



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-23:338	SUBJECT PROPERTY:	279 BONAVENTURE DRIVE, HAMILTON
ZONE:	“D/S-744 & S-1822” (Urban Protected Residential – 1 & 2 Family Dwellings Etc.)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended 22-195

APPLICANTS: Owner: OMRE TAHA
 Applicant: MICHAEL SABELLI

The following variances are requested:

1. A minimum easterly side yard width of 1.2m and a minimum westerly side yard width of 1.7m shall be permitted instead of the minimum 2.7m side yard width required for a single-family dwelling over two and a half storeys or 11.0m in height.
2. A minimum of two (2) parking spaces shall be permitted instead of the minimum three (3) parking spaces required.
3. One parking space shall be permitted to maintain a minimum parking space length of 5.9m instead of the minimum 6.0m parking space length required.

PURPOSE & EFFECT: To facilitate the construction of a single-family dwelling together with a secondary dwelling unit.

Notes:

The applicant requested a variance to permit parking in the front yard; however, the variance is not required as parking is permitted in the required front yard for a single-family dwelling and for a secondary dwelling unit.

No floor plans were provided for the secondary dwelling unit from which to confirm the total number of bedrooms proposed. If the proposal is for more than two bedrooms, further variances shall be required.

An eave or gutter may project into a required yard not more than one-half of its width or 1.0m whichever

HM/A-23:338

is the lesser. Insufficient information was shown from which to determine compliance. The applicant shall ensure compliance is achieved; otherwise, further variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, February 13, 2024
TIME:	2:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than February 9, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than February 12, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-23:338, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: January 25, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

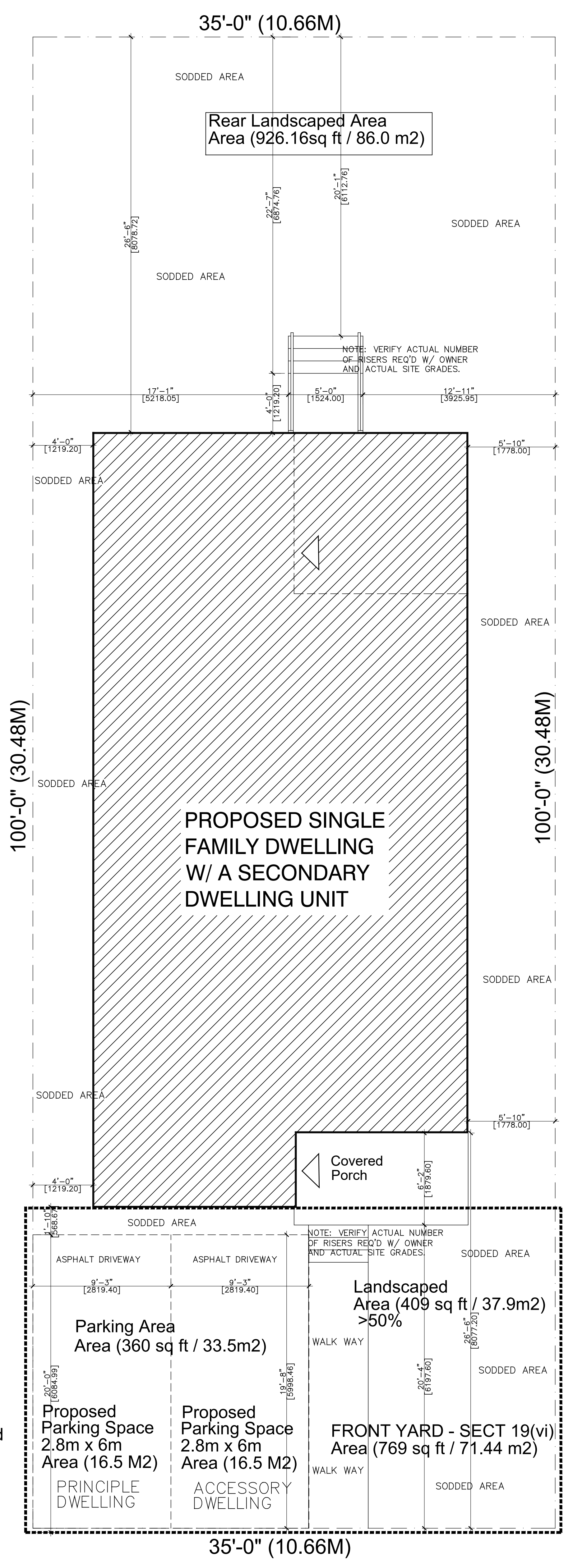
2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

DO NOT SCALE DRAWINGS



SITE STATISTICS	
MUNICIPAL ADDRESS 279 BONAVENTURE DRIVE HAMILTON, ONT.	
BUILDING CLASSIFICATION RESIDENTIAL	
ZONING RESIDENTIAL - D/S - 744 -SAME AS 'C' RESIDENTIAL - C DISTRICT	
REQUIREMENTS MIN. SIDE YARDS 1.2 M (3.94') MIN. FRONT YARD 6.0 M (19.69') MIN. REAR YARD 7.5 M (24.61')	
EXISTING YARDS AT DWELLING SIDE YARD (LEFT) 1.22 M (4'-0") SIDE YARD (RIGHT) 3.40 M (5'-10") FRONT YARD 6.00 M (21'-6") REAR YARD 8.07 M (26'-6")	
LOT AREA 32.52 M2 (3500 SQ FT)	

NOTE:
ALL PROPOSED RAIN WATER LEADERS TO DISCHARGE ANY RAIN WATER ON PROPERTY OR EXISTING SWALES.
NO WATER IS TO BE DRAINED ON TO ADJACENT PROPERTIES OR WALKWAYS OR DRIVEWAYS.

