



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-23:345	SUBJECT PROPERTY:	115 TERRACE DRIVE, HAMILTON
ZONE:	"I1" (Neighbourhood Institutional)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: SHREE SWAMINARAYAN GURUKUL
Applicant: VIPULKUMAR SAVALIYA

The following variances are requested:

1. A minimum front yard of 3.0m shall be permitted instead of the minimum 6.0m front yard required.
2. Parking spaces and aisles giving direct access to abutting parking spaces shall be permitted to be located as close as 0.0m from a street line instead of the minimum 3.0m setback required from a street line.
3. No planting strip shall be permitted to be maintained between the street line and the parking spaces or aisles giving direct access to abutting parking spaces instead of the minimum 3.0m wide planting strip required.
4. The parking lot shall be permitted to maintain no landscaped strip with no visual barrier along the abutting Residential zones instead of the minimum 1.5m wide landscaped strip with a visual barrier required abutting Residential Zones.
5. Parking spaces within the parking lot shall be permitted to be arranged with direct access from the street which may interfere with normal public use and provide for ingress and egress that is not in a forward motion whereas the zoning by-law requires that parking is arranged so as to not interfere with normal public use of the street and that a parking lot provide for ingress and egress of vehicles in a forward motion only.
6. An access driveway having a width of 3.4m shall be permitted for 60 degree parking and access driveway having a width of 4.0m shall be permitted for 90 degree parking whereas the zoning by-law requires a minimum 5.5m width for 60 degree parking and a minimum 6.0m width for 90 degree parking.

HM/A-23:345

PURPOSE & EFFECT: To facilitate the construction of a vestibule addition to the existing place of worship and the establishment of an accessory parking lot and existing conditions thereof to be maintained.

Notes:

It is noticed that several parking spaces are shown to be located on the road allowances. Please be advised that upon approval of the above noted variances, only the parking spaces located on site shall be recognized for zoning compliance purposes. An Encroachment Agreement with the Public Works Department may be required for parking spaces shown to encroach on the Road Allowance.

The proposed increase in gross floor area requires a minimum of eight (8) parking spaces; therefore, compliance is achieved based a total of thirty (30) parking spaces located on site.

Please note that insufficient details were provided from which to confirm compliance respecting the parking space sizes and all access driveways for the overall site. It is noted that some parking spaces may be smaller than the minimum required size under the Hamilton Zoning By-law 05-200; therefore, further variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, February 13, 2024
TIME:	1:45 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

PUBLIC INPUT

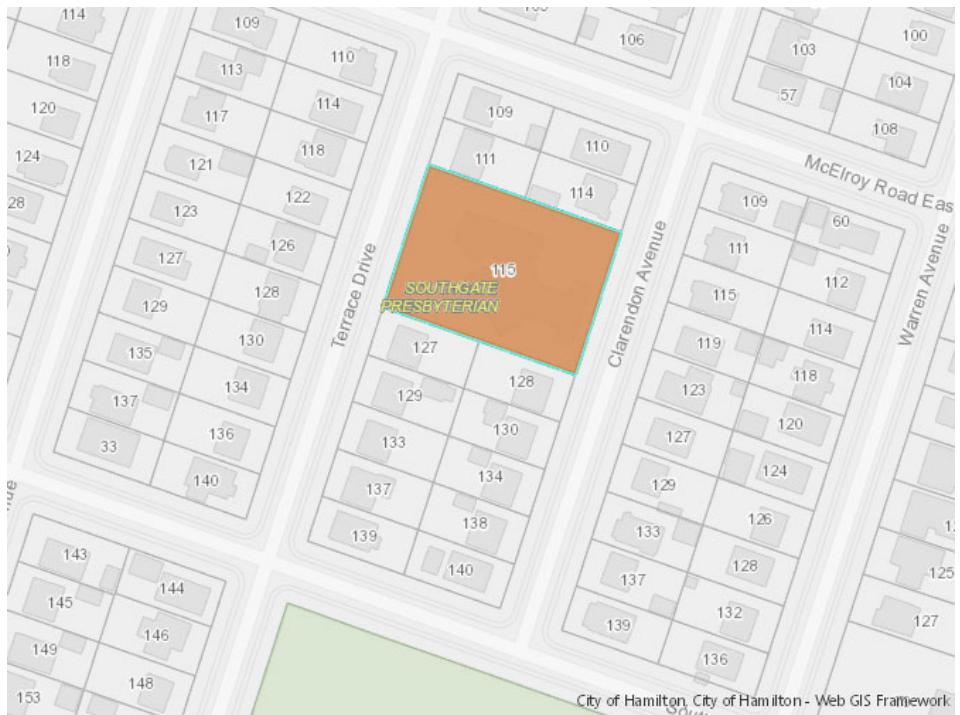
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than February 9, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than February 12, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:345, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: January 25, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

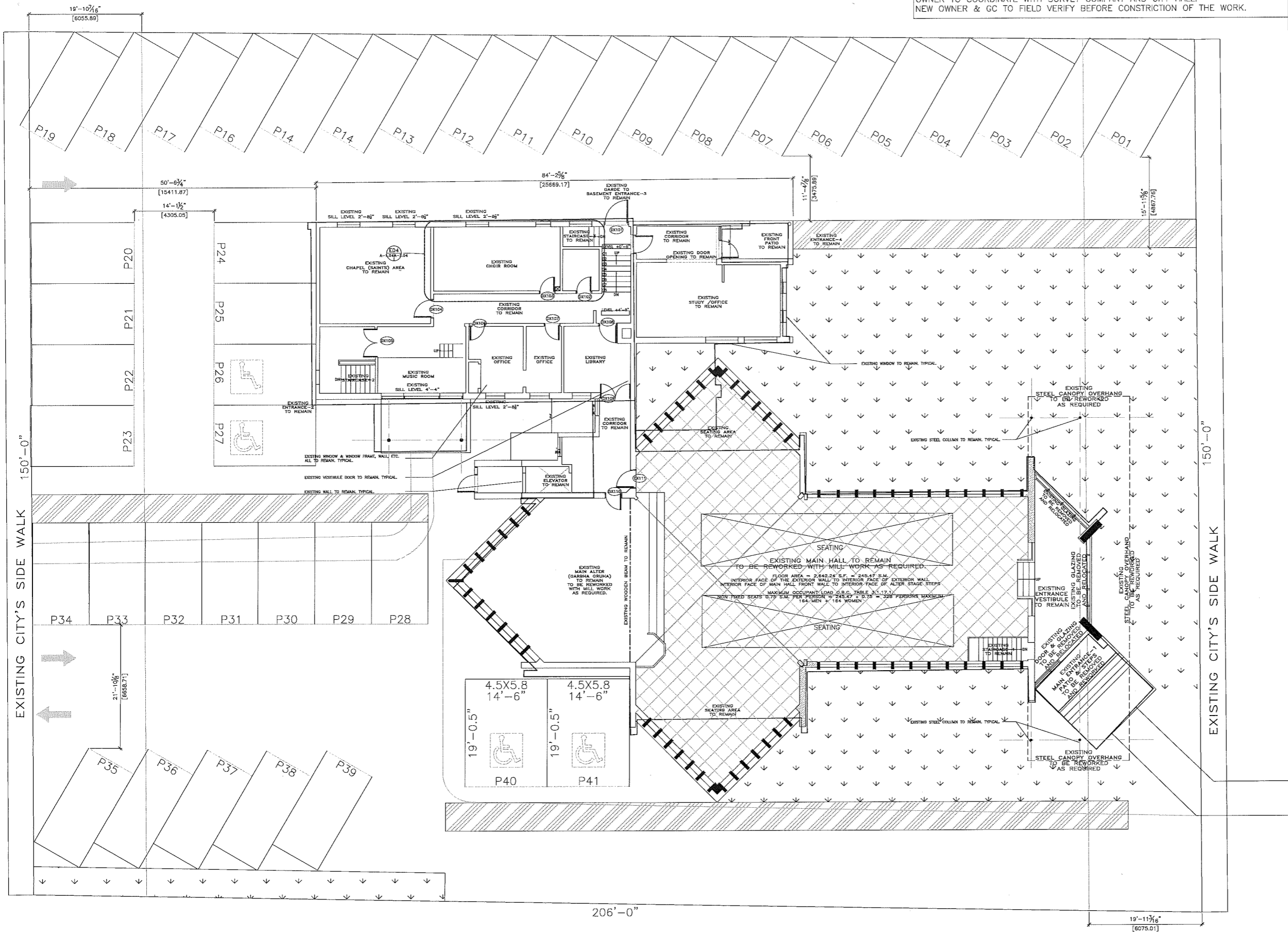
THIS DRAWING IS BASED ON PREVIOUS SITE PLAN PROVIDED BY PREVIOUS OWNER. LEGAL TOPOGRAPHIC SURVEY REQUIRED TO VERIFY EXISTING FIELD CONDITIONS, OWNER TO COORDINATE WITH SURVEY COMPANY AND CITY HALL. NEW OWNER & GC TO FIELD VERIFY BEFORE CONSTRUCTION OF THE WORK.

CHINTAN VIRANI ARCHITECT INC.
 REAL NORTH PROJECT NORTH

CHINTAN J. VIRANI
 B. ARCH. | OAA, MRAC, | AIA | COAI

ONTARIO ASSOCIATION OF ARCHITECTS
 CHINTAN JAYSHAMJI VIRANI
 LICENCE 6382
 9896 HOLLY CRESCENT, WINDSOR, ONTARIO, CANADA N9R 1Z3
 PHONE: (519) 979-9017
 CELL: (519) 567-1800
 FAX: (519) 979-4909
 EMAIL: chintan@chintan.ca
 WWW.CHINTAN.CA

4.5X5.8
14'-6"
 19'-0.5"
 2.8X5.8
9'-2.25"
 19'-0.5"



13.		
12.	REVISED AS CITY'S COMMENT	DEC. 17/2023
11.	VARIANCE APPLICATION	DEC. 12/2023
10.	PRE-CONSULTATION FOR SETBACK VARIANCE	OCT. 25/2023
09.	REVISED AS CITY'S COMMENTS	SEP. 05/2023
08.	PERMIT REVIEW	AUG. 29/2023
07.	REVISED AS DISCUSSED & MARK-UP	AUG. 17/2023
06.	REVISED AS DISCUSSED	AUG. 15/2023
05.	2ND FLOOR WORK ADDED	AUG. 15/2023
04.	REVISED KITCHEN AREA AS DISCUSSED - OPTION-2	AUG. 14/2023
03.	REVISED AS DISCUSSED - PROPOSED OPTION-2	AUG. 14/2023
02.	OWNER'S REVIEW - PROPOSED OPTION-1 & OPTION-2	AUG. 14/2023
01.	OWNER'S REVIEW-EXISTING	AUG. 11/2023
NO.	ISSUED FOR	NO.

PROJECT
 EXISTING CHURCH INTERIOR ALTERATIONS FOR SWAMINARAYAN GURUKUL
 115 TERRACE DRIVE
 HAMILTON, ON L9A 2Y8

DRAWING TITLE
 EXISTING SITE PLAN

NOTE:
 - DO NOT SCALE DRAWINGS.
 - ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB SITE.
 - ANY AND ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
 - ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECT.

A A. DETAIL NO.
B/C B. LOCATION SHEET
 C. DETAILED ON

PROJECT NUMBER: 2338 DRAWN BY: K.V.
 DATE: AUGUST 2023 CHECKED BY: C.V.
 DRAWING NO.

SP-1.0
 0'-0" 10'-0" 20'-0" 30'-0" 40'-0"

EXISTING SITE PLAN
 SCALE: 1/8"=1'-0"

THIS DRAWING IS BASED ON PREVIOUS SITE PLAN PROVIDED BY PREVIOUS OWNER. LEGAL TOPOGRAPHIC SURVEY REQUIRED TO VERIFY EXISTING FIELD CONDITIONS, OWNER TO COORDINATE WITH SURVEY COMPANY AND CITY HALL. NEW OWNER & GC TO FIELD VERIFY BEFORE CONSTRUCTION OF THE WORK.

9898 HOLLY CRESCENT, WINDSOR, ONTARIO, CANADA N6R 1Z3
 PHONE: (519) 979-9017
 CELL: (519) 567-1800
 FAX: (519) 979-4809
 EMAIL: chintan@chintan.ca
 WWW.CHINTAN.CA

