# Hamilton

#### **COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

# NOTICE OF PUBLIC HEARING Minor Variance

#### You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- · Person likely to be interested in this application

APPLICATION	HM/A-24:19	SUBJECT	394 UPPER SHERMAN AVENUE,
NO.:		PROPERTY:	HAMILTON
ZONE:	"R1" (Low Density Residential)	ZONING BY-	Zoning By-law City of Hamilton 05-
		LAW:	200, as Amended

**APPLICANTS:** Owner: STEPHEN SANKAR and KIRA LEE

The following variances are requested:

- 1. A porch shall be permitted to encroach a maximum of 3.2 metres into the required front yard instead of the permitted maximum of 1.5 metres into the required front yard.
- 2. A minimum 44% landscape area in the front yard shall be permitted instead of the require minimum 50% landscaped area in the front yard.

**PURPOSE & EFFECT:** To facilitate the construction of a rear yard addition and new front porch to an

existing single detached dwelling.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, February 27, 2024
TIME:	3:00 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at
	www.hamilton.ca/committeeofadjustment

#### HM/A-24:19

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

#### **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than February 23, 2024

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than February 26, 2024

#### **FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-24:19, you must submit a written request to <a href="mailton.ca">cofa@hamilton.ca</a> or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing <a href="mailton.ca">cofa@hamilton.ca</a> or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

#### HM/A-24:19



DATED: February 8, 2024

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



#### COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5 Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

#### **PARTICIPATION PROCEDURES**

#### **Written Submissions**

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing <a href="mailton.ca">cofa@hamilton.ca</a> or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Comments must be received by noon on the date listed on the Notice of Public Hearing.

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

#### **Oral Submissions**

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing to** participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email <a href="mailton.ca">cofa@hamilton.ca</a>. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

#### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

# NEW REAR ADDITION TO EXISTING 1 STOREY DETACHED DWELLING

# 394 UPPER SHERMAN AVE HAMILTON, ON L8V 3L2



**LOCATION MAP** 

#### **DRAWING LIST:**

A0.01 COVER & SITE STATISTICS

A0.02 GENERAL NOTES & SPECIFICATIONS

A0.03 WALL, FLOOR & ROOF ASSEMBLIES

A0.04 SITE PLAN

A0.05 LANDSCAPE AREA CALCULATION

A1.01 CRAWL SPACE (FOUNDATION) PLAN

A1.02 GROUND FLOOR PLAN

A1.03 ROOF PLAN

A1.04 REFLECTED CEILING (ELECTRICAL) PLAN

A2.01 FRONT (EAST) ELEVATION

A2.02 REAR (WEST) ELEVATION

A2.03 SIDE (SOUTH) ELEVATION

A2.04 SIDE (NORTH) ELEVATION

A4.01 LONGITUDINAL SECTION

A4.02 CROSS SECTION

A5.01 DEMOLITION DRAWINGS

PROJECT DATA:	
PROPERTY ADDRESS	394 Upper Sherman Ave, Hamilton, ON L8V 3L2
AUTHORITY HAVING JURISDICTION	City of Hamilton
PROJECT DESCRIPTION	New 1 Storey rear addition to an existing 1 Storey single family dwelling. New framed wood porch.
MAJOR OCCUPANCY	Part 9, Group C, Residential