NOTE:
THIS PLOT PLAN IS NOT A SURVEY. UNIQUE DESIGNS INC. DOES NOT GUARANTEE THE ACCURACY OF THIS DOCUMENT NOR DOES UNIQUE DESIGN INC. CLAIM TO HAVE THE QUALIFICATIONS TO PRODUCE A DRAWING INTENDED FOR THE USE AS A SURVEY. THE DRAWING PRODUCED IS INTENDED TO BE USED ONLY AS A DIAGRAM TO COMPLEMENT THE PROVIDED ARCHITECTURAL DRAWINGS. SPECIFICALLY, FOR THE PURPOSES OF ORIENTATION, ZONING, LIMITING DISTANCES AND BUILDING HEIGHT AND THEIR RELATIONSHIP WITH THE INTENDED USE OF THE BUILDING. TRUE SITE SETBACKS MAY NEED TO BE PROVIDED BY A QUALIFIED LAND SURVEYOR.

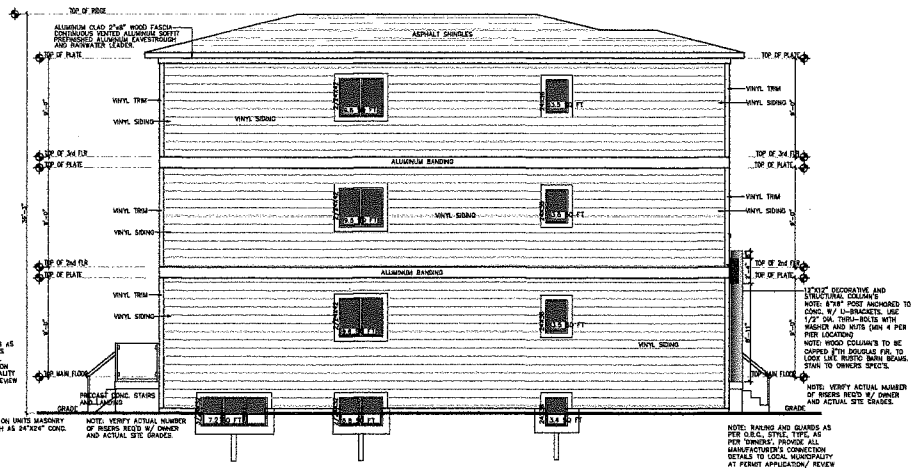
CONVERSION TO A 2 FAMILY DWELLING UNDER SECT. 19 AND UNDER SECT. 18A FOR PARKING.
VARIANCES REQUIRED:
1. PARKING
NOTE: ALL REQUIRED VARIANCES TO BE VERIFIED PRIOR TO APPLYING TO COMMITTEE OF ADJUSTMENTS.

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code. I am a member of the Ontario Association of Architects (OAA) and the Ontario Association of Professional Engineers (OAPE).
MAURO FORTINATO
Signature
15084
15084
BON
31090
UNIQUE DESIGNS INC

BONAVENTURE DR.

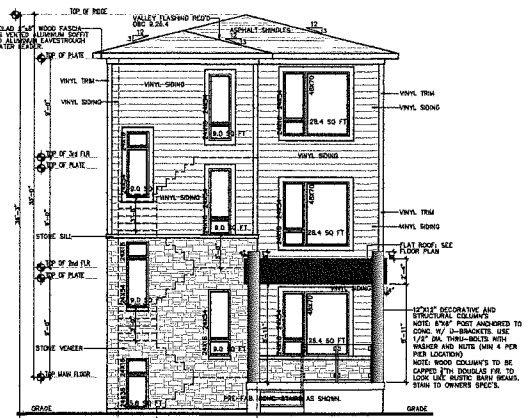
PLOT PLAN

TAHA RESIDENCE	UNIQUE DESIGNS INC.																													
279 BONAVENTURE AVE. HAMILTON, ONT.	PROPOSED SINGLE FAMILY DWELLING W/ A SECONDARY DWELLING UNIT	PLOT PLAN																												
Job Number A0	Date: 06.04.22	Scale: 1/4"=1'-0"	<table border="1" style="width: 100%;"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1.</td> <td>05.30.22</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2.</td> <td>08.15.22</td> <td>RE-ISSUED FOR PERMIT</td> </tr> <tr> <td>3.</td> <td>11.21.23</td> <td>REVISED FOR PERMIT</td> </tr> <tr> <td>4.</td> <td>12.15.23</td> <td>REVISED FOR MINOR VARIANCE</td> </tr> <tr> <td>5.</td> <td></td> <td></td> </tr> <tr> <td>6.</td> <td></td> <td></td> </tr> <tr> <td>7.</td> <td></td> <td></td> </tr> <tr> <td>8.</td> <td></td> <td></td> </tr> </tbody> </table> <p style="font-size: 8px;">THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.</p>	No.	DATE	DESCRIPTION	1.	05.30.22	ISSUED FOR PERMIT	2.	08.15.22	RE-ISSUED FOR PERMIT	3.	11.21.23	REVISED FOR PERMIT	4.	12.15.23	REVISED FOR MINOR VARIANCE	5.			6.			7.			8.		
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8.																														



