

AMENITY / COMMERCIAL / RETAIL DATA	
DATA	PROVIDED
COMMERCIAL/RETAIL AREA (m ²)	N/A
AMENITY AREA (m ²)	13,775 ft ² (1,279 m ²)
REQUIRED	REQUIRED
82 (<50 m ²) @ 4(m ²)/unit = 328	12,443 ft ² (1,156 m ²)
128 (>50 m ²) @ 6(m ²)/unit = 768	
10 (>50 m ²) @ 6(m ²)/unit = 60 (TOWNS)	
INDOOR AMENITY AREA (m ²)	2,747 ft ² (255 m ²)
OUTDOOR AMENITY AREA (m ²) (Excl'd Balconies)	11,028 ft ² (1,024 m ²)

UNIT BREAKDOWN			
DATA	AMOUNT	%	AREA RANGE
STUDIO	12	5.5%	414 ft ² - 636 ft ²
1 BED	111	50.5%	448 ft ² - 617 ft ²
1 BED + D	71	32.3%	587 ft ² - 740 ft ²
2 BED	8	3.6%	752 ft ² - 793 ft ²
2 BED + D	8	3.6%	841 ft ² - 1143 ft ²
3 BED	10	4.5%	1770 ft ² - 1932 ft ² (3 storeys)
TOTAL	220	100%	

POTENTIAL UNIT BREAKDOWN (Combining units on L1-L3 to get larger units)			
DATA	AMOUNT	%	AREA RANGE
STUDIO	12	5.9%	414 ft ² - 636 ft ²
1 BED	88	42.9%	448 ft ² - 617 ft ²
1 BED + D	66	32.2%	587 ft ² - 740 ft ²
2 BED	6	2.9%	752 ft ² - 793 ft ²
2 BED + D	19	9.3%	841 ft ² - 1,145 ft ²
3 BED + D	4	2.0%	1,370 ft ² - 1,457 ft ²
3 BED TOWNHOUSES	10	4.9%	1770 ft ² - 1932 ft ² (3 storeys)
TOTAL	205	100%	

BUILDING DATA (Apartment & townhouses)	
DATA	PROVIDED
TOTAL DENSITY (# of units)	220 total units

APARTMENT	
DATA	PROVIDED
TOTAL DENSITY (# of units)	210 apartment units
BUILDING AREA (Excl'd Townhouses)	23,935 ft ² (2,224 m ²)
TOWER FOOTPRINT	N/A
GROSS FLOOR AREA (Excl'd Townhouses)	155,448 ft ² (14,442 m ²)
UNDERGROUND PARKING AREA	82,918 ft ² (7,703 m ²)
GROSS CONSTRUCTION FLOOR AREA (m ²) (INCLUDING UNDERGROUND, EXCLUDING TOWNHOUSES & MECH. PH)	238,366 ft ² (22,145 m ²) (INCLUDES RAMP)
1 TO 3 LEVELS	85 units
4 TO 8 LEVELS	125 units
NUMBER OF STOREYS	8 STOREYS
BUILDING HEIGHT (m) FROM AVG. GRADE	+/- 26.5 m

TOWNHOUSES	
DATA	PROVIDED
TOTAL DENSITY (# of units)	10 townhouse units
TOWNHOUSE BUILDING AREA (m ²) (PER BUILDING)	3,023 ft ² (281 m ²)
BUILDING AREA (Excl'd Apartment)	6,046 ft ² (562 m ²)
GROSS CONSTRUCTION FLOOR AREA (m ²) (PER BUILDING)	9,069 ft ² (843 m ²)
GROSS CONSTRUCTION FLOOR AREA (m ²) (TOTAL TOWNHOUSES)	18,138 ft ² (1,685 m ²)
NUMBER OF STOREYS (PER BUILDING)	3
NUMBER OF BUILDINGS	2
BUILDING HEIGHT FROM AVERAGE GRADE (m)	TOWNHOUSE A +/- 10.35 m TOWNHOUSE B +/- 10.46 m

