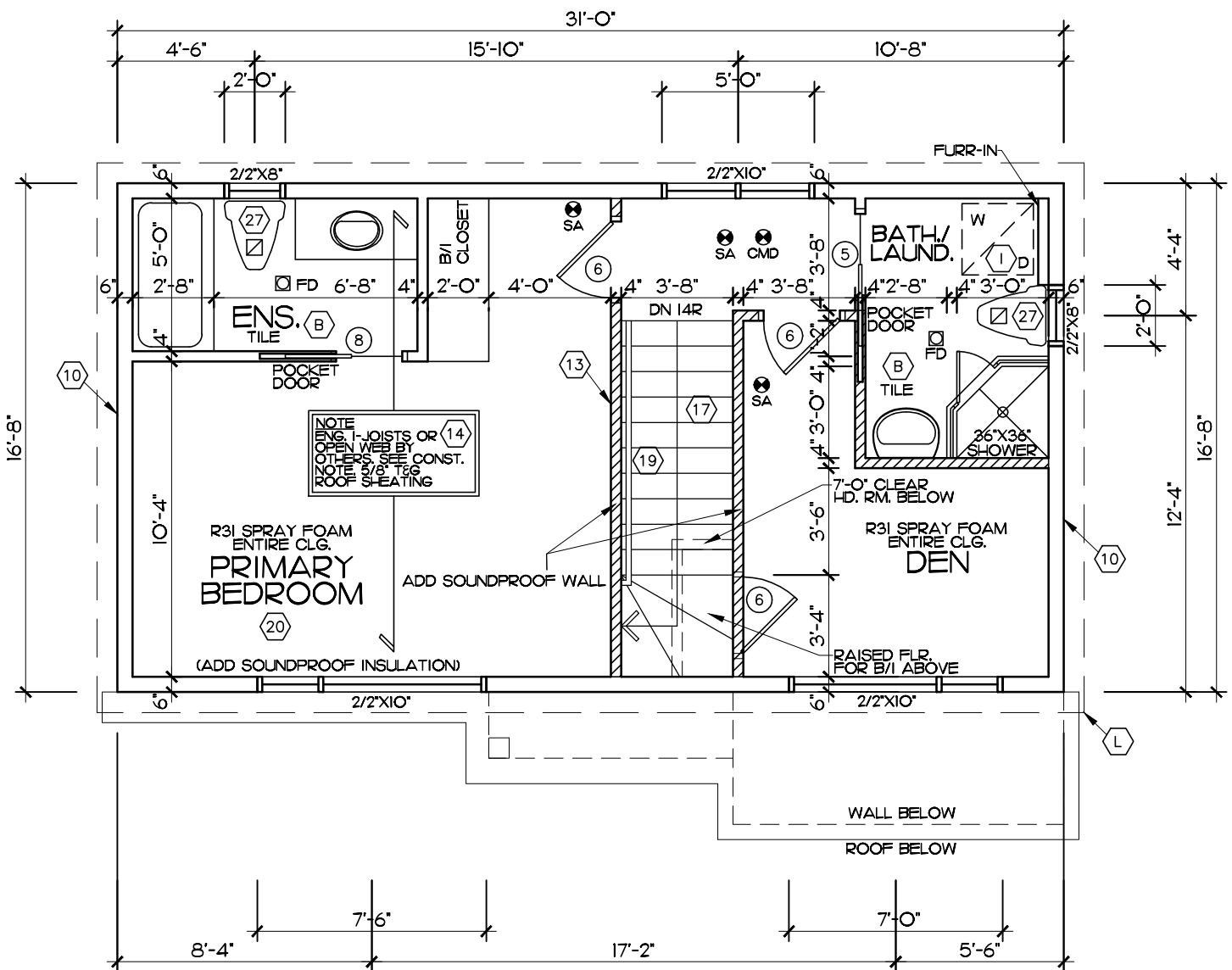
MAX ALLOWABLE IS 807.3 S.F. (75 M<sup>2</sup>)

**POINT LOADS:**

ALL POINT LOADS TO BE TRANSFERRED TO FOUNDATION WALLS OR STEEL BEAMS

S.B: SOLID BLOCKING AT RIM JOISTS AND STUDS TO TRANSFER CONTINUOUS LOADS FROM ABOVE.

P-1: 6X6 PT. 1 WOOD POST W/ 6X6 DECOR. SURROUND.



**SEC. FLOOR PLAN**

**POINT LOADS:**

ALL POINT LOADS TO BE TRANSFERRED TO FOUNDATION WALLS OR STEEL BEAMS

**MISC. CONSTRUCTION NOTES:**

- UTILITIES & MECHANICAL:
  - HOT WATER, FURNACE, AND VENTS BY OTHERS LOCATIONS INDICATED MAY VARY.
- REINFORCEMENT - TILING:
  - ALL FLOOR JOISTS TO BE 12" O.C. UNDER ALL TILED AREA.
- COLD STORAGE:
  - ADD DOOR & WEATHER STRIPPING WHEN COLD STORAGE IS IN.
- VENT W/ SCREEN.
- BOLTED CONNECTION BY STEEL FABRICATOR.
- REINFORCEMENT:
  - 2" 15M BARS HORIZ. TO EXTEND 24" PAST WINDOW X2 15M BARS VERT. TO RUN ENTIRE WALL HEIGHT.
  - MAINTAIN 2 1/2" COVER & INSTALL BARS AT 3" FROM INNER WALL FACE.
- REBAR:
  - ADD 15M BARS DOWN @ 16" O.C. VERT. AT CORNER.
  - ADD DRAINAGE MEMBRANE MIN. OVERLAP 24"
- COLUMN:
  - CONC. TO LINE UP WITH COLN ABOVE.
- VENTILATION:
  - VENT DRYER DIRECTLY TO EXTERIOR.
- EXHAUST:
  - EXHAUST TO EXTERIOR.
  - BULKHEAD AS REQUIRED
- BACK & SHELVEING:
  - PROVIDE ROD & SHELF (TYP.)
  - SHELVES IN LINEN X4 (TYP.)
- ROOF LINE ABOVE.
- REINFORCEMENT:
  - REMOVE EXISTING SHEATHING, ADD HORIZ. BLOCKING AT EXISTING STUD WALL / 2"x6" @ 24" O.C.
  - NEW STUD WALL EITHER LAG BOLTED OR BOLTED THRU @ 24" O.C. INTO BLOCKING INSTALLED IN EXISTING WALL.
  - LATERALLY UNSUPPORTED FOUNDATION WALL:
    - SEE ENGINEERED DETAIL.
    - 15M BARS 107 O.C. E.W. TO EXTEND 24" PAST STAIR OPENING ENDS
- HIGH-WALL-LIZET:
  - 2"x6" STUDS @ 12" O.C. W/ BLOCKING @ 4'-0" O.C.
  - 2"x4" STUDS @ 12" O.C. W/ BLOCKING @ 4'-0" O.C. AS REQUIRED
- REINFORCE FOR DRAB BASES:
  - STUD WALLS FOR TUBS/DRAB BASES AS PER O.B.C. 9.2.3 TO BE DONE IN ONE FULL BATHROOM

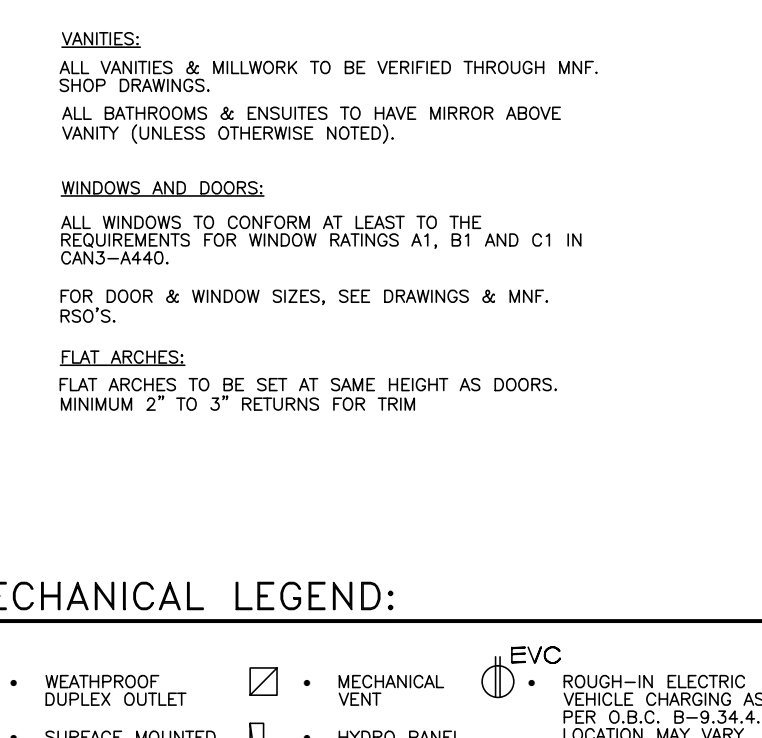
**SMOKE ALARM:**

- A SMOKE ALARM CONFORMING TO CAN/ULC-531
- STANDARD SMOKE ALARMS SHALL BE PERMANENTLY MOUNTED ON WALL CEILINGS ON ALL FLOOR LEVELS CLOSE TO STAIR WAYS.
- THEY MUST BE CONNECTED PERMANENTLY TO THE BUILDING ELECTRICAL CIRCUIT AND SHALL HAVE NO DISCONNECT SWITCH.
- THEY MUST BE INTERCONNECTED SO THAT WHEN ONE IS DETECTED, THEY ALL SOUND ALARM.