LEFT SIDE ELEVATION

GRID 3333 (N)
 (UNITED GRID# 78
 DIST. FROM 1777 N.W. (1717) X 130.15m
 SHOWN FROM APPROX. 130.15m
 (DISTANCE FROM APPROX. 130.15m)



FRONT ELEVATION

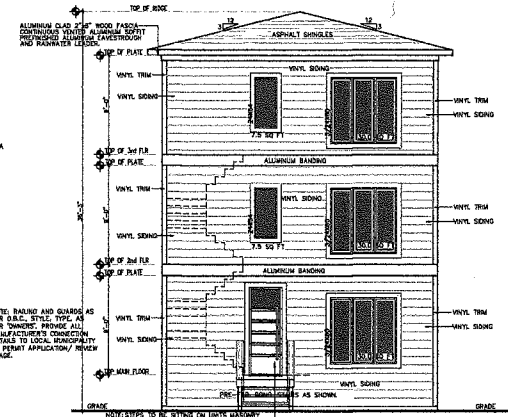
NOTE: VERIFY ACTUAL NUMBER OF RISERS, HEADS W/ OWNER AND ACTUAL SITE GRADES.
 NOTE: RAILING AND GUARDS AS PER O.B.C. STYLE TYPE, AS PER OWNER'S PROVIDE ALL MANUFACTURER'S CONNECTION DETAILS TO LOCAL MUNICIPALITY AT PERMIT APPLICATION/ REVIEW STAGE.
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 NOTE: RAILING AND GUARDS AS PER O.B.C. STYLE TYPE, AS PER OWNER'S PROVIDE ALL MANUFACTURER'S CONNECTION DETAILS TO LOCAL MUNICIPALITY AT PERMIT APPLICATION/ REVIEW STAGE.

STRUCTURAL NOTES

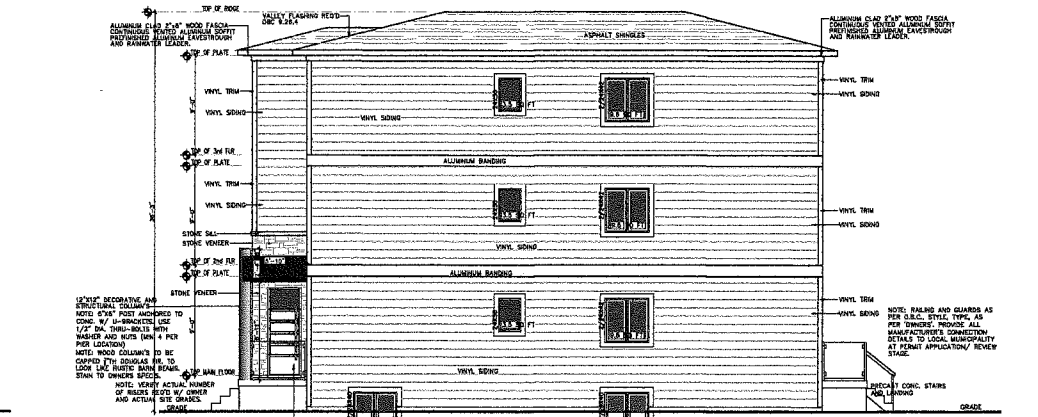
1. ALL MATERIALS AND METHODS OF CONSTRUCTION MUST COMPLY WITH THE LATEST EDITION OF THE O.B.C. 2012.
2. ALL FOUNDATION SHALL BE CONSTRUCTED TO THE DEPTH OF THE O.B.C. 2012.
3. ALL STRUCTURAL STEEL SHALL BE PROVIDED FOR REVIEW BY THE ENGINEER BEFORE CONSTRUCTION AND FIELD EVIDENCE SHALL BE PROVIDED TO THE ENGINEER.
4. THE CONSTRUCTION SHALL PROVIDE PROTECTION REPORTS OF THE STRUCTURAL STEEL ERECTION AND CORROSION PROTECTION.
5. ALL FOUNDATION SHALL BE CONSTRUCTED TO THE DEPTH OF THE O.B.C. 2012.
6. SPECIFIED IN ANY CONCRETE ELEMENT IS 20 MPa ALL CONCRETE ELEMENTS SHALL BE CLASSIFICATION C-1.
7. ALL CONCRETE SHALL BE PROVIDED FOR REVIEW BY THE ENGINEER.
8. ALL STRUCTURAL STEEL SHALL BE PROVIDED FOR REVIEW BY THE ENGINEER.
9. ALL STRUCTURAL STEEL SHALL BE PROVIDED FOR REVIEW BY THE ENGINEER.
10. STRUCTURAL LUMBER:
11. SUPPLY JOIST HANGERS TO MEET MANUFACTURER'S SPECIFICATIONS.
12. PROVIDE NEW STIFFENERS W/ 12 JOISTS CONNECTED TO NEW HANGERS.
13. PROVIDE FIRE PROTECTION WHEN WELDING CLOSE TO COMBUSTIBLE MATERIALS.

