



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>HM/A-24:02</b>	<b>SUBJECT PROPERTY:</b>	72 Holmes Avenue, Hamilton
<b>ZONE:</b>	"C, C/S-1335, C/S-1335a & C/S-720" (Urban Protected Residential, Etc.)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Hamilton 6593, as Amended

**APPLICANTS:** Owner: Paul and Susan Seguro  
Applicant: Miko Urban Consulting Inc. c/o Peter Chee

The following variances are requested:

1. A maximum encroachment of 2.6 metres into the required rear yard for the fire escape or open stairway shall be provided whereas the by-law permits a maximum encroachment of 1.0 metre into the required rear yard.
2. A minimum of one parking space shall be provided whereas the by-law requires a minimum of five parking spaces.
3. A maximum of three secondary dwelling units shall be provided whereas the by-law permits a maximum of one secondary dwelling unit.
4. A minimum of 36% of front yard landscaping shall be provided whereas the by-law requires a minimum of 50% of front yard landscaping.

**PURPOSE & EFFECT:** As to permit the construction of a new single detached dwelling with three secondary dwelling units.

**Notes:** N/A

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Tuesday, February 13, 2024</b>
<b>TIME:</b>	<b>1:20 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than February 9, 2024

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than February 12, 2024

## **FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-24:02, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: January 25, 2024

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

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E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

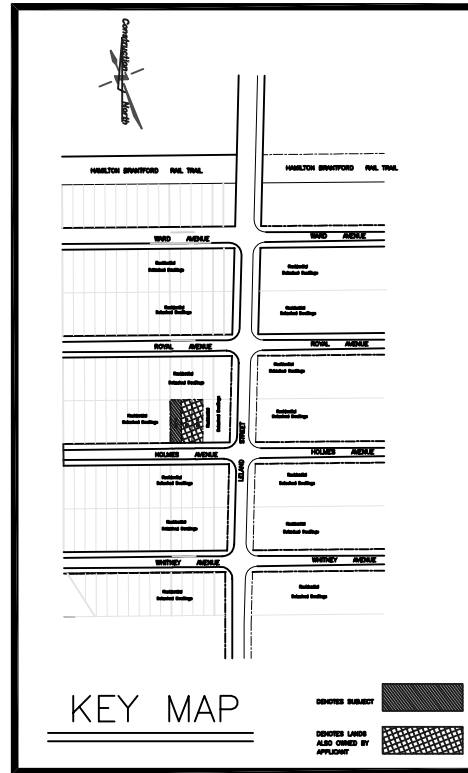
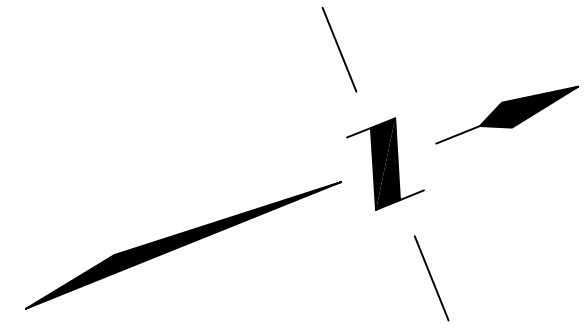
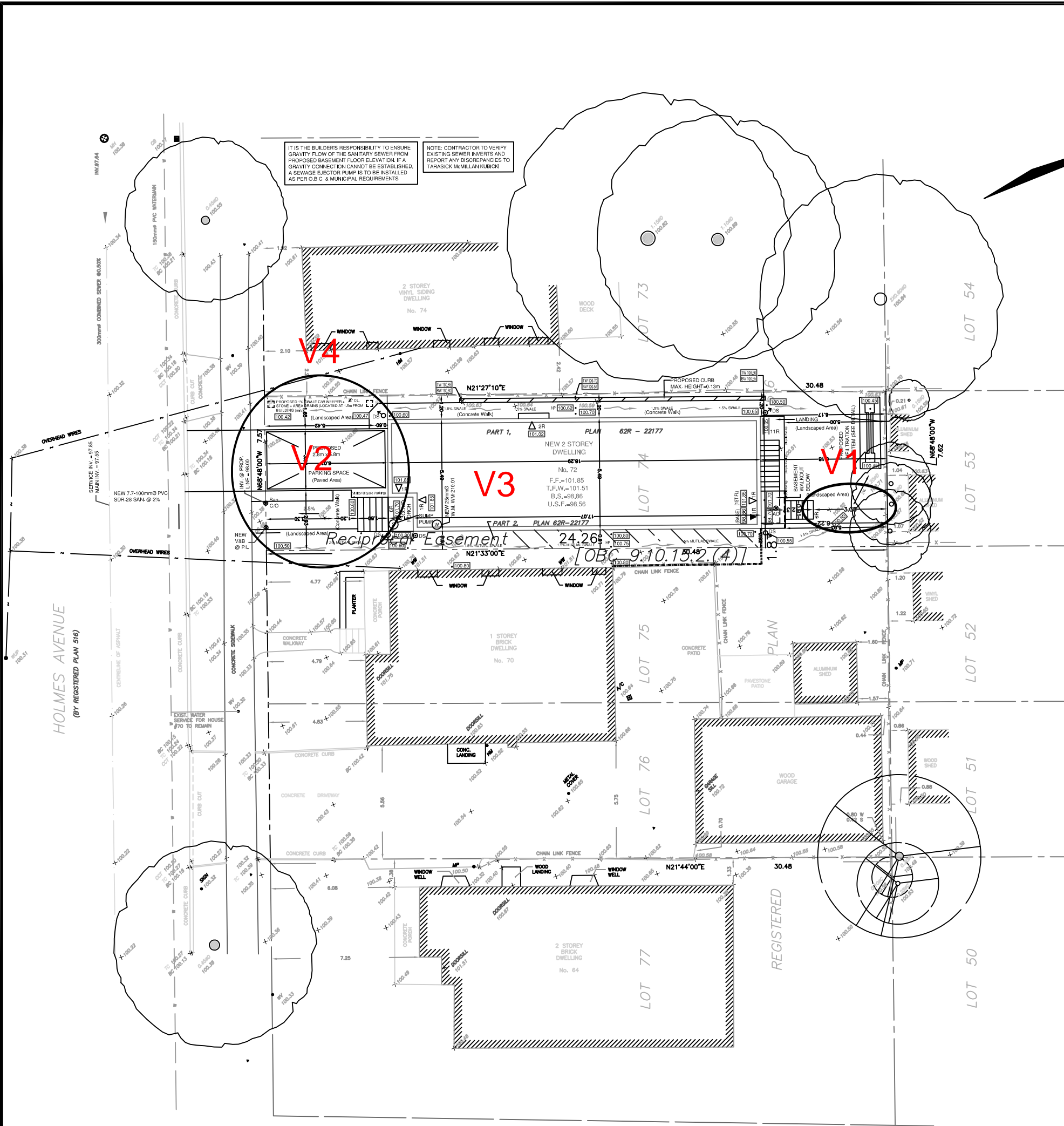
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

##### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



**PROJECT :**  
 72 Holmes Avenue,  
 Hamilton, Ontario  
 Lots 74  
 Registered Plan 516

**Zoning Bylaw Review  
 Application**

NEW CONSTRUCTION  
 ADDITION  
 INTERIOR ALTERATION

- 1- ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY OF MI-KO URBAN CONSULTING INC. AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE DESIGNER'S CONSENT IN WRITING.
- 2- THE DRAWINGS AND SPECIFICATIONS APPLY ONLY TO THIS PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS WITHOUT THE DESIGNER'S CONSENT IN WRITING.
- 3- ALL WORK SHALL MEET THE REQUIREMENTS OF THE LATEST GOVERNING BUILDING CODE, MUNICIPAL ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- 4- THIS DRAWING IS NOT TRANSFERABLE AND SHALL NOT FORM A PART OF ANY AGREEMENTS WITHOUT THE DESIGNER'S CONSENT IN WRITING.
- 5- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND WITH ALL SUPPLIERS AND REPORT ANY DISCREPANCIES OR LACK OF TO THE ARCHITECT BEFORE COMMENCING OF ANY WORK.
- 6- DO NOT SCALE DRAWINGS.
- 7- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT DESIGNER FOR SITE REVIEW SCHEDULE.
- 8- CONSTRUCTION SHALL BE EXECUTED AS PER DRAWINGS, NO ADDITIONS OR REVISIONS WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.
- 9- THIS DRAWING SHALL NOT TO BE USED FOR CONSTRUCTION WITHOUT "CONSTRUCTION SET" STAMPED, & INITIALED BY THE DESIGNER.

*Front Yard Landscaping:*  
 Total Area 45.513m<sup>2</sup>

<i>Hard Surfaces m<sup>2</sup></i>	
Driveway	18.699
Concrete Stairs:	2.515
West SW	6.703
East SW	1.226
SubTotal	28.935
Total Landscaped Area: 16.578m <sup>2</sup> (36.4%)rt	

No.	DATE	DESCRIPTION	BY
2.	Jan.24	C. of A. Appl.	pc
1.	Dec. 23	Zoning Compl. Appl.	pc1.

REVISIONS

No.	DATE	DESCRIPTION	BY

**OWNER:**  
 Paul & Susan Seguro  
 2470 Sharon Crescent,  
 Mississauga, Ontario  
 L5C 1Y8

*Lot Area*  
 LOT 74:  
 Frt - 7.57m Area: 231.485

*Lot Frontage:*  
 7.57m

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements and is in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
 Required unless design is exempt under 2.27.51 of the Building Code.  
 Person Drawn: *[Signature]* 4295  
 Date: *[Signature]* 2023

REGISTRATION INFORMATION  
 Required unless design is exempt under 2.27.43 of the Building Code.  
 Mi-Ko Urban Consulting Inc. 42100  
 P.E.

DRAWING TITLE:  
**SITE LAYOUT PLAN**

**Mi-Ko Urban Consulting Inc.**  
 Professional Planning Consultants

16 HIGH STREET  
 TORONTO, ONTARIO  
 M5Y 3N8  
 PH: 416-230-8605 EMAIL: miourbaninc@gmail.com

DRAWN PKC	CHECKED	SCALE 1:200	SHEET No. SP-1A
DATE Dec. 05, 2023	PROJECT No. HAM-3s		





For Visual Purposes. Concept Only.

**LIST OF DRAWINGS**

A-1	COVER SHEET
A-2	BASEMENT FLOOR PLAN
A-3	GROUND FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	ROOF PLAN
A-6	SOUTH ELEVATION
A-7	NORTH ELEVATION
A-8	WEST ELEVATION
A-9	EAST ELEVATION
A-10	WALL SECTION
A-11	CONC. COLD ROOM AND GUARD DETAILS
A-12	BEARING WALL AND REAR DECK DETAILS
A-13	GENERAL NOTES
A-14	GENERAL NOTES

**RESIDENTIAL - 4 UNITS**

**72 HOLMES AVE,  
HAMILTON ONTARIO**



Contractor Must Check And Verify the existing Site conditions including All Dimensions and report any Discrepancies to Consultants before proceeding with any Work at the Job Site. Do Not Scale The Drawings. All Drawings, Specifications And Related Documents Are The Copyright Of The Architect. And/Or Designer And Must Be Returned Upon Request. Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission. This Drawing Is Not To Be Used For Construction Until Signed By The Architect and/or Designer.

**2659121 Ontario Inc.  
Design & Project Managers**

16 Nashville Ave Unit A Toronto, Ontario, M6M 1J1  
Tel: 519-941-8304 Cell: 416-804-7595  
mannymarcos13@gmail.com

Drawing Title  
**COVER SHEET**

Project  
**RESIDENTIAL - 4 UNITS**

**72 HOLMES AVE, HAMILTON ONTARIO**

I.S	Drawn by	JULY 16, 2023	Plot Date
M.M	Checked by	DEC 26, 2023.	Revised
AS SHOWN	Scale		Drawing No.
2215-689	Project No.		<b>A-1</b>
1 OF 14	Sheet No.		

ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

**STRUCTURAL LEGEND**

B1	1.34" x 9.12" (2.0E 3100) WessFramer LVL (2 PLY)
B7	1.34" x 9.12" (2.0E 3100) WessFramer LVL (2 PLY)
J1	9.12" N4-0x
J2	9.12" N4-60
H3	IUS3.569.5

	SMOKE ALARM AND CARBON MONOXIDE
	SMOKE ALARM WITH STROBE
<b>ADDITIONAL NOTES:</b>	
1	6" CONC. SLAB WITH 10M REBAR BOTH WAYS @ 12" O.C.
2	2-2X8
3	2X8 FT @ 16" O.C. JOISTS WITH DECK BOARDS
4	2-3-1/2" X 3-1/2" X 1/4" STEEL ANGLES
5	1-3-1/2" X 3-1/2" X 1/4" STEEL ANGLES

W1a (FRR 1 HR) WALL ASSEMBLY  
2X4 STUDS @ 16" O.C. WITH 3.5" TRIPLE INSULATIVE MATERIAL AND 1 LAYER 5/8" TYPE X DRYWALL ON EACH SIDE

**UNIT 1 SECONDARY UNIT**  
20.41 SQ.M.

TOTAL FLOOR AREA: (32.44 SQ. M.)  
LAUNDRY AREA: (1.91 SQ. M.)  
MECH. AREA: (3.54 SQ. M.)  
COLD ROOM AREA: (2.88 SQ. M.)  
BATH ROOM AREA: (3.70 SQ. M.)  
TOTAL NET FLOOR AREA (20.41 SQ.M.)

LIVING/DINING ROOM AREA: 13.10 SQ.M.  
MIN. WINDOW GLAZING (10%): 1.31 SQ.M.  
PROP. WINDOW GLAZING (12.75%): 1.67 SQ.M.

COMBINED SLEEP/LIVING/DINING/KITCHEN: 19.16 SQ.M (13.5 SQ.M. MINIMUM OBC 9.5.4.1)

**UNIT 2 SECONDARY UNIT**  
40.68 SQ.M.

BASEMENT GROSS FLOOR AREA: (48.40 SQ. M.)  
LAUNDRY AREA: (1.70 SQ. M.)  
BATHROOM AREA: (6.02 SQ. M.)  
BASEMENT NET AREA: (40.68 SQ.M.)

BEDROOM 1 AREA: (9.58 SQ. M.)  
MIN. WINDOW GLAZING (5%): (0.48 SQ. M.)  
PROP. WINDOW GLAZING (7.1%): (0.68 SQ. M.)

BEDROOM 2 AREA: (9.18 SQ. M.)  
MIN. WINDOW GLAZING (5%): (0.46 SQ. M.)  
PROP. WINDOW GLAZING (7.4%): (0.68 SQ. M.)

LIVING/DINING ROOM AREA: 13.52 SQ.M.  
MIN. WINDOW GLAZING (10%): 1.35 SQ.M.  
PROP. WINDOW GLAZING (17.4%): 2.35 SQ.M.

- REFER TO GENERAL NOTES A12-A14
- 1 STRIP FOOTING SEE GENERAL NOTES
  - 2 FOUNDATION WALL SEE GENERAL NOTES
  - 6 INTERIOR STUD WALL SEE GENERAL NOTES
  - 15 BASEMENT SLAB SEE GENERAL NOTES
  - 19 BASEMENT INSULATION AND STRAPPING SEE GENERAL NOTES
  - 20 ANCHOR BOLTS SEE GENERAL NOTES
  - 23 WEEPING TILE SEE GENERAL NOTES
  - 32 MAIN STAIRS AND EXTERIOR STAIRS SEE GENERAL NOTES
  - 33 GUARD RAIL SEE GENERAL NOTES
  - 38 STEEL BEARING PLATE FOR MASONRY WALLS SEE GENERAL NOTES
  - 39 IMPACT GLAZING SEE GENERAL NOTES
  - 40 CARBON MONOXIDE DETECTORS SEE GENERAL NOTES
  - 41 POROSLAB CONSTRUCTION SEE GENERAL NOTES



It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.