**FOOTINGS, POSTS & STRUCTURE:**

- POSTS/FOOTINGS - SEE CONSTRUCTION NOTE #2:
- ALL POST BEARING ON CONCRETE TO HAVE 6MIL POLY ON BOTTOM OF POST WRAPPED.
- STRUCTURE:
- SOLID BLOCKING AT RIM JOISTS & STUDS TO TRANSFER CONTINUOUS LOADS FROM ABOVE.
  - ALL POINT LOADS TO BE TRANSFERRED TO FOUNDATION WALLS OR STEEL BEAMS.
- |       |                     |       |   |
|-------|---------------------|-------|---|
| (F24) | 24" x 24" x 10" DP. | (P24) | 2/2"x4" WOOD STUDS - 3" BEARING                   |
| (F30) | 30" x 30" x 13" DP. | (P30) | ADD X1 KING STUD AS REQ'D AT EACH END OF OPENING. |
| (F36) | 36" x 36" x 16" DP. | (P36) | 3/2"x4" WOOD STUDS - 4 1/2" BEARING               |
| (F40) | 40" x 40" x 18" DP. | (P40) | ADD X1 KING STUD AS REQ'D AT EACH END OF OPENING. |
| (F44) | 44" x 44" x 20" DP. | (P44) | 2/2"x6" WOOD STUDS - 3" BEARING                   |
| (F48) | 48" x 48" x 22" DP. | (P48) | ADD X1 KING STUD AS REQ'D AT EACH END OF OPENING. |
| (F54) | 54" x 54" x 25" DP. | (P54) | 3/2"x6" WOOD STUDS - 4 1/2" BEARING               |
| (F60) | 60" x 60" x 28" DP. | (P60) | ADD X1 KING STUD AS REQ'D AT EACH END OF OPENING. |

**MECHANICAL LEGEND:**



**DOOR SCHEDULE:**

- 2" - 8" x 6'-8 7/8"-0"7'-0" x 1 3/4" METAL INSULATED SLAB DOOR (GARAGE TO HOUSE) WITH SLAB DOOR (GARAGE TO HOUSE) WITH INTEGRAL WEATHER STRIPPING AND CLOSURE.
- 2" - 8" x 6'-8 7/8"-0"7'-0" x 1 3/4" METAL INSULATED SLAB DOOR (GARAGE TO HOUSE) WITH SLAB DOOR (GARAGE TO HOUSE) WITH INTEGRAL WEATHER STRIPPING AND CLOSURE.
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**STEEL LINTELS:**

- L1. L - 3 1/2 x 3 1/2 x 1/4"
- L2. L - 4 x 3 1/2 x 5/16"
- L3. L - 5 x 3 1/2 x 5/8"
- L4. L - 5 x 3 1/2 x 3/8"
- L5. L - 6 x 4 x 3/8"

**STRUCTURAL STEEL:**

- ALL WINDOWS TO CONFORM AT LEAST TO GRADE 30 OR STEEL IN CAN/ULC-21 TO BE SHIP PAINTED.
- SUPPLY DUCTS AND RETURN DUCTS IN UNHEATED SPACES SHALL BE INSULATED TO PROVIDE AN R-12 VALUE. ALL JOISTS TO BE SECURELY FASTENED AND LAPED.
- ALL BATHROOMS & ENSUITES TO HAVE MIRROR ABOVE VANITY (UNLESS OTHERWISE NOTED).
- ALL MICROLAM BEAMS MUST BE BOLTED AS PER MANUFACTURERS REQUIREMENTS TYP.
- STEEL BEAMS MUST BE SHORED UNTIL BRICKS ARE COMPLETE AND STUD WALL AND FLOOR JOISTS ARE SECURED TO ROOF AND FLOOR SHEATHING TYP.

COMPONENT	THERMAL VALUES	COMPLIANCE PACKAGE AT
WINDOWS & SLIDING GLASS DOORS	MAX. U 0.28 ENERGY RATING	25
SKYLIGHTS	MAX. U 0.49	
SPACE HEATING EQUIPMENT	MIN. AFUE 96%	
HEAT RECOVERY VENTILATOR	MIN. SRE 75%	
DOMESTIC WATER HEATER	MIN. EF 0.80	

JEFF JANSEN DECLARES THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF JANSEN CONSULTING UNDER DIVISION C, SUBSECTION 3.2.5 AND 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED SET OUT BY THE O.B.C. QUALIFIED DESIGNER BCIN = 30272 FIRM BCIN = 110042

DATE: APR. 12 2023 SIGNATURE:

70 Main Street N, P.O. Box 38 Campbellville, ON, L0P 1B0  
Ph. 905-854-9696  
Fax 905-854-9559  
Call 905-815-3438  
EMAIL: jeffjansendesign@gmail.com

TYPE: H-007  
PROJECT: 37 PARADISE RD. S.  
LOCATION: HAMILTON, ON

OWNERS INFORMATION: YASER JAFAR HAMILTON, ON

**FLOOR PLANS & CONSTRUCTION NOTES**

SCALE: 3/8"=1'-0"

DATE: APR. 12 2023

PROJECT NO: 2023-007

DRAWN BY: ALI

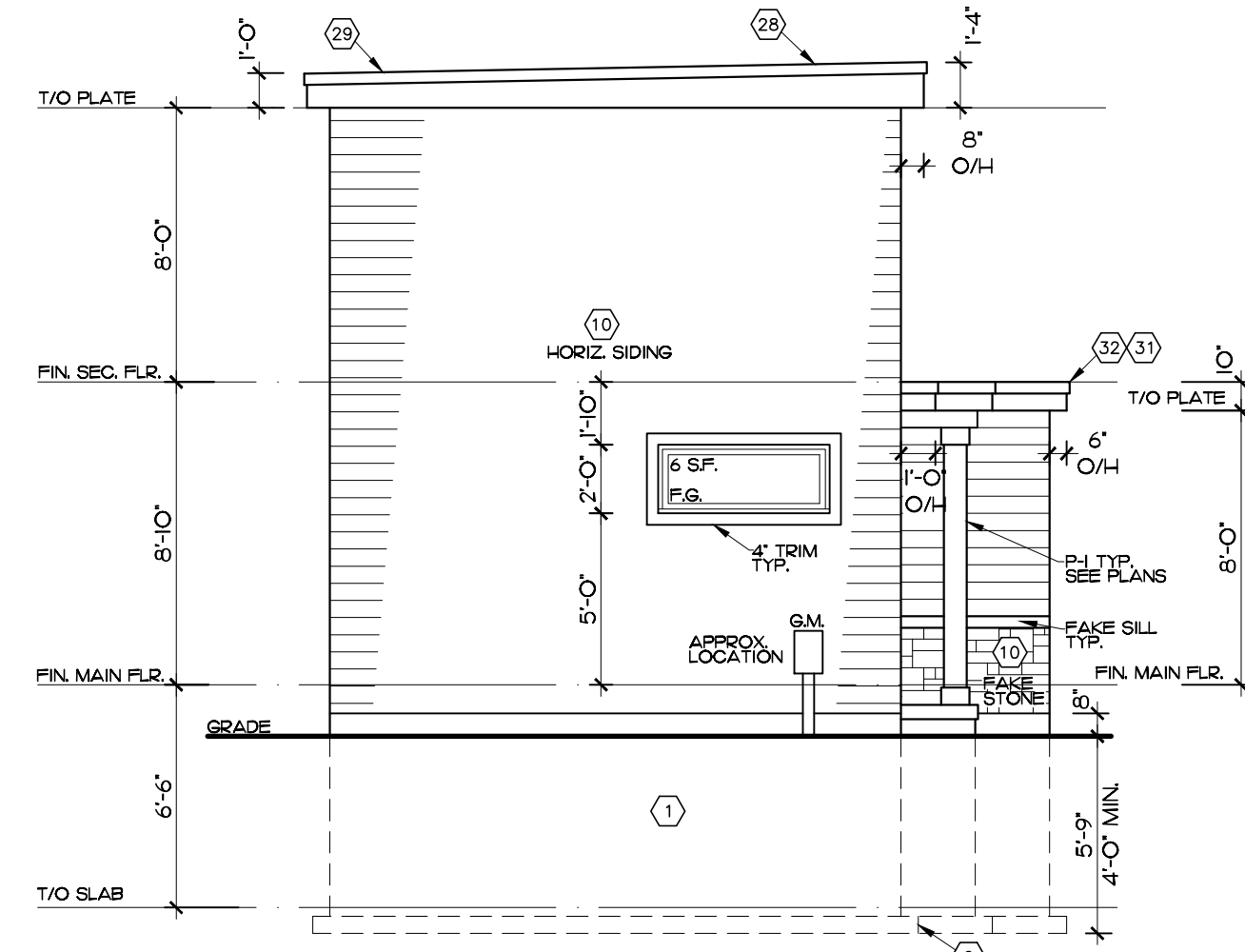
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FILE NAME: 2023-007