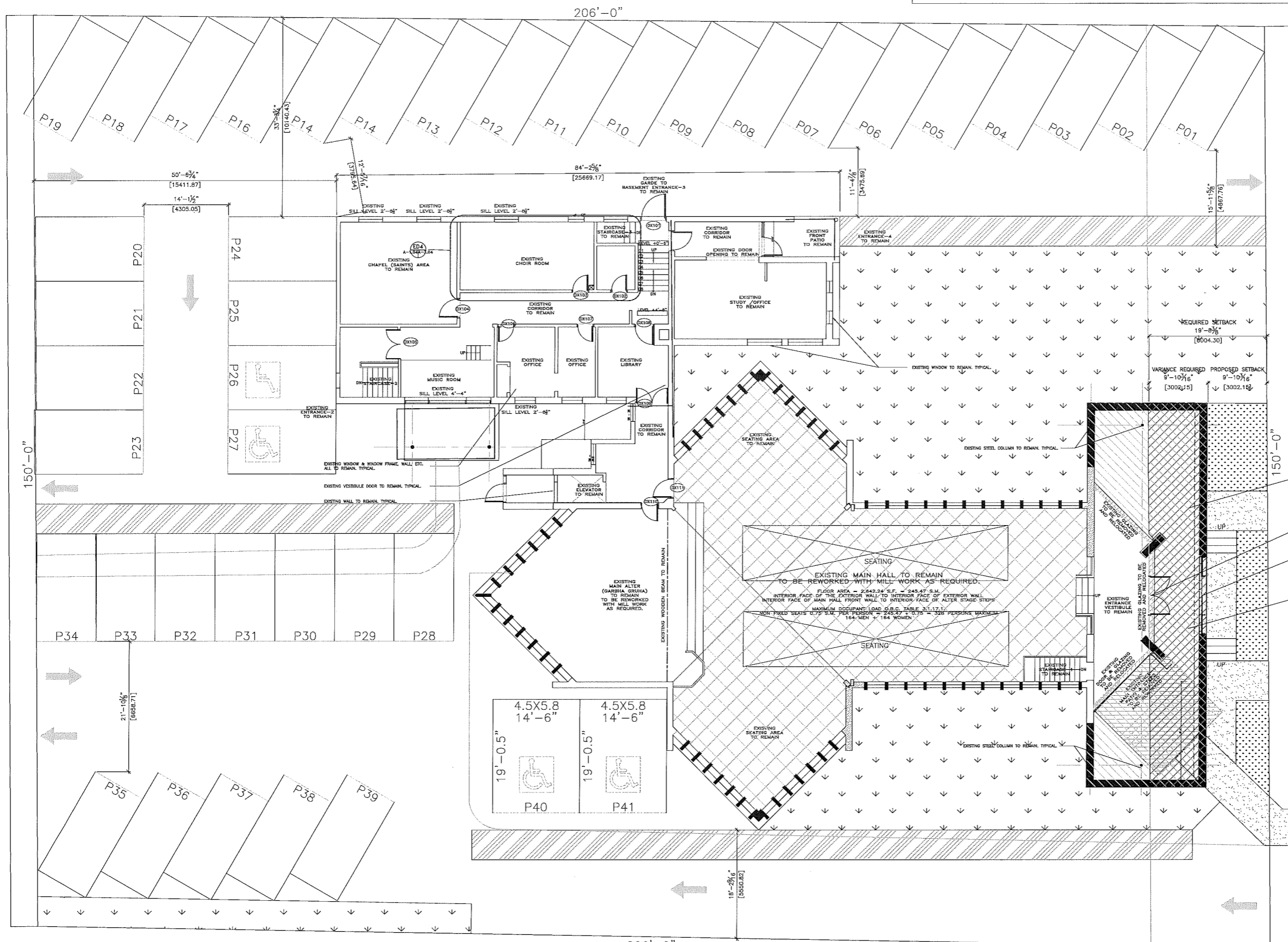
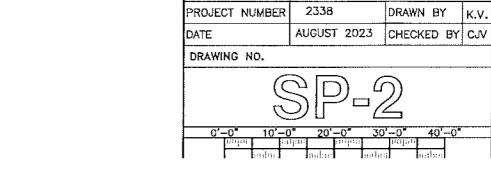
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NO.	ISSUED FOR	NO.
PROJECT		
EXISTING CHURCH INTERIOR ALTERATIONS FOR SWAMINARAYAN GURUKUL		
115 TERRACE DRIVE HAMILTON, ON L9A 2Y8		
DRAWING TITLE		
ENLARGED DETAIL PLAN - 1 - BASEMENT WASHROOMS		

EXISTING OCCUPANT LOAD AND PARKING TO REMAIN.
 VARIANCE REQUIRED FOR 1. NON CONFORMING ITEMS AS PER ZONING COMPLIANCE CERTIFICATE
 2. ADDITIONAL PARKING FOR NEW WORK.
 3. FOR NEW WORK IN SETBACK AREA SHOWN IN RED COLOUR
 AREA = 598.66 S.F.
 = 55.64 S.M.

NOTE:
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PROJECT NUMBER	2338	DRAWN BY	K.V.
DATE	AUGUST 2023	CHECKED BY	C.V.
DRAWING NO.	SP-2		



8.1 NEIGHBOURHOOD INSTITUTIONAL (I1) ZONE

PLACE OF WORSHIP (ALL ZONES EXCEPT TRANSIT ORIENTED CORRIDOR ZONES)
 1 FOR EVERY 10 SQUARE METRES OF GROSS FLOOR AREA, INCLUSIVE OF A BASEMENT OR CELLAR, TO ACCOMMODATE SUCH USE.
 (BY-LAW NO. 08-227, SEPTEMBER 24, 2008)

PLACE OF WORSHIP (TRANSIT ORIENTED CORRIDOR)
 1 FOR EACH 16.0 SQUARE METRES OF GROSS FLOOR AREA, INCLUSIVE OF A BASEMENT OR CELLAR, TO ACCOMMODATE SUCH USE.
 (BY-LAW NO. 16-264, OCTOBER 12, 2016)

LAND AREA = 31607.02 S.M. = 2,936.39 S.M.

BASEMENT FLOOR AREA = 595.62 S.M.
 FIRST FLOOR AREA = 632.48 S.M.
 TOTAL AREA = 1,228.10 S.M.
 PARKING REQUIRED
 PLACE OF WORSHIP (ALL ZONES EXCEPT TRANSIT ORIENTED CORRIDOR ZONES)
 1,228.10 ÷ 10 = 122.81 = 123 SPACE
 PLACE OF WORSHIP (TRANSIT ORIENTED CORRIDOR ZONES)
 1,228.10 ÷ 16 = 76.75 = 77 SPACE

MINIMUM 2.8 X 5.8 METRES = 110.236 X 228.346
 WHERE 10 OR MORE PARKING SPACES ARE REQUIRED ON A LOT, THE MINIMUM PARKING SPACE SIZE OF NOT MORE THAN 10% OF SUCH REQUIRED PARKING SPACES SHALL BE A WIDTH OF 2.6 X 5.5 METRES, PROVIDED THAT ANY SUCH PARKING SPACE IS CLEARLY IDENTIFIED AS BEING RESERVED FOR THE PARKING OF SMALL CARS ONLY;
 BARRIER FREE PARKING = 4.4 X 5.8 METRES.
 EACH PARALLEL PARKING SPACE 2.4 X 6.7 M
 END SPACES WHICH HAVE A CLEAR, UNOBSTRUCTED APPROACH 2.4X5.5 METRES.

PROPOSED SITE PLAN
 SCALE: 1/8"=1'-0"

EXISTING CHURCH INTERIOR ALTERATION

(EXISTING USES TO REMAIN)

115 TERRACE DRIVE
HAMILTON, ON L9A 2Y8



CHINTAN J. VIRANI
B. ARCH. | OAA, MRAIC, | AIA | COAI

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KEY PLAN
NOT TO SCALE
SHOWN FOR REFERENCE ONLY

PROPOSED WORK LOCATION.

CHINTAN VIRANI - OAA MEMBERSHIP SEAL # 6382		CHINTAN VIRANI - OAA CERTIFICATE OF PRACTICE # 4931	
ITEM	ONTARIO BUILDING CODE DATA MATRIX - PART 11 - RENOVATION OF EXISTING BUILDING	OBC REFERENCE	
11.1	EXISTING BUILDING CLASSIFICATION DESCRIBE EXISTING USE -- EXISTING GROUP A, DIV. 2, UP TO 2 STOREYS CONSTRUCTION INDEX -- HAZARD INDEX -- <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY).	11.2.1 T 11.2.1.1A T 11.2.1.1B TO N	
11.2	ALTERATION TO EXISTING BUILDING IS: BASIC RENOVATION <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES EXTENSIVE RENOVATION <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.3.3.1 11.3.3.2	
11.3	REDUCTION IN PERFORMANCE LEVEL: STRUCTURAL <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/> YES BY INCREASE IN OCCUPANT LOAD <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE SYSTEM <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3(4) 11.4.2.4 11.4.2.5	
11.4	COMPENSATING CONSTRUCTION: STRUCTURAL <input type="checkbox"/> NO <input type="checkbox"/> YES INCREASE IN OCCUPANT LOAD <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) CHANGE OF MAJOR OCCUPANCY <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) PLUMBING <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) SEWAGE SYSTEM <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6	
11.5	COMPLIANCE ALTERNATIVES PROPOSED: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBER(S))	11.5.1	
11.6	ALTERNATIVE MEASURES PROPOSED: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBER(S))	11.5.2	

NOTE:
1. OWNER TO CO-ORDINATE ALL WORK.
2. ALL EXISTING PLUMBING AND HVAC ASSEMBLY TO REMAIN.
3. G.C.'S LICENSED TRADES TO REWORK AS REQUIRED.

EXISTING MAIN HALL TO REMAIN
TO BE REWORKED WITH MILL WORK AS REQUIRED.

FLOOR AREA = 2,642.24 S.F. = 245.47 S.M.
INTERIOR FACE OF THE EXTERIOR WALL TO INTERIOR FACE OF EXTERIOR WALL
INTERIOR FACE OF MAIN HALL FRONT WALL TO INTERIOR FACE OF ALTER STAGE STEPS
MAXIMUM OCCUPANT LOAD O.B.C. TABLE 3.1.17.1.
NON FIXED SEATS 0.75 S.M. PER PERSON = 245.47 ÷ 0.75 = 328 PERSONS MAXIMUM
164 MEN + 164 WOMEN
WASHROOMS REQUIRED BASED ON MAXIMUM OCCUPANT LOAD
O.B.C. 3.7.4.3.(16) THE NUMBER OF WATER CLOSETS REQUIRED FOR PLACES OF WORSHIP AND UNDERTAKING PREMISES SHALL BE AT LEAST ONE(1) FIXTURE FOR EACH 150 PERSONS OF EACH SEX.
REQUIRED WASHROOM = 1 MEN + 1 WOMEN
PROVIDED
BASEMENT
MEN'S = 2 W.C. + 2 VANITY + 3 URINAL + 2 SHOWERS
WOMEN'S = 3 W.C. + 3 VANITY
PLUS IN LOWER BASEMENT = 1 MEN'S BATH + 1 WOMEN'S BATH
FIRST FLOOR
MEN'S = 2 W.C. + 2 VANITY + 1 URINAL + 2 SHOWERS - (FOR VISITORS & SAINTS)
BASEMENT INTERIOR ALTERATION WORK AREA
RENOVATION AREA-1 = 347.47 S.F. = 32.28 S.M.
RENOVATION AREA-2 = 113.62 S.F. = 10.55 S.M.
RENOVATION AREA-3 = 650.15 S.F. = 60.40 S.M.
TOTAL RENOVATION = 1,111.24 S.F. = 101.23 S.M.
FIRST FLOOR INTERIOR ALTERATION WORK AREA
RENOVATION AREA-4 = 326.34 S.F. = 30.32 S.M.
RENOVATION AREA-5 = 220.80 S.F. = 20.51 S.M.
TOTAL AREA = 547.14 S.F. = 50.83 S.M.
101.23 + 50.83 = 152.06 S.M.

- NOTES:**
- ONTARIO BUILDING CODE - THE LATEST EDITION SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT.
 - THIS CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK, NOTIFY THE CONSULTANTS IMMEDIATELY IF ANY DISCREPANCIES ARE NOTED BETWEEN THE FIELD CONDITIONS AND THE CONTRACT DOCUMENTS.
 - WHERE EXISTING MATERIAL IS REMOVED OR WHERE OPENINGS ARE MADE INTO EXISTING WORK, PATCH SURROUNDING AREAS TO MATCH UNLESS NOTED OTHERWISE.
 - FIELD REVIEW ALL EXISTING DRYWALL SURFACES. PATCH ANY DAMAGED DRYWALL, PREPARE TO RECEIVE NEW FINISH.
 - ALL DRYWALL SHALL BE TAPED, PUTTIED, SANDED, AND PRIMED TO RECEIVE THE FINISH PAINT.
 - PROVIDE FOUR (4) COPIES OF SHOP DRAWINGS FOR THE FABRICATION ITEM, TO THE CONSULTANT FOR REVIEW, PRIOR TO COMMENCEMENT OF WORK.
 - REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL PENETRATIONS THROUGH WALL/FLOOR/ROOF. GENERAL CONTRACTOR SHALL PROVIDE CONE FLASHING, FIRE STOP ETC. ALL AND REWORK THE ROOF TO PROVIDE A WATER TIGHT JOB.
 - THE OWNER SHALL APPLY AND PAY FOR ALL PERMITS AND INSPECTIONS.
 - WHERE PIPES, CONDUITS, DUCTS ETC. PENETRATE THROUGH FIRE RATED WALLS, FLOORS OR CEILING ASSEMBLIES, PROVIDE FIRE STOPPING AROUND SUCH PENETRATIONS. PROVIDE MANUFACTURER'S LITERATURE INDICATING ULC DESIGN NUMBER OF PROPOSED FIRESTOP ASSEMBLIES FOR THE INTENDED LOCATIONS.
 - FINAL CLEANING: UPON COMPLETION OF THE WORK, CLEAN ALL FLOOR AREAS, WALLS, WINDOWS, WASHROOM FIXTURES ETC. ALL.

- NOTES:**
- UNLESS NOTED OTHERWISE, ALL EXISTING DOOR TO BE REMOVED BY INSTALLING NEW DOOR REFER DOOR SCHEDULE, EXISTING HARDWARE TO BE RETAINED AND REUSED. USE NEW WHERE REQUIRED TO MATCH.
 - PRIOR TO BIDDING, FIELD REVIEW ALL DRYWALL SURFACES.
 - PATCH ANY DAMAGED DRYWALL TO RECEIVE NEW FINISH. REMOVE EXISTING WALLPAPER, WOOD PANELING ON WALL AND PREPARE DRYWALL SURFACES TO RECEIVE NEW PAINT. ALSO, INSTALL NEW CAULKING / SEALANT AT LOCATIONS REQUIRED.
 - REMOVE & REWORK EXISTING ACOUSTIC TILE CEILING, GRID AND DRYWALL CEILING WITHIN NEWLY CREATED OFFICE, RECEPTION & WAITING AREA SPACE.
 - THE FOLLOWING LIST INCLUDES, BUT IS NOT LIMITED TO THE ITEMS TO BE DEMOLISHED.
- INTERIOR PARTITIONS INCLUDING DOORS AND FRAMES THERE-IN;
- FLOOR FINISHES (CERAMIC TILES, CARPET, VINYL TILES ETC.);
- CEILING TILES AND GRID;
- DRYWALL BULKHEAD AND FRAMING;
- MILLWORK;
 - DISCONNECT AND REMOVE REDUNDANT EXISTING PLUMBING PIPES & FIXTURES, ELECTRICAL WIRING AND LIGHT FIXTURES ETC. ALL AS REQUIRED.
 - WHERE FLOOR FINISHES ARE REMOVED, REWORK & PATCH TO MATCH EXISTING FLOORING AND/OR CONCRETE FLOOR (BY SCRAPING, LEVELING, PATCHING ETC.) TO PRODUCE SMOOTH, LEVEL SURFACE TO RECEIVE NEW FLOOR FINISHES.
 - ANY MATERIAL REMOVED FROM SITE SHALL BE STORED ON SITE AS DIRECTED BY THE OWNER IF REQUIRED FOR HIS FUTURE USE. ALL DEMOLISHED MATERIAL SHALL BE REMOVED AWAY FROM THE SITE IN A LEGAL MANNER.