**BASEMENT FLOORPLAN**  
**SCALE 1:75**



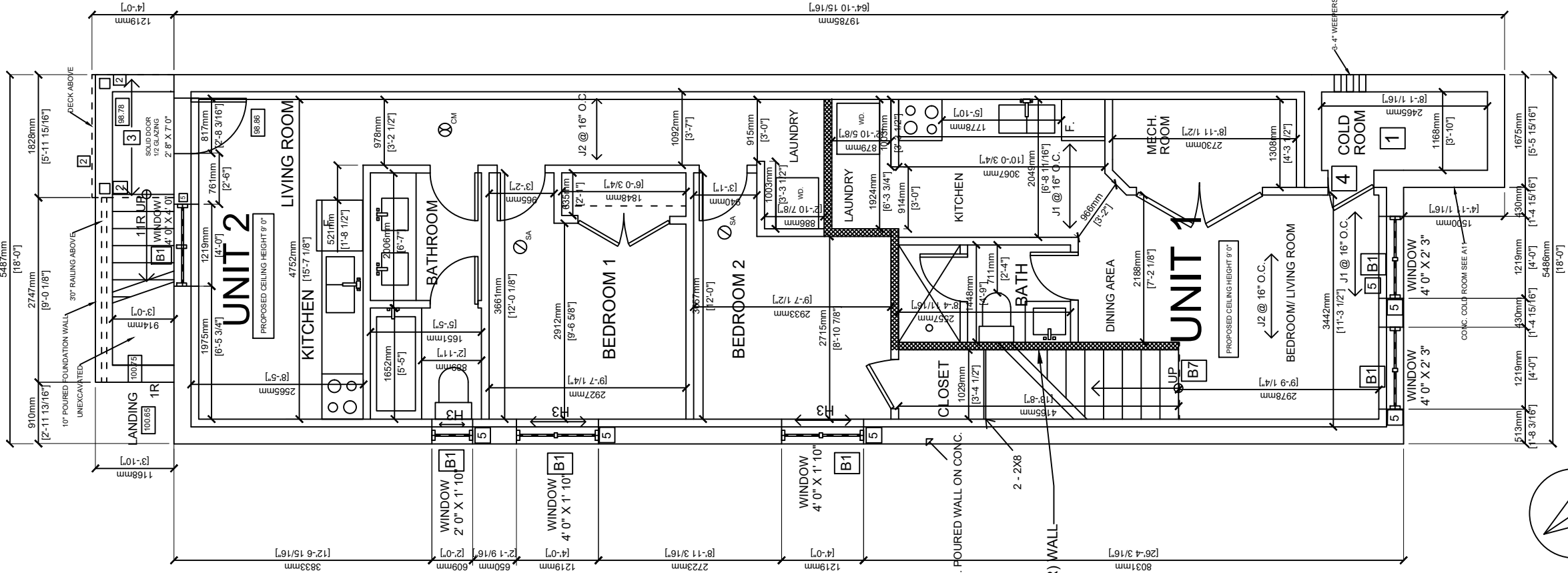
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**Design & Project Managers**  
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Tel: 519-941-8304 Cell: 416-804-7595  
mannymarcos13@gmail.com

Drawing Title  
**BASEMENT FLOORPLAN**  
Project  
**RESIDENTIAL - 4 UNITS**  
72 HOLMES AVE, HAMILTON ONTARIO

I.S	Drawn by	JULY 16, 2023	Plot Date
M.M	Checked by	DEC 26, 2023.	Revised
AS SHOWN	Scale		Drawing No.
2215-689	Project No.		
2 OF 14	Sheet No.		

**A-2**



ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

STRUCTURAL LEGEND	
J1	9 1/2" NI-40x
J4	9 1/2" NI-80
B11 DR	1 3/4" X 7 1/4" (2.0E 3100) WestFraser LVL (2 PLY)
B20 DR	1 3/4" X 7 1/4" (2.0E 3100) WestFraser LVL (3 PLY)
B8	1 3/4" X 9 1/2" (2.0E 3100) WestFraser LVL (3 PLY)
B10	1 3/4" X 9 1/2" (2.0E 3100) WestFraser LVL (2 PLY)
H1	IUS2.560.5
H2	HUS1.81/10
H4C	HUC410
H4	HGUS410

ADDITIONAL NOTES:	
1	2 2X6 POST TO FOUNDATION
2	2- 2X8 PT
3	2X8 PT @ 16" O.C. JOISTS WITH DECK BOARDS
4	2X4 CEILING JOISTS AND 2X4 ROOF RAFTERS @ 16" O.C.
5	1- 3-1/2" X 3-1/2" X 1/4" STEEL ANGLES

	SMOKE ALARM AND CARBON MONOXIDE
	SMOKE ALARM WITH STROBE

**W1a (FRR 1 HR) WALL ASSEMBLY**  
 2X4 STUDS @ 16" O/C WITH 3.5" THICK ABSORPTIVE MATERIAL AND 1 LAYER 5/8" TYPE X DRYWALL ON EACH SIDE

**UNIT 3 SECONDARY UNIT**  
 87.01 SQ.M.

GROSS FLOOR AREA: (98.32 SQ. M.)  
 LAUNDRY AREA: (1.22 SQ. M.)  
 STAIRCASE AREA (7.82 SQ. M.)  
 MECH. AREA: (2.27 SQ. M.)  
 GROUND FLOOR NET AREA (87.01 SQ.M.)

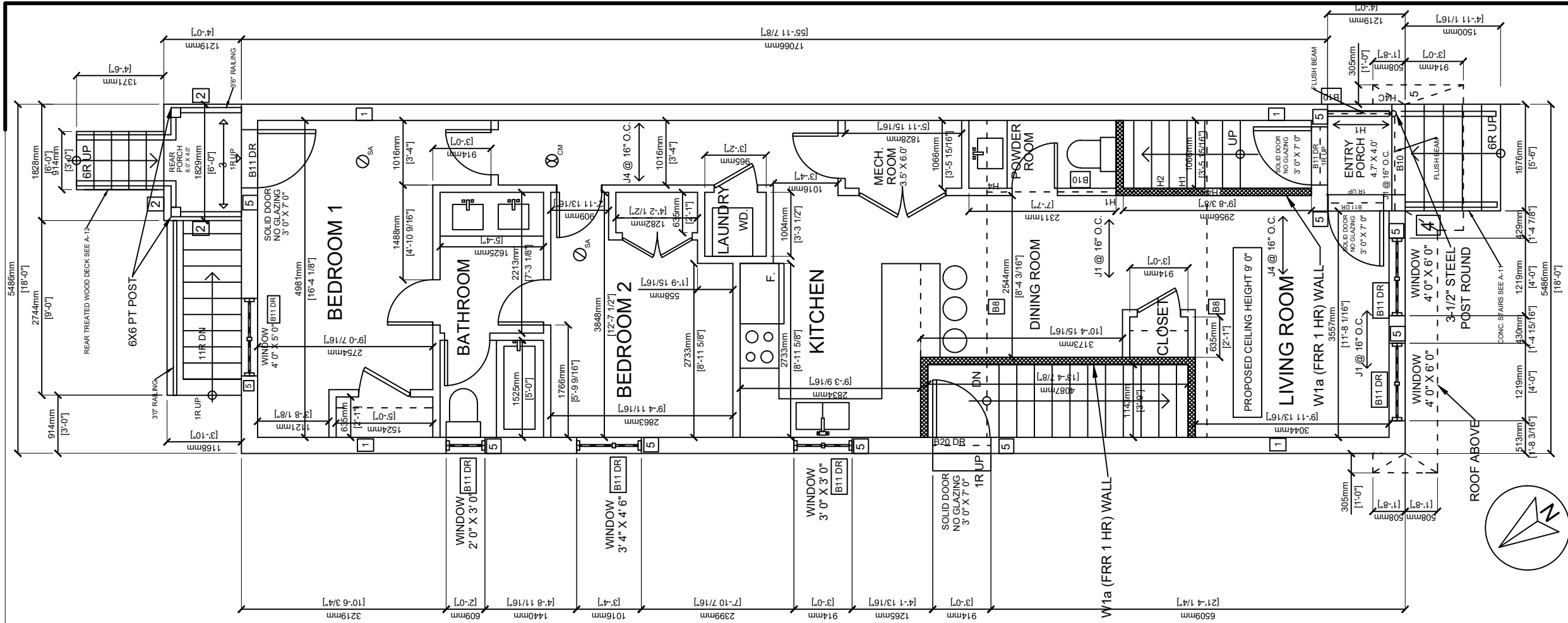
FRONT PORCH AREA: (2.01 SQ. M.)  
 REAR DECK AREA (2.23 SQ.M.)

BEDROOM 1 AREA: (13.42 SQ. M.)  
 MIN. WINDOW GLAZING (5%): (0.67 SQ. M.)  
 PROP. WINDOW GLAZING (13.8%): (1.85 SQ. M.)

BEDROOM 2 AREA: (9.36 SQ. M.)  
 MIN. WINDOW GLAZING (5%): (0.47 SQ. M.)  
 PROP. WINDOW GLAZING (14.9%): (1.39 SQ. M.)

LIVING/DINING ROOM AREA: 18.95 SQ.M.  
 MIN. WINDOW GLAZING (10%): 1.90 SQ.M.  
 PROP. WINDOW GLAZING (23.5%): 4.46 SQ.M.

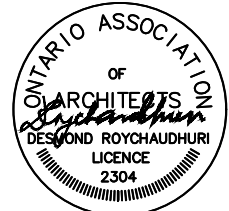
- REFER TO GENERAL NOTES A12-A14
- 3** BRICK STONE VENEER CONSTRUCTION SEE GENERAL NOTES
  - 39** SMOKE ALARMS SEE GENERAL NOTES
  - 4** FRAME WALL CONSTRUCTION SEE GENERAL NOTES
  - 40** CARBON MONOXIDE DETECTORS SEE GENERAL NOTES
  - 6** INTERIOR STUD WALL CONSTRUCTION SEE GENERAL NOTES
  - 24** EXTERIOR CONCRETE STEPS SEE GENERAL NOTES
  - 32** MAIN STAIRS AND EXTERIOR STAIRS SEE GENERAL NOTES
  - 33** GUARDRAIL SEE GENERAL NOTES



It is the contractor's responsibility to ensure that all construction conforms with the Ontario Building Code.

# GROUND FLOOR PLAN

## SCALE 1:75



Contractor Must Check And Verify the existing Site conditions including All Dimensions and report any Discrepancies to Consultants before proceeding with any Work at the Job Site. Do Not Scale The Drawings. All Drawings, Specifications And Related Documents Are The Copyright Of The Architect. And/Or Designer And Must Be Returned Upon Request. Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission. This Drawing Is Not To Be Used For Construction Until Signed By The Architect and/or Designer.

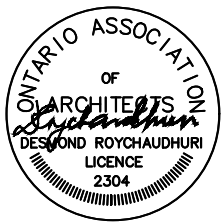
**2659121 Ontario Inc.**  
**Design & Project Managers**  
 16 Nashville Ave Unit A Toronto, Ontario, M6M 1J1  
 Tel: 519-941-8304 Cell: 416-804-7595  
 mannymarcos13@gmail.com

Drawing Title  
**GROUND FLOOR PLAN**  
 Project  
**RESIDENTIAL - 4 UNITS**  
 72 HOLMES AVE, HAMILTON ONTARIO

I.S	Drawn by	Plot Date
M.M	Checked by	JULY 16, 2023
AS SHOWN	Scale	Revised
2215-689	Project No.	DEC 26, 2023.
3 OF 14	Sheet No.	Drawing No.

**A-3**





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## 2659121 Ontario Inc. Design & Project Managers

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Tel: 519-941-8304 Cell: 416-804-7595  
mannymarcos13@gmail.com

### SECOND FLOOR PLAN

RESIDENTIAL - 4 UNITS

72 HOLMES AVE, HAMILTON ONTARIO

Drawing Title

I.S

Drawn by

JULY 16, 2023

Plot Date

M.M

Checked by

DEC 26, 2023.

Revised

AS SHOWN

Scale

Drawing No.

2215-689

Project No.

4 OF 14

Sheet No.

# A-4

## PRIMARY UNIT 93.89 SQ.M.

ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

### STRUCTURAL LEGEND

B24 DR 1 3/4" x 7 1/4" (2.0E 3100) West Fraser LVL (2 PLY)

### ADDITIONAL NOTES:

- 2 2X6 POST TO FOUNDATION
- ENG. ROOF TRUSSES @ 24" O.C.
- 2X4 CEILING JOISTS AND 2X4 ROOF RAFTERS @ 16" O.C.
- 2 X 10 WINDOW LINTELS
- 1-3-1/2" X 3-1/2" X 1/4" STEEL ANGLES

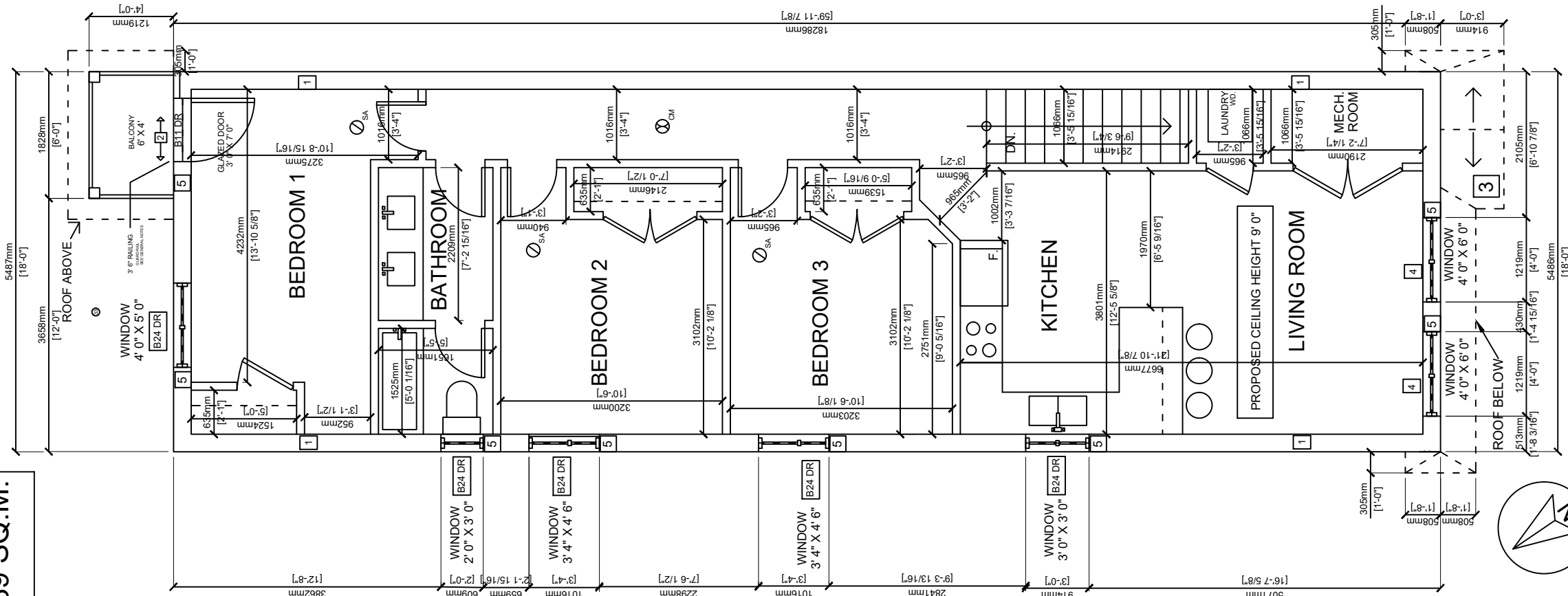
- CM AND CARBON MONOXIDE SMOKE ALARM
- SA SMOKE ALARM WITH STROBE

## UNIT 4

- PRIMARY UNIT (93.89 SQ.M.)
- SECOND FLOOR AREA: (100.35 SQ. M.)
- LAUNDRY AREA: (1.02 SQ. M.)
- MECH. AREA: (2.33 SQ. M.)
- STAIRCASE AREA: (3.11 SQ. M.)
- SECOND FLOOR NET AREA (93.89 SQ.M.)
- BEDROOM 1 AREA: (12.37 SQ. M.)
- MIN. WINDOW GLAZING (5%): (0.62 SQ. M.)
- PROP. WINDOW GLAZING (15%): (1.85 SQ. M.)
- BEDROOM 2 AREA: (10.54 SQ. M.)
- MIN. WINDOW GLAZING (5%): (0.53 SQ. M.)
- PROP. WINDOW GLAZING (13.2%): (1.39 SQ. M.)
- BEDROOM 3 AREA: (10.53 SQ. M.)
- MIN. WINDOW GLAZING (5%): (0.53 SQ. M.)
- PROP. WINDOW GLAZING (13.2%): (1.39 SQ. M.)
- LIVING ROOM AREA: 13.18 SQ.M.
- MIN. WINDOW GLAZING (10%): 1.32 SQ.M.
- PROP. WINDOW GLAZING (33.8%): 4.46 SQ.M.