SITE DATA	
81 & 87 RYMAL RD, HAMILTON	
DATA	PROVIDED
LOT AREA (m ²) (Excl'd 10m ROW)	78,826 ft ² (7,323 m ²)
SETBACKS	
Building Setback from street line (m) (Rymal Road)	4.5 m - APARTMENT
INTERIOR SIDE YARD West (m)	6.1 m - APARTMENT 3.0 m - TOWNHOUSES
INTERIOR SIDE YARD East (m)	19.1 m - APARTMENT 3.0 m - TOWNHOUSES
REAR YARD (m) Building Setback from street line (Dicenzo Drive)	4.5 m - TOWNHOUSES

LANDSCAPING DATA	
DATA	PROVIDED
LANDSCAPE AREA (m ²)	21,949 ft ² (2,039 m ²)
LANDSCAPE AREA (%) (not including planting strip / sidewalks)	27.8%

VEHICLE PARKING DATA		
DATA	REQUIRED	PROVIDED
PARKING NUMBER	154	157
PARKING BREAKDOWN	82 (<50 m ²) @ 0.3/unit = 25 14 (>50 m ²) @ 0.7/unit = 10 36 (>50 m ²) @ 0.85/unit = 31 78 (>50 m ²) @ 1.0/unit = 78 10 (>50 m ²) @ 1.0/unit = 10 (TOWNS)	SURFACE = 11 LEVEL P1 = 73 LEVEL P2 = 73
BARRIER FREE PARKING	6 (incl. in above)	10 (incl. in above)
ELECTRIC VEHICLE PARKING	-	16 (incl. in above)
TOTAL	154	157

BICYCLE PARKING DATA		
DATA	REQUIRED	PROVIDED
RESIDENTIAL BICYCLE PARKING	15 (5 EA. ENTRANCE)	24
SHORT TERM		
LONG TERM	0.5/UNIT (105)	125
TOTAL	TBD	