19.		
18.		
17.		
16.		
15.		
14.		
13.		
12.		
11.		
10.		
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EXISTING CHURCH INTERIOR ALTERATIONS FOR SWAMINARAYAN GURUKUL

115 TERRACE DRIVE
HAMILTON, ON L9A 2Y8

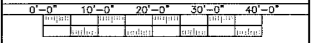
DRAWING TITLE
ONTARIO BUILDING CODE MATRIX - NOTES - KEY PLAN

NOTE:
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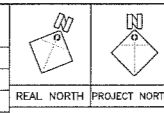
A. DETAIL NO.
B. LOCATION SHEET
C. DETAILED ON

PROJECT NO. 2338 DRAWN BY J.M./M.P.
DATE AUGUST 2023 CHECKED BY CJV

DRAWING NO. **A0.01**



[Symbol]	EXISTING WALL - 1
[Symbol]	EXISTING WALL
[Symbol]	PROPOSED WALL
[Symbol]	DEMOLITION WORK
[Symbol]	PROPOSED WALL PREPARATION SURFACE
[Symbol]	SAW CUT
[Symbol]	MECHANICAL EXHAUST
[Symbol]	PATH OF TRAVEL
[Symbol]	FIRE RATING
[Symbol]	FLOOR DRAIN



CHINTAN VIRANI ARCHITECT INC.
CHINTAN J. VIRANI
 B. ARCH. | OAA, MRAC, | AIA | COAI

9898 HOLLY CRESCENT,
 WINDSOR, ONTARIO,
 CANADA N8R 1Z3
 PHONE: (519)979-8017
 CELL: (519) 567-1800
 FAX: (519) 979-4909
 EMAIL: chintan@chintan.ca
 WWW.CHINTAN.CA

14.		
13.		
12.	REVISED AS CITY'S COMMENT	DEC. 17/2023
11.	PRE-CONSULTATION FOR SETBACK VARIANCE	OCT. 25/2023
10.	REVISED FRONT COLUMNS & ROOF PROJECTIONS ADDED	OCT. 11/2023
09.	REVISED AS CITY'S COMMENTS	SEP. 05/2023
08.	PERMIT REVIEW	AUG. 29/2023
07.	REVISED AS DISCUSSED & MARK-UP	AUG. 17/2023
06.	REVISED AS DISCUSSED	AUG. 15/2023
05.	2ND FLOOR WORK ADDED	AUG. 15/2023
04.	REVISED KITCHEN AREA AS DISCUSSED - OPTION-2	AUG. 14/2023
03.	REVISED AS DISCUSSED - PROPOSED OPTION-2	AUG. 14/2023
02.	OWNER'S REVIEW - PROPOSED OPTION-1 & OPTION-2	AUG. 14/2023
01.	OWNER'S REVIEW-EXISTING	AUG. 11/2023
NO.	ISSUED FOR	DATE

PROJECT
EXISTING CHURCH INTERIOR ALTERATIONS FOR SWAMINARAYAN GURUKUL

115 TERRACE DRIVE
 HAMILTON, ON L9A 2Y8

DRAWING TITLE
- EXISTING BASEMENT FLOOR PLAN

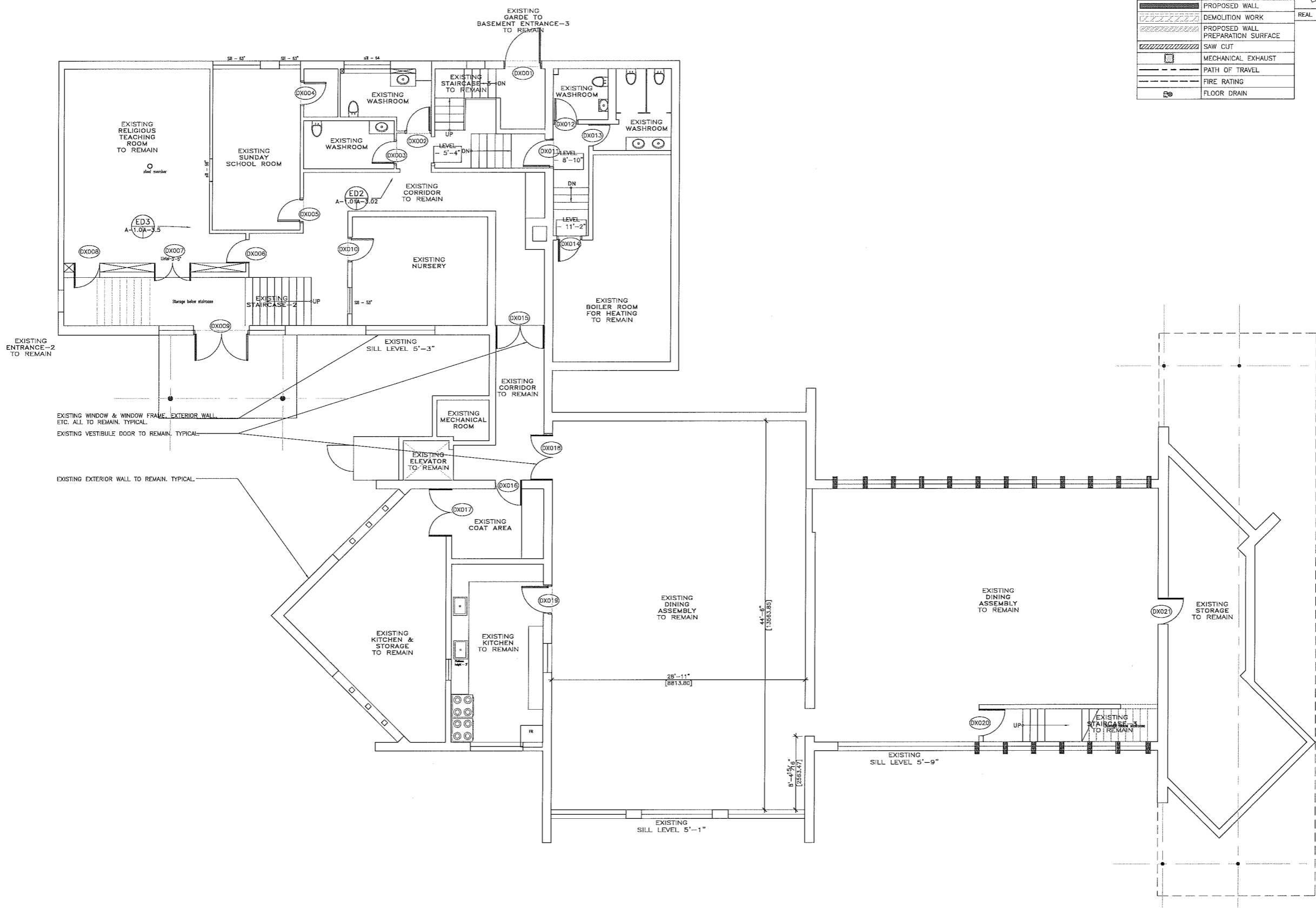
NOTE:
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 - ANY AND ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.
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A-1.0

PROJECT NUMBER 2338 DRAWN BY K.V.
 DATE AUGUST 2023 CHECKED BY C.J.V.

DRAWING NO.

0'-0" 10'-0" 20'-0" 30'-0" 40'-0"



BASEMENT FLOOR PLAN - EXISTING
 SCALE: 3/16" = 1'-0"
 BASEMENT FLOOR AREA = 6,411.20 S.F. = 595.62 S.M.
 FIRST FLOOR AREA = 6,808.00 S.F. = 632.48 S.M.

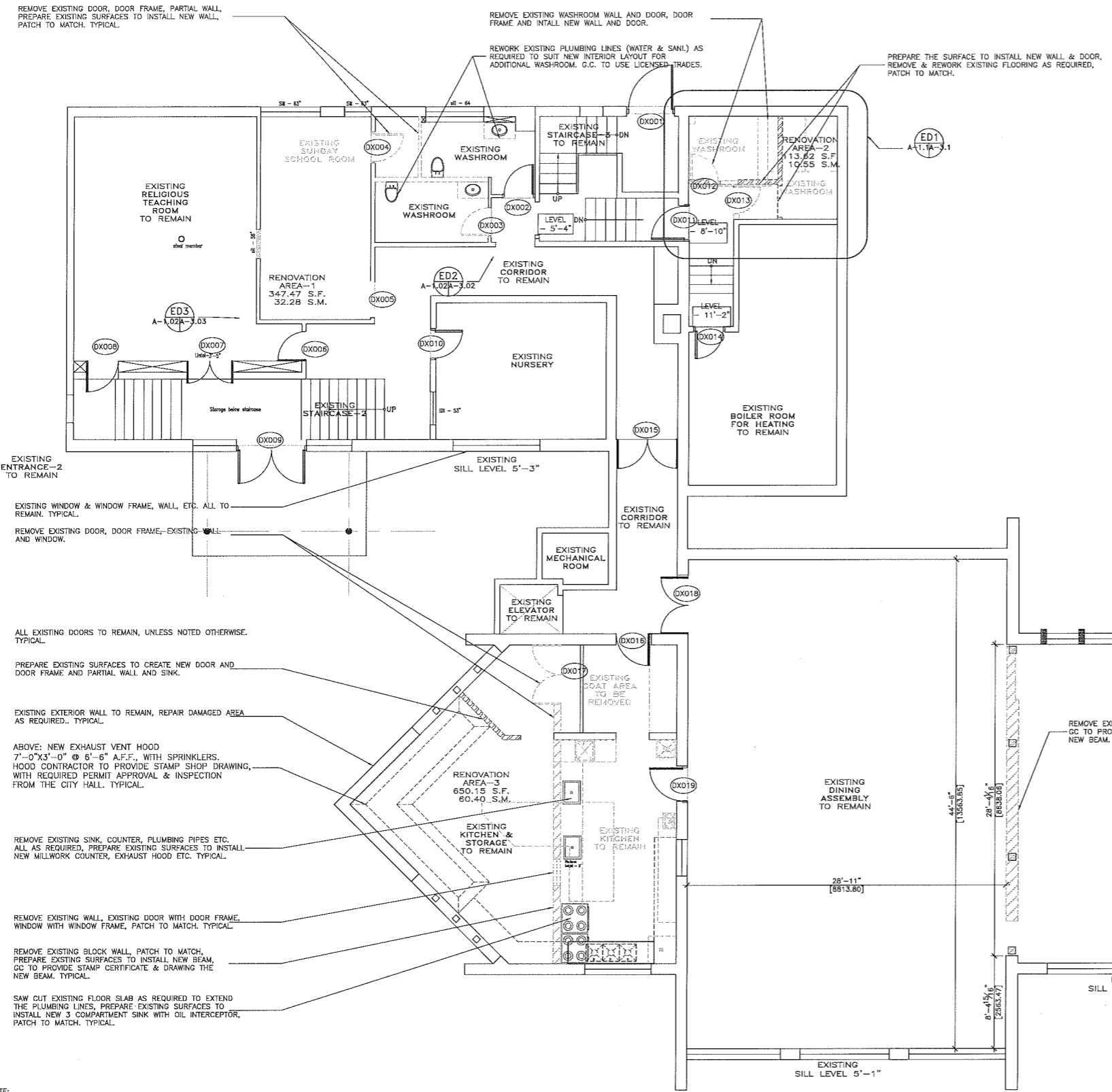
THIS DRAWING IS BASED ON PREVIOUS SITE PLAN PROVIDED BY PREVIOUS OWNER. NEW OWNER & GC TO FIELD VERIFY BEFORE CONSTRUCTION OF THE WORK.

	EXISTING WALL - 1
	EXISTING WALL
	DEMOLITION WORK
	PROPOSED WALL
	PROPOSED WALL PREPARATION SURFACE
	SAW CUT
	MECHANICAL EXHAUST
	PATH OF TRAVEL
	FIRE RATING
	FLOOR DRAIN

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ONTARIO ASSOCIATION OF ARCHITECTS
 License No. 29123
 CHINTAN VIRANI
 License No. 6382



NOTE:
 ALL EXISTING CONSTRUCTION ASSEMBLY TO REMAIN, REWORK AS REQUIRED, PATCH TO MATCH.

HVAC, PLUMBING & ELECTRICAL ASSEMBLY TO REMAIN, REWORK AS REQUIRED TO SUIT NEW INTERIOR ALTERATIONS. G.C. TO USE LICENSED TRADES.

1. HEATING:
 EXISTING RADIATOR HEATING WITH HOT WATER TO REMAIN, REWORK RADIATOR LOCATIONS AND EXTEND EXISTING HOT WATER PLUMBING LINES AS REQUIRED TO SUIT NEW INTERIOR LAYOUT. G.C. TO USE LICENSED TRADES.

2. PLUMBING:
 REWORK EXISTING PLUMBING LINES (WATER & SANI.) AS REQUIRED TO SUIT NEW INTERIOR LAYOUT FOR ADDITIONAL WASHROOM, KITCHEN SINK, ETC. ALL. G.C. TO USE LICENSED TRADES.

3. ELECTRICAL:
 ALL ELECTRICAL SWITCHES, RECEPTACLE, LIGHTING ETC. ALL TO REMAIN, REWORK EXISTING TO SUIT NEW INTERIOR ALTERATION, G.C. TO USE LICENSED TRADES AND GET INSPECTIONS DONE AS REQUIRED BY ESA.

BASEMENT FLOOR PLAN-DEMOLITION WORK
 SCALE: 3/16" = 1'-0"

BASEMENT INTERIOR ALTERATION WORK AREA
 RENOVATION AREA-1 = 347.47 S.F. = 32.28 S.M.
 RENOVATION AREA-2 = 113.52 S.F. = 10.55 S.M.
 RENOVATION AREA-3 = 650.15 S.F. = 60.40 S.M.
 TOTAL RENOVATION = 1,111.24 S.F. = 101.23 S.M.