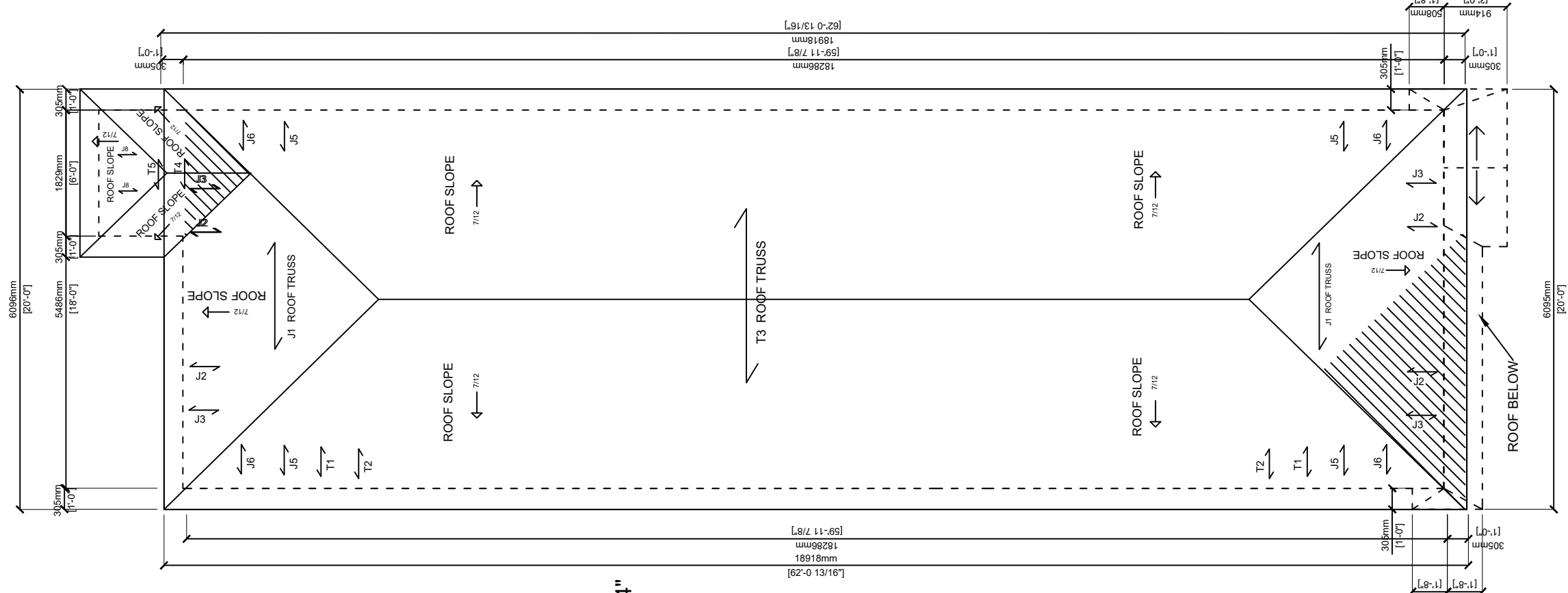
REFER TO GENERAL NOTES A12-A14

- 3 BRICK-STONE VENEER CONSTRUCTION SEE GENERAL NOTES
- 4 FRAME WALL CONSTRUCTION SEE GENERAL NOTES
- 6 INTERIOR STUCCO WALL CONSTRUCTION SEE GENERAL NOTES
- 32 MAIN STAIRS AND EXTERIOR STAIRS SEE GENERAL NOTES
- 33 GUARD RAIL SEE GENERAL NOTES
- 39 SMOKE ALARMS SEE GENERAL NOTES
- 40 CARBON MONOXIDE DETECTORS SEE GENERAL NOTES

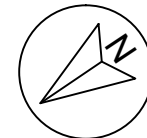


It is the contractor's responsibility to ensure that all construction conforms with the Ontario Building Code.

# SECOND FLOOR PLAN SCALE 1:75



It is the contractor's responsibility to ensure that all construction conforms with the Ontario Building Code.



ROOF OVERHANG IS 12" WITH 4" EAVES. TOTAL OVERHANG OF 1'-4" UNLESS OTHERWISE NOTED

SEE STRUCTURAL PLAN FOR PRODUCT LIST

CONVENTIONAL FRAMING  
2X6 AT 16" O.C. RAFTERS  
2X8 HIPS AND RIDGES

ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

ALL ROOF SLOPES ARE 7/12

ROOF NOTES:  
ASPHALT SHINGLES  
FINISHED OVERHANG: 12"  
2X6 FASCIA BOARD

REFER TO GENERAL NOTES A12-A14

- 11 ROOF CONSTRUCTION SEE GENERAL NOTES
- 12 ROOF INSULATION SEE GENERAL NOTES
- 22 METAL FLASHING SEE GENERAL NOTES

# ROOF PLAN

## SCALE 1:75



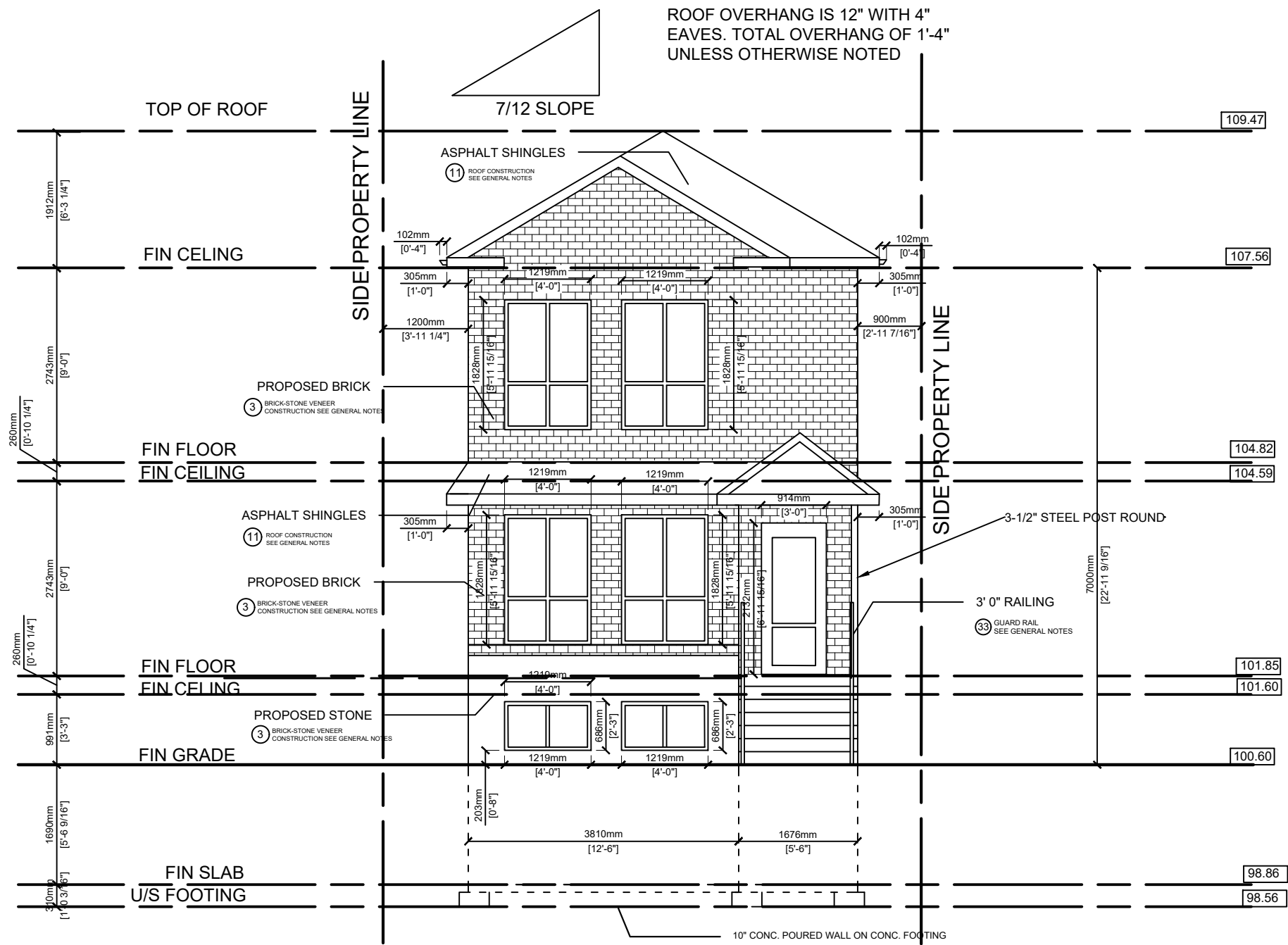
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 mannymarcos13@gmail.com

Drawing Title  
**ROOF PLAN**  
 Project  
**RESIDENTIAL - 4 UNITS**  
 72 HOLMES AVE, HAMILTON ONTARIO

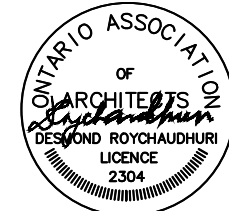
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2215-689	Project No.	DEC 26, 2023.
5 OF 14	Sheet No.	Drawing No.

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**SOUTH ELEVATION**  
**SCALE 1:75**

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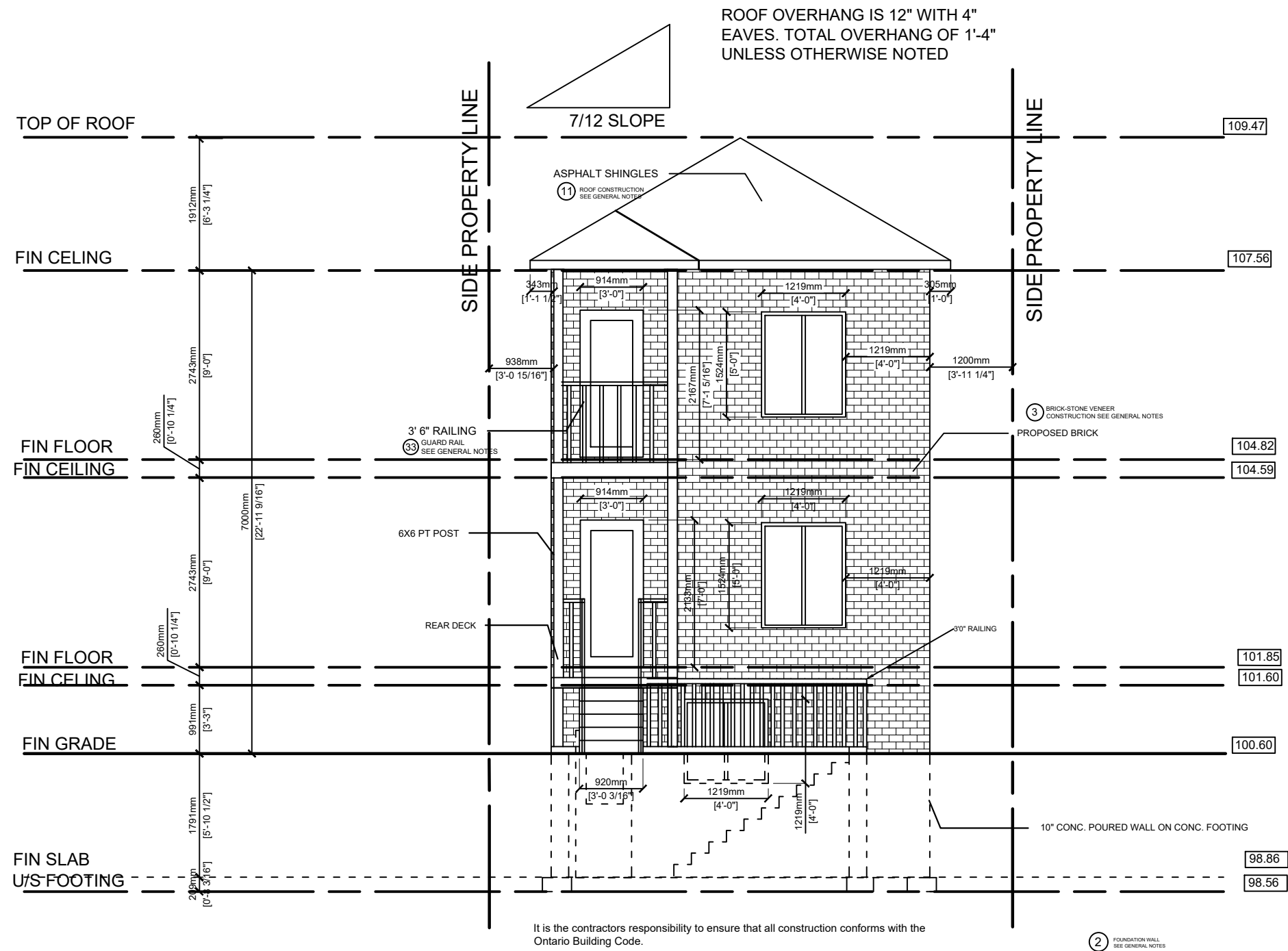
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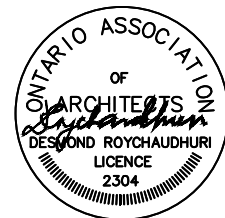
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**SOUTH ELEVATION**  
 Project  
**RESIDENTIAL - 4 UNITS**  
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**A-6**



**NORTH ELEVATION**  
**SCALE 1:75**



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**NORTH ELEVATION**

**RESIDENTIAL - 4 UNITS**

72 HOLMES AVE, HAMILTON ONTARIO

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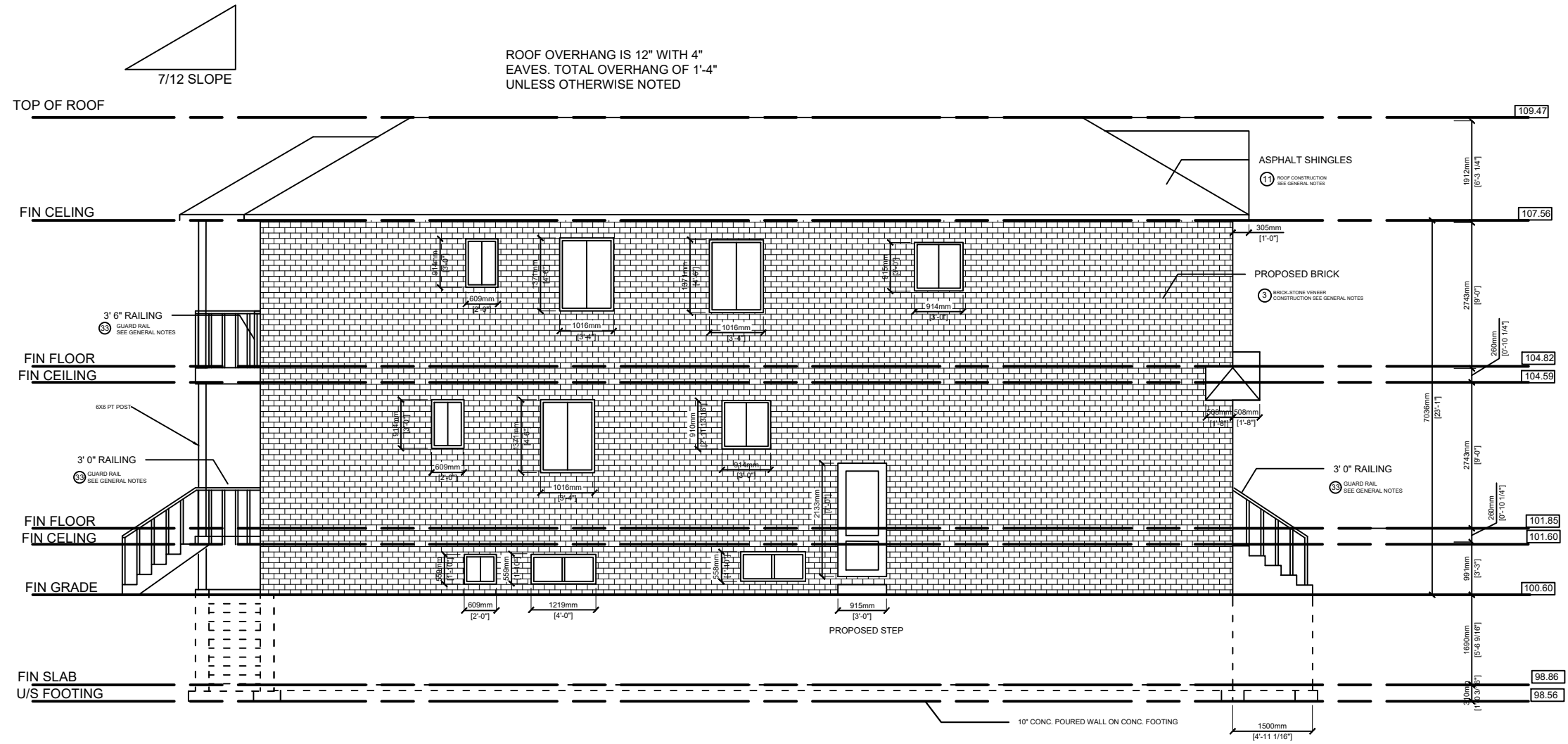
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Sheet No.

**A-7**





ROOF OVERHANG IS 12" WITH 4"  
EAVES, TOTAL OVERHANG OF 1'-4"  
UNLESS OTHERWISE NOTED

7/12 SLOPE

ASPHALT SHINGLES  
① ROOF CONSTRUCTION  
SEE GENERAL NOTES

PROPOSED BRICK  
② BRICK-STONE VENEER  
CONSTRUCTION SEE GENERAL NOTES

3' 6" RAILING  
③ GUARD RAIL  
SEE GENERAL NOTES

3' 0" RAILING  
③ GUARD RAIL  
SEE GENERAL NOTES

3' 0" RAILING  
③ GUARD RAIL  
SEE GENERAL NOTES

It is the contractors responsibility to ensure that all construction conforms with the  
Ontario Building Code.

② FOUNDATION WALL  
SEE GENERAL NOTES

WINDOW CALCS (WEST ELEVATION)  
MAXIMUM PERMITTED OPENINGS: 7%  
AREA OF WALL: 128.65 SQ. M.  
AREA OF OPENINGS: 8.65 SQ. M.  
  