NOTES:

THESE NOTES COMPLY WITH THE REQUIREMENTS OF THE O.B.C. 2012 UNLESS SPECIFICALLY ALTERED BY MUNICIPALITY HAVING JURISDICTION. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO COMPLY WITH THESE SECTION WHEN APPLICABLE AND FAMILIARIZE HIMSELF ESPECIALLY WITH PART 9 OF THE CODE.
 ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE, NO.2 CONSTRUCTION GRADE, UNLESS OTHERWISE NOTED. SIZES ARE DETERMINED FROM SPAN OF TABLES OF THE BUILDING CODE 2012.
 ALL WINDOWS ARE DOUBLE GLAZED OR THERMO-pane.
 ALL WINDOW HEADS TO BE 4" (OR 2" - 10") ABOVE FIN FLOOR OR TO RATIO TOP OF HEAD TRIMMING HEIGHT TO BE OF METAL INSULATED TYPE.
 ALL WOODS TO BE SUPPORTED MIN 4" ABOVE FIN GRADE UNLESS OTHERWISE TREATED AGAINST TERMITES.
 REMOVE WOOD CORNER OR VERTICAL MATTER FROM BACCHILL.
 LUMBER NUMBER TO PROVIDE LA-EXPERT FRAMING LATHING INCLUDING SUPPORTS TO BE PROVIDED SPECIALLY FOR JOIST TO BE USED FOR CEILING AND USE TO MEET FLOOR PERFORMANCE TO MEET RATING FOR REVIEW AND APPROVAL OF ENGINEER IF REQUIRED.
 IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED TO A MIN 4" ABOVE APPROVED GRADES AT HOUSE.
 FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 4" ABOVE APPROVED GRADES AT HOUSE.
 PROPOSED GRADE LINE AS INDICATED ARE FOR INFORMATION ONLY AND DO NOT NECESSARILY REFLECT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT.



REAR ELEVATION



RIGHT SIDE ELEVATION

The undersigned has reviewed and issues responsibility for this drawing, and the information and notes on the requirements set out in the Ontario Building Code in his / her / its capacity.
 QUALIFICATION INFORMATION
 Required unless design is exempt under O.B.C. Article 3.2.2.1 of the Building Code
 MARIO FERRARATO
 Home Signature
 REGISTRATION INFORMATION
 Required unless design is exempt under O.B.C. Article 3.2.2.1 of the Building Code
 UNIQUE DESIGNS INC.
 Firm Name
 15084
 BCN
 040522
 BCN

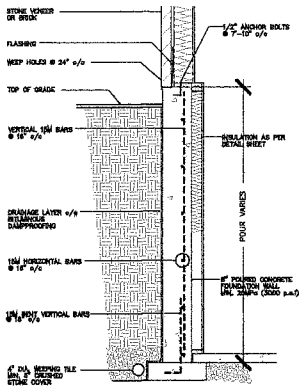
No.	DATE	DESCRIPTION
1.	04/03/22	ISSUED FOR PERMIT
2.	04/03/22	ISSUED FOR PERMIT
3.	04/03/22	ISSUED FOR PERMIT
4.	04/03/22	ISSUED FOR PERMIT
5.	04/03/22	ISSUED FOR PERMIT
6.	04/03/22	ISSUED FOR PERMIT
7.	04/03/22	ISSUED FOR PERMIT
8.	04/03/22	ISSUED FOR PERMIT

UNIQUE DESIGNS INC.
 PROPOSED SINGLE FAMILY DWELLING WITH A SECONDARY DWELLING UNIT
 ELEVATIONS

TAHA RESIDENCE
 279 BONAVENTURE AVE.
 HAMILTON, ONT.

Drawn By Scale
 06.04.22 3/16"=1'-0"
 Job Number
 040522
A1

DO NOT SCALE DRAWINGS



TYP. REINFORCED CONC. WALL
LATERALLY UNSUPPORTED WALLS - AS REQUIRED (ALSO STAIR WALLS, E.T.C.)

FOR LATERALLY SUPPORTED / UNSUPPORTED FOUNDATION WALLS AT TOP - SEE TABLE 9.13.4.2.4 FOR MAX. INT. PERMITTED

VERIFY ALL GRADE AND FLOOR HEIGHTS PRIOR TO CONSTRUCTION. MAKE ANY ADJUSTMENTS REQUIRED TO NUMBER OF RISERS / STEPS PRIOR TO COMMENCING CONSTRUCTION.