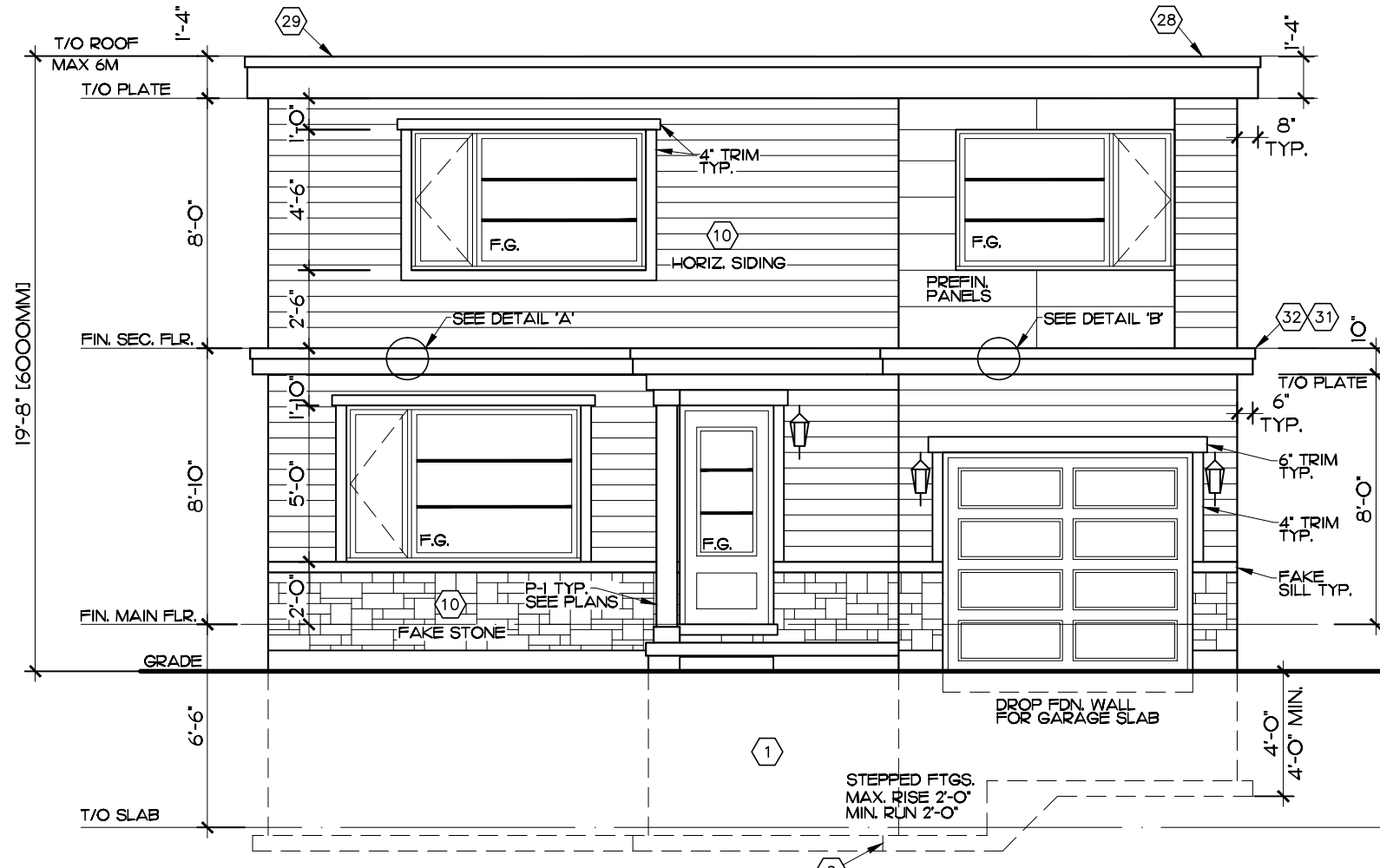
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NO.	DATE	DESCRIPTION