#### SITE STATISTICS:

ZONING BY-LAW #:	05-200 & 22-197
ZONING:	R1 - LOW DENSITY RESIDENTIAL
TOTAL SITE AREA:	3,388 sf [314.7 m2]
FLOOR AREAS  EXISTING HOUSE TO REMAIN:  EXISTING HOUSE TO BE DEMOLISHED:  EXISTING HOUSE TOTAL AREA:	635 sf [59.0 m2] 108 sf [10.0 m2] 743 sf [69.0 m2]
EXISTING HOUSE TO REMAIN:  NEW REAR ADDITION:  PROPOSED HOUSE TOTAL AREA:	635 sf [59.0 m2] 476 sf [44.2 m2] 1,111 sf [103.2 m2]
NEW FRONT PORCH:	127 sf [11.8 m2]
REQUIRED FRONT YARD SETBACK: EXISTING FRONT YARD: PROPOSED FRONT YARD: REQUIRED SIDE YARD SETBACK: EXISTING (N) SIDE YARD: PROPOSED (N) SIDE YARD: PROPOSED (S) SIDE YARD:	19'-8" [6.0 m] 15'-9" [4.80 m] 12'-1/2" [3.67 m] 3'-11" [1.20 m] 2'-8" [0.82 m] NO CHANGE 8'-4" [2.54 m] 4'-7" [1.39 m]
REQUIRED REAR YARD SETBACK: EXISTING REAR YARD: PROPOSED REAR YARD:	24'-7 1/2"[ 7.50 m] 35'-3" [10.75 m] 28'-4 1/2"[ 8.65 m]
MAX. BUILDING HEIGHT: EXISTING HEIGHT: PROPOSED HEIGHT:	34'-5 1/2" [10.5 m] 17'-7" [5.35 m] 17'-10" [5.43 m]
REQUIRED FRONT LANDSCAPE AREA: TOTAL FRONT YARD AREA: F.Y. SOFT LANDSCAPE AREA:	50% MIN 600 sf [55.8 m2] 264 sf [24.5 m2] 44%
REQUIRED PARKING SPACE: PROPOSED PARKING:	1 SPACE 9'-2" [2.8m] x 19'-1/2" [5.8m] 1 SPACE 9'-2" [2.8m] x 19'-1/2" [5.8m]



EXISTING FLOOR PLANS, ELEVATIONS AND DATA TAKEN FROM ARCHITECTURAL DRAFTING SERVICES COMPANY DONE BY UNIQ DIMENSIONS
4310 SHERWOODTOWNE BLVD #100
MISSISSAUGA, ON L4Z 4C4
TEL: (289) 997-8647
DATED 02/05/2022

# CARICARI LEE ARCHITECTS

113 Miranda Avenue Toronto, ON M6B 3W8 t/ 416 962 9670 f/ 416 962 9671 e/ info@caricarilee.com



SANKAR/LEE RESIDENCE	
394 Upper Sherman Ave, Hamilton, ON	L8V 3L

DRAWING TITLE:

COVER & SITE STATISTICS

DATE	No.	ISSUE
20 DEC 2022	1	SCHEMATIC DESIGN
8 JAN 2023	2	ISSUED FOR ZONING REVIEW
29 MAR 2023	3	ISSUED FOR COORDINATION
18 AUG 2023	4	ISSUED FOR PERMIT
2 SEP 2023	5	RE-ISSUED FOR PERMIT
18 NOV 2023	6	RE-ISSUED FOR PERMIT
23 JAN 2024	7	RE-ISSUED FOR PERMIT

NOTES

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SIT AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS ARE THE PROPERITY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED.

	SCALE:	NA	REVISION NO. :
SITE T	PROJECT NO.	: KIRA 2022	
ГЕСТ	DATE :	6 NOV 2022	DWG. NO. :
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TION	CHECKED:	DL	

#### General Notes

- Standard form of agreement "Stipulated Price Contract" Standard Construction Document CCDC 2 - 1994 will be used between Owner and Contractor
- The General Conditions of the Contract are the General Conditions of "Stipulated Price Contract" Standard Construction Document CCDC 2 - 1994
- Submit a project schedule within 5 days of Contract
- Submit samples for review by the Consultant as required
- There will be no space on site allocated for use as the Contractor's site office
- There will be no on site sanitary facilities designated for use by the work force.
- Coordinate with Consultant for acceptable locations for dumpsters.
- Repair all damage to Owner's property, adjacent property or municipal sidewalk, laneway and curb.
- All work to be performed in accordance with applicable codes and standards. The latest edition of reference Standards, Codes, and Documents will apply.

#### Structural Notes

- Refer to structural drawings for all structural designs, specifications and notes.
- Provide adequate blocking as required where appliances, cabinets, bath accessories will be attached to walls.
- Provide top and bottom plates at partitions. Double top plate if load bearing.