AREA PERMITTED: 8.97 SQ. M. (7%)  
AREA PROPOSED: 8.65 SQ. M. (6.72%)

WEST ELEVATION  
SCALE 1:100



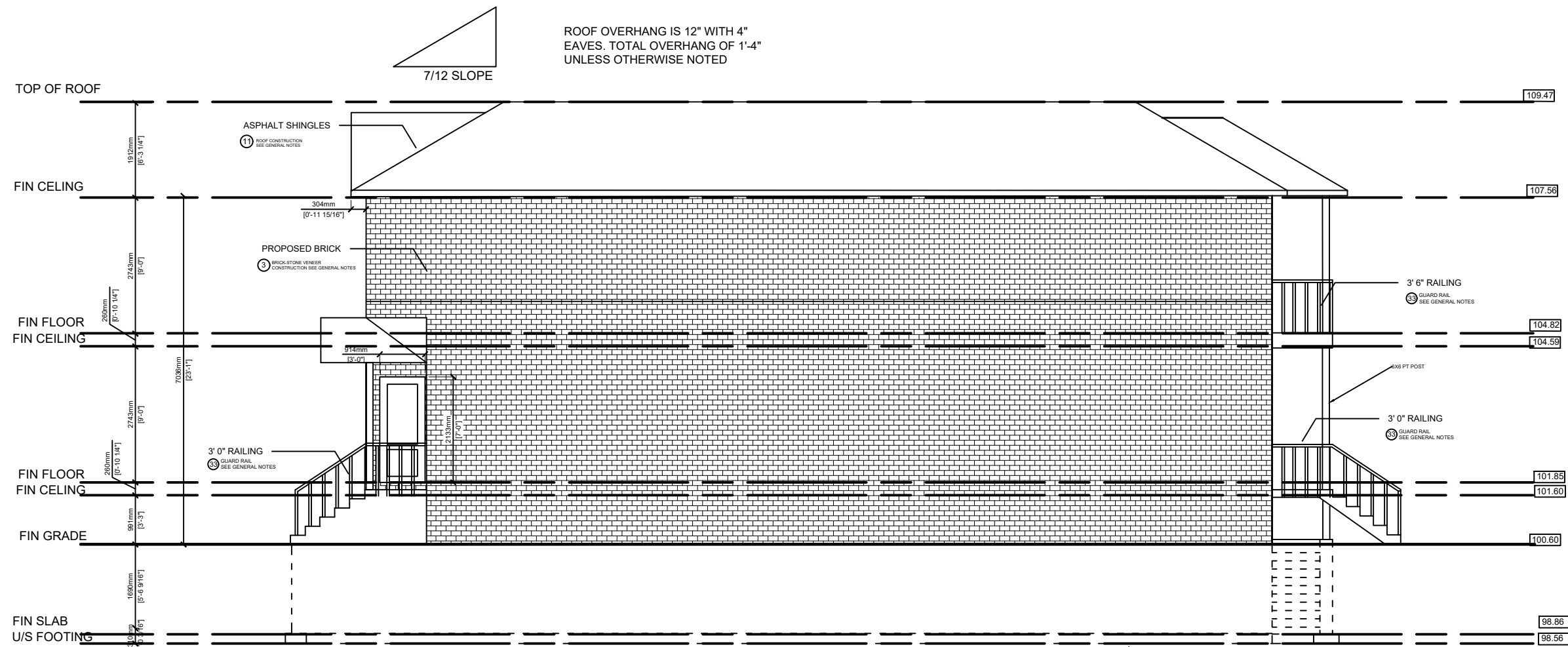
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Drawing Title  
WEST ELEVATION  
Project  
RESIDENTIAL - 4 UNITS  
72 HOLMES AVE, HAMILTON ONTARIO

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**EAST ELEVATION**  
**SCALE 1:100**



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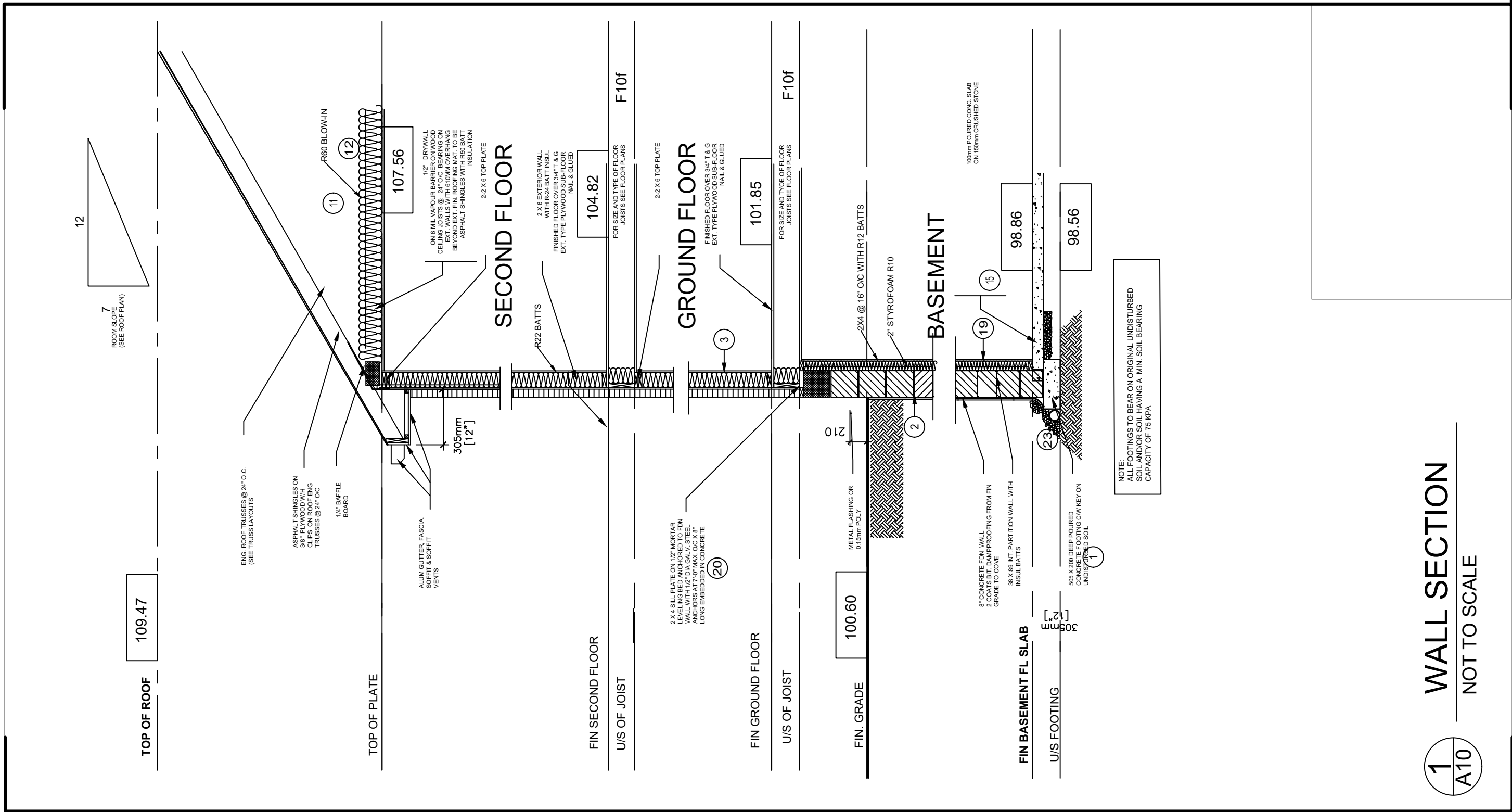
Drawing Title  
**EAST ELEVATION**

Project  
**RESIDENTIAL - 4 UNITS**

**72 HOLMES AVE, HAMILTON ONTARIO**

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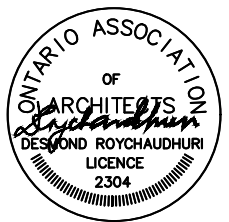
**A-9**



# WALL SECTION

NOT TO SCALE

1/A10



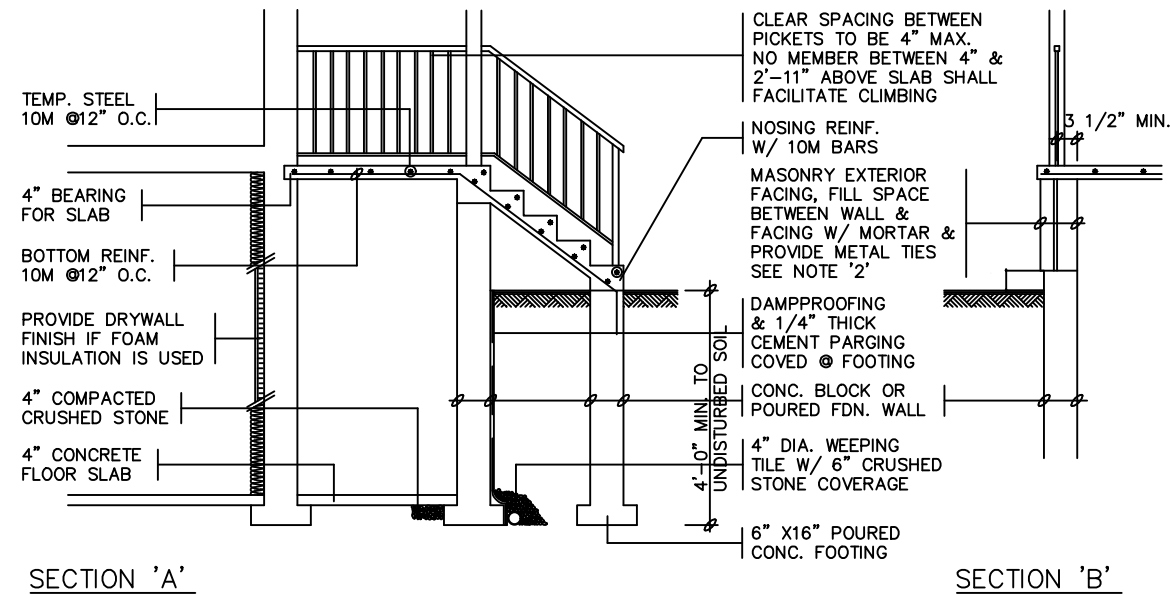
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Drawing Title  
**WALL SECTION**  
 Project  
**RESIDENTIAL - 4 UNITS**  
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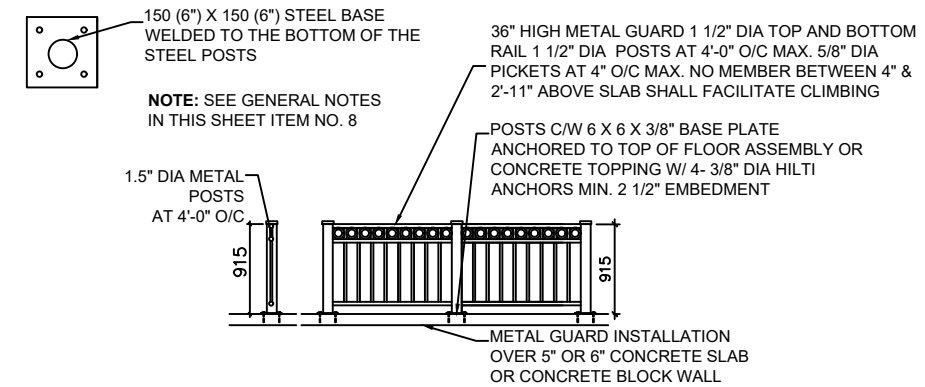


SECTION 'A'

SECTION 'B'

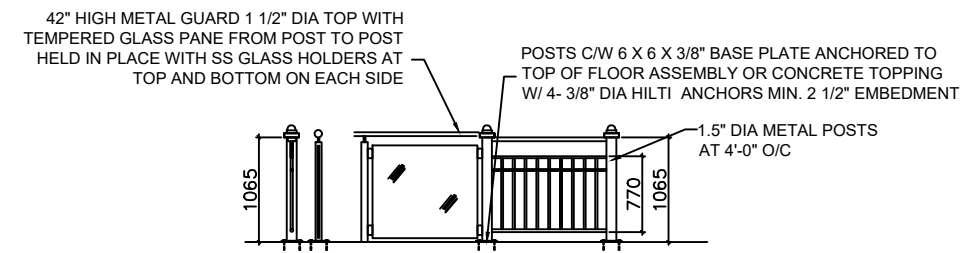
GENERAL NOTES

1. EXTERIOR STAIRS  
7 7/8" RISE MAXIMUM  
8 1/4" RUN MINIMUM  
9 1/4" TREAD MINIMUM
2. MASONRY TIES  
WHEN BRICK FACING IS USED ABOVE GROUND LEVEL, PROVIDE 3/16" DIA. CORROSION RESISTANT METAL TIES @ 36" HORIZONTAL & 8" VERTICAL
3. GUARDS  
ARE REQUIRED AROUND CONCRETE SLAB IF MORE THAN 2'-0" ABOVE GRADE & ON BOTH SIDES OF STAIRS CONTAINING MORE THAN 6 RISERS. MINIMUM 31" HIGH FOR STAIRS. MINIMUM 35" HIGH FOR PORCHES UP TO 5'-11" ABOVE GRADE. MINIMUM 42" HIGH FOR GREATER HTS.
4. HANDRAIL  
ARE REQUIRED WHERE STEPS HAVE MORE THAN 3 RISERS. HANDRAIL HEIGHT 31" - 38".
5. FOUNDATION WALLS  
THICKNESS OF FOUNDATION WALLS IS DEPENDANT UPON HEIGHT OF FINISH GRADE ABOVE BASEMENT FLOOR  
UNIT MASONRY THICKNESS 8" - MAX. HEIGHT 3'-11"  
UNIT MASONRY THICKNESS 10" - MAX. HEIGHT 5'-11"  
UNIT MASONRY THICKNESS 12" - MAX. HEIGHT 7'-3"
6. CONCRETE  
MINIMUM CONCRETE STRENGTH SHALL BE 4650 PSI W/ 5%-8% AIR ENTRAINMENT  
CONCRETE SLAB THICKNESS 4" UP TO 6'-8" SPAN  
CONCRETE SLAB THICKNESS 5" UP TO 8'-4" SPAN  
CONCRETE SLAB THICKNESS 6" UP TO 10'-0" SPAN
7. PROVIDE MINIMUM 3/4" CLEAR CONCRETE COVER TO REINFORCING BARS



INTERIOR GUARD HEIGHT - 3'-0"

EXTERIOR GUARDS SERVING A HOUSE ARE REQUIRED TO BE 900MM (2'-11") HIGH WHERE THE WALKWAY SURFACE IS LESS THAN 1.8M (5'-11") ABOVE ADJACENT GROUND LEVEL. WHERE THE WALKWAY SURFACE IS GREATER THAN 1.8M (5'-11") ABOVE THE ADJACENT GROUND LEVEL, THE GUARD IS REQUIRED TO BE 1070MM (3'-6") HIGH.