14.		
13.		
12.	REVISED AS CITY'S COMMENT	DEC. 17/2023
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PROJECT
EXISTING CHURCH INTERIOR ALTERATIONS FOR SWAMINARAYAN GURUKUL

115 TERRACE DRIVE
 HAMILTON, ON L9A 2Y8

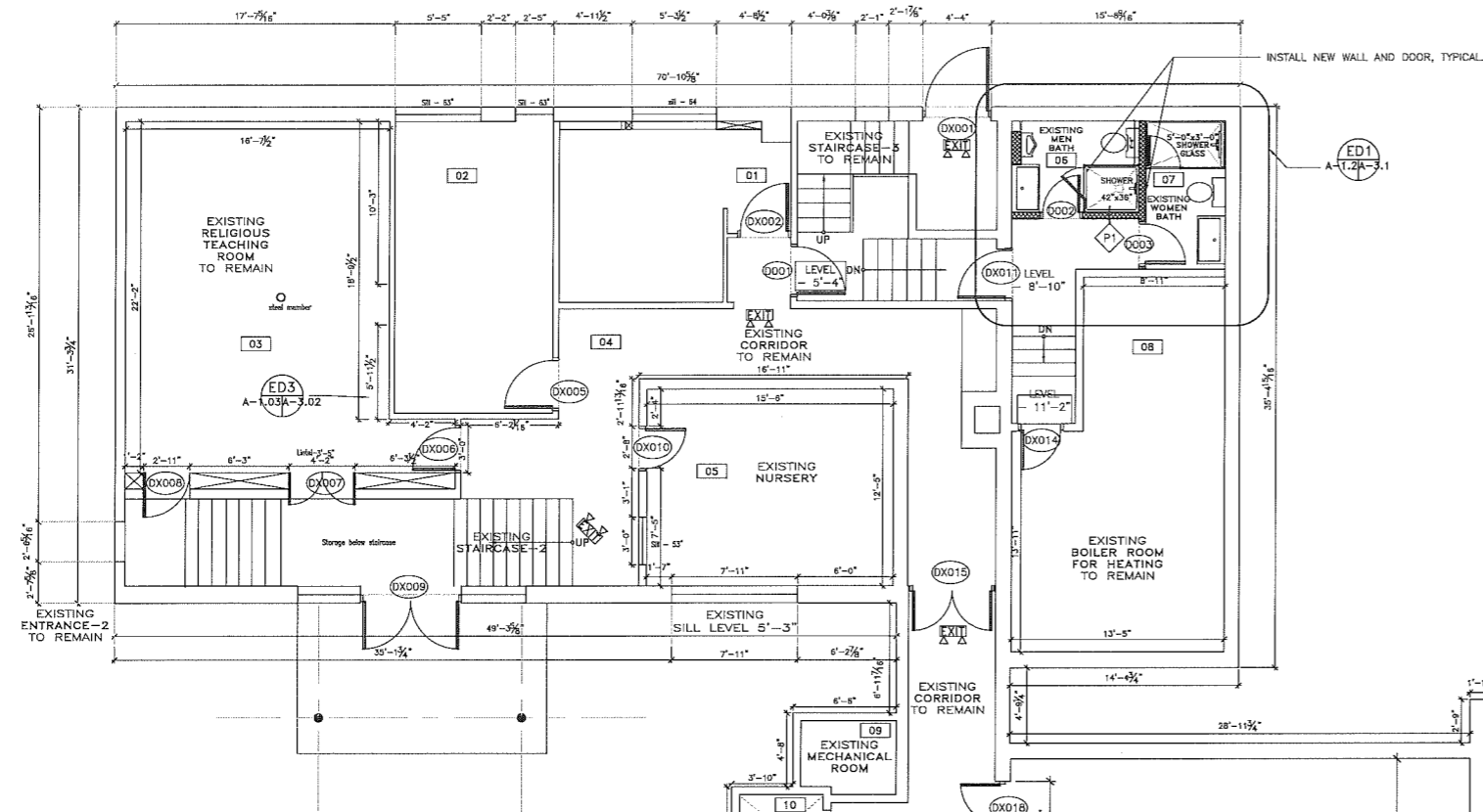
DRAWING TITLE
- EXISTING BASEMENT FLOOR PLAN

NOTE:
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PROJECT NUMBER 2338		DRAWN BY K.V.	
DATE AUGUST 2023		CHECKED BY CJV	
DRAWING NO.			

A-1.1

0'-0" 10'-0" 20'-0" 30'-0" 40'-0"
 1"=10'-0"



[Pattern]	EXISTING WALL - 1
[Pattern]	EXISTING WALL
[Pattern]	PROPOSED WALL
[Pattern]	DEMOLITION WORK
[Pattern]	PROPOSED WALL PREPARATION SURFACE
[Pattern]	SAW CUT
[Symbol]	MECHANICAL EXHAUST
[Symbol]	PATH OF TRAVEL
[Symbol]	FIRE RATING
[Symbol]	FLOOR DRAIN

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ABOVE: NEW EXHAUST VENT HOOD 7'-0"X3'-0" @ 6'-6" A.F.F., WITH SPRINKLERS. HOOD CONTRACTOR TO PROVIDE STAMP SHOP DRAWING, WITH REQUIRED PERMIT APPROVAL & INSPECTION FROM THE CITY HALL. TYPICAL.

INSTALL NEW 3 COMPARTMENT SINK WITH OIL INTERCEPTOR. TYPICAL.

ALL EXISTING HVAC, PLUMBING AND ELECTRICAL SYSTEMS REMAIN. REWORK AS REQUIRED TO SUIT THE NEW INTERIOR LAYOUT. GO TO USE LICENSED TRADE FOR ALL HVAC, PLUMBING AND ELECTRICAL WORK. EXHAUST HOOD CONTRACTOR TO PROVIDE STAMPED SHOP DRAWINGS.

NEW 8"X8" H.S.S. AND NEW BEAM, GC TO PROVIDE STAMP CERTIFICATE & DRAWING THE NEW BEAM. TYPICAL.

REMOVE EXISTING BLOCK WALL, PATCH TO MATCH.

NEW 8"X8" H.S.S. AND NEW BEAM, GC TO PROVIDE STAMP CERTIFICATE & DRAWING THE NEW BEAM. TYPICAL.

INSTALL NEW PARTIAL WALL AND DOOR, TYPICAL.
 INSTALL NEW WASHROOM, PARTIAL WALL, DOOR AND DOOR FRAME TYPICAL.

BASEMENT INTERIOR ALTERATION WORK AREA
 RENOVATION AREA-1 = 347.47 S.F. = 32.28 S.M.
 RENOVATION AREA-2 = 113.62 S.F. = 10.55 S.M.
 RENOVATION AREA-3 = 650.15 S.F. = 60.40 S.M.
 TOTAL RENOVATION = 1,111.24 S.F. = 101.23 S.M.

PROPOSED BASEMENT FLOOR PLAN - OPTION-1
 SCALE: 3/16" = 1'-0"

THIS DRAWING IS BASED ON PREVIOUS SITE PLAN PROVIDED BY PREVIOUS OWNER. NEW OWNER & GC TO FIELD VERIFY BEFORE CONSTRUCTION OF THE WORK.

PROJECT
 EXISTING CHURCH INTERIOR ALTERATIONS FOR SWAMINARAYAN GURUKUL

115 TERRACE DRIVE
 HAMILTON, ON L8A 2Y8

PROPOSED BASEMENT FLOOR PLAN - OPTION-1

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A B C
 A. DETAIL NO.
 B. LOCATION SHEET
 C. DETAILED ON

PROJECT NUMBER 2338 DRAWN BY K.V.
 DATE AUGUST 2023 CHECKED BY CJV

DRAWING NO.
A-1.2
 0'-0" 10'-0" 20'-0" 30'-0" 40'-0"

	EXISTING WALL - 1
	EXISTING WALL
	PROPOSED WALL
	DEMOLITION WORK
	PROPOSED WALL PREPARATION SURFACE
	SAW CUT
	MECHANICAL EXHAUST
	PATH OF TRAVEL
	FIRE RATING
	FLOOR DRAIN

CHINTAN VIRANI ARCHITECT INC.
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11.		
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09.		
08.		
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06.		
05.		
04.		
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02.		
01.		

PROJECT
 INTERIOR ALTERATIONS & ARCHITECTURAL FEATURES FOR SWAMINARAYAN GURUKUL

115 TERRACE DRIVE
 HAMILTON, ON L9A 2Y8

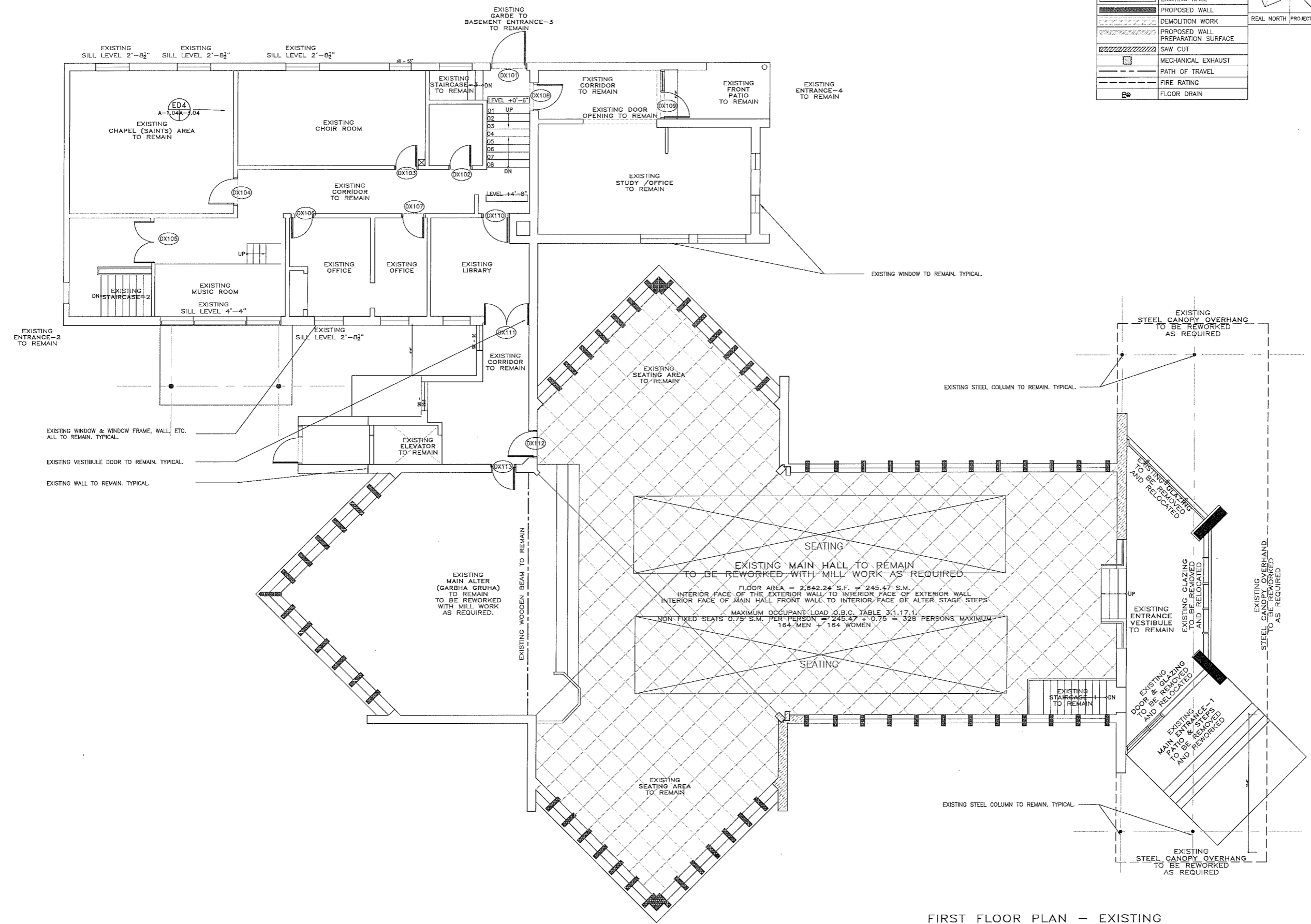
DRAWING TITLE
 -EXISTING FIRST FLOOR PLAN

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	B. LOCATION SHEET
	C. DETAILED ON
PROJECT NUMBER 2338	DRAWN BY K.V.
DATE AUGUST 2023	CHECKED BY C.V.
DRAWING NO.	

A-20.0

0'-0" 10'-0" 20'-0" 30'-0" 40'-0"



FIRST FLOOR PLAN - EXISTING
 SCALE: 3/16" = 1'-0"

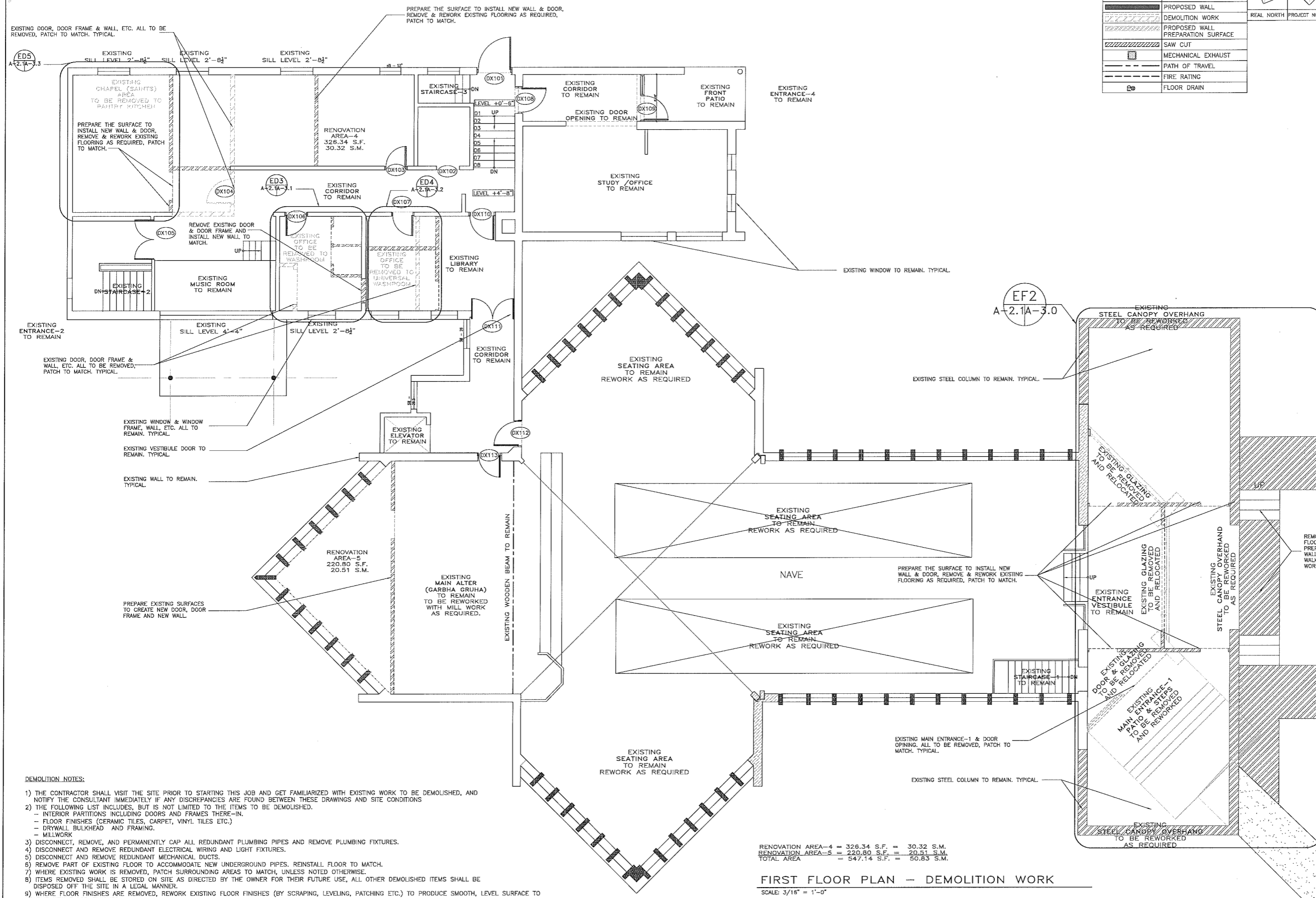
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	EXISTING WALL - 1
	EXISTING WALL
	PROPOSED WALL
	DEMOLITION WORK
	PROPOSED WALL PREPARATION SURFACE
	SAW CUT
	MECHANICAL EXHAUST
	PATH OF TRAVEL
	FIRE RATING
	FLOOR DRAIN

CHINTAN VIRANI ARCHITECT INC.
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PROJECT
 INTERIOR ALTERATIONS & ARCHITECTURAL FEATURES FOR SWAMINARAYAN GURUKUL

115 TERRACE DRIVE
 HAMILTON, ON L9A 2Y8

DRAWING TITLE
 - EXISTING FIRST FLOOR PLAN

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DRAWING NO.			