CEILING JOISTS		SUBFLOORING	
JOIST SIZE	JOIST SPACING	FLOOR JOIST	SUBFLOORING
2x4	12'-0"	12" O.C.	1/2" PLYWOOD
2x4	12'-0"	12" O.C.	1/2" PLYWOOD
2x4	12'-0"	12" O.C.	1/2" PLYWOOD
2x4	12'-0"	12" O.C.	1/2" PLYWOOD
2x4	12'-0"	12" O.C.	1/2" PLYWOOD

ROOF SHEATHING		ROOF SHEATHING	
ROOF PITCH	ROOF SHEATHING	ROOF PITCH	ROOF SHEATHING
12" O.C.	5/8" PLYWOOD	12" O.C.	5/8" PLYWOOD
12" O.C.	5/8" PLYWOOD	12" O.C.	5/8" PLYWOOD
12" O.C.	5/8" PLYWOOD	12" O.C.	5/8" PLYWOOD

ROOF JOISTS		MAXIMUM CLEAR SPAN	
JOIST SIZE	JOIST SPACING	ROOF SNOW LOAD 20 PSF	ROOF SNOW LOAD 30 PSF
2x4	12'-0"	12'-0"	12'-0"
2x4	12'-0"	12'-0"	12'-0"
2x4	12'-0"	12'-0"	12'-0"

ROOF RAFTERS		MAXIMUM CLEAR SPAN	
RAFTER SIZE	RAFTER SPACING	ROOF SNOW LOAD 20 PSF	ROOF SNOW LOAD 30 PSF
2x4	12'-0"	12'-0"	12'-0"
2x4	12'-0"	12'-0"	12'-0"
2x4	12'-0"	12'-0"	12'-0"

STEEL LINTEL SCHEDULE		
CLEAR SPAN	BRICK	STONE
2'-0"	1.3"x5/8"x1/4"	1.4"x5/8"x1/4"
3'-0"	1.3"x2"x3/8"x1/4"	1.5"x2"x3/8"x1/4"
4'-0"	1.3"x2"x3/8"x1/4"	1.5"x2"x3/8"x1/4"
5'-0"	1.4"x3/8"x1/4"	1.5"x3/8"x1/4"
6'-0"	1.5"x3/8"x1/4"	1.5"x3/8"x1/4"
7'-0"	1.5"x3/8"x1/4"	1.5"x3/8"x1/4"
8'-0"	1.5"x3/8"x1/4"	1.5"x3/8"x1/4"
9'-0"	1.6"x4"x3/8"	1.5"x3/8"x1/4"

STEEL LINTELS SHOWN IN ABOVE CHART SHALL HAVE EVEN AND LEVEL BEARING AND SHALL HAVE NOT LESS THAN 6" LENGTH OF BEARING

NOTE: ALL REQUIRED FRAMING TO BE VERIFIED PRIOR TO CONSTRUCTION. FRAMING TO MEET ALL REQUIREMENTS AS PER OWNERS REQUEST.

NOTE: PENETRATIONS OF FIRE SEPARATIONS AS PER O.B.C. 9.10.9.5

NOTE: PROVIDE FIRE STOPPING IN JOIST SPACE AS REQUIRED, AS PER O.B.C. 3.1.11

NOTE: PROVIDE FIRE DAMPERS AS PER O.B.C. 3.1.8.7 AND AS PER O.B.C. 3.1.8.9

NOTE: 9.5.7.4(1) - SLEEPING ROOMS OTHER THAN IN DWELLING UNITS SHALL HAVE AN AREA NOT LESS THAN 7m² PER PERSON FOR SINGLE OCCUPANCY AND 4.6m² PER PERSON FOR MULTIPLE OCCUPANCY.

NOTE: OWNER TO VERIFY EXISTING MECH. AND ELECTRICAL PANEL MEETS OR EXCEEDS REQUIREMENTS OF THE O.B.C. AN INDEPENDANT QUALIFIED PERSON SHALL DETERMINE IF EXISTING MECH./ELEC. SERVICES MEETS THE REQUIRED INVENT OF THE USE TO BE PROVIDED.

NOTE: FIRE PROTECTION RATING (FPR) OF THE FIRE DAMPERS AT HVAC PENETRATIONS MUST SUIT THE FPR OF THE PROTECTED ASSEMBLY OR A DUCT-INSULATED SMOKE DETECTOR MUST BE IN THE RETURN AIR DROPP OF THE FURNACE.