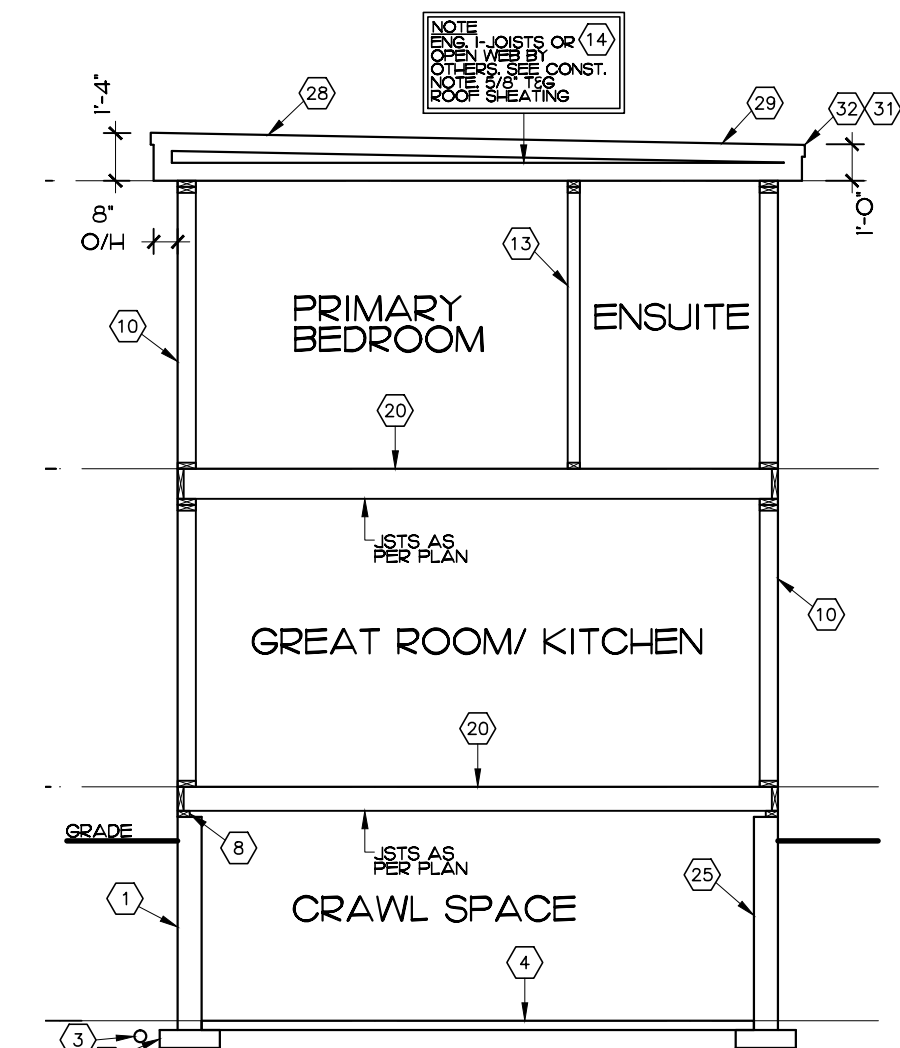




**LEFT ELEVATION**  
 WALL AREA = 347 SF.  
 ALLOWABLE OPENING \*71 = 59 SF.  
 STANDARD PROPOSED OPENING = 6 SF.



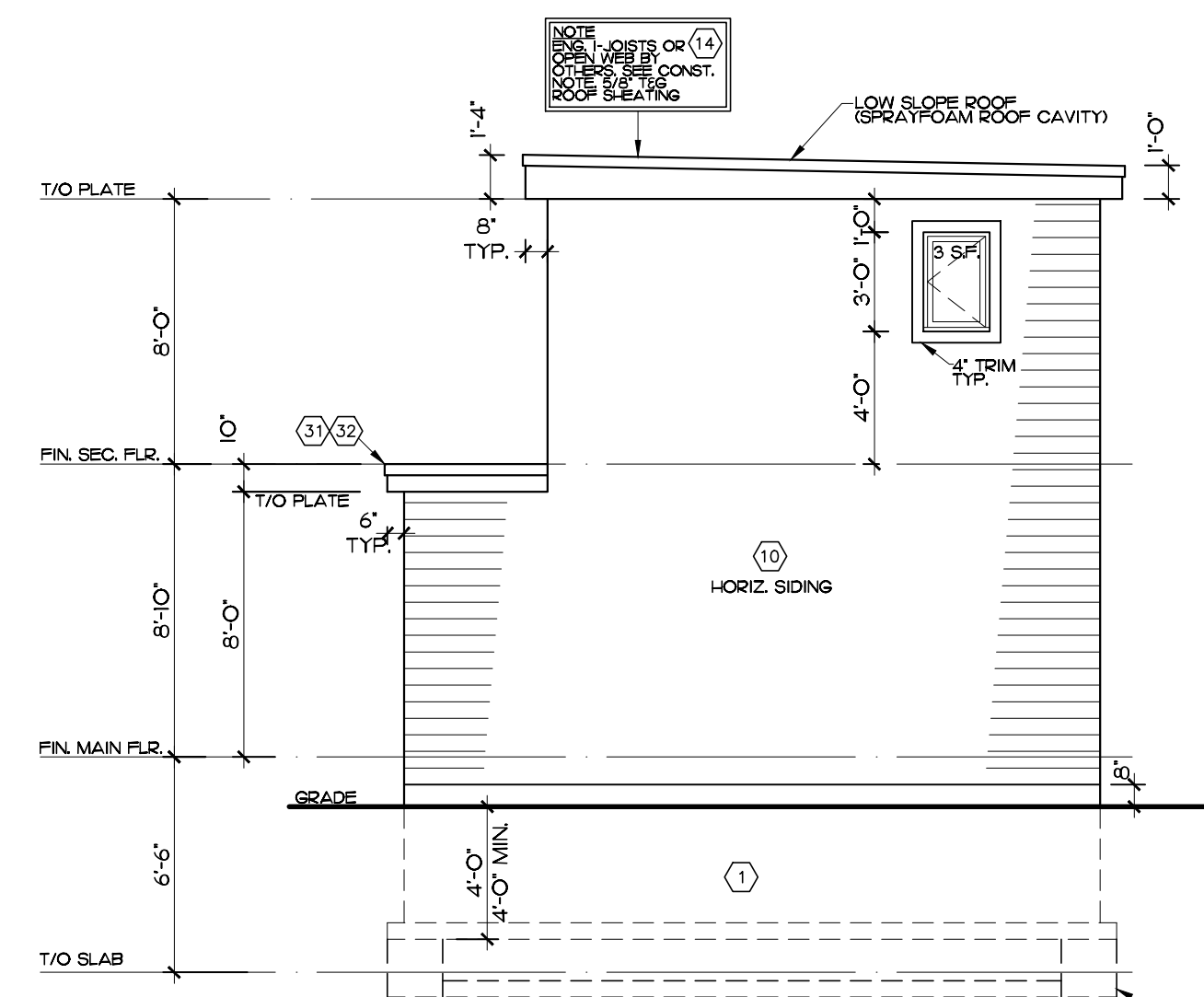
**FRONT ELEVATION**



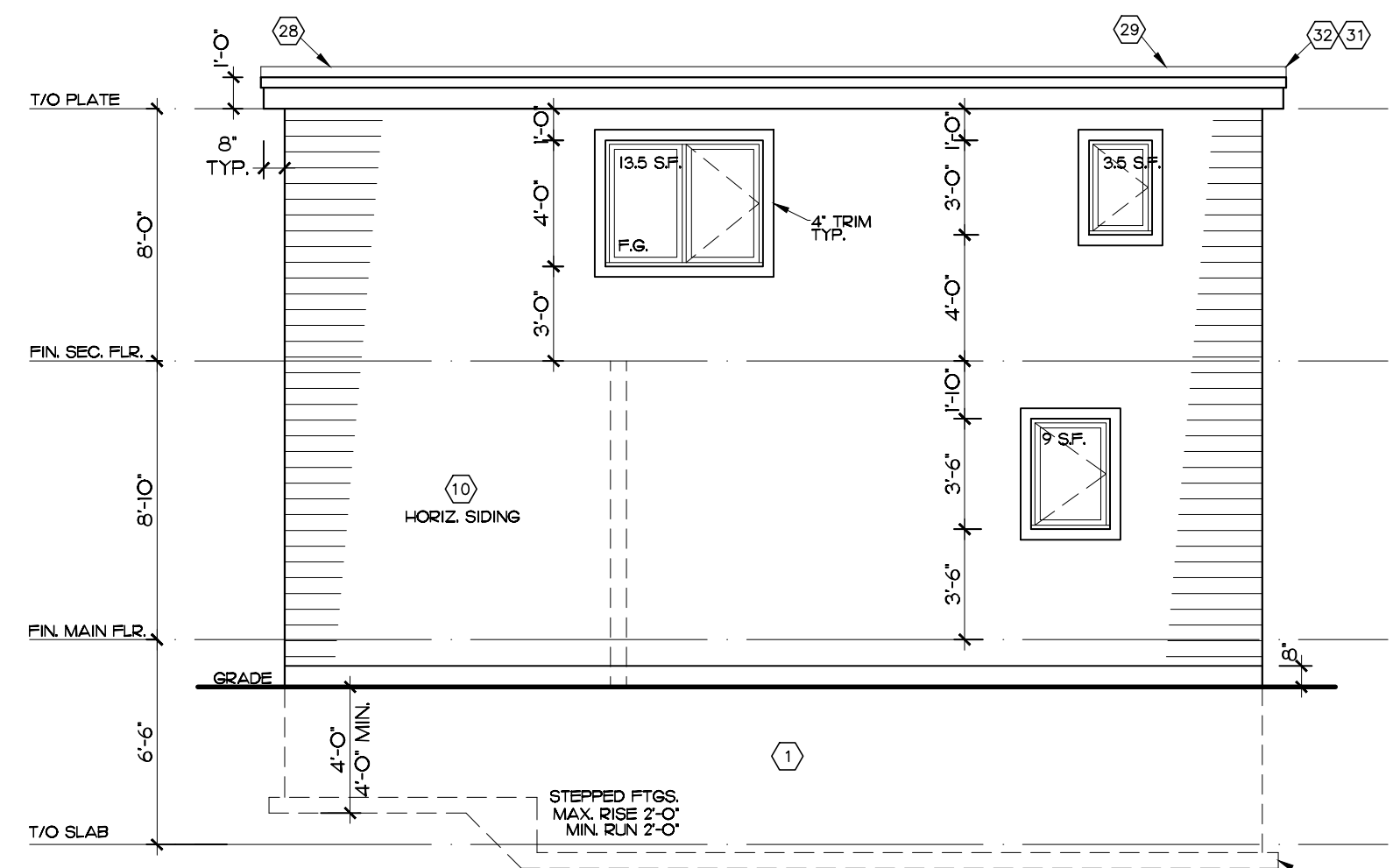
**BUILDING SECTION - A**

WALL	WALL AREA S.F.	AREA OF OPENINGS S.F.
FRONT	568 S.F.	125 S.F.
RIGHT	347 S.F.	6 S.F.
REAR	568 S.F.	58 S.F.
LEFT	347 S.F.	10 S.F.
TOTAL	1830 S.F. (170 M <sup>2</sup> )	199 S.F. (18.45 M <sup>2</sup> )

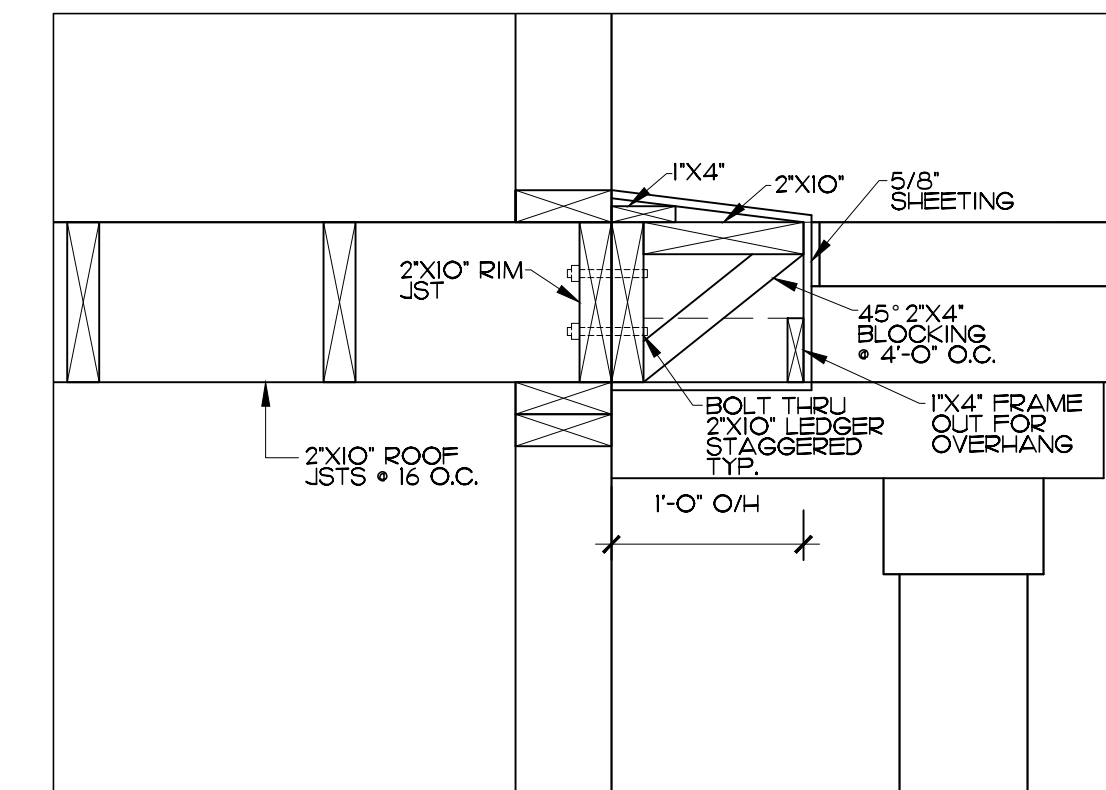
ALLOWABLE SB-10 PRESCRIPTIVE WINDOW 1019  
 PROPOSED SB-12 PRESCRIPTIVE WINDOW 1019  
 BASED ON HIGHEST WINDOW CALCULATIONS