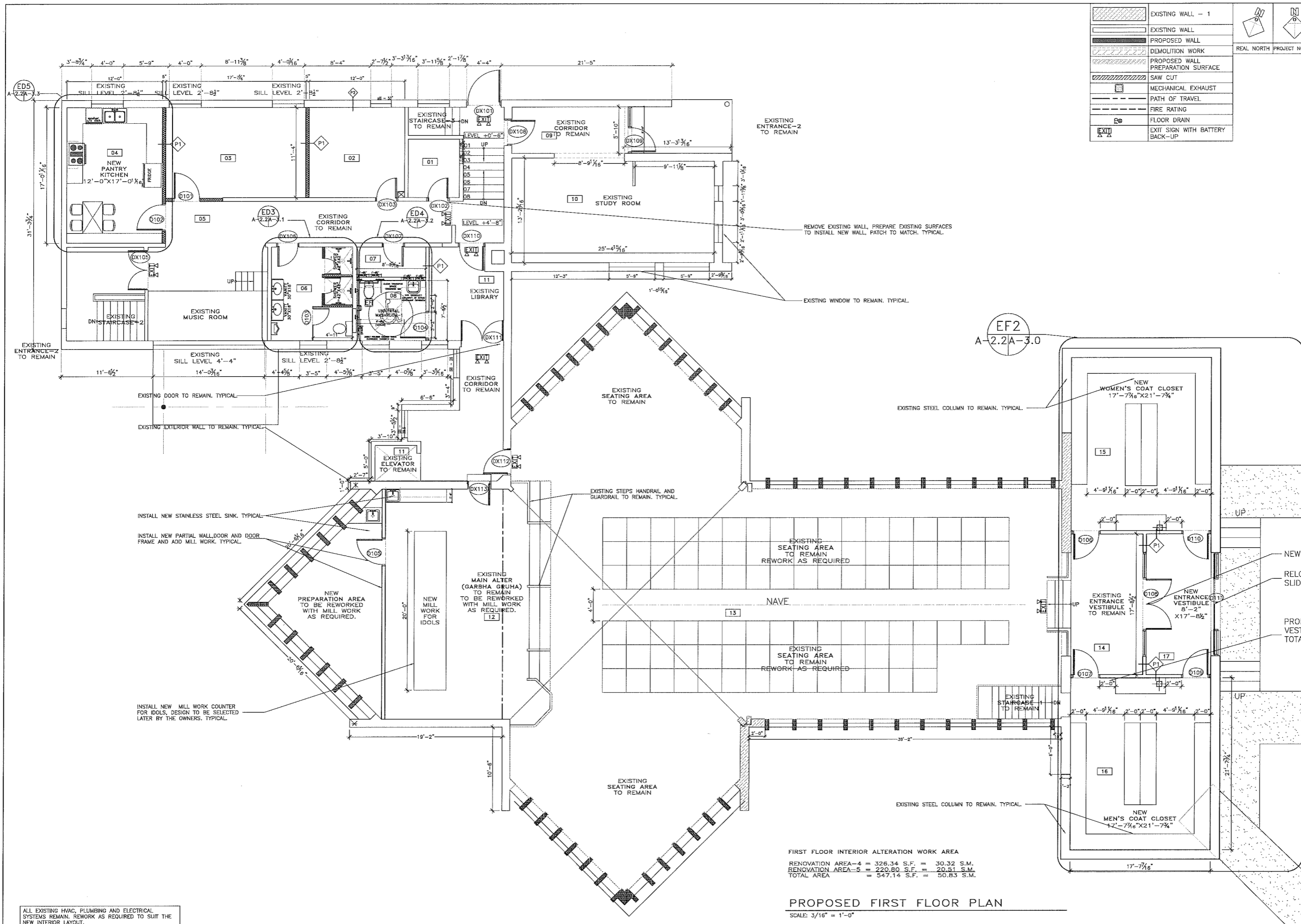
A-2.1

0'-0" 10'-0" 20'-0" 30'-0" 40'-0"

RENOVATION AREA-4 = 326.34 S.F. = 30.32 S.M.
 RENOVATION AREA-5 = 220.80 S.F. = 20.51 S.M.
 TOTAL AREA = 547.14 S.F. = 50.83 S.M.

FIRST FLOOR PLAN - DEMOLITION WORK
 SCALE: 3/16" = 1'-0"

- DEMOLITION NOTES:**
- 1) THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO STARTING THIS JOB AND GET FAMILIARIZED WITH EXISTING WORK TO BE DEMOLISHED, AND NOTIFY THE CONSULTANT IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND BETWEEN THESE DRAWINGS AND SITE CONDITIONS
 - 2) THE FOLLOWING LIST INCLUDES, BUT IS NOT LIMITED TO THE ITEMS TO BE DEMOLISHED.
 - INTERIOR PARTITIONS INCLUDING DOORS AND FRAMES THERE-IN.
 - FLOOR FINISHES (CERAMIC TILES, CARPET, VINYL TILES ETC.)
 - DRYWALL BULKHEAD AND FRAMING.
 - MILLWORK
 - 3) DISCONNECT, REMOVE, AND PERMANENTLY CAP ALL REDUNDANT PLUMBING PIPES AND REMOVE PLUMBING FIXTURES.
 - 4) DISCONNECT AND REMOVE REDUNDANT ELECTRICAL WIRING AND LIGHT FIXTURES.
 - 5) DISCONNECT AND REMOVE REDUNDANT MECHANICAL DUCTS.
 - 6) REMOVE PART OF EXISTING FLOOR TO ACCOMMODATE NEW UNDERGROUND PIPES. REINSTALL FLOOR TO MATCH.
 - 7) WHERE EXISTING WORK IS REMOVED, PATCH SURROUNDING AREAS TO MATCH, UNLESS NOTED OTHERWISE.
 - 8) ITEMS REMOVED SHALL BE STORED ON SITE AS DIRECTED BY THE OWNER FOR THEIR FUTURE USE, ALL OTHER DEMOLISHED ITEMS SHALL BE DISPOSED OFF THE SITE IN A LEGAL MANNER.
 - 9) WHERE FLOOR FINISHES ARE REMOVED, REWORK EXISTING FLOOR FINISHES (BY SCRAPING, LEVELING, PATCHING ETC.) TO PRODUCE SMOOTH, LEVEL SURFACE TO RECEIVE NEW FLOOR FINISHES.



	EXISTING WALL - 1
	EXISTING WALL
	PROPOSED WALL
	DEMOLITION WORK
	PROPOSED WALL PREPARATION SURFACE
	SAW CUT
	MECHANICAL EXHAUST
	PATH OF TRAVEL
	FIRE RATING
	FLOOR DRAIN
	EXIT SIGN WITH BATTERY BACK-UP

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NEW AUTOMATIC DOOR
 RELOCATED AUTOMATIC SLIDING DOOR
 PROPOSED ADDITION FOR VESTIBULE AND COAT CLOSET
 TOTAL AREA = 950.00 S.F.
 = 88.26 S.M.

PROJECT
 EXISTING CHURCH INTERIOR ALTERATIONS FOR SWAMINARAYAN GURUKUL
 115 TERRACE DRIVE
 HAMILTON, ON L9A 2Y8
 DRAWING TITLE

PROPOSED FIRST FLOOR PLAN

NOTE:
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A	A. DETAIL NO.
BC	B. LOCATION SHEET
	C. DETAILED ON
PROJECT NUMBER 2338	DRAWN BY K.V.
DATE AUGUST 2023	CHECKED BY C.J.V.
DRAWING NO.	

FIRST FLOOR INTERIOR ALTERATION WORK AREA
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 TOTAL AREA = 547.14 S.F. = 50.83 S.M.

PROPOSED FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

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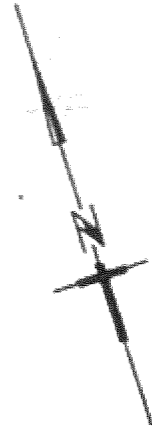
ALL EXISTING HVAC, PLUMBING AND ELECTRICAL SYSTEMS REMAIN. REWORK AS REQUIRED TO SUIT THE NEW INTERIOR LAYOUT.
 GC TO USE LICENSED TRADE FOR ALL HVAC, PLUMBING AND ELECTRICAL WORK.
 EXHAUST HOOD CONTRACTOR TO PROVIDE STAMPED SHOP DRAWINGS.

A-2.2

0'-0" 10'-0" 20'-0" 30'-0" 40'-0"

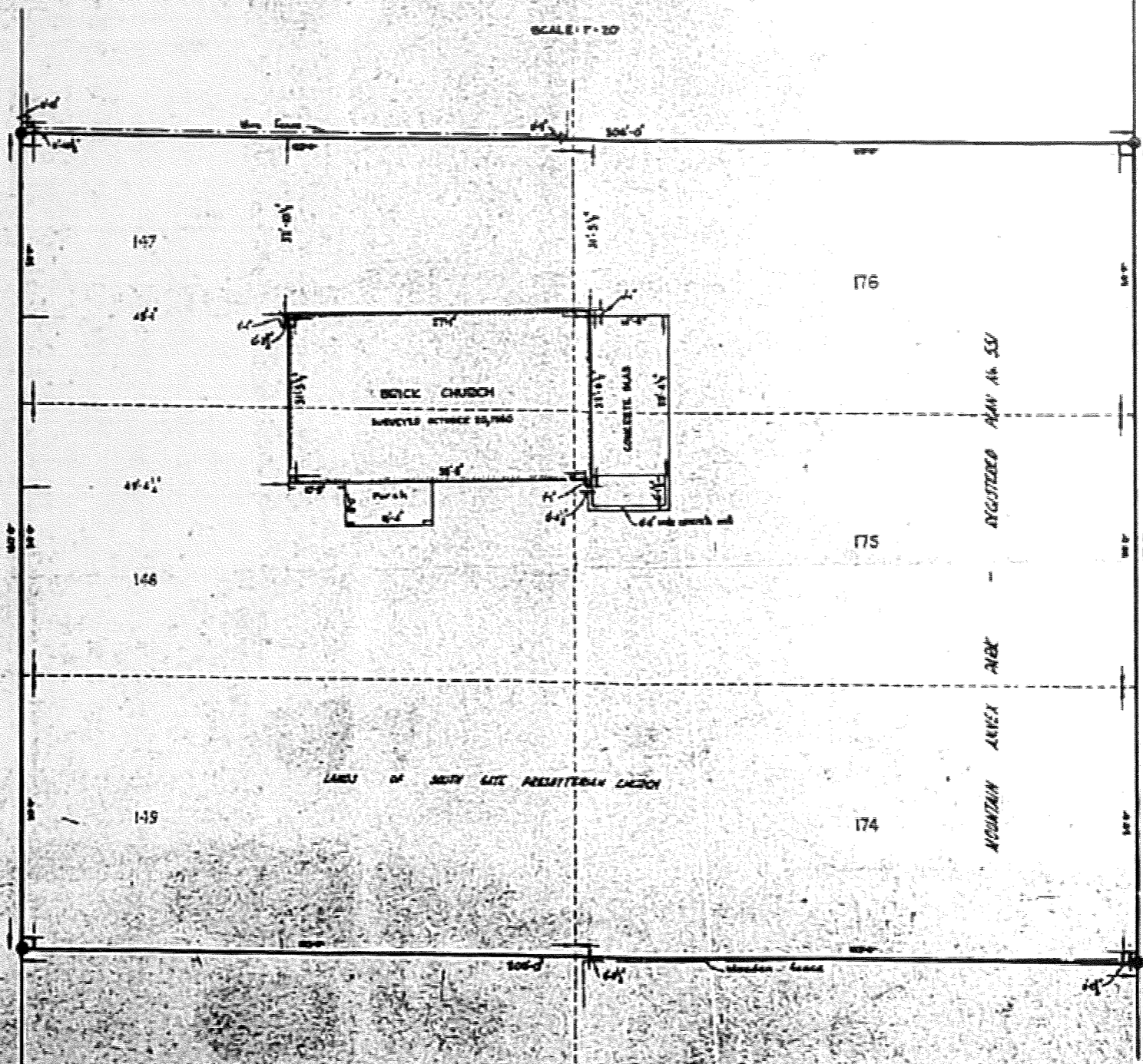
PLAN SHOWING
 LOTS 147 TO 149 BOTH INCLUSIVE & LOTS 174 TO 176 BOTH INCLUSIVE
MOUNTAIN ANNEX PARK
 REGISTERED PLAN NO. 551
 IN THE
CITY OF HAMILTON

SCALE: 1" = 20'



Handwritten:
 0000
 0000
 0000
 0000
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 0000
AVENUE
 7/5/51

CARLETON



CLARENDON

ONE © CONCRETE MONUMENT
 PLANTED OCTOBER 24, 1944

Signature: J. Wood O.C.S.
 SIDNEY H. WOODS
 SURVEYOR & ENGINEER
 HAMILTON - ONTARIO
 JUNE 22, 1944
 REVISED OCTOBER 2, 1946

The CITY OF HAMILTON disclaims any liability as to the current accuracy of the contents of this document and advises that no reliance can be placed upon the current accuracy of the contents herein.