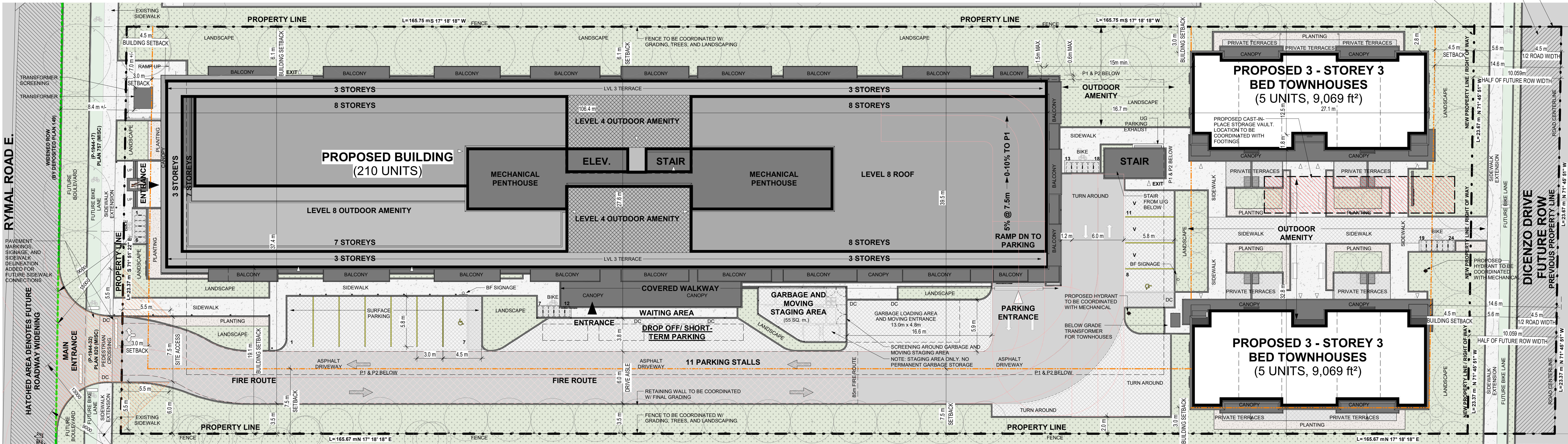


2 SITE PLAN
1:1500

NOTE: REFER TO LANDSCAPE AND TREE PROTECTION PLANS FOR LANDSCAPING, REMOVALS, PLANTINGS, AND TREE PROTECTION DETAILS

9m ROAD WIDTH TOTAL 4.5m OFFSET FROM EXISTING PROPERTY LINE
NEW PROPERTY LINE / ROW: 10m OFFSET FROM ROAD CENTERLINE