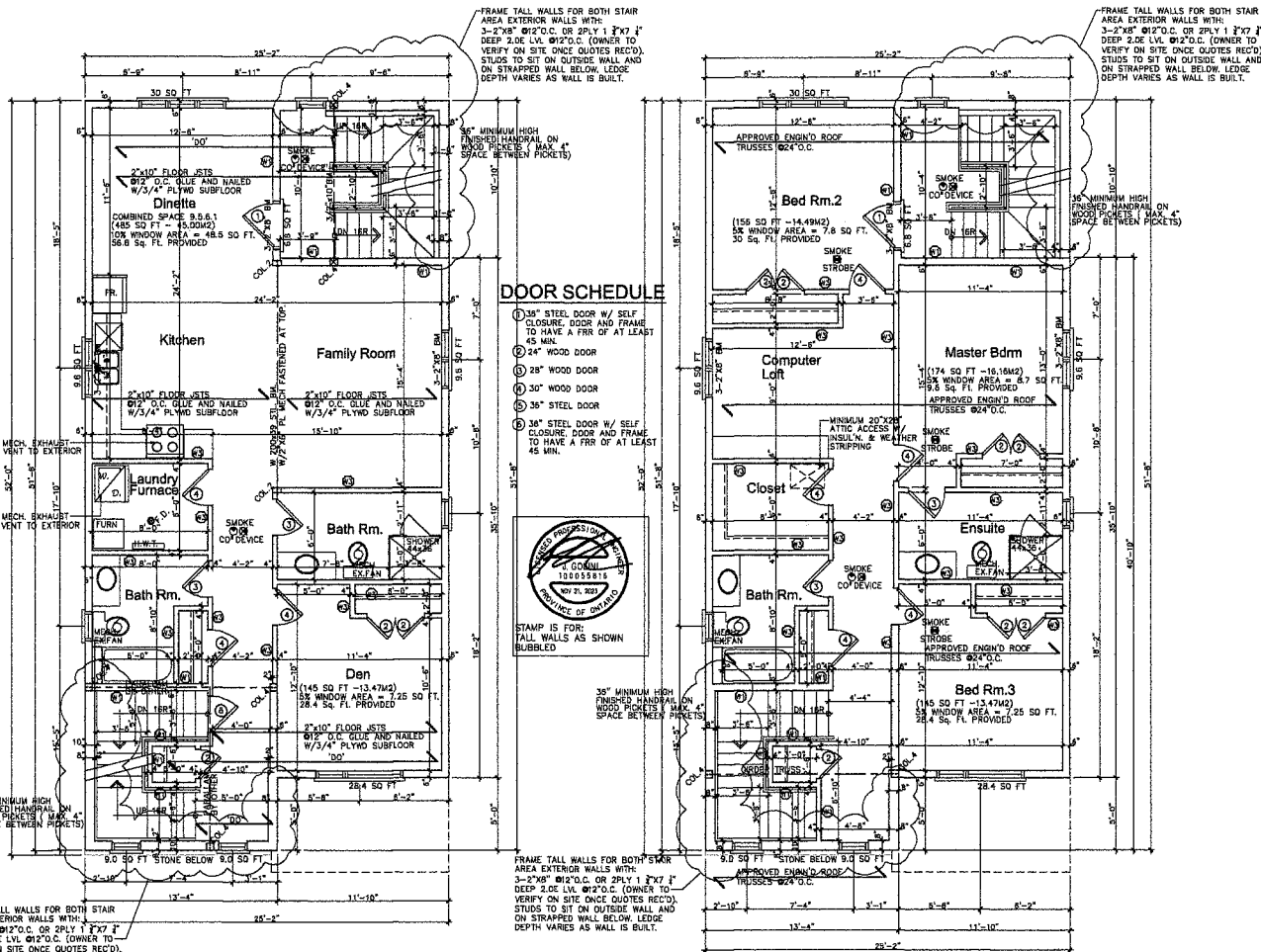
NOTE: 9.5.7.1(1) - EXCEPT AS PROVIDED IN ARTICLES 9.5.7.2 AND 9.5.7.3, BEDROOMS IN DWELLING UNITS SHALL HAVE AN AREA NOT LESS THAN 7m² WHERE BUILT-IN CABINETS ARE NOT PROVIDED AND NOT LESS THAN 6m² WHERE BUILT-IN CABINETS ARE PROVIDED.

9.5.5. Dining Rooms or Spaces within Dwelling Units

9.5.5.1. Area of Dining Rooms or Spaces (1) A dining space in combination with other spaces shall have an area of not less than 3.25 m². (2) Dining rooms not combined with other spaces shall have a minimum area of 7 m².

9.5.5.2. Kitchens within Dwelling Units

9.5.5.1. Kitchen Areas (1) Kitchen areas within dwelling units either separate from or in combination with other spaces, shall have an area of not less than 4.2 m² including the area occupied by the stove cabinet, except that in dwelling units containing sleeping accommodations for not more than two persons, the minimum area shall be 3.7 m².



TYPICAL JST TO 3RD FLR WALLS (9'-0" O.C.)
NEW
1/2" EXT. FINISH OR EQUAL
2"x6" NO. STUDS @ 16" O.C.
2x2 BATT INSULATION
1/2" DRYWALL

NOTE: ALL COLUMNS AT ROOF MUST TRANSFER TO GROUND FLOOR IF NOT PICKED UP ON A WINDOW, DOOR OR POST ABOVE.

FRAME TALL WALLS FOR BOTH STAIR AREA EXTERIOR WALLS WITH:
3-2"x8" @12" O.C. OR 2"x11" @12" O.C.
DEEP 2.0E LVL @12" O.C. (OWNER TO VERIFY ON SITE ONCE QUOTES REC'D).
STUDS TO SET ON OUTSIDE WALL AND ON STRAPPED WALL BELOW LEDGE. DEPTH VARIES AS WALL IS BUILT.

FRAME TALL WALLS FOR BOTH STAIR AREA EXTERIOR WALLS WITH:
3-2"x8" @12" O.C. OR 2"x11" @12" O.C.
DEEP 2.0E LVL @12" O.C. (OWNER TO VERIFY ON SITE ONCE QUOTES REC'D).
STUDS TO SET ON OUTSIDE WALL AND ON STRAPPED WALL BELOW LEDGE. DEPTH VARIES AS WALL IS BUILT.