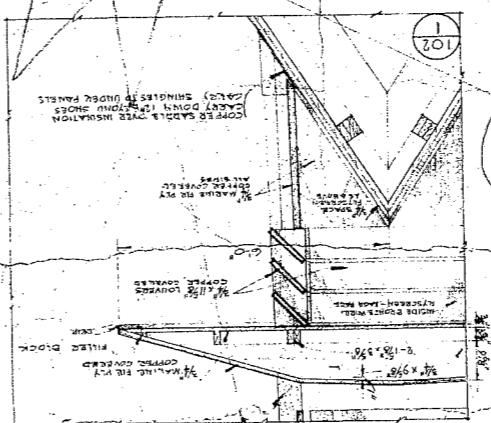
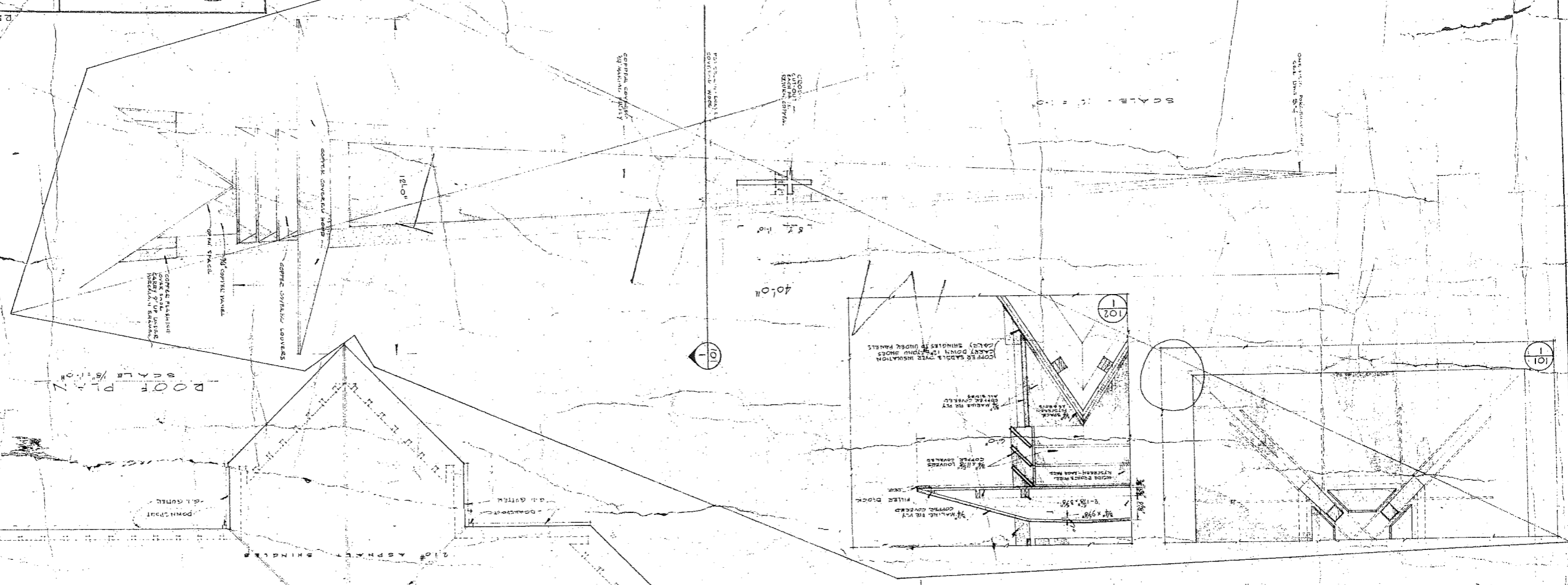
CLARENDON AVENUE

Handwritten: 120 CLARENDON

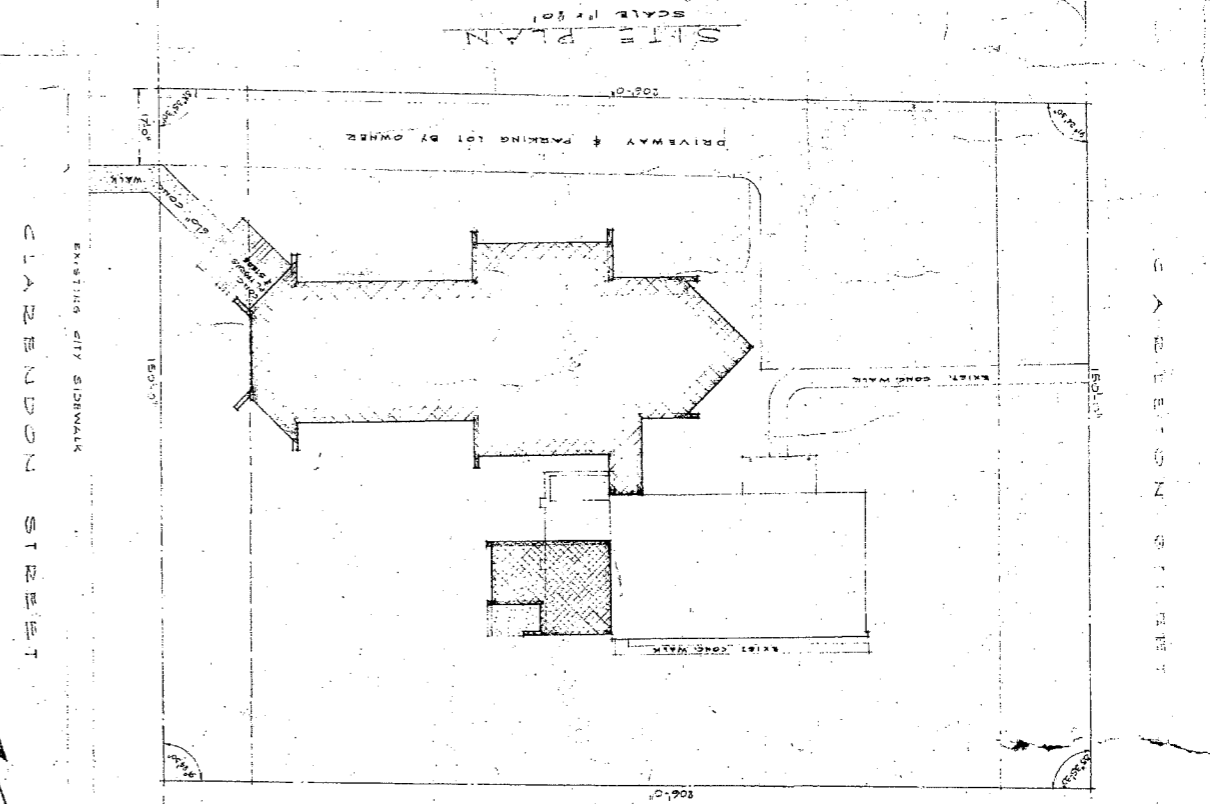
11-11-41

W-1141

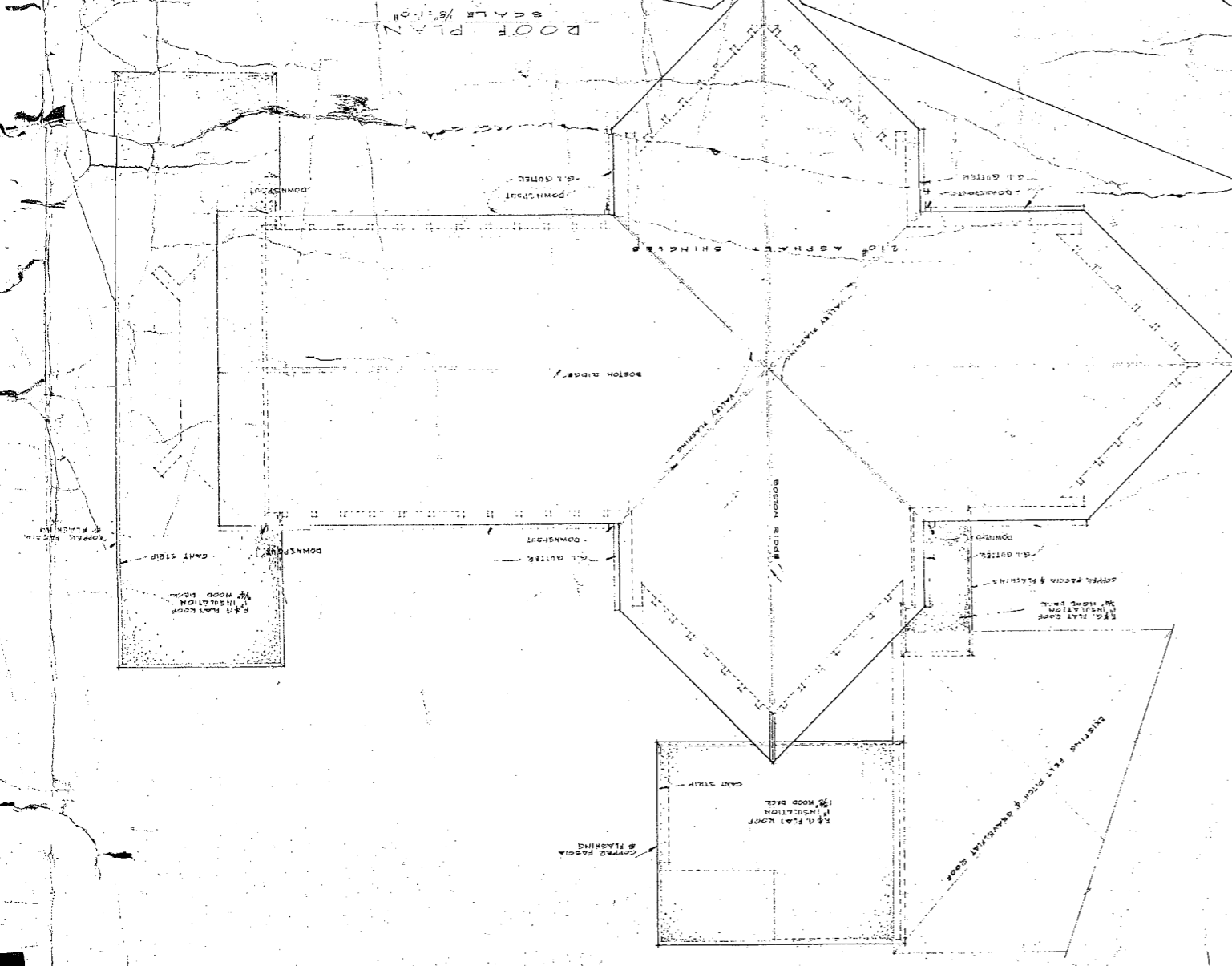
NEW CHURCH AND ALTAR
for SOUTH GATE PRESBYTERIAN
CLERGY - CLARENDON AVE
REVISED 28 NOV 60



Roof Plan Scale 1/8"



CLARENDON STREET



Floor Plan Scale 1/8"



SHREE SWAMINARAYAN GURUKUL CANADA®

115 Terrace Drive, Hamilton, ON, L9A 2Y8 | (365)-227-0116 | toronto@gurukul.world

Canadian Registered Charity #: 824883003 RR001

Date: December 13, 2023

Committee of Adjustment

City of Hamilton

Re: Application of a minor variation permission

Shree Swaminarayan Gurukul is registered Canadian Charity operated in Ontario since 2011. We recently acquired church property (115 Terrace Drive or 120 Clarendon ave.) that we will be using as Hindu Temple (place of worship).

In order to comply with religious believes and maintain proper flow in and out of building we require to close existing canopy in the front of building and create coat/shoes/Jacket area and extend basement make new washrooms. Current washrooms are in out of flow and not ideal for temple where we want to maintain highest level of spirituality.

We consulted our proposal with city staff and upon their request we also completed zoning compliance review and attached their comment along with application. We would highly appreciate if you could consider this application and do the needful for us to proceed with our proposal.

Here with we are attaching following documents:

- 1) Application fee
- 2) Completed application.
- 3) Zoning compliance report
- 4) Existing and proposed drawings

We highly appreciate for support from city in this regard.

Thanks,

Vipul Savaliya

President- Shree Swaminarayan Gurukul Canada

"Shree Swaminarayan Gurukul: An educational, cultural and socio-spiritual non-profit organization"



Hamilton

November 29, 2023

FILE: ALR
FOLDER: 23-311655-00 ALR
ATTENTION OF: Victoria Brito
TELEPHONE NO: (905) 546-2424
EXTENSION: 7628

Shree Swaminarayan Gurukul
115 TERRACE DR
HAMILTON, ON L9A 2Y8

Attention:

Re: **APPLICABLE LAW REVIEW – ZONING BYLAW**
Present Zoning: I1 (Neighbourhood Institutional)
Address: 115 TERRACE DR HAMILTON, ON (ALSO KNOWN AS 120 CLARENDON AVE.)

An Applicable Law Review respecting zoning bylaw compliance has been completed and the following comments are provided.

COMMENTS:

1. The applicant is proposing to add a vestibule addition to the existing building place of worship.
2. Building records indicates that the recognized use is a place of worship which is permitted in the current "I1" (Neighbourhood Institutional) zoning.
3. This property is listed in the City of Hamilton's Inventory Heritage Buildings as a property of cultural heritage value or interest. Please contact a Cultural Heritage Planner at culturalheritageplanning@hamilton.ca, or visit www.hamilton.ca/heritageplanning for further information.
4. This is a through lot. Therefore, the front lot line shall be at the option of the owner, either of the lot lines abutting a public street as defined. It is noted that the applicant has deemed the lot line along Clarendon Avenue as the front lot line for the property. Therefore, the opposite lot line shall be considered the rear lot line and all other lot lines shall be considered interior side lot lines.
5. Any other proposed yard encroachments shall be in accordance with the requirements of Section 4.6 of the Hamilton Zoning By-law 05-200.
6. Construction of the proposal is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setbacks and construction types.
7. Sign details have not been provided; all signage shall conform to Hamilton Sign By-law 10-197. A building permit(s) is required for all signage.