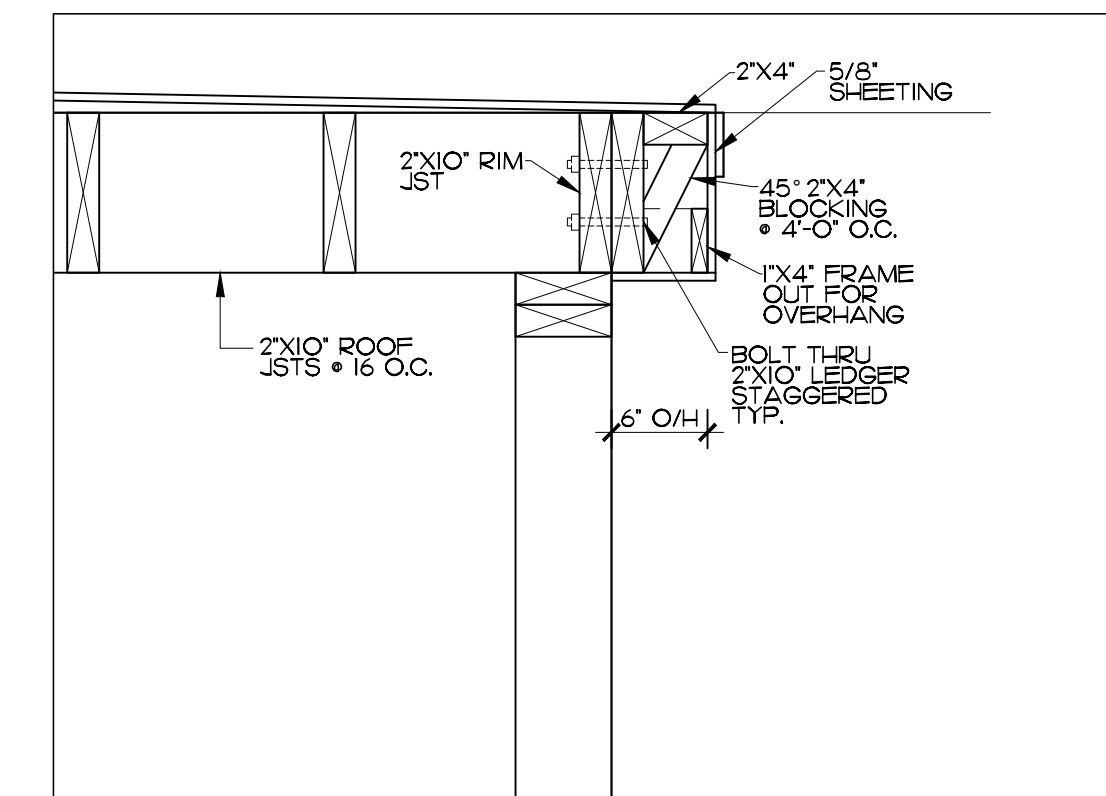
**RIGHT ELEVATION**  
 WALL AREA = 347 SF.  
 ALLOWABLE OPENING \*71 = 24.29 SF.  
 STANDARD PROPOSED OPENING = 3 SF.



**REAR ELEVATION**  
 WALL AREA = 568 SF.  
 ALLOWABLE OPENING \*71 = 39.76 SF.  
 STANDARD PROPOSED OPENING = 26 SF.



**DETAIL 'A'**  
 1"=1'-0"



**DETAIL 'B'**  
 1"=1'-0"

I, JEFF JANSEN DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF JANSEN CONSULTING UNDER DIVISION C, SUBSECTION 3.2.5 AND 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED SET OUT BY THE O.B.C. QUALIFIED DESIGNER BCIN - 30272 FIRM BCIN - 110042  
 DATE: APR. 12 2023 SIGNATURE: [Signature]

**Jansen Consulting**  
 DESIGN + CONSULTING + MANAGEMENT  
 70 Main Street N., P.O. Box 38  
 Campbellville, ON, L0P 1B0  
 Ph: 905-854-9696  
 Fax: 905-854-9559  
 Call: 905-815-3438  
 EMAIL: jeffjansendesign@gmail.com

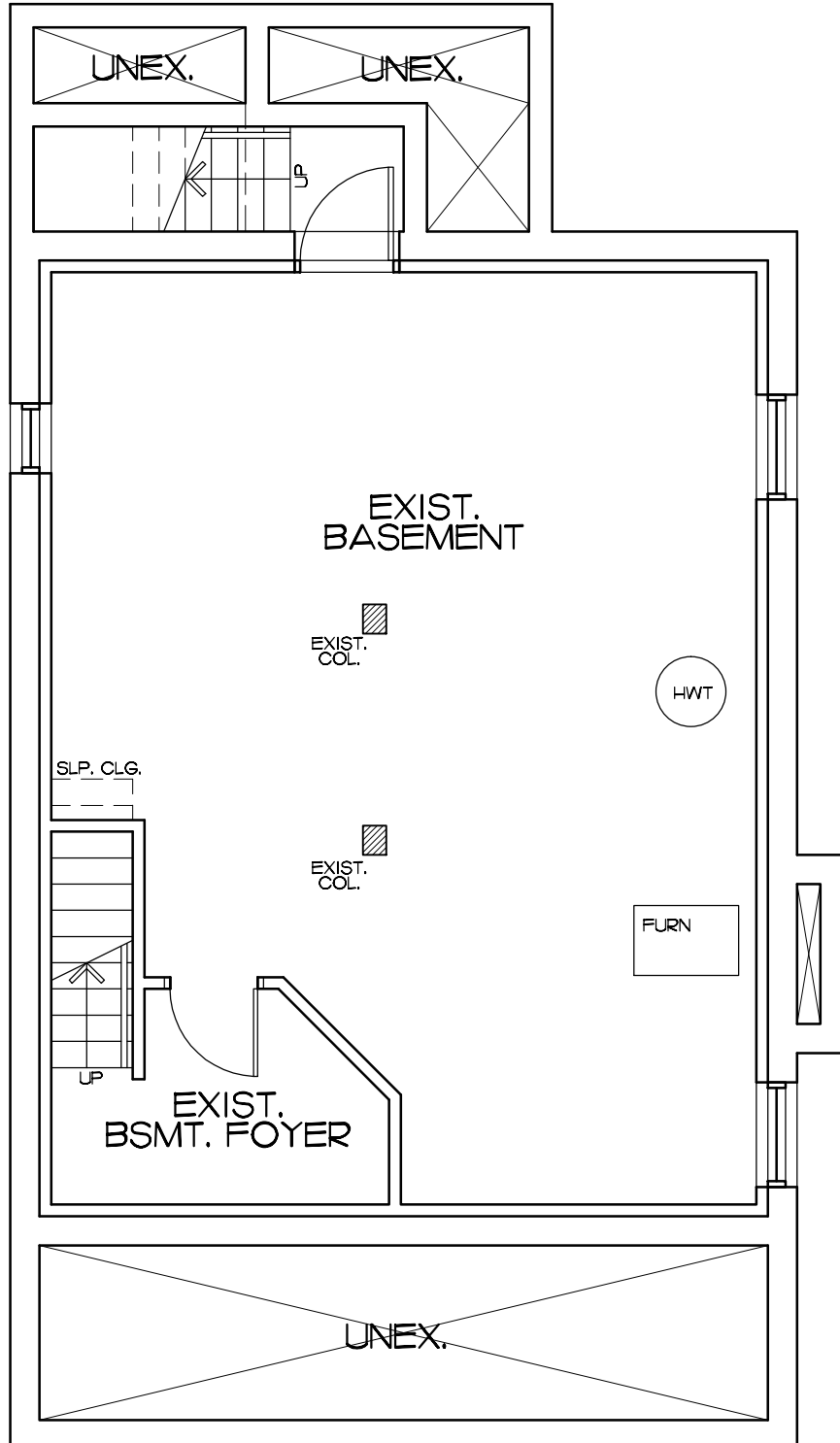
TYPE : H-007  
 PROJECT : 37 PARADISE RD. S.  
 LOCATION : HAMILTON, ON