No.	DATE	DESCRIPTION
1.		ISSUED FOR PERMIT
2.		REVISED FOR PERMIT
3.		REVISED FOR PERMIT
4.		REVISED FOR PERMIT
5.		REVISED FOR PERMIT
6.		REVISED FOR PERMIT
7.		REVISED FOR PERMIT
8.		REVISED FOR PERMIT

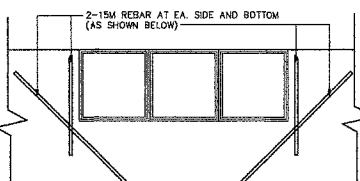
UNIQUE DESIGNS INC.
PROPOSED SINGLE FAMILY DWELLING W/ A SECONDARY DWELLING UNIT

TAHA RESIDENCE
279 BONAVENTURE AVE. HAMILTON, ONT.

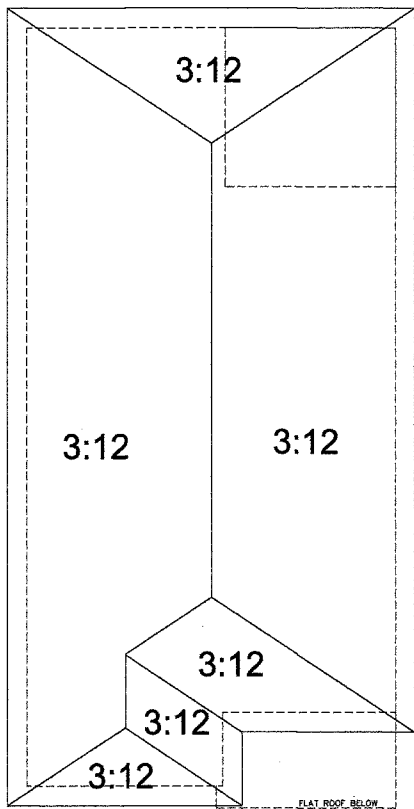
Drawn By: [Signature]
Scale: 1/4"=1'-0"
Date: 06.04.22
Job Number: 040522



DO NOT SCALE DRAWINGS

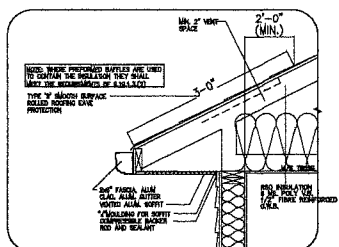


BASEMENT WINDOW REINFORCEMENT
OPTIONAL AS NEEDED

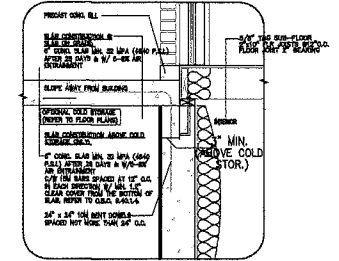


ROOF PLAN

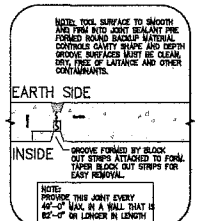
NOTE:
Note to Truss Manufacture.
1. The Truss Manufacturer will: (1) Design and specify all Girder Trusses and Beams that only carry roof loads. (2) Ensure that all Roof Beams and Girder Trusses have been designed around the Architectural structural design and therefore have full bearing to the footings in the basement. (3) Automatically upgrade and provide calculations for any Architecturally specified beams that will carry roof point loads. (4) Design and specify all Conventional Roof Framing over and between manufactured roof trusses systems needed to complete overall roof slope. (5) Provide the Local Municipality with Engineered documents for any of the above mentioned items if required.



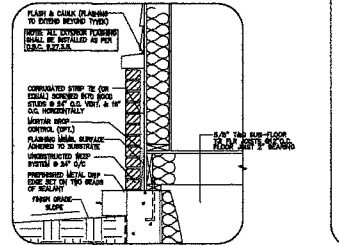
TYP. EAVES DETAIL
(SEE SECTION FOR ROOF TRUSS TYPE)