8. Fencing details have not been provided; all fencing shall conform to Hamilton Fence By-law 10-142.
9. The designer shall ensure that the fire access route conforms to the Ontario Building Code.
10. The proposed development has been reviewed and compared to the standards of the I1 (Neighbourhood Institutional) zone as indicated in the following chart:

	Required by the By-Law	Provided	Conforming/ Non-Conforming
Section 8.1 – I1 Requirements			
Section 8.1.3.1- EMERGENCY SHELTER, RESIDENTIAL CARE FACILITY, PLACE OF WORSHIP AND RETIREMENT HOME REGULATIONS			
Minimum Lot Area [as per section 8.1.3.1(a) of Hamilton Zoning By-law 05-200]	330.0 square metres;	Details not provided; however, it is noticed that the property has a lot area greater than 330.0m ² .	Conforms
Maximum Lot Area for a Place of Worship [as per section 8.1.3.1(b) of Hamilton Zoning By-law 05-200]	1.0 hectare	Details not provided; however, it is noticed that the property has a lot area less than 1.0 hectare.	Conforms
Minimum Lot Width [as per section 8.1.3.1(c) of Hamilton Zoning By-law 05-200]	12.0 metres	Details not provided; however, it is noticed that this property has a lot width greater than 12.0m.	Conforms
Minimum Front Yard [as per section 8.1.3.1(d) of Hamilton Zoning By-law 05-200]	6.0 metres	The submitted site plan shows a proposed setback of 3.0m.	Non-conforming
Minimum Side Yard [as per section 8.1.3.1(e) of Hamilton Zoning By-law 05-200]	1.2 metres	The submitted site plan shows a proposed setback significantly greater than 1.2m along both sides.	Conforms
Minimum Flankage Yard [as per section 8.1.3.1(f) of Hamilton Zoning By-law 05-200]	3.0 metres	This is not a corner lot.	N/A
Minimum Rear Yard [as per section 8.1.3.1(g) of Hamilton Zoning By-law 05-200]	7.0 metres	No changes are proposed.	Existing
Maximum Building Height [as per section 8.1.3.1(h) of Hamilton Zoning By-law 05-200]	10.5 metres	No elevation plans were submitted; however, a one storey addition is proposed which does not appear to exceed 10.5m in height.	Appears to conform

	Required by the By-Law	Provided	Conforming/ Non-Conforming
<p>Maximum Capacity for Residential Care Facility and Retirement Home [as per section 8.1.3.1(i) of Hamilton Zoning By-law 05-200]</p>	Shall not exceed 15 residents	Not applicable to the proposal.	N/A
<p>Location of Emergency Shelter and Residential Care Facility [as per section 8.1.3.1(j) of Hamilton Zoning By-law 05-200]</p>	<p>i) Except as provided for in Subsection ii), herein, every Emergency Shelter or Residential Care Facility shall be situated on a lot having a minimum radial separation distance of 300 metres from any lot line of such lot measured to the lot line of any other lot occupied by a Residential Care Facility, Emergency Shelter, Corrections Residence or Correctional Facility.</p> <p>ii) Where the radial separation distance from the lot line of an Emergency Shelter or Residential Care Facility existing as of the effective date of this By-law, is less than 300 metres to the lot line of any other lot occupied by an existing Residential Care Facility, Emergency Shelter, Corrections Residence or Correctional Facility, the existing Residential Care Facility may be expanded or redeveloped to accommodate not more than the permitted number of residents permitted by the Zone in which it is located.</p>	Not applicable to the proposal.	N/A
Section 5 - Parking			
<p>Location (All Uses) [as per section 5.1(a) of Hamilton Zoning By-law 05-200]</p>	i) Required parking facilities shall be located on the same lot as the use requiring the parking.	Required parking facilities are located on the same lot as the use requiring parking.	Conforms
<p>Location of parking and Planting strip [as per section 5.1(a) of Hamilton Zoning By-law 05-200]</p>	<p>v) <i>Unless otherwise regulated in this By-law, parking spaces and aisles, giving direct access to abutting parking spaces, excluding driveways extending directly from the street, shall be subject to the following:</i></p> <p>a) Shall not be located within 3.0 metres of a street line,</p> <p>b) Shall provide a 3.0 metre wide</p>	<p>a) Parking is shown located as close as 0.0m from both street lines.</p> <p>b) No planting strip is provided between the street line and the said parking spaces or aisles.</p>	<p>Non-conforming</p> <p>Non-conforming</p>

	Required by the By-Law	Provided	Conforming/ Non-Conforming
	<p>planting strip being required and permanently maintained between the street line and the said parking spaces or aisle, except for that portion of a lot line abutting the Red Hill Valley Parkway and the Lincoln Alexander Parkway; and,</p> <p>c) Where a Planting Strip is provided, as per b) above, any architectural wall or feature within the Planting Strip shall be limited to a maximum height of 0.6 metres.</p> <p>vi) Within any Downtown Zone, no new surface parking lots shall be permitted except where the parking is accessory to the main use on the same lot.</p>	<p>c) Not shown as part of the proposal.</p> <p>vi) this is not a Downtown Zone.</p>	<p>N/A</p> <p>N/A</p>
<p>Design Standards [as per section 5.2 of Hamilton Zoning By-law 05-200]</p>	<p>a) Where a parking lot is situated on a lot which abuts a Residential Zone, Settlement Residential (S1) Zone, Downtown (D5), or Downtown (D6) Zone, the following shall be provided and maintained along that portion of the lot line that abuts a Residential Zone, Settlement Residential (S1) Zone, Downtown (D5) Zone, or Downtown (D6) Zone:</p> <p>i) A minimum 1.5 metre wide landscape strip which shall contain a visual barrier in accordance with Section 4.19 of this By-law.</p>	<p>This property is adjacent to a Residential zone on both the northerly and southerly sides.</p> <p>The required landscaped strip has not been provided along both northly and southerly sides abutting Residential.</p>	<p>Non-conforming</p>
	<p>b) <i>Unless permitted by another regulation in this By-law, parking space sizes shall be:</i></p> <p>i) Minimum 2.8 metres in width and 5.8 metres in length;</p> <p>ii) Where a wall, column, or any other obstruction is located abutting or within any parking space within an above ground or underground parking structure, the minimum width of a parking space shall be increased by 0.3 metres;</p> <p>iii) Notwithstanding Subsection ii), an additional 0.3 metres shall not be required provided:</p> <p>1. the maximum length of the wall, column or any other obstruction shall not exceed 1.15 metres;</p>	<p>i) The typical parking space size has not been clearly labelled on the Site plan. The side notes show a typical size of 2.8m x 5.8m; however, some spaces appear to be less.</p> <p>ii), iii), iv, and v) not applicable to this development.</p>	<p>Appears may not conform</p> <p>N/A</p>

	Required by the By-Law	Provided	Conforming/ Non-Conforming
	<p>2. the wall, column or any other obstruction is located at the front, rear, or both ends of the parking space; and,</p> <p>3. the wall, column or any other obstruction does not project more than 0.15 metres into the width of the parking space.</p> <p>iv) The length of each parking space in an attached garage of a dwelling unit shall be increased by an equivalent length of the step, steps or stairwell that extends into the parking space;</p> <p>v) Notwithstanding Subsection iv), an open stairway may project into the length of the required parking space not more than 0.75 metres provided the height of the stairway does not exceed 0.5 metres;</p> <p>vi) Notwithstanding Subsection i) herein, where 10 or more parking spaces are required on a lot, the minimum parking space size of not more than 10% of such required parking spaces shall be a width of 2.6 metres and a length of 5.5 metres, provided that any such parking space is clearly identified as being reserved for the parking of small cars only;</p> <p>vii) Notwithstanding Subsection b) herein, light standards, including the base, located at the intersection of 4 parking spaces shall not be considered as an obstruction.</p>	<p>vi) no small car parking spaces have been identified for the development.</p> <p>vii) No light standards shown.</p>	<p>N/A</p> <p>N/A</p>
	<p>c) All required parking shall be provided as follows:</p> <p>i) With adequate means of ingress and egress to and from the street or laneway without the necessity of moving any other motor vehicle;</p> <p>ii) Shall be arranged so as to not interfere with normal public use of the street or laneway;</p> <p>iii) Shall be accessed by means of an access driveway:</p> <p>1. Located on the lot; or,</p> <p>2. Located party on the lot in the case</p>	<p>c) i))The parking is shown with adequate means of ingress and egress to and from the street without the necessity of moving any other motor vehicle.</p> <p>ii) It appears that Parking space #19 may interfere with normal public use of the street. All other parking is not shown to interfere with normal public use of the street.</p> <p>iii) The parking is shown to be access by means of an</p>	<p>Conforms</p> <p>Appears may not conform</p> <p>Conforms</p>

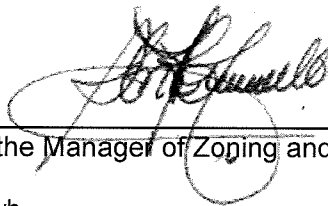
	Required by the By-Law	Provided	Conforming/ Non-Conforming
	<p>of a mutual driveway; or, 3. By means of a Right-of-Way.</p> <p>iv) Any parking lot shall provide for ingress and egress of vehicles to and front a street in a forward motion only.</p>	<p>access driveway located on the lot.</p> <p>iv) It appears that ingress and egress to Parking space #19 may not be in a forward motion only. All other parking is shown to provide ingress and egress of vehicles to and from a street in a forward motion only.</p>	<p>Appears may not conform</p>
	<p>d) <i>Notwithstanding Subsection b) herein, in the case of parallel parking:</i></p> <p>Each parallel parking space shall have a minimum width of 2.4 metres and a minimum length of 6.7 metres. End spaces which have a clear, unobstructed approach, shall have a minimum length of 5.5 metres</p>	<p>No parallel spaces shown.</p>	<p>N/A</p>
	<p>e ii) <u>Parking Lots in All Zones, except the Rural Classification Zones</u></p> <p>a) Shall be designed and maintained with stable surfaces such as asphalt, concrete or other hard-surfaced material;</p>	<p>The composition of the parking area was not clearly indicated. However, based on GIS aerial and street view it is noticed to be asphalt/concrete.</p>	<p>Appears to conform</p>
	<p>f) <i>Notwithstanding Subsection b) herein, in the case of a barrier free parking, each parking space shall have a minimum width of 4.4 metres and a minimum length of 5.8 metres; and,</i></p>	<p>The site provides four (4) barrier free spaces. Two spaces are clearly labelled to have a size of 4.5m x 5.8m. However, the remaining two spaces appear to be deficient.</p>	<p>Appears non-conforming</p>
	<p>h) <i>In addition to Section 5.1 a) v) and Subsection 5.2 e), the following Planting Strip requirements shall apply to surface parking lots in all zones where 50 or more parking spaces are provided on a lot::</i></p> <p>i) Landscaped Area(s) or Landscaped Parking Island(s) with a minimum combined area of 10% of the area of the parking lot and associated access driveway and manouvering areas shall be provided and maintained;</p> <p>ii) Each Landscaped Area and Landscaped Parking Island shall have</p>	<p>The site only provides 41 parking spaces. Therefore, these requirements are not applicable.</p>	<p>N/A</p>

	Required by the By-Law	Provided	Conforming/ Non-Conforming																
	<p>a minimum area of 10.0 square metres;</p> <p>iii) In addition to Section 5.6, the number of required parking spaces required to accommodate the Landscaped Area or Landscaped Parking Island within the parking lot shall be reduced by the amount needed to accommodate the minimum Landscaped Parking Island requirement as required by Subsection 5.2h)i), up to a maximum of 10% of the required parking spaces.</p>																		
	<p>i) <i>In addition to Subsection c) herein, the minimum aisle width shall be designed and provided in accordance with the following requirements:</i></p> <table border="1" data-bbox="483 846 896 1289"> <thead> <tr> <th data-bbox="483 846 662 926">Parking Angle Degree</th> <th data-bbox="662 846 896 926">One-Way and Two-Way Aisle Width</th> </tr> </thead> <tbody> <tr> <td data-bbox="483 926 662 978">0°</td> <td data-bbox="662 926 896 978">3.7m</td> </tr> <tr> <td data-bbox="483 978 662 1031">15°</td> <td data-bbox="662 978 896 1031">3.7m</td> </tr> <tr> <td data-bbox="483 1031 662 1083">30°</td> <td data-bbox="662 1031 896 1083">3.7m</td> </tr> <tr> <td data-bbox="483 1083 662 1136">45°</td> <td data-bbox="662 1083 896 1136">4.5m</td> </tr> <tr> <td data-bbox="483 1136 662 1188">60°</td> <td data-bbox="662 1136 896 1188">5.5m</td> </tr> <tr> <td data-bbox="483 1188 662 1241">75°</td> <td data-bbox="662 1188 896 1241">6.0m</td> </tr> <tr> <td data-bbox="483 1241 662 1289">90°</td> <td data-bbox="662 1241 896 1289">6.0m</td> </tr> </tbody> </table>	Parking Angle Degree	One-Way and Two-Way Aisle Width	0°	3.7m	15°	3.7m	30°	3.7m	45°	4.5m	60°	5.5m	75°	6.0m	90°	6.0m	<p>The access driveways are less than the required width. The site plans shows a width of 3.795m where there is 60 degree parking, 4.305m where there is 90 degree parking.</p>	<p>Non-conforming</p>
Parking Angle Degree	One-Way and Two-Way Aisle Width																		
0°	3.7m																		
15°	3.7m																		
30°	3.7m																		
45°	4.5m																		
60°	5.5m																		
75°	6.0m																		
90°	6.0m																		
<p>Location of Loading Facilities [as per section 5.2.1 of Hamilton Zoning By-law 05-200]</p>	<p><i>The location of loading doors and associated loading facilities shall be subject to the following:</i></p> <p>a) Shall not be permitted within a Front Yard;</p> <p>b) Shall not be permitted in any yard abutting a street, except where screened from view by a Visual Barrier in accordance with Section 4.19 of this Bylaw; and,</p> <p>c) Shall not be permitted in a required yard abutting a Residential Zone or an Institutional Zone and shall be screened from view by a Visual Barrier in accordance with Section 4.19 of this By-law.</p>	<p>No loading facilities shown as part of the development.</p>	<p>N/A</p>																