## Mech. Notes

- Refer to mechanical drawings
- Provide perimeter drainage for all foundations. All perimeter drainage shall be connected to municipal storm sewer systems. Refer to site engineering contract documents. Tiles shall be cont. 4" dia. PVC perforated fibre wrapped weeping tile with min. 6" crushed stone bed over and all around footings.
- All mechanical risers, vents, shall be designed by qualified and experienced mechanical engineers. All designs shall be approved by the Owner and the Architect prior to installation. Provide furring. enclosures, fire ratings and bulkheads as required. Provide heat gain/loss calculations as required.
- Gas meters shall be located on the exterior of the side of the unit. All units shall be installed according to the latest version of the Ontario Building Code (O.B.C.) and all authorities having iurisdiction
- All basements shall have at least one floor drain. All drains shall be connected to the municipal storm sewage system

- 10. The Contractor shall report all discrepancies to the Architect prior to excavation and construction
- 11. Do not scale drawings. Numeric dimensions shall govern
- 12. All materials and construction shall conform to the latest version of the Ontario Building Code (O.B.C.) and all authorities
- 13. If the work is shown in such a manner so as to make it impossible to produce first class work, or should discrepancies appear amoung the documents, the Contractor shall request written interpretation before proceeding with the work.
- The Contractor shall use 'Schluter-Ditra' underlayment membranes on all stone, ceramic and tile applications. Strictly install as per manufacturer's specifications
- 15. For all exterior brick veneer with stud walls, the Contractor shall provide weep holes @ 800 mm (30") O.C. horiz. @ bottom course only & over openings. Provide base flashing up min.150 mm (6") behind sheathing paper, min. 150 mm (6") clearance between masonry and grade.
- Where required, framer to adjust wall depth towards interior to accomodate any/all structural items shown in plans

#### Site Work

- 1. The Contractor shall adhere to the guidelines set out by Urban Forestry and the Arborist on site for all site work, including but not limited to excavation, root trimming, storage of materials, etc.
- 2. The Contractor shall provide temporary tree hoarding around tree protection zone as required by Urban Forestry for the duration of construction
- 3. The Contractor shall provide adequate temporary bracing and shoring throughout all stages of construction until completion to ensure that structures under construction can withstand against collapse or movement of any kind.
- 6. Provide exhaust fans in all bathrooms exhaust fans in kitchens, dryer vents for all laundry areas, furnace and fireplace vents, and plumbing stacks as per O.B.C. requirements.
- 7. Provide exterior freeze proof hose bibs as per plans.
- 8. Smoke alarms shall be provided as per section 9.10.18 of the Ontario Building Code

All smoke alarms shall be connected to permanent power supply and shall have battery back-up. Smoke alarms shall be provide on each floor level 9.10.18.2(1)

Where more than one smoke alarm is required on each dwelling unit, the smoke alarms shall be wired so that the sound of the alarm will cause all alarms within the dwelling unit to sound.

9. A carbon monoxide detector conforming to CAN./CGA. 6.19, shall be installed on or near the ceiling in each room in which there is installed a solid fuel-burning appliance.

Carbon monoxide detector(s) shall be wired so that its activation will activate the smoke alarm.

#### Elec. Notes

- All electrical designs (including but not limited to: lighting, interior and exterior power supply, breaker panels, door chimes, etc.) shall be provided by the electrical contractor. All designs shall be approved by the Owner and Architect prior to installation.
- Install hydro meter as per requirements of the O.B.C. and all authorities having jurisdiction.
- Individual switches shall be of residential grade Leviton Decora series.
- Receptacles shall be of residential grade Leviton Decora series. 50A range receptacle Smith & Stone #1-8450 c/w cord and cap
- Colour of light switches and receptacles shall be white.
- Colour of faceplates to match switches and

- 7. All outdoor receptacles shall be complete with weather proof ground interrupter.
- Provide all receptacles as required by Hydro Code and one per each bathroom complete with ground fault
- All dimmer switches shall be "DIVA" large paddle switch with a captive linear-slide dimmer for a standard designer wallplate opening. Dimmer feature with built-in soft-glow night light complete with on-off switch.