EXTERIOR GUARD HEIGHT - 3'-6"

1  
A11

**CONC. PORCH DETAILS WITH COLD ROOM**  
NOT TO SCALE

2  
A11

**GUARD RAIL DETAILS**  
NOT TO SCALE



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COLD ROOM SECTION AND GUARD DETAILS

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72 HOLMES AVE, HAMILTON ONTARIO

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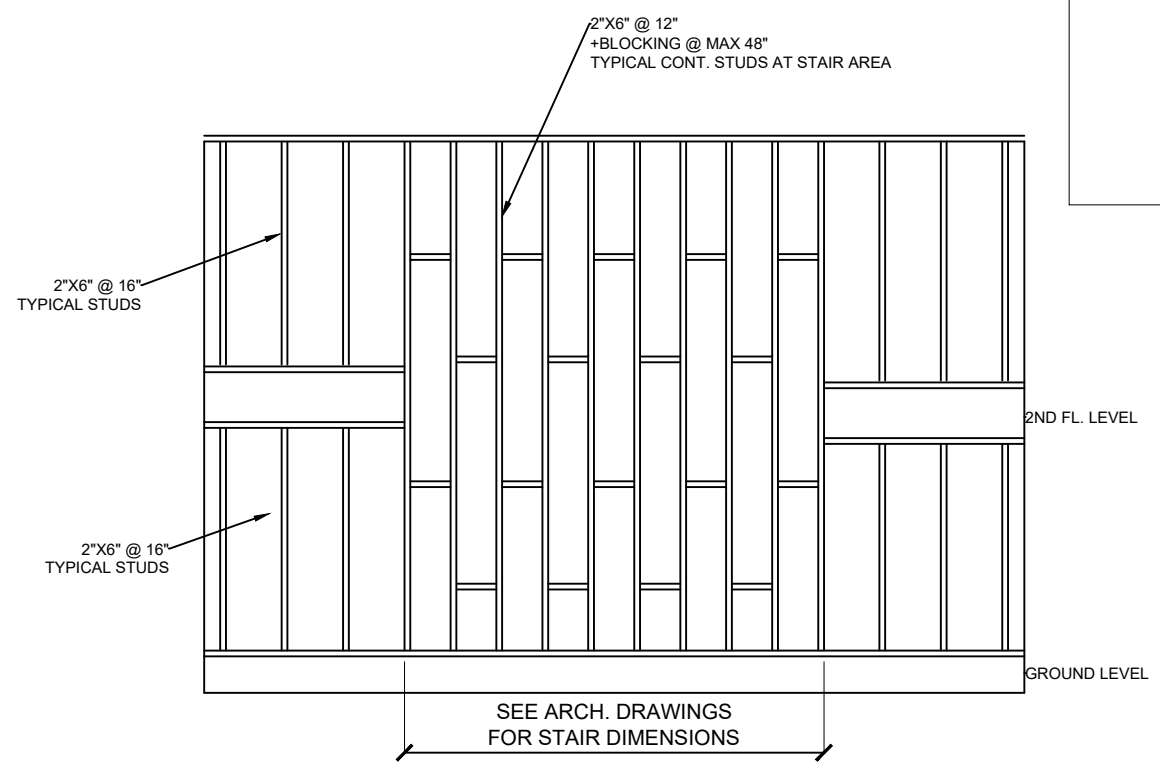
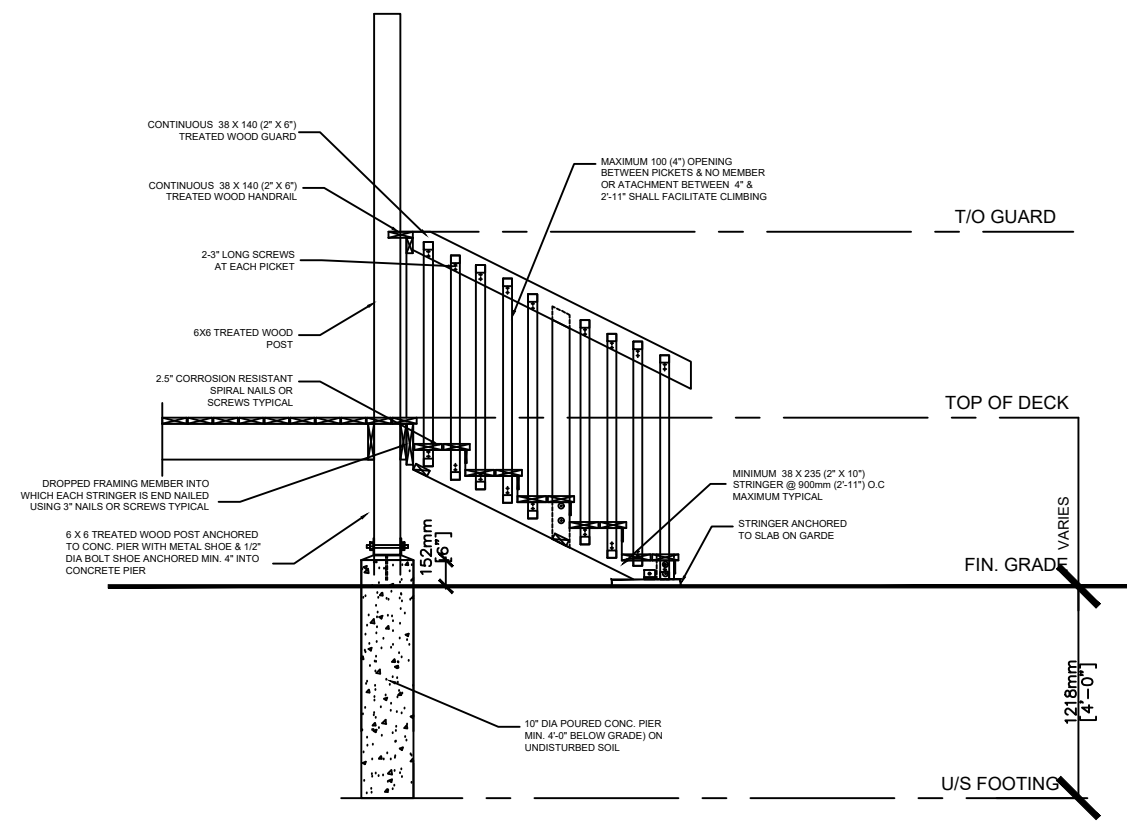
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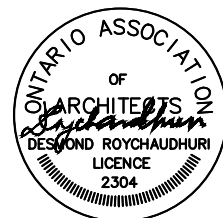


1  
A12

**REAR TREATED WOOD DECK**  
NOT TO SCALE

2  
A12

**WALL SIDE ON STAIRS ON GROUND/FLOOR**  
NOT TO SCALE



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BEARING WALL AND REAR DECK DETAILS

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72 HOLMES AVE, HAMILTON ONTARIO

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Drawing No.

**A-12**

GENERAL NOTES

1 STRIP FOOTING
SUPPORTING EXTERIOR WALLS
ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 75 KPa.

2 FOUNDATION WALL (SEE O.B.C. 9.15.4)
8" POURED CONCRETE WITH 15M @ 16" O.C. VERTICALLY (SEE BASEMENT FLOOR PLAN FOR REBAR LOCATION) AND OPT. DRAINAGE LAYER DRAINAGE REQUIRED WHEN BASEMENT INSULATION EXTENDS 900mm (2'-11") BELOW FINISHED GRADE MAX. WALL HEIGHT 2300mm (7'-7") USING

3 BRICK-STONE-BLOCK VENEER CONSTRUCTION (2 X 6)
90mm (4") OR 75mm (3") FACE BRICK OR STONE
90mm (4") BLOCK WITH 2 LAYERS 6mm (1/4") PARING AND 1 LAYER 1/8" STUCCO FINISH CONFORMING TO O.B.C. 9.28. MAXIMUM 11000mm (36'-1") HIGH

4 FRAME WALL CONSTRUCTION (2 X 6)
STUCCO BOARD OR SIDING AS PER ELEVATION
0.7kg/sq.m (NO. 15) BUILDING PAPER
12.7mm (1/2") EXTERIOR TYPE SHEATHING

5 INTERIOR STUD PARTITION
38 X (2 X 4) @ 400mm (16") O/C BEARING 38 X 89 (2 X 4) @ 600mm (24") O/C NON BEARING 12.7mm (1/2") INT. GYPSUM WALLBOARD BOTH SIDES 38 X 89 (2 X 4) BOTTOM PLATE 2- 38 X 89 (2 X 4) TOP PLATE & TRIPLE STUDS AT CORNERS

6 INTERIOR STUD PARTITION (FOR 2 STOREYS)
38 X (2 X 4) @ 400mm (16") OR 38 X 89 (2 X 4) @ 300mm (12") O/C FOR 3 STOREYS WITH 12.7mm (1/2") GYPSUM WALLBOARD BOTH SIDES

7 BEARING PARTITION (BASEMENT)
38 X (2 X 4) @ 400mm (16") FOR 2 STOREYS
38 X 89 (2 X 4) SILL ON DAMPPROOFING MATERIAL 12.7mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O/C ON 100 mm (4") HIGH CONC. CURB ON 350 X 150 (13 3/4" X 6") POURED CONC. FOOTING ON UNDISTURBED SOIL

8 BEARING PARTITION (FIRST FLOOR)
38 X (2 X 4) @ 400mm (16") O/C
38 X 89 (2 X 4) SILL PLATE
2- 38 X 89 (2 X 4) TOP PLATES
38 X 89 (2 X 4) INTERMEDIATE BLOCKING OR 38 X 140 (2 X 6) CONSTRUCTION TO COMPLY AS INDICATED ON THE DRAWINGS

9 PARTY WALL CONSTRUCTION (BLOCK WALL)
12.7mm (1/2") GYP. WALL BOARD TAPED JOINTS ON 19 X 64 (1 X 3) WOOD SPACERS @ 400 mm (16") O/C ON EACH SIDE
200mm (8") HOLLOW CONC. BLOCK OF NORMAL WEIGHT AGGREGATE
MINIMUM 1 HOUR F.R.R. CONT. FROM T/O FDN WALL TO U/S OF ROOF SHEATHING
2 STOREY BLOCK PARTY TO BE 200mm (8") POURED CONC. OR 200mm (8") CONC. BLOCK FDN WALL ON A MIN. 610mm x 250mm (24 X 10) POURED CONC. FOOTING ON UNDISTURBED SOIL. (SIZE OF FOOTING TO SOIL ENGINEER AS PER SOIL CONDITION AND SUPPORTED JOIST LENGTH)

10 PARTY WALL CONSTRUCTION (WOOD FRAME WALL)
12.7mm (1/2") GYP. WALL BOARD TAPED JOINTS ON RESIL. METAL CHANNELS ON EACH SIDE
2 ROWS 38 X 89 (2 X 4) WOOD STUDS @ 300mm (12") WITH 2 ROWS OF LATERAL SUPPORT OF WALLS 2460mm (8'-1") IN HEIGHT SINGLE BOTTOM PLATE AND TOP DOUBLE PLATE
SOUND ATTENUATION BATTS MIN. 1.2kg/m.sq. (0.25 lbs/sq. feet) MINERAL WOOL
25mm (1") AIR SPACE BETWEEN ROWS OF STUDS CONT. FROM T/O TO FDN WALL TO U/S OF ROOF SHEATHING
2 STOREY BLOCK PARTY TO BE 200mm (8") POURED CONC. OR 200mm (8") CONC. BLOCK FDN WALL ON A MIN. 610mm x 250mm (24 X 10) POURED CONC. FOOTING ON UNDISTURBED SOIL. (SIZE OF FOOTING TO SOIL ENGINEER AS PER SOIL CONDITION AND SUPPORTED JOIST LENGTH)

11 ROOF CONSTRUCTION
10.25 kg/sq.m (NO. 210) ASPHALT SHINGLES
TYPE "S" ROLL ROOFING FROM EDGE OF ROOF EXTENDING A MIN. DISTANCE OF 900mm (2'-11") UP TO ROOF SLOPE TO A LINE NOT LESS THAN 300mm (12") PAST THE INSIDE FACE OF THE EXTERIOR WALL
0.15mm (0.006") AIR/VAPOUR BARRIER TO CONFORM TO CAN/CGSB-51.340-M AND SUBSECTIONS 9.25.3 & 9.25.4 OF THE O.B.C.
10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS
APPROVED WOOD TRUSSES @ 600mm(24") O/C
38 X 89 (2 X 4) TRUSS BRACING AS PER TRUSS CERTIFICATE @ 1830mm (6'-0") O/C BOTTOM CHORD FOR ROOF SLOPES 4:12 OR GREATER
ALUMINUM EAVES TROUGH ON ALUMINUM FASCIA AND ALUMINUM VENTED SOFFIT
ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES

Table with 2 columns: RAFTER SIZE and RAFTER SPACING. Rows include 2 X 4 (9'-3"), 2 X 6 (14'-7"), 2 X 8 (19'-2").

Table with 2 columns: JOIST SIZE and JOIST SPACING. Rows include 2 X 4 (7'-4"), 2 X 6 (11'-6"), 2 X 8 (15'-2").

CONVENTIONAL ROOF FRAMING
38 X 140 (2 X 6) RAFTERS @ 400mm (1'-4") O/C & 38 X 184 (2 X 8) RIDGE BOARD C/W
38 X 89 (2 X 4) COLLAR TIES @ MID SPAN, CEILING

12 ROOF INSULATION
PROVIDE R-60 ROOF INSULATION 0.15mm (0.006") AIR/VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.2 & 9.25.3 OF THE O.B.C. MIN. 15.9mm (5/8") GYP. WALL BOARD OR APPROVED EQUAL
PROVIDE R-31 ROOF INSULATION ON ROOF WHERE THERE IS NO ATTIC SPACE

13 EXPOSED FLOOR AND EXTERIOR
PROVIDE (R-24) INSULATION 0.15mm (0.006") VAPOUR BARRIER / CONTINUOUS AIR BARRIER AND FINISHED SOFFIT

14 SUBFLOOR, JOISTS STRAPPING AND BRIDGING
FINISHED FLOOR ON 15.9mm (5/8") T & G SUB-FLOOR ON WOOD FLOOR JOISTS FOR CERAMIC TILE APPLICATION (SEE O.B.C. 9.30.6)
6mm (1/4") PANEL TYPE UNDERLAY UNDER RESILIENT AND PARQUET FLOORING (SEE O.B.C. 9.23.9.4) ALL JOISTS BRIDGED WITH 38 X 38mm (2 X 2) CROSS BRACING AT 2100mm (6'-11") O/C MAX. UNLESS PANEL TYPE CEILING FINISH IS APPLIED

15 BASEMENT SLAB
100mm (4") 15 MPa. (2200P.S.I.) CONCRETE SLAB ON 0.15mm (0.006") DAMP PROOFING AND 127mm (5") CRUSHED STONE. PROVIDE R-10 2" THICK RIGID INSULATION UNDER SLAB WHENEVER IT IS HEATED

16 GARAGE SLAB
100mm (4") 32 MPa. (4650P.S.I.) CONCRETE SLAB AT 28 DAYS WITH 5-8% AIR ENT. ON 100mm (4") CRUSHED STONE (SEE 9.3.1.6 OF THE O.B.C.).
REINFORCED W/2.9 X W2.9 (6 X 6) WIRE MESH LOCATED NEAR THE MID DEPTH OF SLAB
ANY FILL PLACED BENEATH THE SLAB, OTHER THAN COARSE CLEAN GRANULAR FILL, SHALL BE COMPACTED AT NOT LESS THAN 95% PROCTOR
SLOPE TO FRONT AT 1% MINIMUM

17 GARAGE WALLS & CEILINGS
12.7mm (1/2") GYPSUM WALL BOARD ON WALLS AND CEILINGS BETWEEN HOUSE AND GARAGE
R-22 INSULATION IN WALLS
R-22 INSULATION IN 38 X 140 (2 X 6) WALLS

18 DOOR (BETWEEN GARAGE AND DWELLING UNIT)
A) A DOOR BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING UNIT SHALL BE TIGHT FITTING AND WEATHER STRIPPING TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GASES AND EXHAUST FUMES AND SHALL BE FITTED WITH A SELF CLOSING DEVICE

B) A DOORWAY BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING UNIT SHALL NOT BE LOCATED IN A ROOM INTENDED FOR SLEEPING

19 BASEMENT INSULATION AND STRAPPING
R-10 CONT. RIGID INSULATION AGAINST FOUNDATION WALL HELD IN PLACE WITH 2 X 4 STUDS AT 16" O.C. AND R-12 INSULATING BATTS IN BETWEEN STUDS AIR/VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.3 AND 9.25.4 OF THE O.B.C.
RIGID INSULATION SHALL BE INSTALLED FROM CONC.S LAB AND UP TO UNDERSIDE OF FLOOR JOISTS DAMP PROOFING BETWEEN FOUNDATION WALL AND INSULATION WITH 0.7 kg/ sq.m. (NO.15) BUILDING PAPER

20 ANCHOR BOLTS
38 X 89 (2 X 4) SILL PLATE WITH 12.7mm (1/2") DIAMETER ANCHOR BOLTS 200mm (8") LONG MIN. EMBEDDED 100mm (4") INTO CONC. AT 2400mm (7'-10") O/C
DAMP-PROOFING UNDER PLATE AND SEAL TO FOUNDATION WITH CAULKING OR AN ACCEPTABLE GASKET PLATE USE NON SHINK GROUT TO LEVEL SILL WHEN REQUIRED.

21A U/LC CLASS-B VENT 610mm (2'-0") ABOVE POINT OF CONTACT WITH ROOF FOR SLOPES UP TO 8:12 DIRECT VENT FURNACE TERMINAL. MIN. 900mm (2'-11") FROM A GAS REGULATOR AND MIN. 300mm (12") ABOVE FINISHED GRADE FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS H.R.V. INTAKE TO BE MIN. 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE

21B CHIMNEY
CHIMNEYS AND FLUES TO CONFORM TO SECTION 9.21 OF THE O.B.C.
CHIMNEYS TO BW 915mm (3'-0") ABOVE ROOF AND NOT LESS THAN 610mm (2'-0") ABOVE THE HIGHEST ROOF STRUCTURE WITHIN 3050 (10'-0") OF CHIMNEY SUPPORT METAL CHIMNEYS LATERALLY AT 2030mm (6'-8") VERTICALLY
CHIMNEY CAPS TO HAVE A MINIMUM OF 25mm (1") PROJECTION
PROVIDE CHIMNEY SADDLE WITH FLASHING IF CHIMNEY WIDTH IS GREATER THAN 600mm (2'-0") CLAY FLUE LINERS 15.9mm (5/8") THICK EXTEND LINERS FROM 200mm (7 7/8") BELOW BREACHING OPENING OR FROM TOP OF SMOKE CHAMBER TO NOT LESS THAN 50mm (2") OR MORE THAN 100mm (4") ABOVE CHIMNEY CAP MASONRY FIREPLACE CONSTRUCTION TO COMPLY WITH SECTION 9.22 OF THE O.B.C.