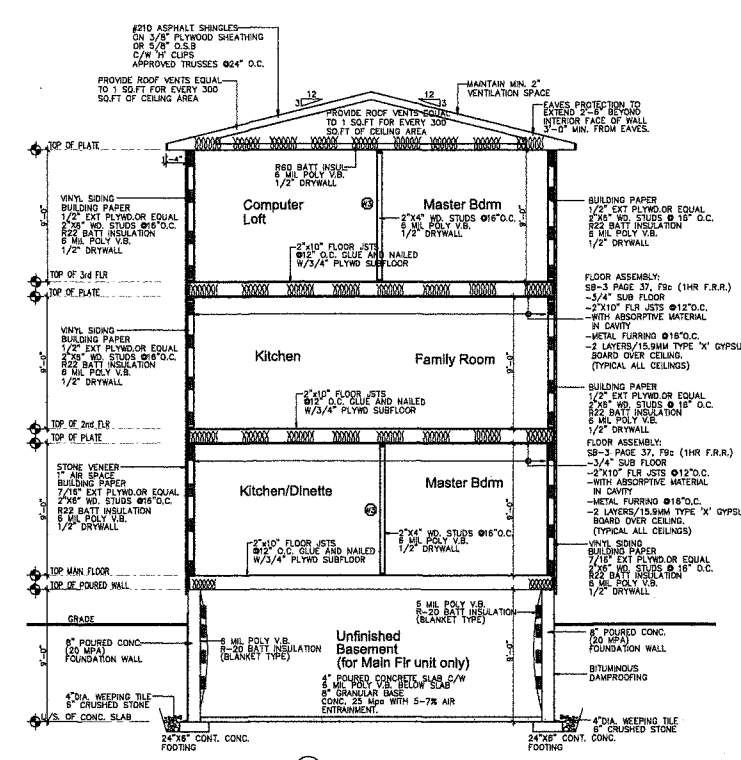
TYP. CONC. PORCH SLAB DETAIL



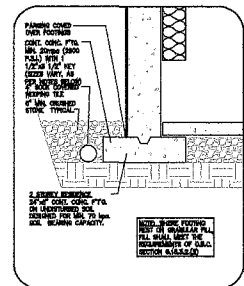
TYP. CONTROL JOINT DETAIL



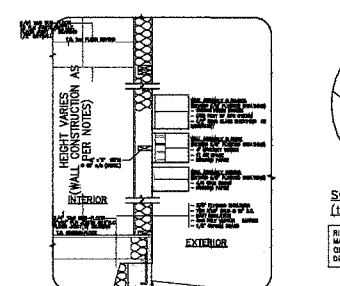
TYP. SIDING W/ MASONRY SKIRT DETAIL



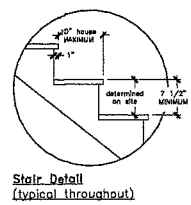
SECTION A-AZ



TYP. FOOTING DETAIL



TYP. CLEAR STOREY FRAMING DETAIL



Stair Detail
(typical throughout)

This undersigned has reviewed and takes responsibility for this design and the construction of the building and makes the requirements set out in the Ontario Building Code as it is amended.

FEES	REGISTERED INFORMATION
WINDOW OPENINGS	TOTAL WALLS (4032.30 SQ.FT.) 374.61 M2
TOTAL WALLS (4032.30 SQ.FT.) 374.61 M2	TOTAL OPENINGS (309.39 SQ.FT.) 28.7 M2
UNIQUE DESIGNS INC.	31866
TYP. NAME	REN

UNIQUE DESIGNS INC.
PROPOSED SINGLE FAMILY DWELLING W/A SECONDARY DWELLING UNIT

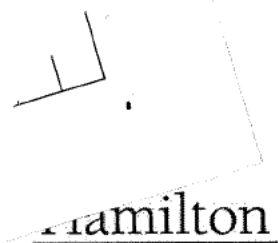
TAHA RESIDENCE
279 BONAVENTURE AVE.
HAMILTON, ONT.

DESCRIPTION	
NO.	DATE
1.	CONCEPT DESIGN FOR PERMIT
2.	PRELIMINARY DESIGN FOR PERMIT
3.	DESIGN DEVELOPMENT FOR PERMIT
4.	FINAL DESIGN FOR PERMIT
5.	AS BUILT

Drawn By: Scale: 1/4"=1'-0"
Date: 06.04.22 Job Number: A4
040522

The undersigned has reviewed and takes responsibility for this design and the construction of the building and makes the requirements set out in the Ontario Building Code as it is amended.
REGISTERED INFORMATION
Registered under the *Professional Engineers Act, 1986*, s. 32.8.1 of the Building Code.
MAJOR FORWARDED: [Signature] 15044
Name: [Name] SGN
Signature: [Signature]
REGISTRATION INFORMATION
Required unless design is exempt under Div. C, Article 32.8.1 of the Building Code.
UNIQUE DESIGNS INC. 31866
TYP. NAME: REN

DO NOT SCALE DRAWINGS



APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME		
Registered Owners(s)	OMRE TAHA		
Applicant(s)	MICHAEL P. SABELLI		
Agent or Solicitor	SAME AS APPLICANT		E-mail:

1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	279 BONAVENTURE AVENUE		
Assessment Roll Number	-		
Former Municipality	-		
Lot	-	Concession	-
Registered Plan Number	-	Lot(s)	-
Reference Plan Number (s)	-	Part(s)	-

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

- TO PERMIT FRONT YARD PARKING FOR TWO (2) PROPOSED PARKING SPACES
 - TO PERMIT TWO (2) PROPOSED PARKING SPACES INSTEAD OF REQUIRED THREE (3) PARKING SPACES
- Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

- SIZE OF LOT TO NOT ALLOW FOR ADDITIONAL REQUIRED PARKING SPACES AND LOCATION OF PROVIDED PARKING SPACES

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
10.66m	30.48m	32.52m ²	20 m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
VACANT				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SINGLE-FAMILY DWELLING	6.0M	8.07M	LEFT-1.22M RIGHT-3.90M	2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
VACANT				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
SINGLE-FAMILY DWELLING	90.5M ²	271M ²	3	11.05M

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

SINGLE-FAMILY DWELLING WITH A SECONDARY DWELLING UNIT.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

SINGLE-FAMILY DETACHED DWELLINGS

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE-DETACHED DWELLING

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

VACANT

7.4 Length of time the existing uses of the subject property have continued:

MORE THAN 50 YEARS

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) *RESIDENTIAL*

Please provide an explanation of how the application conforms with the Official Plan.

PROPOSED DEVELOPMENT COMPLIES WITH OFFICIAL PLAN.

7.6 What is the existing zoning of the subject land? *D/S-7A4*

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes

No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