	Required by the By-Law	Provided	Conforming/ Non-Conforming
<p>Barrier Free Parking [as per section 5.5 of Hamilton Zoning By-law 05-200]</p> <p><i>*Shall not apply to Single Detached Dwellings, Semi-Detached Dwellings, Duplex Dwellings and Street Townhouses abutting a public street.</i></p> <p><i>**Where the application of the parking standards in Section a) above results in a numeric fraction, fractions shall be rounded down to the nearest whole number.</i></p>	<p>a) <i>Barrier free parking shall be designated and provided as part of the required parking spaces in accordance with the following requirements:</i></p> <p>The required number of parking spaces for the increased GFA has not been calculated due to insufficient information.</p>		<p>Four (4) barrier free spaces.</p> <p>Appears to conform</p>
	<p>Required Parking Spaces</p>	<p>Designated Barrier Free Parking Spaces</p>	
	<p>1 – 49 Spaces</p>	<p>Minimum 1 space;</p>	
	<p>50 – 100 Spaces</p>	<p>Minimum 4% of the total number of required parking spaces;</p>	
	<p>101 – 200 Spaces</p>	<p>Minimum 1 space + 3% of the total number of required parking spaces;</p>	
	<p>201 – 1000 Spaces</p>	<p>Minimum 2 spaces + 2% of the total number of required parking spaces; and,</p>	
<p>1000+</p>	<p>Minimum 11 + 1% of the total number of required parking spaces.</p>		
<p>Minimum Number of Required Parking Spaces [as per section 5.6 c) of Hamilton Zoning By-law 05-200]</p>	<p>1 for every 10 square metres of gross floor area, inclusive of a basement or cellar, to accommodate such use.</p> <p>Note: Records indicate that the existing place of worship was established under the former zoning By-law 6593 which contained no minimum parking requirements for a church.</p> <p>Based on details provided by applicant, the proposed floor area is</p>	<p>Parking required for the increase GFA could not be determined due to insufficient information.</p> <p>Based on site plan provided, a total of 41 parking spaces are proposed.</p>	<p>Appears to conform</p>

	Required by the By-Law	Provided	Conforming/ Non-Conforming
	1228.10m ² (includes both the basement and first floor area). However, the existing gross floor area shall be provided in order calculate the difference and determine parking for the increased GFA per Section 5.6 d) below.		
Additional requirements for all zones, except Downtown Zones [as per section 5.6 d) of Hamilton Zoning By-law 05-200]	d) Notwithstanding Subsection c) herein, for a Hospital or Place of Worship use within any Zone located in all or part of a building existing on the effective date of this By-law, no parking spaces are required, provided that the number of parking spaces which existed on the effective date of this By-law shall continue to be provided and maintained except a Place of Worship shall not be required to provide additional parking beyond that required by Section 5 of this By-law. Where an addition, alteration or expansion of an existing building is proposed, the parking requirements of Section 5.6 c) above, shall only apply to the increased gross floor area of the building.	Records indicate that the existing place of worship was established under the former zoning By-law 6593 which contained no minimum parking requirements. Records also indicate that no parking areas have been legally established or recognized for this site through any formal approval process. Therefore, zero (0) parking spaces are recognized. A total of 41 parking spaces are shown on site.	Applied to the proposal
Bicycle Parking [as per section 5.7 of Hamilton Zoning By-law 05-200]	a) <i>Locational Requirements:</i> i) Long-term Bicycle Parking Space shall be located in a secure enclosed bicycle parking area. ii) Short-term Bicycle Parking Space shall be located within a bicycle parking area at grade	Not required for properties within an Institutional zone. No bicycle parking is shown to be provided.	N/A

Yours truly



for the Manager of Zoning and Committee of Adjustment

VB/vb

Zoning minor variant preconsultant

Bonaventura, David <David.Bonaventura@hamilton.ca>
To: Vipul Savaliya <vipul.savaliya@gmail.com>
Cc: "Catarino, Jennifer" <Jennifer.Catarino@hamilton.ca>

Fri, Dec 15, 2023 at 2:58 PM

Hello Vipul,

Please see the attached correspondence from Zoning staff regarding the stairs on the proposed site plan. It appears at the moment the new stairs would have a 0 metre setback from the property line and would be on the property line. Staff are not supportive of the current configuration for the stairs in particular. That being said, the proposed variance for a 3 metre setback from the front lot line has merit.

If you have any questions, please note in I will not be in office again until January 2nd.

[Quoted text hidden]

----- Forwarded message -----
From: "Brito, Victoria" <Victoria.Brito@hamilton.ca>
To: "Bonaventura, David" <David.Bonaventura@hamilton.ca>
Cc:
Bcc:
Date: Thu, 14 Dec 2023 16:32:58 +0000
Subject: RE: Zoning minor variant preconsultant

Good morning David,

Based on the way it is illustrated I thought it was existing and not proposed. If it is proposed, then it is subject to the encroachments Section 4.6 in the Hamilton Zoning By-law 05-200.

I don't have other details of the structure; however, I'm inclined to call this a porch with associated stairs or perhaps an exterior staircase. Anyway, if the proposed 3.0m front yard (along Clarendon) is approved at Committee, then it would have to maintain a setback of 1.5m from said lot line if we treat it as porch with associated steps or maintain a setback of 3.0m if we treat it as exterior staircase. So a variance would be required to be included to allow the structure to be 0.0m from said lot line instead of the required either 1.5m or 3.0m setback depending on what it is.

Let me know if you have any further questions or concerns.

Kind Regards,

Victoria Brito

Zoning Examiner/Code Correlator

Planning and Economic Development

Planning Division, City of Hamilton

(905) 546-2424 Ext.7628



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From: Bonaventura, David <David.Bonaventura@hamilton.ca>
Sent: Thursday, December 14, 2023 11:16 AM
To: Brito, Victoria <Victoria.Brito@hamilton.ca>
Subject: FW: Zoning minor variant preconsultant

Hi Victoria,

I just have a question for you regarding this ALR you did for a potential minor variance at 115 Terrace Drive. I am just wondering if the proposed stairs for the expanded vestibule along Clarendon Avenue would be an issue in terms of projecting/setbacks. They appear to have a 0.0 m setback from that lot line.

VARIANCE REQUIRED PROPOSED SETBACK
9'-10³/₁₆" 9'-10³/₁₆"
[3002.15] [3002.15]

150'-0"

VARIANC
CONSTR
FRONT
PROPOS
REQUIRE
AS PER

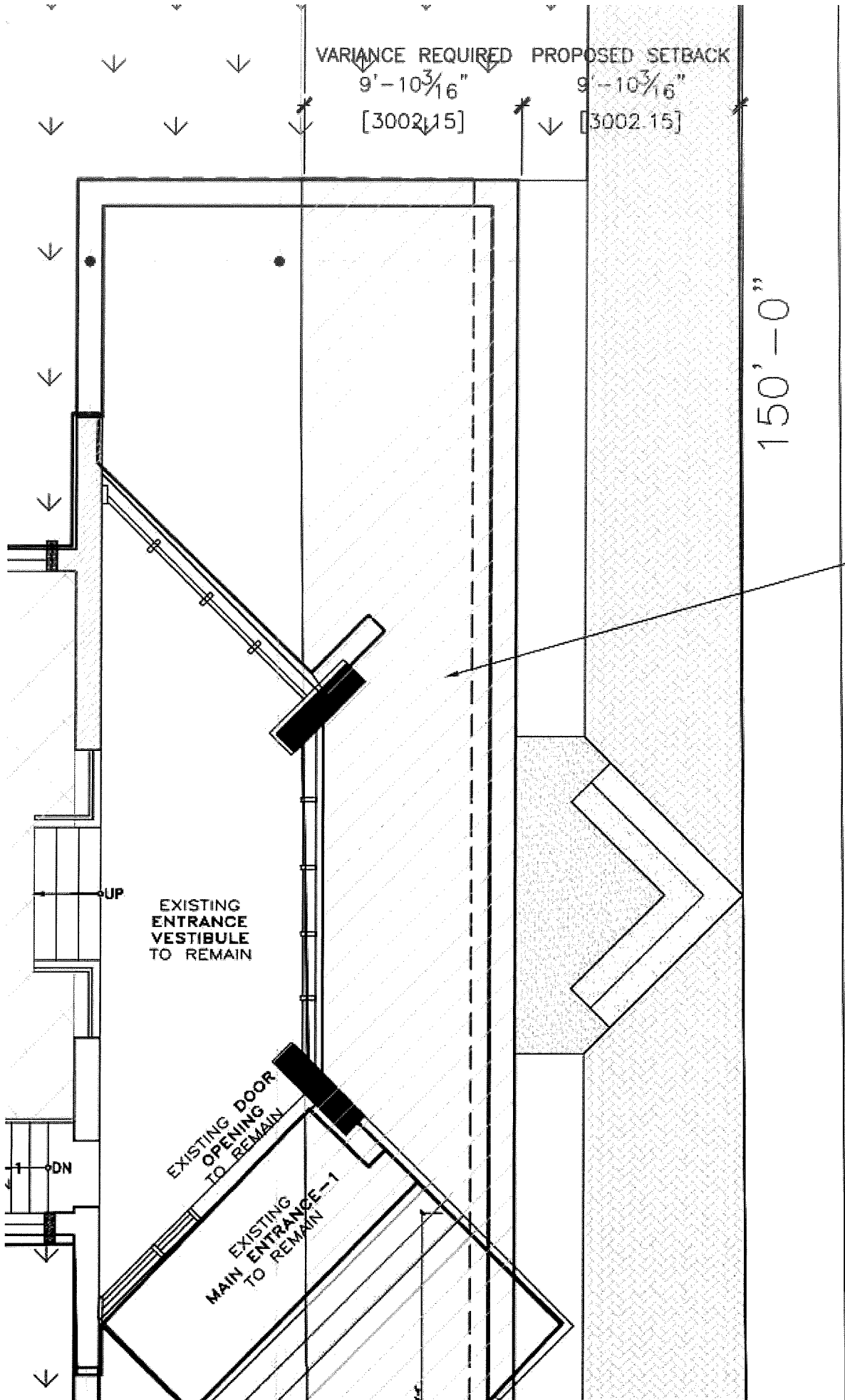
EXISTING
ENTRANCE
VESTIBULE
TO REMAIN

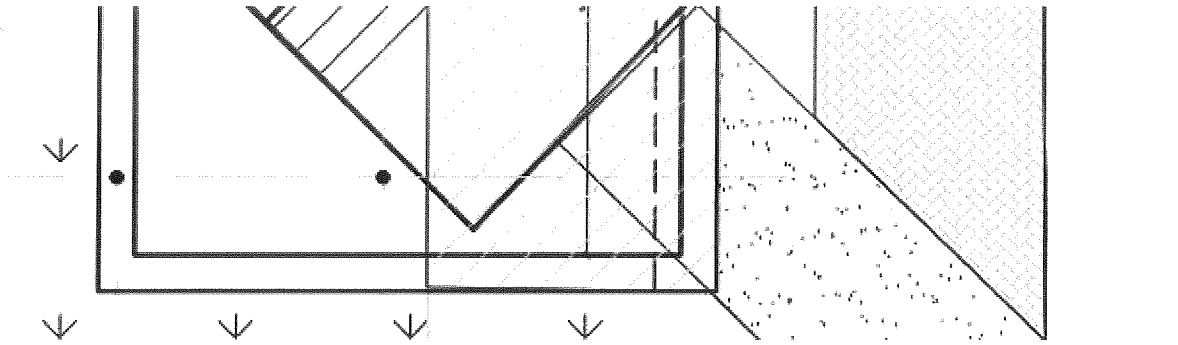
EXISTING DOOR
OPENING
TO REMAIN

EXISTING
MAIN ENTRANCE-1
TO REMAIN

UP

1 DN





This does not seem to be highlighted as a non-conformity in your ALR, but I just wanted to double check with you before I give a response to the applicant.

Thank you,

David Bonaventura

Planning Technician I – West Team

Development Planning

Planning and Economic Development

Planning Division

(905) 546-2424 Ext. 3364



From: Vipul Savaliya <vipul.savaliya@gmail.com>
Sent: Friday, December 1, 2023 12:18 PM
To: Committee of adjustment <cofa@hamilton.ca>; david.bonaventura@gmail.ca; Bonaventura, David <David.Bonaventura@hamilton.ca>
Cc: chintan virani Architect <cviraniad1@gmail.com>; D Gajera <dgajera@yahoo.com>
Subject: Zoning minor variant preconsultant

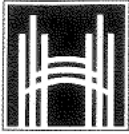
Hello,

We met David Bonaventura at city hall back in November and he suggested we go with Zoning compliance review to confirm what minor variance required for our proposed work.

We have completed the zoning compliance review and attached their comment and our existing and proposed work.

We would like to know if city staff would support this proposed work so we can move forward with the official application.

Your support is greatly appreciated.



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME		
Registered Owners(s)	Shree Swaminarayan Guruk		
Applicant(s)	Vipulkumar Savaliya		
Agent or Solicitor		Phone:	
		E-mail:	

1.2 All correspondence should be sent to Purchaser Owner Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	115 Terrace Drive, Hamilton, ON, L9A 2Y8		
Assessment Roll Number	08089108110		
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

See attachment for the letter of zoning compliance for the required variances. 1. existing Parking.
2. Set back reduced to 3.0 m instead of 6.0 m. to Cover the front porch area to make coat closet with new vestibule on main floor, washrooms in basement. very minor addition to existing to make it better.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

To better fit our need for coat/shoes room we need to add vesibule by doing to we will not comply with required setback of 6.0meter pe by-law.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

All existing building to remain. minor addition - variance for setback, existing parking etc. as stated in zoning compliance letter.

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
45.72 m = 150'-0"	62.79m = 206'-0"	2,936.39	unknown

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
church building	6.0	15.41	10.14 / 5.55	12/01/1960

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Front Vestibule	3.0	15.41	10.41 / 5.55	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
1 storey church building	632.48	632.48	1	17'-0"+ roof

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
vestibule	88.26	88.26	1	17'-0"

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway right of way
- municipal road, seasonally maintained other public road
- municipal road, maintained all year

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Hindu Temple (Place of Worship)

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Chuch (Place of worship)

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Chuch (Place of worship)

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Chuch (Place of worship)

7.4 Length of time the existing uses of the subject property have continued:
Since constructed 1960

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Not Applicable

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

Existing uses for Place of worship to remain

7.6 What is the existing zoning of the subject land? I1 (Neighbourhood Institutional)

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: I1 (Neighbourhood Institutional)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway right of way
- municipal road, seasonally maintained other public road
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4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Hindu Temple (Place of Worship)

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Since constructed 1960

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Not Applicable

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

Existing uses for Place of worship to remain

7.6 What is the existing zoning of the subject land? I1 (Neighbourhood Institutional)

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: I1 (Neighbourhood Institutional)

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

Existing uses for Place of worship to remain. Minor addition of vestibule & coat closet in the front setback for convenience.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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