22 METAL FLASHING
0.33mm (0.013") GALVANIZED PAINTED STEEL
100mm (4") UNDER WALL SHEATHING AND SHINGLES
150mm (6") UP BRICK FACE INTO REGLET

23 WEEPING TILE
100mm (4") DIAMETER WEEPING TILE 150mm (6") CRUSHED STONE OVER AND AROUND ALL FOOTINGS, INCLUDING GARAGE FOOTINGS

24 EXTERIOR CONCRETE STEPS
EXTERIOR CONCRETE STEPS TO CONFORM WITH ARTICLE 9.8.7.1 OF THE O.B.C.

25 WOOD SHUTTERS
WOOD SHUTTERS TO BE 305mm (12") WIDE

26A STRAPPING
19 X 64mm (1 X 3) CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM

26B STEEL PIPE COLUMN
STEEL PIPE COLUMN SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE.
90mm (3 1/2") DIAMETER WITH A WALL THICKNESS OF 4.76mm (3/16") NON ADJUST. ST. COL. WITH 150 X 150 X 95mm (6 X 6 X 3/8") STEEL TOP AND BOTTOM PLATE. BASE PLATE 100 X 250 X 12.7mm (4" X 10" X 1/2") WITH 2-12.7mm DIA. X 300 mm LONG X 50mm (2-1/2" DIA. X 12" LONG X 2") HOOK HANGERS FIELD WELD COLUMN TO BASE PLATE ON
870 X 870 X 410mm (34" X 34" X 16") POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENG. FILL CAPABLE OF SUSTAINING A PRESSURE OF 125 KPa. (18.13 P.S.I.) MIN. AS PER SOIL REPORT.

27 ADJUSTABLE STEEL PIPE COLUMN
STEEL PIPE COLUMN SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE.
3 1/2" DIAMETER WITH A WALL THICKNESS OF 4.76mm (3/16") ADJUST. ST. COL. WITH 150 X 150 X 95mm (6 X 6 X 3/8") STEEL TOP AND BOTTOM PLATE. BASE PLATE 100 X 250 X 12.7mm (4" X 10" X 1/2") WITH 2-12.7mm DIA. X 300 mm LONG X 50mm (2-1/2" DIA. X 12" LONG X 2") HOOK HANGERS FIELD WELD COLUMN TO BASE PLATE ON
1067 X 1067 X 457mm (42" X 42" X 18") POURED CONCRETE FOOTING ON UNDISTURBED SOIL OR ENG. FILL CAPABLE OF SUSTAINING A PRESSURE OF 125 KPa. (18.13 P.S.I.) MIN. AS PER SOIL REPORT

28 STEEL PIPE COLUMN
STEEL PIPE COLUMN SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE.
4" X 4" SQUARE WITH A WALL THICKNESS OF 3/16" STEEL COLUMN WITH 6 X 6 X 3/8" STEEL TOP AND BOTTOM PLATE
BASE PLATE 4" X 10" X 1/2" WITH 2-12.7mm DIA. X 300mm LONG X 50mm (2-1/2" DIA. X 12" LONG X 2") HOOK HANGERS FIELD WELD COLUMN TO BASE PLATE ON FOUNDATION WALL

29 ATTIC ACCESS HATCH
ATTIC HATCH TO BE WEATHER STRIPPED MIN. 510 X 710mm (20" X 28") AND BACKED WITH R-60 RIGID INSULATION

30 CAPPED RANGE HOOD VENT WITH BIRD SCREEN

31 CAPPED DRYER VENT. WITH BIRD SCREEN

32 MAIN STAIRS AND EXTERIOR STAIRS
TO HAVE UNIFORM TREADS AND RISERS (SEE 9.8.2 & 9.8.4. OF THE O.B.C.

-MAX. RISE-----200 (7 7/8")
-MAX. RUN-----355 (14")
-MAX. TREAD WIDTH-----355 (14")

-MIN. RISER-----125 (4 7/8")
-MIN. RUN-----254 (10")
-MIN. TREAD-----255 (9 1/4")
-MAX. NOSING-----25 (1")
-MIN. HEADRM (INT. STAIRS)-----1950 (6'-5")
-MIN. HEADRM (EXT. STAIRS)-----2050 (6'-9")
-HANDRAIL @ LANDING-----1070 (3'-6") MAX.
-HANDRAIL @ LANDING-----800 (2'-7") MIN.
-HANDRAIL @ STAIRS/RAMP-----965 (3'-2") MAX.
-HANDRAIL @ STAIRS/RAMP-----700 (2'-10") MIN.
-MIN. STAIRS WIDTH-----900 (3'-0")

FOR CURVED STAIRS
-MIN RUN-----150 (6")
-MIN AVG. RUN-----200 (8")

33 GUARD RAIL
OPENINGS THROUGH A GUARD OF AN BALCONY, AN EXIT STAIRS, STAIRS, LANDINGS AND THE FLOOR LEVEL AROUND A STAIRS WELL IN A DWELLING UNIT SHALL BE OF A SIZE SO AS TO PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 100mm (4") IN RESIDENTIAL OCCUPANCIES AND A MINIMUM OF 200mm (8") IN OTHER OCCUPANCIES

34 LINEN CLOSET
LINEN CLOSET SHALL HAVE 4 SHELVES MIN.330mm (14") DEEP

35 CLOTHES CLOSET TO BE PROVIDED WITH A HANGING ROD AND 330mm (12") OF SHELF ABOVE

36 MECHANICAL EXHAUST FAN - VENTED TO EXTERIOR TO PROVIDE A MINIMUM OF ONE AIR CHANGE PER HOUR AND SHALL CONFORM TO 9.32.5 OF THE O.B.C.

37 DIRECT VENT GAS FIRE PLACE VENT TO BE MIN. 300mm (12") FROM ANY OPENING ABOVE FIN. GRADE REFER TO GAS UTILIZATION CODE
ZERO - CLEARANCE FIREPLACE CONSTRUCTION TO COMPLY WITH MANUFACTURERS SPECIFICATIONS.

38 STEEL BEARING PLATE FOR MASONRY WALLS
280 X 280 X 16mm (11" x 11" x 5/8") STEEL PLATE FOR STEEL BEAMS
280 X 280 X 12mm (11" X 11" X 1/2") STEEL PLATE FOR WOOD BEAMS BEARING ON CONCRETE BLOCK PARTY WALL ANCHORED WITH 2-19 X 200mm (2-3/4" X 8") LONG GALVANIZED ANCHORS WITH SOLID BLOCK COURSE LEVEL WITH NON SHRINK GROUT OR SOLID WOOD BEARING FOR WOOD STUD WALLS
SOLID BEARING TO BE AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH O.B.C. 9.17.4.2. (2.)

Professional seal for Ontario Association of Architects, Desmond Roychaudhuri, Licence 2304. Includes text: Contractor Must Check And Verify the existing Site conditions including All Dimensions and report any Discrepancies to Consultants before proceeding with any Work at the Job Site Do Not Scale The Drawings. All Drawings, Specifications And Related Documents Are The Copyright Of The Architect. And/Or Designer And Must Be Returned Upon Request. Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission. This Drawing Is Not To Be Used For Construction Until Signed By The Architect and/or Designer.

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Drawing Title: GENERAL NOTES
Project: RESIDENTIAL - 4 UNITS
72 HOLMES AVE, HAMILTON ONTARIO
Drawing No.: A-13
Drawn by: I.S.
Checked by: M.M.
Scale: AS SHOWN
Project No.: 2215-689
Sheet No.: 13 OF 14

Plot Date: SEPT 15, 2023
Revised: DEC 26, 2023.
Drawing No.: A-13

39 SMOKE ALARMS

- SMOKE ALARMS CONFORMING TO CAN/ULC-S531. "SMOKE ALARMS" SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH STOREY OF A DWELLING UNIT INCLUDING BASEMENTS 900MM (36") OR MORE ABOVE AN ADJACENT LEVEL (SEE SECTION 9.10.19. OF THE O.B.C.)

A SMOKE ALARM IS INSTALLED: - IN EACH SLEEPING ROOM, AND - IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.

40 CARBON MONOXIDE DETECTORS

- INSTALL A CARBON MONOXIDE DETECTOR CONFORMING TO CAN/CSA-6.19. "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" OR UL 2034, "SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS" ADJACENT TO EVERY SLEEPING AREA FOR DWELLINGS WITH FUEL BURNING FIREPLACE OR STOVE, OR AN ATTACHED GARAGE (SEE SECTION 9.33.4. OF THE O.B.C.)

41 PORCH SLAB CONSTRUCTION (O.B.C. 9.40.)

- FOR MAX. 2500mm (8'-2") PORCH DEPTH, 130mm (5") 32 KPa (4650 PSI) CONC. SLB WITH 5 - 8% AIR ENTRAINMENT REINFORCED WITH 10M BARS @ 200mm (8") O/C EACH WAY ON CENTERS OF SLAB (MIN. 1 3/4" CONC. COVER FROM THE BOTTOM OF THE SLAB TO THE FIRST LAYER OF BARS) C/W 600 X900 (23 5/8" X 23 5/8") 10M DOWELS @ 600mm (23 5/8") O/C ANCHORED INTO THE PERIMETER FOUNDATION WALLS (SLAB TO BEAR NOT LESS THAN 75mm (3") ONTO SUPPORTING FOUNDATION WALLS - SLOPE SLAB MIN. 1% FROM DOOR

42 STRUCTURAL STEEL

1- STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W HOLLOW STRUCTURAL SECTION SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS"H" 2- REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400-R

43 STEEL LINTELS SPANS

MAXIMUM SPANS FOR STEEL LINTELS SUPPORTING MASONRY VENEER USE: 1- MAX. 2.47 M (8'-1") USE 90 X 90 X 6 ( 3 1/2" X 3 1/2" X 1/4") 2- MAX. 2.66 M (8'-9") USE 100 X 90 X 8 ( 4" X 3 1/2" X 1/4") 3- MAX. 3.30 M (10'-10") USE 125 X 90 X 8 (4 7/8" X 3 1/2" X 5/16") 4- MAX. 3.48 M (11'-5") USE 125 X 90 X 10 (4 7/8" X 3 1/2" X 3/8") STEEL LINTELS MUST HAVE EVEN AND LEVEL BEARING AND MUST BE SUPPORTED BY AT LEAST 150mm (6") AT EACH END. MASONRY ARCHES (JACK, SEGMENTAL, AND ROMAN)CAN BE DESIGNED AND CONSTRUCTED TO SUPPORT MASONRY VENEER OVER OPENINGS ( SEE ELEVATIONS FOR TYPES)

44 DOOR SCHEDULE

- EXTERIOR DOORS TO HAVE A THERMAL RESISTANCE OF R-4 OR WITH STORM DOOR SLIDING DOORS TO HAVE A THERMAL RESISTANCE OF R-1.7 - GLASS IN SIDE LIGHTS GREATER THAN 500mm (19 3/4") STORM DOORS IN SLIDING PATIO DOOR AND IN SHOWER DOORS TO BE OF SAFETY GLASS - DOOR TO BE RESISTANT TO FORCED ENTRY IN CONFORMANCE TO SUBSECTION 9.6.8. OF THE O.B.C.

DOOR SCHEDULE: DOOR IDENTIFICATION

Table with 3 columns: METRIC, IMPERIAL, and door type/notes. Rows include various door sizes and materials like INSUL. DR RSI 0.7 (R4), SOLID CORE DOOR, etc.

45 LINTEL SCHEDULE

Table with 3 columns: IMPERIAL, METRIC, and material. Rows include W1, W2, W3, W4 with dimensions and materials like SPRUCE NO.2.

Table with 3 columns: BUILT UP BEAMS, IMPERIAL, METRIC, and material. Rows include B1 through B8 with dimensions and materials like SPRUCE NO.2.

46 STEEL LINTELS

Table with 3 columns: METRIC, IMPERIAL, and material. Rows include L1 through L7 with dimensions and materials like 90 X 90 X 6.0, 100 X 90 X 8.0, etc.

LAMINATED VENEER LUMBER (LVL) BEAMS

Table with 3 columns: METRIC, IMPERIAL, and material. Rows include LVL1 through LVL8 with dimensions and materials like 1- 45 X 241, 2- 45 X 241, etc.

LUMBER

1- ALL FRAMING LUMBER TO BE SPRUCE NO.1 GRADE UNLESS NOTED OTHERWISE 2- END BEARING JOISTS - 38mm (1 1/2") BEAMS - 89mm (3 1/2") 3- LATERAL SUPPORT FOR WALLS PARALLEL TO JOISTS. METAL ANCHORS 38 X 5mm (1 1/2" X 3/16") A7 2030mm (6'-8") SPACING BENT INTO MASONRY 80mm (3") AND EXTEND OVER 3 PARALLEL JOISTS 4- JOISTS HANGERS: PROVIDE METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERCEPTING FLUSH BUILT-UP WOOD MEMBERS 5- ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDERS TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY A TRUSS MANUFACTURER. 6- LUMBER EXPOSED TO EXTERIOR TO BE SPRUCE NO.1 GRADE PRESSURE TREATED OR CEDAR UNLESS OTHERWISE NOTED 7- LVL BEAMS SHALL BE 2.0E WS MICRO-LAM (fb= 2800PSI MIN.) OR EQUIVALENT. NAIL EACH PLY WITH 89mm 3 1/2" COMMON NAILS @ 300 mm (12") O/C STAGGERED IN 2-ROWS FOR 235, 286 AND 302mm (9 1/2", 11 1/4" & 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS & FOR 4 PLY MEMBERS ADD 13 (1/2") DIA GALV. BOLTS AT MID DEPTH OF BEAM @ 915 mm (36") O/C 8- WOOD FRAMING MEMBERS THAT ARE NOT TREATED WITH A WOOD PRESERVATIVE AND ARE IN CONTACT WITH CONCRETE THAT IS LESS THAN 150mm (6") ABOVE GROUND OR SLAB, PROVIDE 0.15mm (0.006") POLYETHYLENE FILM OR NO. 50 (45LBS) ROLL ROOFING DAMP PROOFING BETWEEN WOOD AND CONCRETE

FLOOR JOISTS

Table with 3 columns: JOIST SIZE, 1 X 3 STRAPPING OR DRYWALL CEILING, and JOIST SPACING. Rows include 12" O.C., 16" O.C., 24" O.C. for various joist sizes.

JOIST SIZE

Table with 3 columns: JOIST SIZE, 2 X 2 BRIDGING, and JOIST SPACING. Rows include 12" O.C., 16" O.C., 24" O.C. for various joist sizes.

JOIST SIZE

Table with 3 columns: JOIST SIZE, BOTH STRAPPING AND BRIDGING, and JOIST SPACING. Rows include 12" O.C., 16" O.C., 24" O.C. for various joist sizes.

JOIST SIZE

Table with 3 columns: JOIST SIZE, 1 1/2" - 2" CONCRETE TOPPING, and JOIST SPACING. Rows include 12" O.C., 16" O.C., 24" O.C. for various joist sizes.

47 ALUM RAIN WATER LEADER

ALUMINUM RAIN WATER LITRE TO STORM DRAINAGE OR CONCRETE / PVC PAD SPLASH TO FRONT OR REAR YARDS.

48 VERIFICATION

VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCOVERIES OF ERRORS OMISSIONS AND/OR DISCREPANCIES TO THE ARCHITECT AND/OR DESIGNER CONSULTANT AS APPLICABLE USE ONLY LATEST REVISED DRAWINGS OR THOSE MARKED "ISSUED FOR CONSTRUCTION". DO NOT SCALE DRAWINGS.

49 STEP FOOTING

VERTICAL RISE: 23 5/8" MAX. FOR FIRM SOILS OR 15 3/4" MAX. FOR SAND OR GRAVEL HORIZONTAL RUN: 23 5/8"

50 CERAMIC TILE

WHEN CERAMIC TILE APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MIN. OF 1/2" THICK AND REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUB-FLOORING ON JOISTS AT NO MORE THAN 12" O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING

51 WINDOW SCHEDULE (SEE O.B.C. 9.7.1.3.)

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH: - EACH SUCH WINDOW SHALL PROVIDE INDIVIDUAL UNOBSTRUCTED OPEN PORTION HAVING A MIN. AREA OF 0.35 sq.m (3.8 sq.ft) WITH NO DIMENSION LESS THAN 380mm (15") 2) EXCEPT FOR BASEMENTS AREAS, THE WINDOW DESCRIBED IN SENTENCE (1) SHALL HAVE A MAX.SILL HEIGHT OF 1000mm (3'-3") ABOVE THE FLOOR

56 STUCCO FINISH

TO BE INSTALLED AS PER MANUFACTURER'S SPECS. AND O.B.C. 9.28. STUCCO. DUROCK POLYSTYRENE SYSTEM BY DUROCK OR APPROVED EQUAL.

1- APPLY FIBRE MESH STARTER STRIPS TO THE BOTTOM OF THE SUBSTRATE (8" ABOVE GRADE) WITH DUROCK PREP. COAT. APPLY SAME AROUND WINDOW AND DOOR OPENINGS. 2- APPLY DUROCK POLYSTYRENE INSUL. BD. (1.5" THICKNESS R-7 VALUE) WITH DUROCK PREP. COAT (SPECIAL DUROCK FASTENERS MAY BE REQUIRED ON SOME SUBSTRATES) THE INSUL. BD. MUST BE APPLIED IN STAGGERED FASHION, SIMILAR TO BRICK AND BLOCK. 3- APPLY DUROCK PREP. COAT TO INSUL. AND IMBED THE FIBRE MESH INTO THIS WET EMULSION. 4- APPLY AN ADDITIONAL COAT OF DUROCK PREP. COAT TO ACHIEVE A SMOOTH SURFACE. 5- SOME FINISHES REQUIRE A DUROCK BASE COAT (SAME COLOUR AS FINISH) TO BE APPLIED AS PRIMER. 6- APPLY ONE OF THE DUROCK FINISH COATS (GRAIN, VENETIAN, PEBBLE, MARBLE OR SPRAY) WITH THE COLOUR OF YOUR CHOICE.