OWNERS INFORMATION :  
 YASER JAFAR  
 HAMILTON, ON

ELEVATIONS  
 BUILDING SECTION  
 & DETAILS

NO.	DATE	DESCRIPTION

SCALE	DATE	PROJECT NO.
3/16"=1'-0"	APR. 12 2023	2023-007
DRAWN BY	CHECKED BY	DRAWING NO.
AL	AL	A2



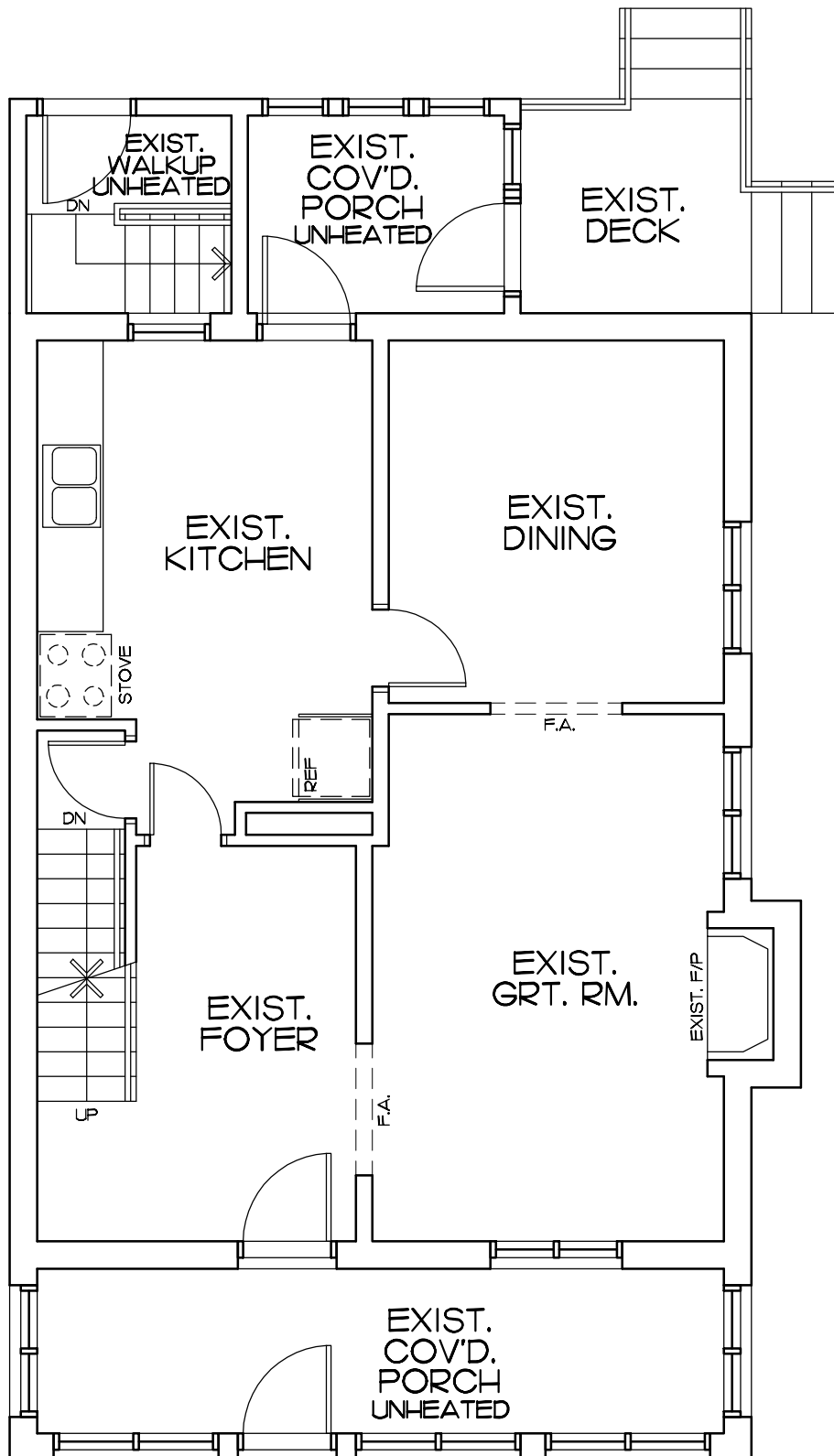
## EXIST. BASEMENT FLOOR PLAN

SCALE : 3/16" = 1'-0"

NOTE: JANSEN CONSULTING PREPARED THESE LAYOUTS BASED OFF SITE MEASURE MEASUREMENTS PROVIDED BY THE OWNERS. JANSEN CONSULTING DOES NOT TAKE ANY RESPONSIBILITY FOR MEASUREMENT OR LAYOUT ACCURACY.

NOTE:  
6'-1" HIGH CEILING  
SLAB TO U/S JSTS.





## EXIST. MAIN FLOOR PLAN

SCALE : 3/16" = 1'-0"

NOTE: JANSEN CONSULTING PREPARED THESE LAYOUTS BASED OFF SITE MEASURE MEASUREMENTS PROVIDED BY THE OWNERS. JANSEN CONSULTING DOES NOT TAKE ANY RESPONSIBILITY FOR MEASUREMENT OR LAYOUT ACCURACY.

MAIN FLOOR AREA = 661 S.F.
MAIN FLOOR PORCHES / UNHEATED SPACES AREA = 232 S.F.
SECOND FLOOR AREA = 652.5 S.F.
UPPER FLOOR AREA = 444.2 S.F.
FINISHED BASMENT AREA = 501.5 S.F. (569.5 - 68 S.F. (HVAC/LAUNDRY) = 501.5 S.F.)
TOTAL AREA WITH NO PORCHES = 2259.2 S.F. (209.9 M2)

SITE SPECIFIC GFA: LOT AREA X (GFA FACTOR)  
 232.62 M2 (LOT AREA) X 0.45M (GFA FACTOR)  
 104.68 M2 ALLOWED GFA

\*\*\* VARIANCE NEEDED FOR TOTAL SITE SPECIFIC GFA \*\*\*

EXIST. DWELLING GFA = 209.9 M2  
 PROP. D-ADU GFA = 74.87 M2

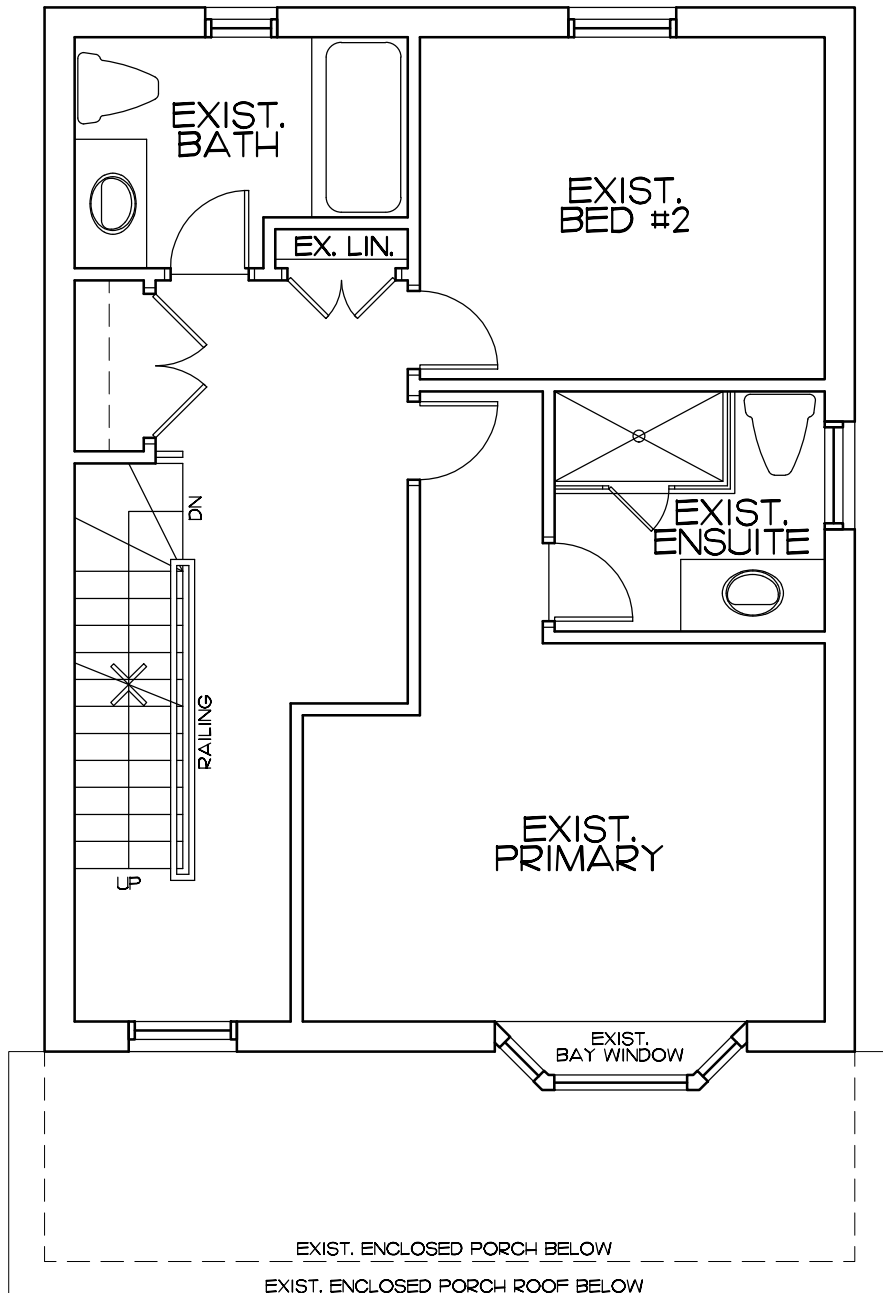
TOTAL LOT GFA = 284.75 M2



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 Fax 905-854-9559  
 Cell 905-815-3438  
 EMAIL : jeffjansendesign@gmail.com