#### **Temporary Bracing**

The Contractor shall provide adequate temporary bracing throughout all stages of construction until completion to ensure that structures under construction can withstand potential wind and/or

Refer to Structural drawings for joist sizes and direction

of framing. Structural specifications to override architectural. All floors shall have 3/4" T&G fir ply subfloor glued & screwed adequately to floor framing

Stair Construction - Interior and exterior

Stairs

Floors and Ceilings

125-200 [4-7/8" to 7-7/8"] max. - rise (min. - max.):

Ceilings shall be of 1/2" gyp. bd. w/ 3-coat filler

and joint tape with paint finish in all areas

255-355 [10"- 14"] max. - tread (min. - max.)

- max. nosing:

- guard (stair railing): 865-1070 [2'-10" to 3'-6") max.

- guard (landing railing): 900 [3'-0"] min. - distance between pickets: 100 [4"]" (max.)

- min. headroom: 1950 [6'-5"]

#### Legend

WIN-01

Shower Control Exterior Wall Type W Washer Interior Partition Type D Drver

(F1) T Laundry Tub Floor Type S Stove R1 Roof Type FR Fridge

Interior Door Type DW Dishwasher

RAIN WATER LEADER RWI

(DOWNSPOUT) HWT

Window Type

HOT WATER TANK

### FLOOR SUPPLY GRILLES HB HOSE BIB GB BBQ GAS BIB

**GROUND FAULT** GFI GROUND FAUL: INTERRUPTER OUTLET

#### **DEMOLITION NOTES:**

- 1. SEE ALL ARCHITECTURAL DRAWINGS FOR OTHER APPLICABLE NOTES AND SPECIFICATIONS.
- 2. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE BUILDING RULES AND REGULATIONS BEFORE AND DURING THE COURSE OF THIS PROJECT. SHOULD A CONFLICT ARISE BETWEEN THE CONTRACT DOCUMENTS AND THE BUILDING RULES. THE CONTRACTOR IS TO NOTIFY THE CLIENT FIELD REPRESENTATIVE IMMEDIATELY. BUILDING RULES AND REGULATIONS SHALL GOVERN EXCEPT WHERE THEY ARE IN CONFLICT WITH APPLICABLE CODES AND ORDINANCES.
- 3. GENERAL CONTRACTOR IS TO COORDINATE ALL PHASES OF DEMOLITION FOR THIS PROJECT AND NOTIFY THE CLIENT FIELD REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF DEMOLITION.
- 4. DEMOLITION SHALL BE DONE IN NEAT WORKMANLIKE MANNER WITHIN THE LIMITS INDICATED IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
- 5 DEBRIS REMOVAL: THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS AND DISCARDED MATERIALS AND/OR EQUIPMENT AS INDICATED WITHIN THE SPACE.

(A) THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF MATERIALS FROM THE BUILDING PREMISES ON A DAILY BASIS. DO NOT MIX DEMOLITION DEBRIS WITH THAT OF BUILDING OCCUPANTS. (B) THE CONTRACTOR IS TO IMMEDIATELY CLEAN AND REMOVE ALL DEBRIS FROM ANY PUBLIC WAY AFTER DEMOLITION OPERATION AND BEFORE COMMENCEMENT OF THE NORMAL WORK DAY.

(A) ALL MAJOR DEMOLITION AND NOISE CREATING WORK SHALL BE COORDINATED WITH THE OWNER AND BUILDING DEPT. FOR ALLOWABLE HOURS OF OPERATION

7. PROTECTION:

(A) THE CONTRACTOR IS TO CONFIRM BEFORE THE START OF DEMOLITION WHICH ITEMS ARE TO BE SAVED FROM DEMOLITION. THE CLIENT TO DIRECT CONTRACTOR TO EITHER PROTECT THESE ITEMS OR REMOVE

(B) THE CONTRACTOR IS TO CONFIRM WITH THE CLIENT BEFORE THE START OF DEMOLITION WHICH ITEMS INDICATED ON THE DRAWINGS ARE DEEMED TO BE NOT REQUIRED BY THE CLIENT AND ARE TO BE REMOVED FROM THE SITE

(C) THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN (I.E. PLUMBING LINES/FIXTURES, WINDOWS, ETC.) THROUGHOUT THE COURSE OF DEMOLITION AND CONSTRUCTION. (D) THE CONTRACTOR MUST PROVIDE ALL REQUIRED PROTECTION TO ALL SURROUNDING AREAS THROUGHOUT THE COURSE OF DEMOLITION AND CONSTRUCTION. THERE IS TO BE MINIMAL DUST INFILTRATION FROM THE CONSTRUCTION AREAS AND THE PUBLIC WAY.