DICENZO DRIVE LOCATION, DESIGN, AND ROW SHOWN APPROX. AND TO BE CONFIRMED

EXISTING PROPERTY



SECURED BIKE / LOCKER STORAGE
LEVEL 1 = 26 (SINGLE USE)
LEVEL P1 = 34 (LOCKER/BIKE COMBO)
LEVEL P2 = 65 (LOCKER/BIKE COMBO)
TOTAL = 125

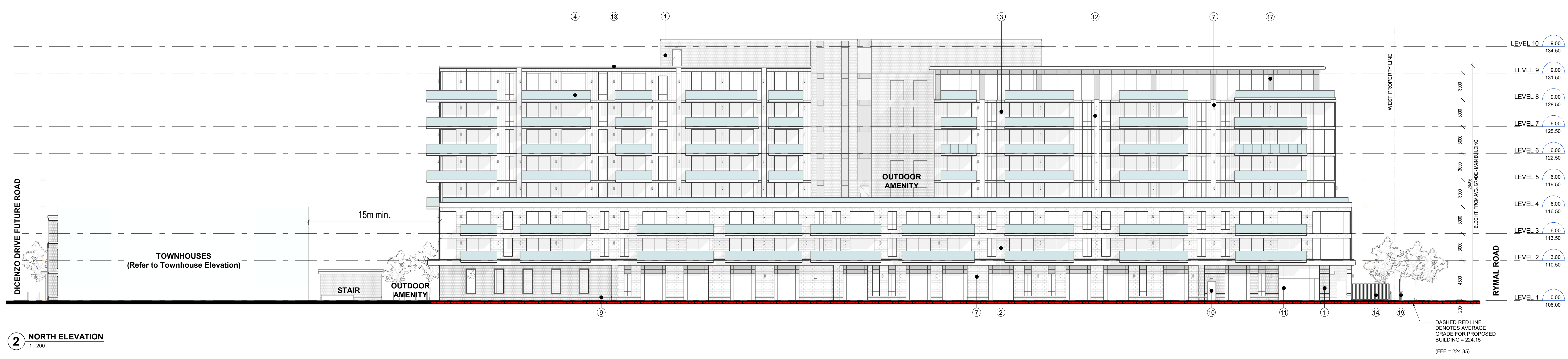
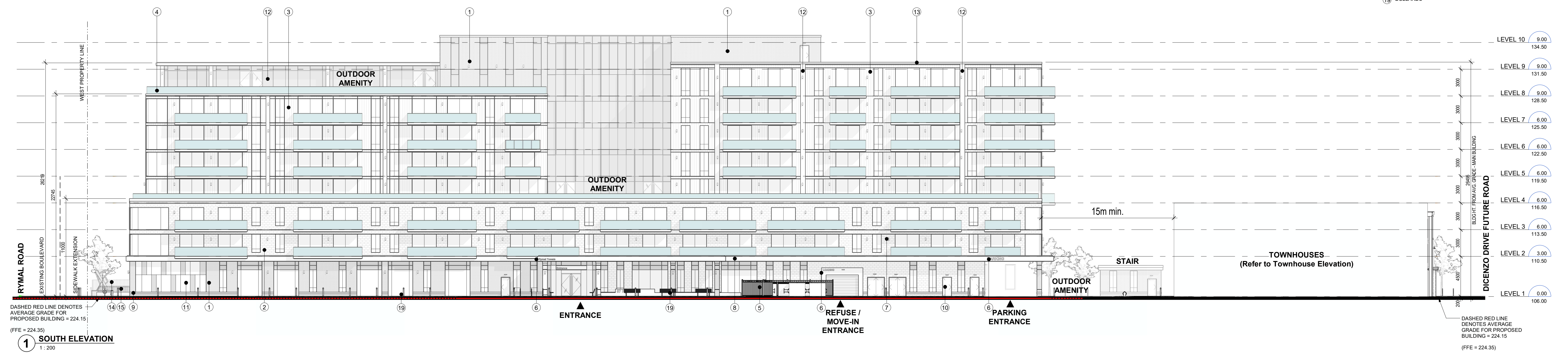
OPEN BIKE PARKING (ST)
LEVEL 1 = 24