OWNERS INFORMATION :  
 YASER JAFAR  
 37 PARADISE ROAD S.  
 HAMILTON, ON

D02

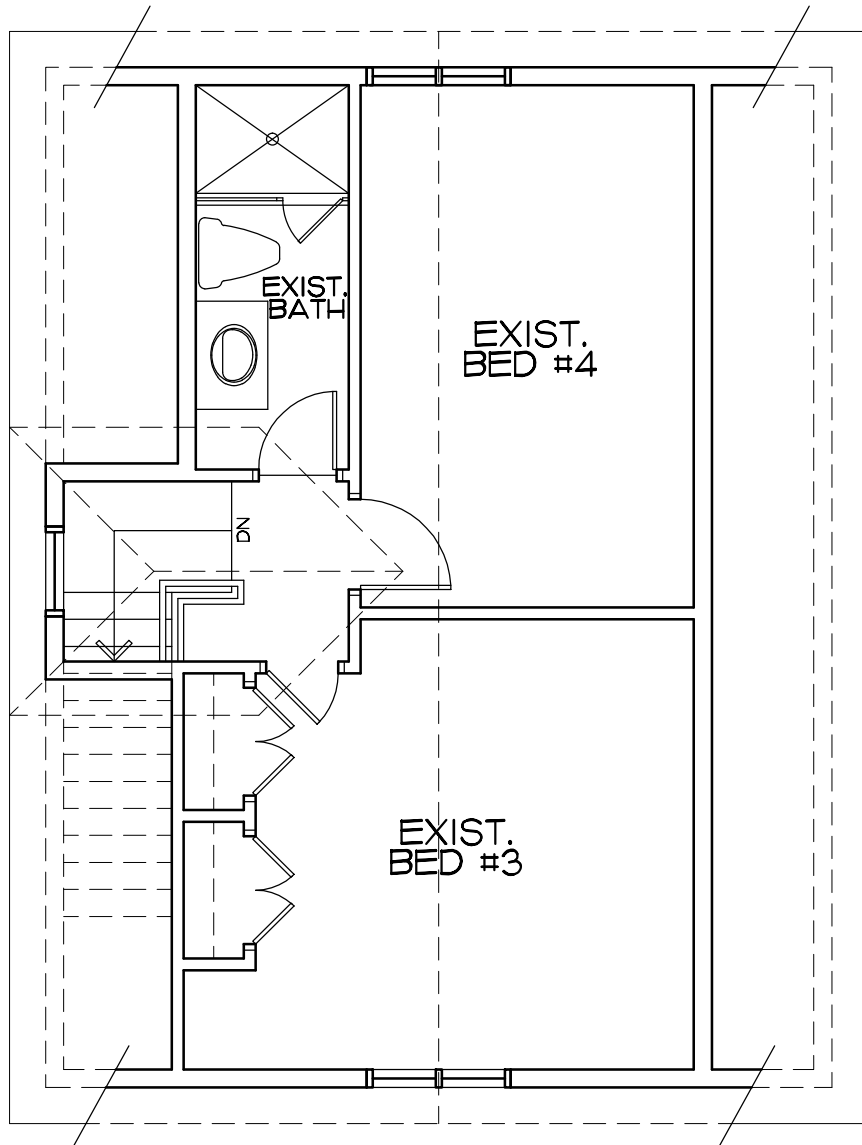


## EXIST. SEC. FLOOR PLAN

SCALE : 3/16" = 1'-0"

NOTE: JANSEN CONSULTING PREPARED THESE LAYOUTS BASED OFF SITE MEASURE MEASUREMENTS PROVIDED BY THE OWNERS. JANSEN CONSULTING DOES NOT TAKE ANY RESPONSIBILITY FOR MEASUREMENT OR LAYOUT ACCURACY.





## EXIST. UPPER FLOOR PLAN

SCALE : 3/16" = 1'-0"

NOTE: JANSEN CONSULTING PREPARED THESE LAYOUTS BASED OFF SITE MEASURE MEASUREMENTS PROVIDED BY THE OWNERS. JANSEN CONSULTING DOES NOT TAKE ANY RESPONSIBILITY FOR MEASUREMENT OR LAYOUT ACCURACY.



*A. J. Clarke and Associates Ltd.*

SURVEYORS • PLANNERS • ENGINEERS

City of Hamilton Planning and Development  
City Hall 5<sup>th</sup> Floor  
71 Main St W, Hamilton, ON L8P 4Y5

November 1, 2023

Attn: Jamila Sheffield  
Secretary-Treasurer, Committee of Adjustment

**Re: 37 Paradise Road South – Minor Variance Application Submission**

---

Dear Madam:

A.J Clarke and Associates Ltd. has been retained by the owner Yaser Jafar for the purposes of submitting the enclosed Minor Variance Application for the subject lands, municipally known as 37 Paradise Road South, in the City of Hamilton.

The purpose of this analysis is in support of the Minor Variance Application for the subject lands.

The following supporting materials are submitted to your attention, in support of the subject application:

- One (1) electronic copy of the required filled and signed Minor Variance Application Form;
- Architectural Drawings of the existing Single Detached Dwelling prepared by Jansen Consulting dated October 18, 2023
- Architectural drawings of the Secondary Dwelling Unit – Detached prepared by Jansen Consulting dated April 12, 2023.
- Payment in the sum of \$3,735.00 will be delivered with a cheque, with one (1) electronic copy submitted with this application.

The subject site is located on the northeastern corner of Paradise Road South and Olmstead Street, in the City of Hamilton. The subject lands are currently occupied by a single detached, two-storey dwelling with a garage located in the rear yard with access to Olmstead Street. The property is proposed to be redeveloped to add an Additional Dwelling Unit (ADU) - detached, replacing the existing garage in the rear yard with access to Olmstead Street. The subject lands have previously applied for and received relief in in respect to the subject lands (HM/A-22:89). However, since receiving these minor variances the owner has begun the process of applying for a building permit, completing a zoning by-law review which identified two (2) additional variances.

The surrounding area consists largely of residential uses, with various institutional uses, mixed-use medium density King Street West to the north (including a grocery store directly across Paradise Road South) and local commercial along Main Street West to the south (including the Main Street West Urgent Care Centre. The residential uses are concentrated around the subject site, consisting mainly of single detached dwellings. Westdale Secondary School is located directly across Paradise Road South to the west of the subject lands.

The immediate surrounding land uses include:





<b>North</b>	Single-Detached Dwellings
<b>South</b>	Single-Detached Dwellings
<b>West</b>	Secondary School, Community Institutional
<b>East</b>	Single-Detached Dwellings

A review of the applicable planning policies has been included below.

## **Planning Policy Overview**

### **Urban Hamilton Official Plan (UHOP)**

The Urban Hamilton Official Plan is the guiding document for where and how the City of Hamilton will grow until 2051 and beyond.

The subject lands are designated 'Neighbourhoods' on Schedule E-1 – Urban Land Use Designations in the Urban Hamilton Official Plan (UHOP). The 'Neighbourhoods' designation permits uses such as; residential dwellings, including secondary dwelling units, and housing with supports, open space and parks, local community facilities/services, and local commercial uses.

The subject lands are also situated on a Primary Corridor as per Schedule E – Urban Structure of the UHOP.

Chapter B, Section 2.4 – 'Residential Intensification' includes significant policies associated with the proposed SDU. This section outlines the importance of intensification within the existing built-up area, including the primary intensification areas of Urban Corridors. As per Schedule E of the UHOP, the subject lands are located along a Primary Corridor along Paradise Rd South, directly joining the corridors of King Street West and Main Street West. These Urban Corridors shall be planned to accommodate approximately 40% of the residential intensification targets of the city. Policy B.2.4.1.4 outlines residential intensification criteria:

- a) a balanced evaluation of the criteria in b) through g), as follows;
- b) the relationship of the proposal to existing neighbourhood character so that it maintains, and where possible, enhances and builds upon desirable established patterns and built form;
- c) the development's contribution to maintaining and achieving a range of dwelling types and tenures;
- d) the compatible integration of the development with the surrounding area in terms of use, scale, form and character. In this regard, the City encourages the use of innovative and creative urban design techniques;
- e) the development's contribution to achieving the planned urban structure as described in Section E.2.0 – Urban Structure;
- f) infrastructure and transportation capacity; and,
- g) the ability of the development to comply with all applicable policies.

B.2.4.2.2 also lists criteria for residential intensification within the 'Neighbourhoods' designation and the proposed SDU development follows these criteria as well as those described in B.2.1.4.



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3.2.4.4 states: “A secondary dwelling unit shall be permitted on a single, semi-detached or townhouse lot in all Institutional, Neighbourhoods, Commercial and Mixed Use designations, as shown on Schedule E-1 – Urban Land Use Designations, provided it complies with all applicable policies and Zoning By-law regulations.” With the exception of the minor variances being sought in this application, the proposed development complies.