THE CONTRACTOR IS RESPONSIBLE TO REPAIR AND/OR REPLACE ANY DAMAGES IN THE SURROUNDING AREAS AND IN THE AREA OF WORK CAUSED BY DEMOLITION AND CONSTRUCTION PERFORMED IN THE AREA OF WORK

### Finishes & Miscellaneous

- 1. Provide shop drawings with Engineer's stamp for all steelwork. All exposed steel to have 1 coat epoxy primer and 2 coats alipathic polyurethane
- 2. WINDOWS/DOORS Provide 4" MDF trim casings and 6" baseboard trim throughout Contractor to confirm profile with owner

## CARICARI LEE ARCHITECTS 113 Miranda Avenue

Toronto, ON M6B 3W8 t/ 416 962 9670 f/ 416 962 9671 e/ info@caricarilee.com



#### PROJECT NAME

SANKAR/LEE RESIDENCE 394 Upper Sherman Ave, Hamilton, ON L8V 3L2

DRAWING TITLE :

**GENERAL NOTES & SPECIFICATIONS** 

ISSUE ISSUED FOR PERMIT 18 AUG 2023 2 RE-ISSUED FOR PERMIT 2 SEP 2023

CONTRACTOR TO VERIEY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

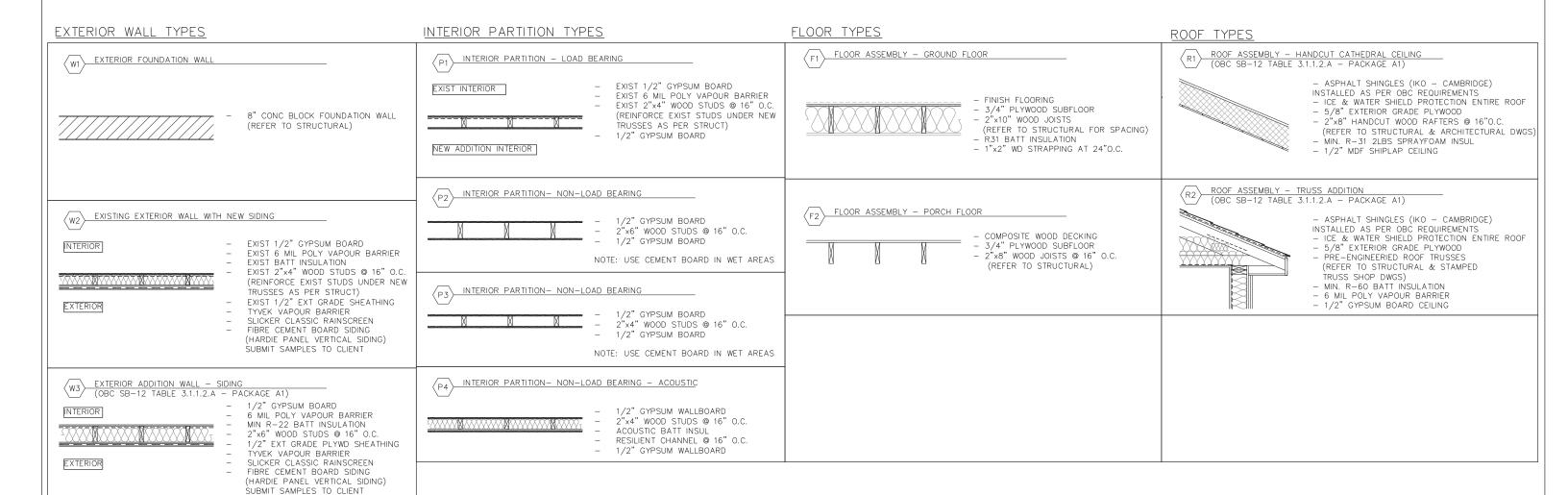
DATE: ALL DRAWINGS ARE THE PROPERITY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK DRAWN THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION

CHECKED:

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5646 5646 SCALE : 1/4"=1'-0" REVISION NO. PROJECT NO.: KIRA 2022 6 NOV 2022

DAVID R.