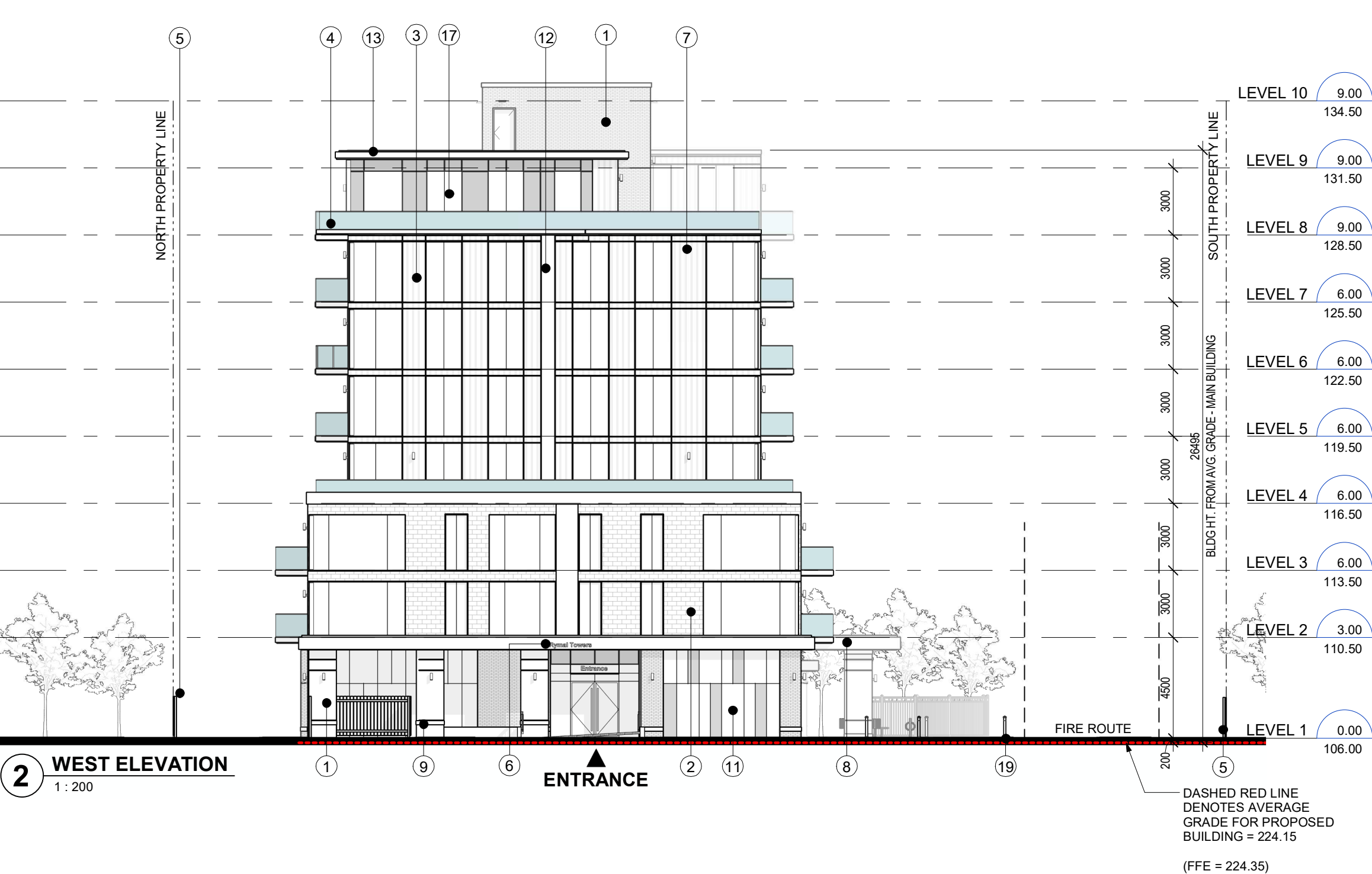
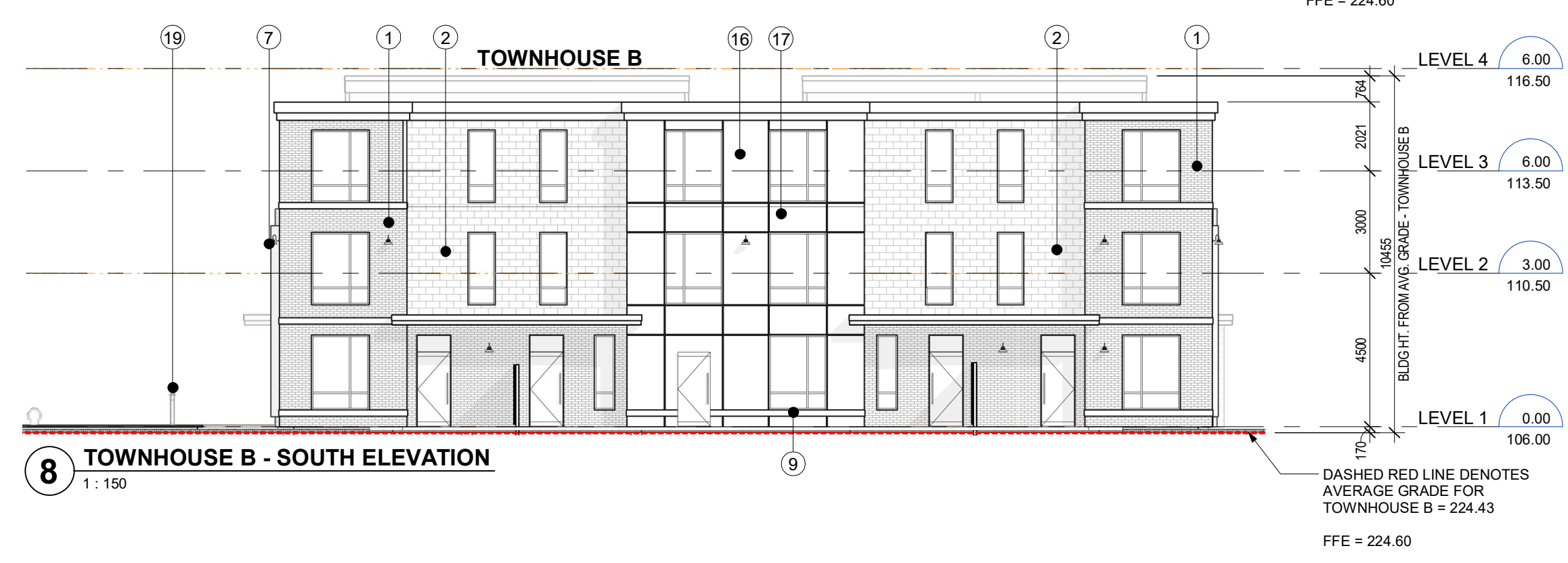
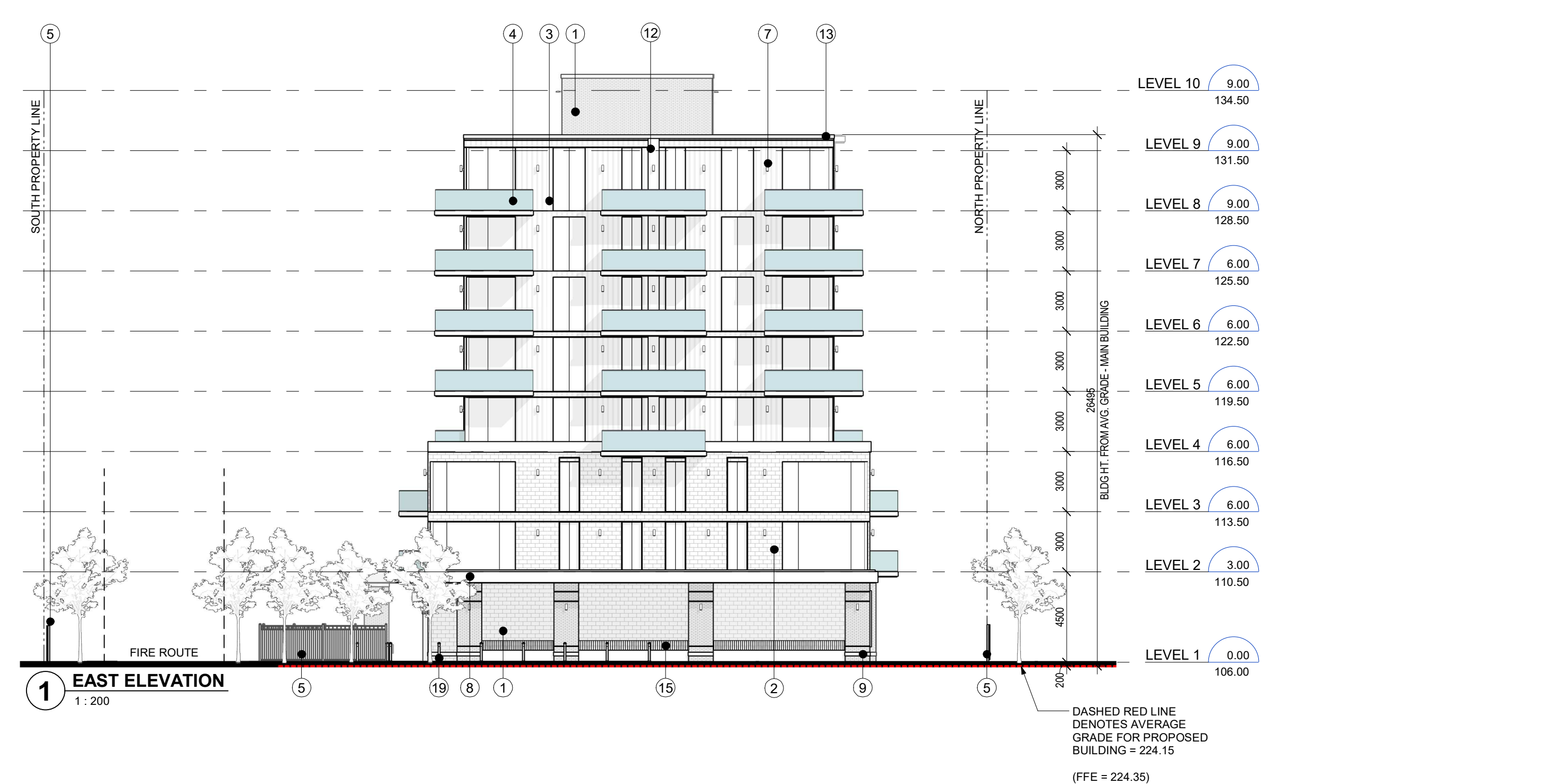
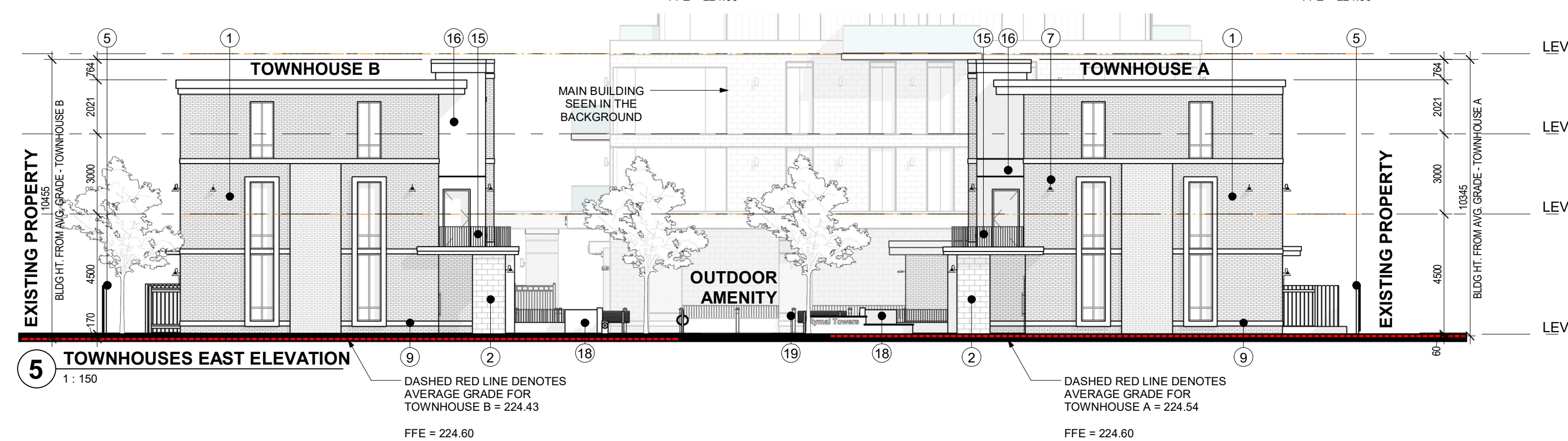
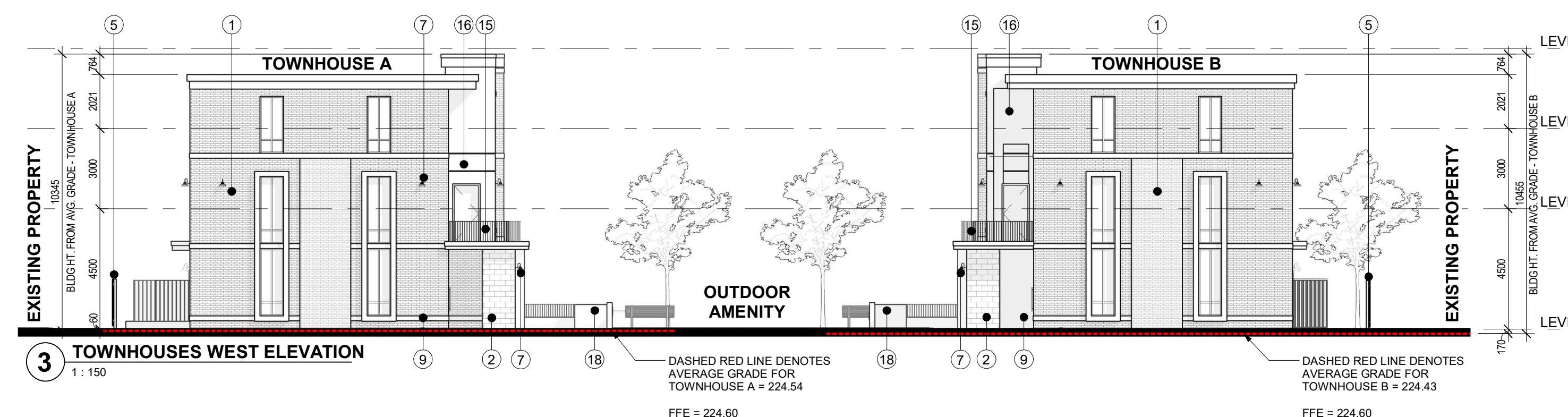
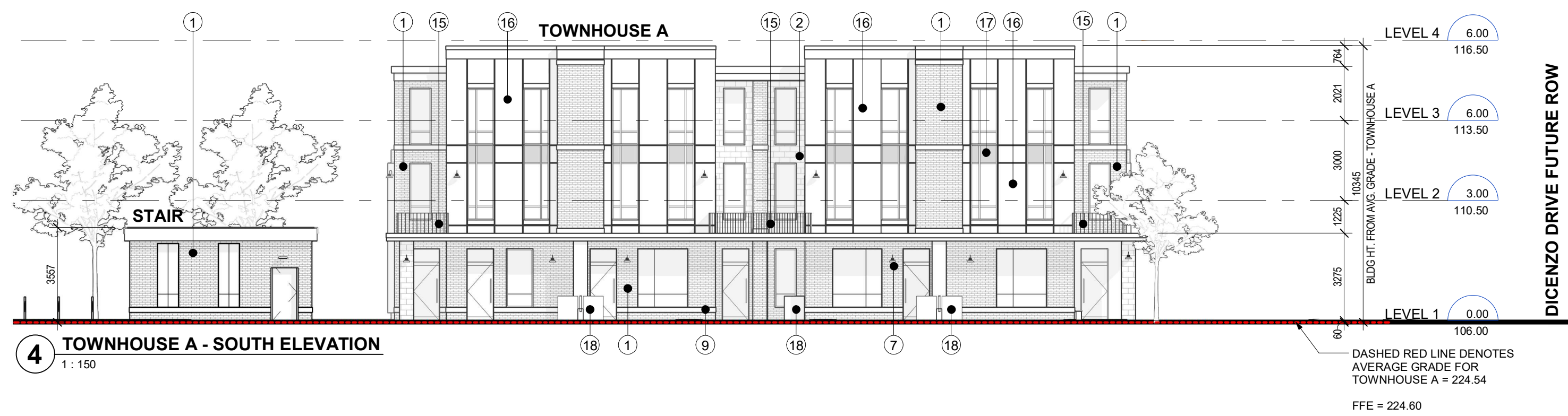
EXISTING PROPERTY

1 SITE PLAN
1:200

MATERIALS LEGEND

- ① BRICK VENEER (FINISH TYPE 1)
- ② SMOOTH FACED STONE MASONRY (FINISH TYPE 1)
- ③ PREFINISHED VERT. METAL SIDING C/W REVEALS
- ④ GLAZED RAILING SYSTEM
- ⑤ FENCING / SCREENING
- ⑥ SIGNAGE
- ⑦ TYPICAL LIGHT FIXTURE
- ⑧ CANOPY FRAMING
- ⑨ PRECAST SILL
- ⑩ PAINTED EXTERIOR DOOR
- ⑪ THERMALLY BROKEN GLAZING IN ANOD. ALUM. FRAME
- ⑫ ACCENT PANELS TYPE 1
- ⑬ PREFINISHED METAL CAP FLASHING
- ⑭ TRANSFORMER C/W SCREENING
- ⑮ FLAT BAR RAILING SYSTEM
- ⑯ EXPOSED CONCRETE FINISH
- ⑰ SEALED SPANDREL PANEL IN ANOD. ALUM. FRAME
- ⑱ GARBAGE ENCLOSURE
- ⑲ BOLLARDS





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