57 FLAT ROOF CONSTRUCTION

BUILT-UP 4-PLY TAR AND GRAVEL ROOF DRAINED TO ROOF DRAINS OR SCUPPERS, BUILT IN ACCORDANCE TO SUBSECTION 9.27.11 OBC

TYPICAL NOTES

1- GUARDS AROUND EXTERIOR BALCONIES, PORCHES, AND DECKS SHALL BE DESIGNED/ INSTALLED SO THAT NO MEMBER, ATTACHMENT OR OPENING LOCATED BETWEEN 100mm (4") and 900MM (2'-11") ABOVE THE FLOOR OF THE BALCONY, PORCH OR DECK WILL FACILITATE CLIMBING.

OPENINGS THROUGH ANY GUARD SHALL BE OF SIZE WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF NOT MORE THAN 100 mm (4")

O.B.C. 4.1.10.1. THE MINIMUM SPECIFIED LOAD APPLIED HORIZONTALLY AND NORMAL TO THE SPAN AT THE TOP OF EVERY REQUIRED GUARD SHALL BE:

A) 40 lb/ft. FOR EXTERIOR BALCONIES OF INDIVIDUAL RESIDENTIAL UNITS AND A CONCENTRATED LOAD OF 200 lb APPLIED CONCURRENTLY.

B) 100 lb/ft. FOR EXITS AND STAIRS.

C) 150 lb/ft. FOR LOCATIONS OTHER THAN DESCRIBED ABOVE

INDIVIDUAL ELEMENTS WITHIN THE GUARD, INCLUDING SOLID PANELS AND PICKETS, SHALL BE DESIGNED FOR 20 PSI, OR 100 lb OF CONCENTRATED LOAD AT ANY POINT IN THE ELEMENT, WHICH RESULTS IN THE MORE CRITICAL LOADING CONDITION.

THE MINIMUM SPECIFIED LOAD APPLIED VERTICALLY AT THE TOP OF EVERY REQUIRED GUARD SHALL BE 100 lb/ft AND NEED NOT BE CONSIDERED TO ACT SIMULTANEOUSLY WITH THE HORIZONTAL LOAD.

2- ALL STRUCTURAL STEEL TO CONFORM TO CON S 16.1 LATEST ADDITION 3- MIN. STRENGTH OF CONCRETE 325 MPA. 4- FINISH TO STRUCTURAL STEEL - EACH SUCH WINDOW SHALL PROVIDE INDIVIDUAL UNOBSTRUCTED OPEN PORTION HAVING A MIN. AREA OF 0.35 sq.m (3.8 sq.ft) WITH NO DIMENSION LESS THAN 380mm (15")

3- NO WORK SHALL ENCROACH ONTO ADJOINING OR ADJACENT PROPERTIES.

4- SMOKE ALARMS SHALL BE INSTALLED ON EACH STOREY OF A DWELLING UNIT,INCLUDING BASEMENT O.B.C. 9.10.18.2 (1) (A) (B) AND (C).

5- CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED ADJACENT TO BEDROOM AREAS.

6- CARBON MONOXIDE DETECTORS: IN EACH ROOM THAT CONTAINS A FUEL BURNING APPLIANCE PROVIDE A CARBON MONOXIDE DETECTOR ON OR NEAR THE CEILING EQUIPPED WITH AN ALARM AUDIBLE THROUGHOUT DWELLING UNIT OR INTERCONNECT WITH SMOKE ALARM SO THAT WHEN THE ACTIVATE THE SMOKE ALARM AS PER O.B.C. 9.33.4.1.(1) AND AS PER O.B.C. 9.33.4.2.(1) (2) AND (4).

5- EXCAVATION NOTES: EXCAVATION AND /OR CONSTRUCTION ON ADJACENT PROPERTIES REQUIRES THE CONSENT OF AFFECTED PROPERTY OWNER(S).

7- EVERY EXCAVATION SHALL BE UNDERTAKEN IN A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.

8- MIN. SOIL BEARING CAPACITY 75 KPA. SOIL IS NOT PEAT. FILL OR SENSITIVE CLAY. THE DISTANCE BETWEEN THE BOTTOM OF FOOTINGS AND THE WATER TABLE IS EQUAL TO OR GREATER THAN THE WIDTH OF THE FOOTINGS.

9- WHERE THE DEPTH OF EXCAVATION EXCEEDS 4 FEET EXCAVATE AT 45 DEGREE ANGLE OR IN ACCORDANCE WITH APPROVED SHORING DRAWINGS AND DETAILS. STRUCTURE IS NOT LOCATED ON GROUNDS HAVING SLOPE STEEPER THAN 1 VERTICAL TO 2 HORIZONTAL.

10- SURFACE DRAINAGE SHALL NOT BE DISCHARGED DIRECTLY OR INDIRECTLY ONTO A SIDE WALK, DRIVEWAY, STAIRWELL OR AN ADJOINING PROPERTY.



Contractor Must Check And Verify the existing Site conditions including All Dimensions and report any Discrepancies to Consultants before proceeding with any Work at the Job Site Do Not Scale The Drawings. All Drawings, Specifications And Related Documents Are The Copyright Of The Architect. And/Or Designer And Must Be Returned Upon Request.Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission. This Drawing Is Not To Be Used For Construction Until Signed By The Architect and/or Designer.

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Drawing Title GENERAL NOTES Project RESIDENTIAL - 4 UNITS

72 HOLMES AVE, HAMILTON ONTARIO

Drawn by I.S. Checked by M.M. Scale AS SHOWN Project No. 2215-689 Sheet No. 14 OF 14

Plot Date SEPT 15, 2023 Revised DEC 26, 2023. Drawing No. A-14



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**Planning Brief**

**72 Holmes Avenue, City of Hamilton  
Lots 74 Registered Plan 516  
Minor Variance**

The application before the Committee of Adjustments are for relief of certain provisions of the City of Hamilton's Zoning Bylaw 6593, as amended, to facilitate the development of a detached residential dwelling with 3 Secondary Units in accordance to the City's Official Plan, applicable Provincial interests and Federal interests. To facilitate this development, there will be four variances to the Former City Hamilton's Zoning Bylaw 6593:

**V1. Encroachment into Yards**, Section 3(vi)(c)(i): An open fire escape or open stairway may project (8544/59)

(i) into a required rear yard not more than 1.0 metre (3.28 feet); or (8544/59) (79-288) (80-049) 18-7

**Being proposed** is to allow the proposed rear stairs to project 2.6m into the required rear yard.

**V2. Minimum Required Parking** [as per section 18A Table 1 of Former Hamilton Zoning By-law 6593]

Single Detached Dwelling: 2 parking spaces for each Class A dwelling unit, for the first 8 habitable rooms in the dwelling unit plus 0.5 parking spaces for each additional habitable room

**Being proposed** is 1 parking space + 1 visitor bicycle Parking + 3 Occupant bicycle parking

**V3. Secondary Dwelling Unit** [as per section 19 (1). 1 of Former Hamilton Zoning By-law 6593]

(i) A maximum of one Secondary Dwelling Unit shall be permitted within a Single Detached Dwelling, a Semi-Detached Dwelling, or a Street Townhouse Dwelling on a divided or undivided lot and shall not result in a change to the defined dwelling type on the lot.



**Being proposed** is a Dwelling Unit with 3 Secondary Dwelling Units

**V4. Front Yard Landscaping** [as per section 14 of Former Hamilton Zoning By-law 6593] (14) Notwithstanding any other provisions of this By-Law, for any single family dwelling, two family dwelling or three family dwelling: 18-17 (i) not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers, or other similar materials;

**Being proposed** is a Front Yard Landscaping of 36%

**Subject Property & Background:**

The subject lands {Lands} is located in the City of Hamilton {City}, in the Ainslie Wood East Neighbourhood. It is in the westerly portion of City. This is predominately a residential area with a mix of single storeys and 2 storey detached dwelling.

The Lands has a total frontage of 7.57m with a depth of 30.48m, and a total area of about 231.485m<sup>2</sup>. The Lands is known as Lot 74 of Registered Plan 516, and municipally as 72 Holmes Avenue. This is vacant parcel of land. On June 1, 2023, The Committee of Adjustments approved the application, H/MA-23.11, as follows:

1. *To permit a minimum lot width of 7.50 metres instead of the required 12.0 metres.*
2. *To permit a minimum lot area of 230.0 square metres instead of the required 360.0 square metres.*
3. *To permit a minimum side yard along the east side lot line of 0.90 metres instead of the required 1.20 metres.*
4. *To permit a minimum rear yard depth of at least of 6.0 metres instead of the required 7.5 metres.*
5. *To permit a minimum parking space encroachment into the front yard of 0.0m instead of the required 3.0m.*
6. *To permit a multiplying factor of 1.25x for the gross floor area for that portion of the dwelling that has a ceiling height greater than 4.6 metres instead of the required multiplying factor of 0.45x.*

7. *To permit a minimum parking space of 5.8 metres by 2.8 metres instead of the required 6.0 metres by 2.7 metres.*
8. *To permit the use of a parking space in the required front yard.*

**Official Plan – Urban Hamilton Official Plan (UHOP):**

The Lands are designated as Neighbourhood in the City’s Official Plan. This designation calls for “*full range of housing forms, types and tenure*” [2.7.4]. It is further designated as Low Density Residential which “*include single-detached, semi-detached, duplex, triplex, fourplex, and street townhouse dwellings*”; [3.4.3]

The OP talks to maintaining “*the existing character of established Neighbourhoods designated areas shall be maintained. Residential intensification within these areas shall enhance and be compatible with the scale and character of the existing residential neighbourhood* “. [3.2.4]

Within a Neighbourhood designation, *Secondary dwelling units shall not be included in the calculation of residential Density (OPA 143) [3.3.3]*

**Zoning Bylaw:**

The Lands are zoned ‘C’ (Urban Protected Residential, etc.) under Bylaw 80-274 subject to C/S-1335; C/S-1335A; and C/S-720, Section 2.1. of the bylaw permits two-family and three-family dwellings which were legally established at the time of the passing of the Bylaw.

Further, the bylaw restricts encroachment of the rear stairway by not more than 1.0m.

Further, the bylaw requires 2 parking spaces for each Class A dwelling unit and 1 parking space for each Secondary Dwelling Unit.

Further, the bylaw permits only one Secondary Dwelling Unit within a Single Detached Dwelling, a Semi-Detached Dwelling, or a Street Townhouse Dwelling on a divided or undivided lot and shall not result in a change to the defined dwelling type on the lot.

Further, the bylaw requires a minimum of 50% of the front yard to be soft landscaping.

**Bill 23: Restrictions for residential units:**

(3) No official plan may contain any policy that has the effect of prohibiting the use of,

(a) two residential units in a detached house, semi-detached house or rowhouse on a parcel of urban residential land, if all buildings and structures ancillary to the detached house, semi-detached house or rowhouse cumulatively contain no more than one residential unit;

(b) three residential units in a detached house, semi-detached house or rowhouse on a parcel of urban residential land, if no building or structure ancillary to the detached house, semi-detached house or rowhouse contains any residential units; or

(c) one residential unit in a building or structure ancillary to a detached house, semi-detached house or rowhouse on a parcel of urban residential land, if the detached house, semi-detached house or rowhouse contains no more than two residential units and no other building or structure ancillary to the detached house, semi-detached house or rowhouse contains any residential units.

Same, parking:

(3.1) No official plan may contain any policy that has the effect of requiring more than one parking space to be provided and maintained in connection with a residential unit referred to in subsection (3).

Same, minimum unit size:

(3.2) No official plan may contain any policy that provides for a minimum floor area of a residential unit referred to in subsection (3).

Policies of no effect:

(3.3) a policy in an official plan is of no effect to the extent that it contravenes a restriction described in subsection (3), (3.1), or (3.2).

Restrictions for residential units, Zoning Bylaw:

(1) The authority to pass a by-law under section 34 does not include the authority to pass a by-law that prohibits the use of,

(a) two residential units in a detached house, semi-detached house or rowhouse on a parcel of urban residential land, if all buildings and structures ancillary to the detached house, semi-detached house or rowhouse cumulatively contain no more than one residential unit;

(b) three residential units in a detached house, semi-detached house or rowhouse on a parcel of urban residential land, if no building or structure ancillary to the detached house, semi-detached house or rowhouse contains any residential units; or

(c) one residential unit in a building or structure ancillary to a detached house, semi-detached house or rowhouse on a parcel of urban residential land, if the detached house, semi-detached house or rowhouse contains no more than two residential units and no other building or structure ancillary to the detached house, semi-detached house or rowhouse contains any residential units.

Same, parking:

(1.1) The authority to pass a by-law under section 34 does not include the authority to pass a by-law requiring more than one parking space to be provided and maintained in connection with a residential unit referred to in subsection (1) of this section.

Same, minimum area:

(1.2) The authority to pass a by-law under section 34 does not include the authority to pass a by-law that regulates the minimum floor area of a residential unit referred to in subsection (1) of this section.

Provisions of no effect:

(1.3) *A provision of a by-law passed under section 34 or an order made under subsection 34.1 (9) or clause 47 (1) (a) is of no effect to the extent that it contravenes a restriction described in subsection (1), (1.1) or (1.2) of this section.*

**PPS 2020:**

The Provincial Policy Statements provides for policy direction on matters of provincial interest related to land use planning and development.

*1.1.1 Healthy, liveable and safe communities are sustained by:*

*a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*

*b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, ad*

*1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which:*

*a) efficiently use land and resources;*

*1.1.3.4 Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.*

In addition to the above, the recently enacted Bill 23 cites that housing is a Provincial Interest.



**Federal Government Policy:**

The Federal Government policies are to encourage the construction and development of rental housing. As part of their September 2023 announcement, GST Rental Rebate is available for rental buildings with as *at least, four private apartment units (i.e., a unit with a private kitchen, bathroom and living areas).*

**Planning Statement:**

The proposed application is to facilitate a residential intensification initiative which is in keeping with the Provincial Interest, as provided in Bill 23, and the Federal interest in providing more rental units. This development meets all their criteria.

In regards to the Variances:

- V1. Encroachment into Yards, Section 3(vi)(c)(i): An open fire escape or open stairway may project (8544/59)  
(i) into a required rear yard not more than 1.0 metre (3.28 feet); or (8544/59) (79-288) (80-049) 18-7

Being proposed is to allow the proposed rear stairs to project 2.6m into the required rear yard. This is due to the grading and the provision of providing a rear access for the 1<sup>st</sup> Floor Secondary Unit.

- V2. Minimum Required Parking [as per section 18A Table 1 of Former Hamilton Zoning By-law 6593]. Single Detached Dwelling: 2 parking spaces for each Class A dwelling unit, for the first 8 habitable rooms in the dwelling unit plus 0.5 parking spaces for each additional habitable room

Being proposed is 1 parking space + 1 visitor bicycle Parking + 3 Occupant bicycle parking. The dwelling is located among many amenities. It is within walking distance to the stores and shops along Main Street West, a City of Hamilton bus stop at the corner of Whitney Avenue and Leland Street; and the McMaster Children's Hospital and the McMaster University.

To discourage automobile usage and to encourage the other forms of transportation such as public transit and cycling, 1 parking space is being provided with 4 bicycle parking space with one being for visitor. This is to provide housing which does not increase the carbon footprint.

V3. Secondary Dwelling Unit [as per section 19 (1). 1 of Former Hamilton Zoning By-law 6593]

(i) A maximum of one Secondary Dwelling Unit shall be permitted within a Single Detached Dwelling, a Semi-Detached Dwelling, or a Street Townhouse Dwelling on a divided or undivided lot and shall not result in a change to the defined dwelling type on the lot.

Being proposed is a Dwelling Unit with 3 Secondary Dwelling Units. As per the Provincial Policies and the Federal interest, the creation is more rental units are being encouraged. This development achieves those objects, within a built form and façade that is in keeping adjacent dwellings.

V4. Front Yard Landscaping [as per section 14 of Former Hamilton Zoning By-law 6593]  
(14) Notwithstanding any other provisions of this By-Law, for any single family dwelling, two family dwelling or three family dwelling: 18-17 (i) not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers, or other similar materials;

Being proposed is a Front Yard Landscaping of 36%. Due to the minimum width of a driveway and provision of walkways, the Front Yard Landscaping is reduced to 36%. With this, there is still adequate opportunity to provide front yard landscaping.

Four Test of a Minor Variance:

**Test 1:** Is the application minor in nature

**Response:** The proposed building will have a built form that is in keeping with the surrounding area, which facilitating a residential development within a residential area.

**Test 2:** Is it desirable for the development or use of the land, building or structure

**Response:** The Provincial Policy Statement encourages residential intensification. The Provincial Government's Bill 23 allows for a residential dwelling with 2 secondary units and prohibits Zoning Bylaws which only allows for single detached dwellings and the requirement of additional parking spaces for those units.