113 Miranda Avenue Toronto, ON M6B 3W8 t/ 416 962 9670 f/ 416 962 9671

e/ info@caricarilee.com



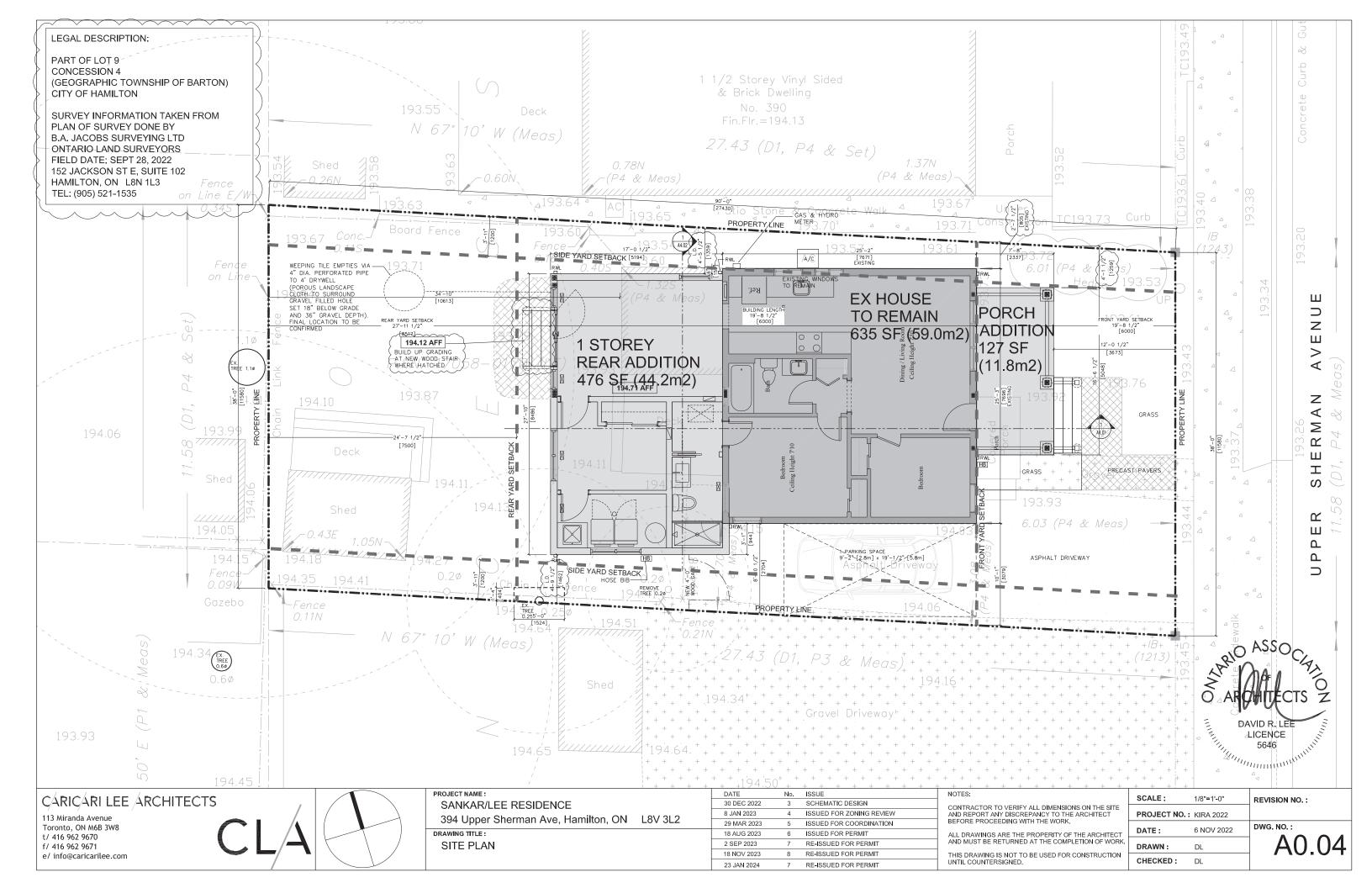
PROJECT NAME:	
SANKAR/LEE RESIDENCE	
394 Upper Sherman Ave, Hamilton, ON	L8V 3L2
DRAWING TITLE :	
WALL, FLOOR & ROOF ASSEMBLIES	