## Ainslie Wood Westdale Secondary Plan

The Ainslie Wood Westdale Secondary Plan establishes land uses, development standards and provisions regarding cultural heritage, urban design and transportation, to guide the development and/or redevelopment of lands located in the Ainslie Wood Westdale Secondary Plan area. This secondary plan area is bounded by the former boundaries between the former City of Hamilton and former Town of Dundas on the west, Cootes Paradise on the northwest, and Highway 403 on the east and the southeast.

A goal of this secondary plan is to include a variety of residential densities and housing choices to meet the diverse needs of its many citizens including homeowners and students. Predominantly low-density residential appearance shall be preserved and restored, with higher densities directed towards appropriate locations such as major roads.

The subject lands are designated ‘Low Density Residential 2’ as per Map B.6.2-1 ‘Ainslie Wood Westdale Secondary Plan’. Permitted uses shall include single detached dwellings, semi-detached dwellings, duplexes, and street townhouses, and existing legal 3, 4, and 5-plexes; single detached housing shall be the primary form of housing.

## Former City of Hamilton Zoning Bylaw 6593

The subject lands are zoned “C” District, (Urban Protected Residential, Etc.) in the Former City of Hamilton Zoning By-law No. 6593. The “C” District zoning permits uses such as: single family dwellings; foster homes; residential care facility or retirement home (of no more than 6 residents); day nurseries; school; seminary; and cultural, recreational, or community centre.

A review of the applicable zone provisions will be included below:

Regulation	Requirement	Provided
Maximum Height	6.0 metres	6.3m (calculated from Avg. Grade at top of Curb)
Gross Floor Area	No greater than the area within the district of the lot on which it is situated multiplied by the floor area ratio factor of 0.45.	Total Floor Area Ratio of 1.23 provided.



## Minor Variance

Several variances are required to facilitate the proposed development. The variances requested are as follows:

1. To permit a maximum height of 6.3 metres whereas a maximum height of 6.0 metres is required.
2. To permit a maximum FAR of 1.23 on site (SDD = 0.90 + ADU = 0.33), whereas the maximum FAR is 0.45.

This minor variance application is made under the authority of Section 45(1) of the Planning Act. Accordingly, a minor variance must meet the requisite four tests as described in Section 45 (1) of the Act. The tests and professional opinion are outlined below:

### **1. Do the proposed variances maintain the intent and purpose of the Urban Hamilton Official Plan?**

The proposed variances maintain the intent and purpose of the Urban Hamilton Official Plan as the subject site is designated “Neighbourhoods” as per Schedule E1 – Urban Land Use Designations.

The ‘Neighbourhoods’ designation permits uses such as; residential dwellings, including secondary dwelling units, and housing with supports, open space and parks, local community facilities/services, and local commercial uses. Further this designation supports a full range of residential dwelling types and densities.

Further as per Section 3.2.3 The following uses shall be permitted on lands designated Neighbourhoods on Schedule E-1 – Urban Land Use Designations:

- a) residential dwellings, including second dwelling units and housing with supports;

The Secondary Dwelling is permitted on site, as such the proposal meets the purpose and intent of the Official Plan.

### **2. Do the proposed variances maintain the intent and purpose of the City of Hamilton Zoning By-law 6593?**

The required variances to City of Hamilton Zoning By-law No. 6593 are intended to facilitate an SDU on the corner lot of 37 Paradise Road South.

### **Maximum Height**

The proposed secondary dwelling unit requires a variance to permit a maximum height of 6.3 metres where 6.0 metres is required.



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The overall intent of this zoning by law with respect to maximum height is to ensure that there are no impacts with respect to overlook onto adjacent dwellings.

Within the Zoning By-law the definition of maximum height is measured from the top of curb to the peak of the roof of the proposed development. This results in a maximum height of 6.3 metres for the proposed secondary dwelling unit.

However, when the height of the proposed SDU is measured from the base of the building, the maximum height is 6.0 metres. The requested variances are in keeping with the size and scale with the neighbourhood and adjacent residential uses. The variance is technical in nature and does not result in an increase in overall height for the SDU and is a result in how height is calculated based on the top of the curb in front of the SDU.

It is our professional opinion that the proposed development maintains the intent and purpose of the City of Hamilton Zoning By-law 6593.

## **Floor Area Ratio (FAR)**

In 1996, Council created a Zoning By-law with the intent of limiting the size of new student houses that we're being constructed in and around the McMaster Neighbourhood. This By-law exists today.

The intent of FAR restriction is to ensure that each lot is not overdeveloped, and is restricted through the floor area ratio factor of 0.45.

As per the existing zoning by-law the maximum gross floor area is the lot area multiplied by the floor area ratio factor of 0.45. Further, unlike other parts of the City, the FAR includes areas such as basements, cellars, and areas dedicated to HVAC equipment, which isn't typical. As such, the resultant number is inflated as it includes basements. As a result, the maximum gross floor area for any dwelling on this lot is 104.68m<sup>2</sup>. However, the existing single detached dwelling GFA is 209.9m<sup>2</sup> which reflects a floor area ratio factor of 0.93, which is already above the permitted floor area ratio factor of 0.45, as the existing single detached dwelling predates the by-law 96-106 where this was introduced.

The proposed Secondary Dwelling Unit – Detached has a GFA of 74.84m<sup>2</sup>, resulting in a total GFA of 284.75m<sup>2</sup> on property, which represents a floor area ratio factor of 1.23.

There are multiple mechanisms for controlling the area of the Secondary Dwelling unit on the property. For instance, there is a maximum lot coverage of 25% for the SDU. This provision is met.

There is a maximum bedroom count of 2 beds. This provision is met.

There is a maximum GFA of 75m<sup>2</sup>, this provision is met.





The single detached dwelling on site already exists and results in a FAR of 0.93. The Secondary Dwelling will add 0.23 FAR to the property. Given that all the other provisions to control for the size and intensity of the SDU are met, this variance is technical in nature and meets the intent of the Zoning By-law.

**3. Are the proposed variances appropriate for the development of the subject lands?**

As noted above the variances will facilitate the construction of a detached secondary dwelling unit, where there is currently a detached garage. Secondary dwelling units represent a gentle intensification, and residential infill that is permitted across the city.

The requested variance are appropriate for the development of the subject lands to increase residential density within the neighbourhood in a size and scale that is appropriate to its surroundings. The proposed development will help infill space along Olmstead, making for a complete streetscape while providing for increase housing options in the area.

It is our professional opinion that the proposed variances are appropriate for the development of the subject lands.

**4. Are the proposed variances minor in nature?**

The proposed variances are minor in nature and represent good planning. The proposed variances maintain the intent of the Official Plan, and the Zoning by-law by creating a secondary dwelling unit reflecting the scale and character of the neighbourhood. There are no perceived impacts stemming from the variances as the built form is in keeping with the existing built form of the neighbourhood. There are no perceived impacts on the neighbourhood stemming from the proposed development and accordingly, it is our professional planning opinion that the variances are minor in nature.

As such, the proposed development is appropriate on the subject lands and has sufficient regard for the matters listed under Section 51 (24) of the Planning Act and the four tests are met.

I trust you will find the enclosed satisfactory for your purposes. Please confirm receipt of this submission and we look forward to being scheduled for the next available hearing date. If you have any questions or require additional information, please do not hesitate to contact our office.

Sincerely,

A handwritten signature in blue ink that reads "Ryan Ferrari".

Ryan Ferrari, MCIP, RPP

Senior Planner

A.J. Clarke and Associates Ltd.



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME
Registered Owners(s)	Yaser Jafar
Applicant(s)	Same as owner
Agent or Solicitor	A.J. Clarke and Associates Ltd. c/o Ryan Ferrari



1.2 All correspondence should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent \_\_\_\_\_

1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:

Municipal Address	37 Paradise Road South		
Assessment Roll Number	251801005406280		
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)	118	Part(s)	Pt Lot 32

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

### 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Please see attached cover letter

Second Dwelling Unit  Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Please see attached cover letter

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
7.62 metres	30.53 metres	233 square metres	20.12 metres

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Detached Dwelling	+/- 0.7m	+/- 16m	0.7m, 0m	unknown

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Secondary Dwelling	Please see attached			

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Detached Dwe		209.9 sq m	2.5	

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Secondary Dwelling	2900 Square Feet	74.87 sq m	2	6.29m

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)



4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Proposed Development includes demolishing the existing accessory structure and building a secondary dwelling unit - detached.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwellings

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2012/06/28

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Family Residential

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Dwelling and 1 accessory struture

7.4 Length of time the existing uses of the subject property have continued:

unknown

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

Please see attached Cover Letter

7.6 What is the existing zoning of the subject land? HM/A-22:89

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: HM/A-22:89

---

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes  No

If yes, please provide the file number: \_\_\_\_\_

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

N/A  Yes  No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

The variances being sought with this application are to facilitate the development of a secondary dwelling unit - detached.

Please see attached Cover Letter for additional details.

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study

Architectural Drawings of existing single detached  
dwelling, and proposed Secondary Dwelling Unit