The Federal government, in their September 2023 announcement of GST Rental Rebate, encourages purposely built forms of 4 units.

This application facilitates the residential development of a purposely built, 4 residential rental units which is in keeping with the Provincial interests and the Federal initiatives.

**Test 3:** Is it in keeping with the general intent and purpose of the zoning bylaw

**Response:** The Zoning Bylaw allows for residential development. Bill 23 allows for the detached dwellings to have two secondary units. The Federal GST rebate is for a minimum of 4 residential units.

**Test 4:** Is it in keeping with the general intent and purpose of the Official Plan

**Response:** The City's Official Plan allows for a 4-Plex. It should also be noted that the OP does not include Secondary Units as part of the residential calculations.

**Conclusion:**

In conclusion, this application is an infill residential intensification which provides for the needed, purposely built residential rental units in an urban growth area.

Further, it is design in a 'house' form which is compatible with the buildings in the surrounding area.

Further, it encourages other methods of transportation such as public transit, bicycling, and walking, instead of the automobile.

Further, it is my opinion that the application meets the four test of a minor variance. As such, this application warrants the consideration of the Committee. I shall attend the hearing and will be available to answer any questions or clarifications on this application.

Thank you.

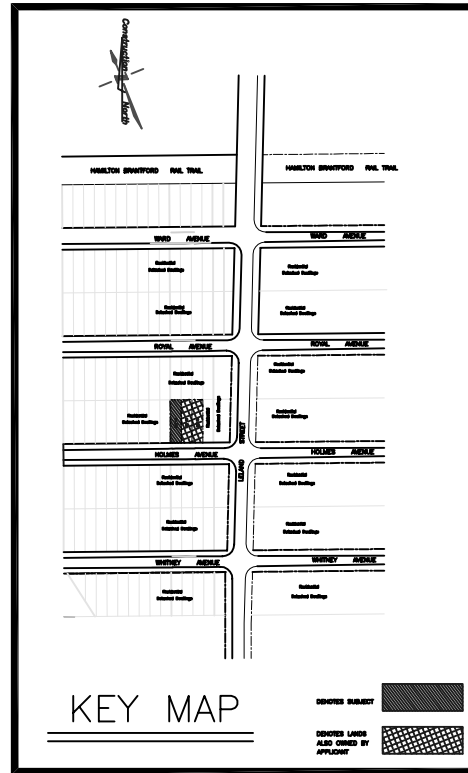
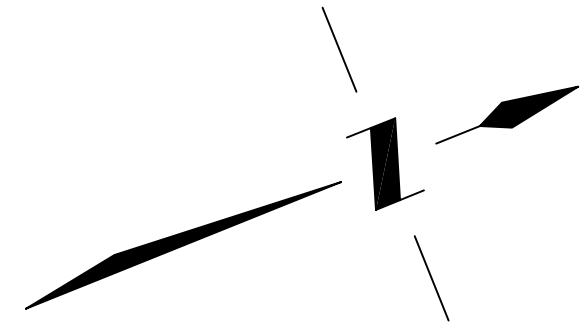
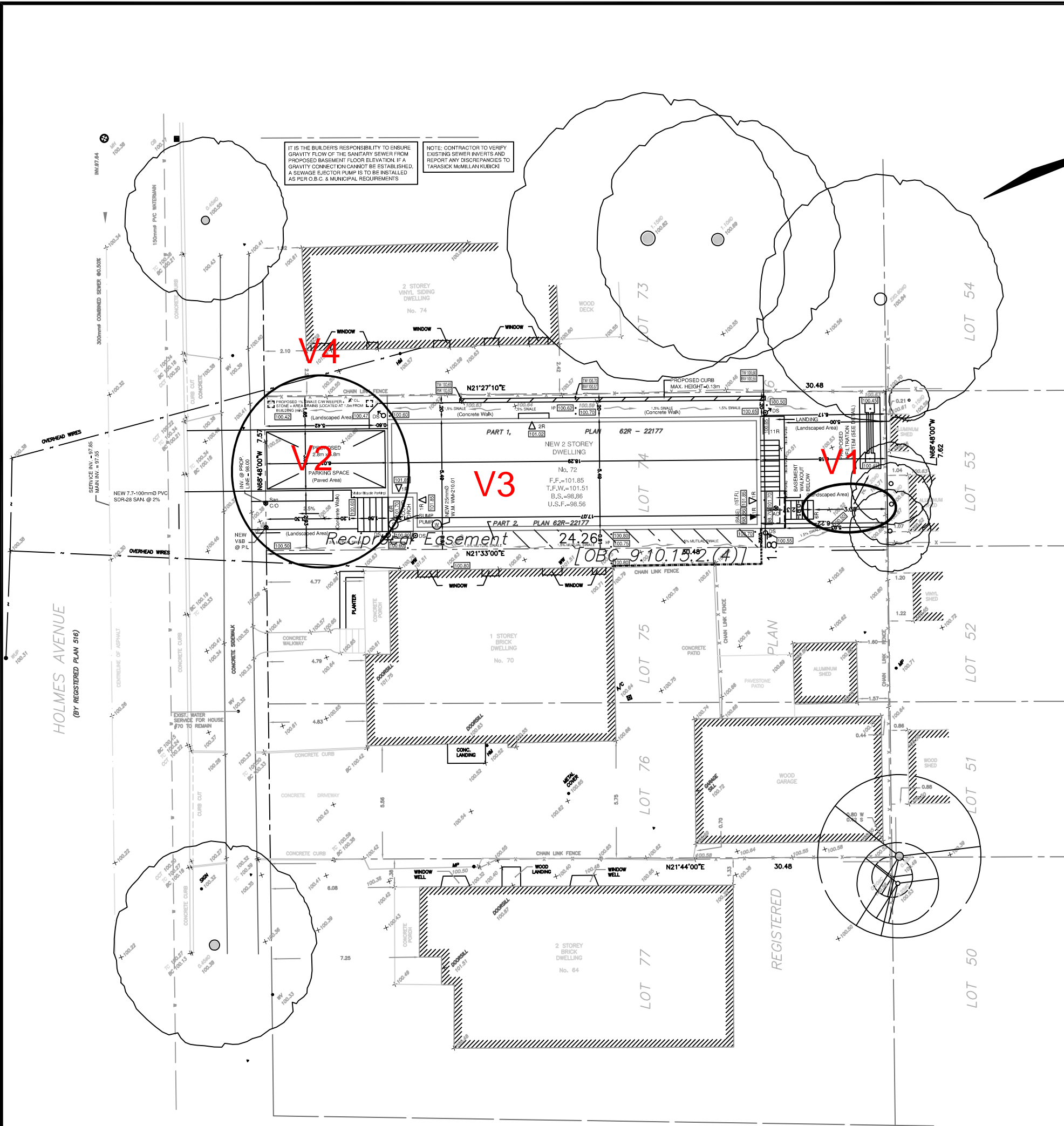
Yours Truly,



---

Peter K. Chee, R.P.P., M.C.I.P.

Attachment 1. Reduced Site Plan with the location of the variances noted  
Attachment 2. City of Hamilton Bus Route



**PROJECT :**  
 72 Holmes Avenue,  
 Hamilton, Ontario  
 Lots 74  
 Registered Plan 516

**Zoning Bylaw Review  
 Application**

NEW CONSTRUCTION  
 ADDITION  
 INTERIOR ALTERATION

- 1- ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY OF MI-KO URBAN CONSULTING INC. AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE DESIGNER'S CONSENT IN WRITING.
- 2- THE DRAWINGS AND SPECIFICATIONS APPLY ONLY TO THIS PROJECT AND SHALL NOT BE USED ON OTHER PROJECTS WITHOUT THE DESIGNER'S CONSENT IN WRITING.
- 3- ALL WORK SHALL MEET THE REQUIREMENTS OF THE LATEST GOVERNING BUILDING CODE, MUNICIPAL ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- 4- THIS DRAWING IS NOT TRANSFERABLE AND SHALL NOT FORM A PART OF ANY AGREEMENTS WITHOUT THE DESIGNER'S CONSENT IN WRITING.
- 5- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND WITH ALL SUPPLIERS AND REPORT ANY DISCREPANCIES OR LACK OF TO THE ARCHITECT BEFORE COMMENCING OF ANY WORK.
- 6- DO NOT SCALE DRAWINGS.
- 7- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONTACT DESIGNER FOR SITE REVIEW SCHEDULE.
- 8- CONSTRUCTION SHALL BE EXECUTED AS PER DRAWINGS, NO ADDITIONS OR REVISIONS WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.
- 9- THIS DRAWING SHALL NOT TO BE USED FOR CONSTRUCTION WITHOUT "CONSTRUCTION SET" STAMPED, & INITIALED BY THE DESIGNER.

*Front Yard Landscaping:*  
 Total Area 45.513m<sup>2</sup>

<i>Hard Surfaces m<sup>2</sup></i>	
Driveway	18.699
Concrete Stairs:	2.515
West SW	6.703
East SW	1.226
SubTotal	28.935
<i>Total Landscaped Area: 16.578m<sup>2</sup> (36.4%)rt</i>	

No.	DATE	DESCRIPTION	BY
2.	Jan.24	C. of A. Appl.	pc
1.	Dec. 23	Zoning Compl. Appl.	pc1.

REVISIONS

No.	DATE	DESCRIPTION	BY

**OWNER:**  
 Paul & Susan Seguro  
 2470 Sharon Crescent,  
 Mississauga, Ontario  
 L5C 1Y8

*Lot Area*

LOT 74:  
 Frt - 7.57m Area: 231.485

*Lot Frontage:*  
 7.57m

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements and is in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
 Required unless design is exempt under 2.27.51 of the Building Code.  
 Person Drawn: *Mi-Ko* 4295  
 Date: *05/2023* 308

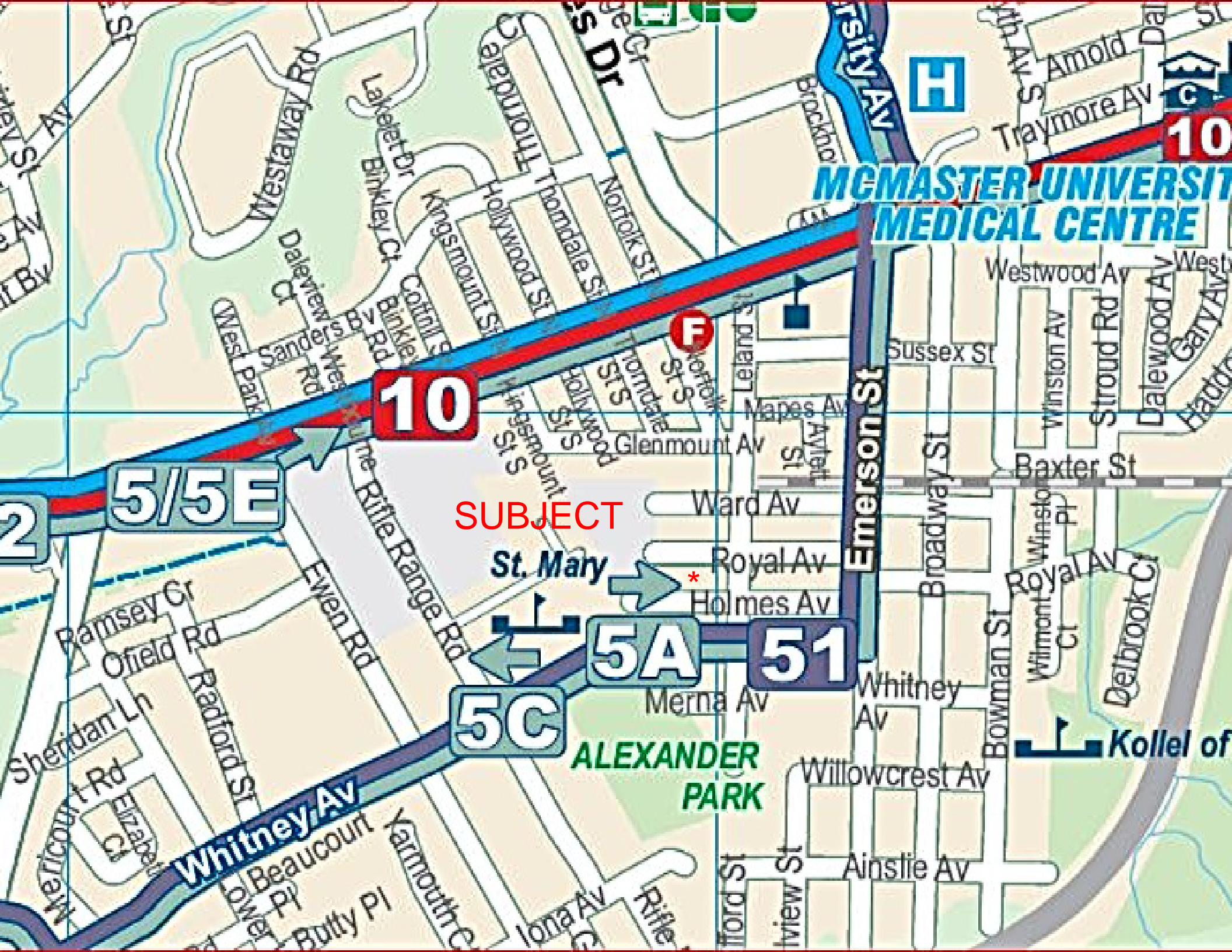
REGISTRATION INFORMATION  
 Required unless design is exempt under 2.27.43 of the Building Code.  
 Mi-Ko Urban Consulting Inc. 42100  
 P.E. 800

DRAWING TITLE:  
**SITE LAYOUT PLAN**

**Mi-Ko Urban Consulting Inc.**  
 Professional Planning Consultants

16 HIGH STREET  
 TORONTO, ONTARIO  
 M5Y 3N8  
 PH: 416-230-8605 EMAIL: miourbaninc@gmail.com

DRAWN PKC	CHECKED	SCALE 1:200	SHEET No. SP-1A
DATE Dec. 05, 2023	PROJECT No. HAM-3s		



**MCMASTER UNIVERSITY  
MEDICAL CENTRE**

**10**

**5/5E**

**SUBJECT**

**St. Mary**

**5A**

**51**

**5C**

**ALEXANDER  
PARK**

**Whitney Av**

**Emerson St**

**Kolliel of**



Hamilton

Committee of Adjustment

City Hall, 5<sup>th</sup> Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME		
Registered Owners(s)	Paul and Susan Seguro		
Applicant(s)	Peter Chee, MiKo Urban Consulting Inc.		
Agent or Solicitor			
			E-mail:

1.2 All correspondence should be sent to  Owner  Applicant  Agent/Solicitor

1.2 All correspondence should be sent to  Purchaser  Owner  Applicant  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Owner  Applicant  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No  
If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email  Yes\*  No  
If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:



Municipal Address	72 Holmes Avenue		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number	516	Lot(s)	74
Reference Plan Number (s)	62R-22177	Part(s)	Part 1 & 2

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

A Easement with Lot 75 for the purpose of Section 9.10.14.2(4) of the OBC (Limit. Dist.)

### 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

(See Planning Brief, Attached)

Second Dwelling Unit  Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

(See Planning Brief, Attached)

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
7.57	30.48	231.485	15.24



4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Vacant Lands				
see C. of A., H/MA-23:111	6.0M	6.0M	1.20M & 0.90M	Spring 2024
Detached Dwelling with 1 Primary				
Unit and 2 Secondary Units				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Detached Dwelling with 1 Primary	6.0M	6.0M	1.21M & 0.90M	Spring 2024
Unit and 3 Secondary Units				

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Vacant Lands				
see C. of A., H/MA-23:111				
Detached Dwelling with 1 Primary	98.5m2	285.73m2	2	9.0
Dwelling and 2 Secondary Units				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Detached Dwelling with 1 Primary	98.5m2	285.73m2	2	9.0
Dwelling and 3 Secondary Units				

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)
- 

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)
- 

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
  - privately owned and operated individual septic system
  - other means (specify)
- 

- 4.7 Type of access: (check appropriate box)
- provincial highway
  - municipal road, seasonally maintained
  - municipal road, maintained all year
- right of way
  - other public road
- 

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
 Detached Dwelling with 3 Secondary Units

---

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
 Detached Dwellings

---

**7 HISTORY OF THE SUBJECT LAND**

7.1 Date of acquisition of subject lands:  
 Dec. 29, 2022

---

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
 Vacant Lands

---

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
 Vacant Lands - see C. of A., H/MA-23:111

---

7.4 Length of time the existing uses of the subject property have continued:  
 Since 1912

---

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Neighbourhood- See Brief Attached

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? C (Urban Protected Residential, etc.) BL 80-274, Sub. C/S-1335; S/S-1335A & C/S-720

---

7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number:

C. of A., H/MA-23:111

---

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes  No

If yes, please provide the file number:

---

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes  No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: C. of A., H/MA-23:111- approved for 3 Units

8.2 Number of Dwelling Units Proposed: 4

8.3 Additional Information (please include separate sheet if needed):

(See Planning Brief)

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
- \_\_\_\_\_
- \_\_\_\_\_