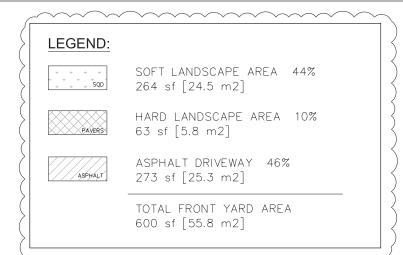
DATE	No.	ISSUE	
18 AUG 2023	1	ISSUED FOR PERMIT	
2 SEP 2023	2	RE-ISSUED FOR PERMIT	
	18 AUG 2023	18 AUG 2023 1	18 AUG 2023 1 ISSUED FOR PERMIT

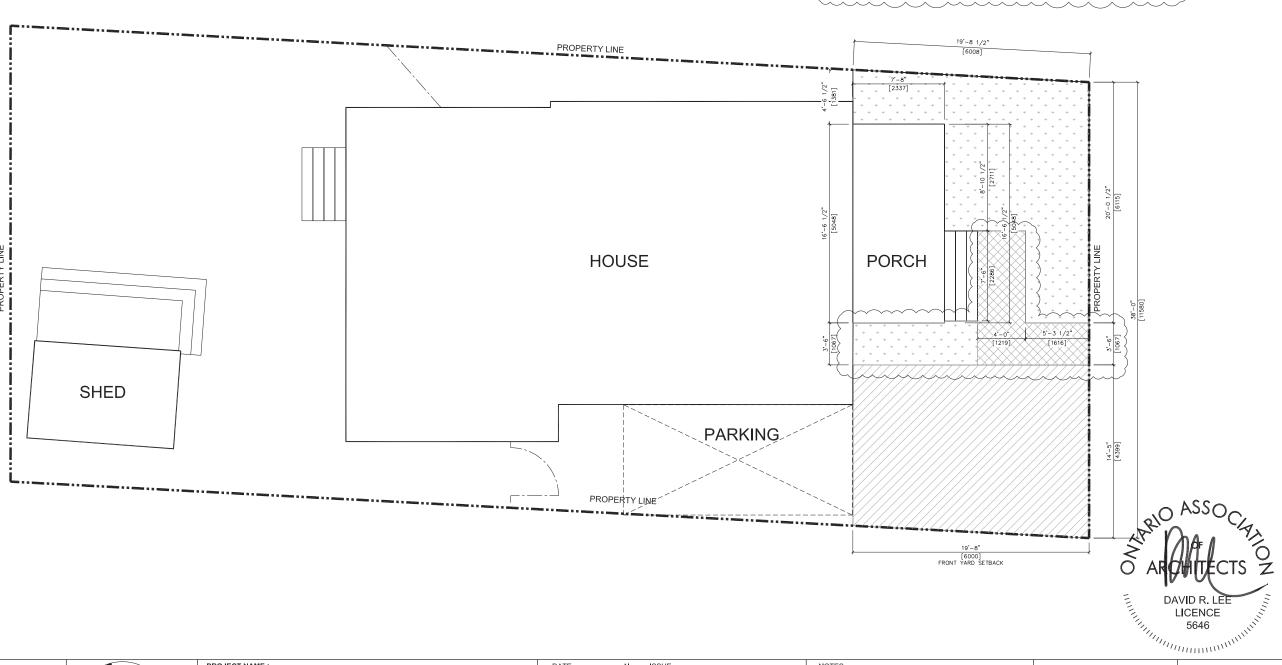
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	PROJECT NO.	: KIRA 2022	
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113 Miranda Avenue Toronto, ON M6B 3W8 t/ 416 962 9670 f/ 416 962 9671 e/ info@caricarilee.com



SANKA

SANKAR/LEE RESIDENCE 394 Upper Sherman Ave, Hamilton, ON L8V 3L2

DRAWING TITLE :

LANDSCAPE AREA CALCULATION

	DATE	No.	ISSUE
	8 JAN 2023	1	ISSUED FOR ZONING REVIEW
	29 MAR 2023	2	ISSUED FOR COORDINATION
	18 AUG 2023	3	ISSUED FOR PERMIT
Ī	2 SEP 2023	4	RE-ISSUED FOR PERMIT
	23 JAN 2024	5	RE-ISSUED FOR PERMIT

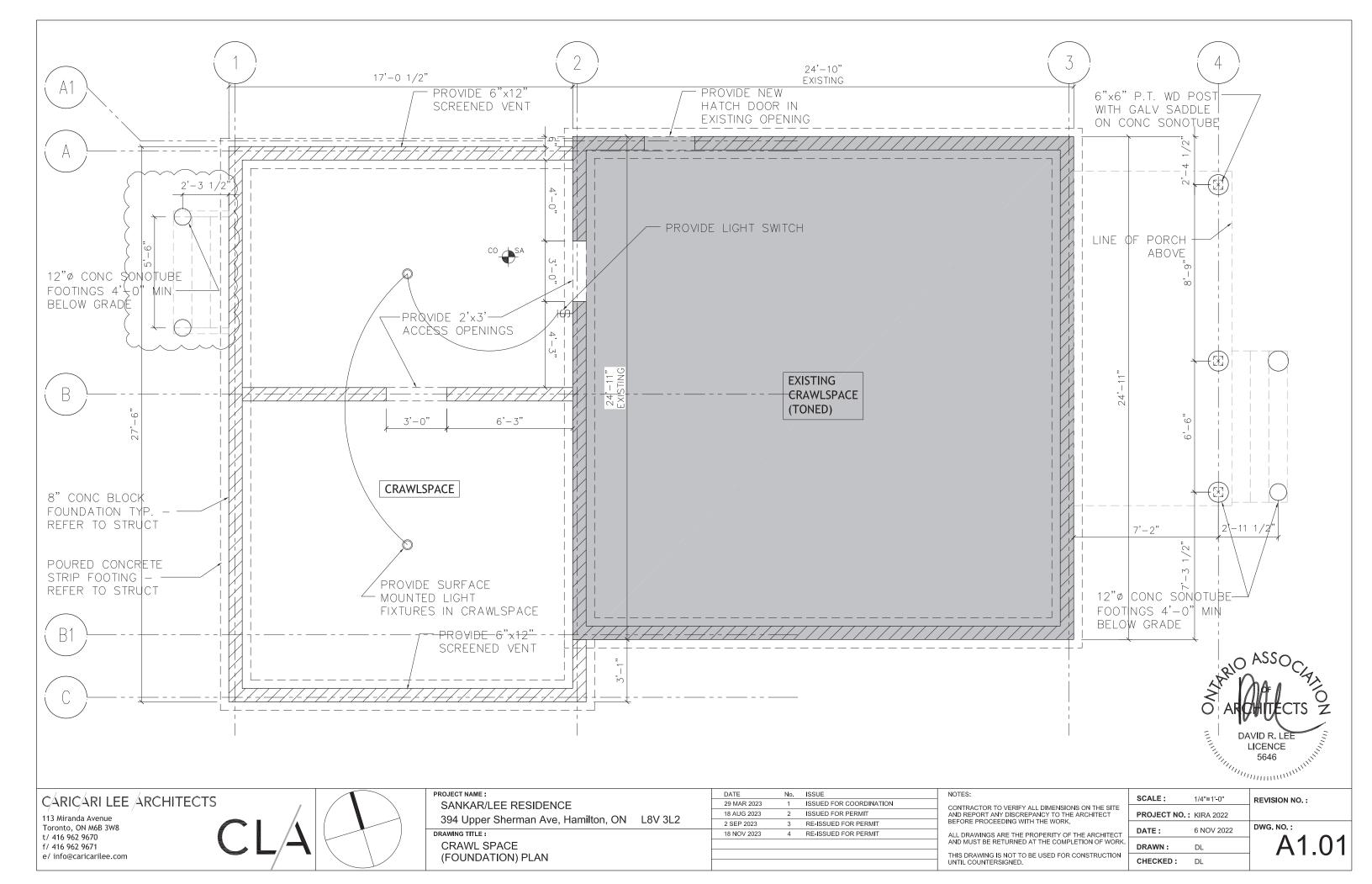
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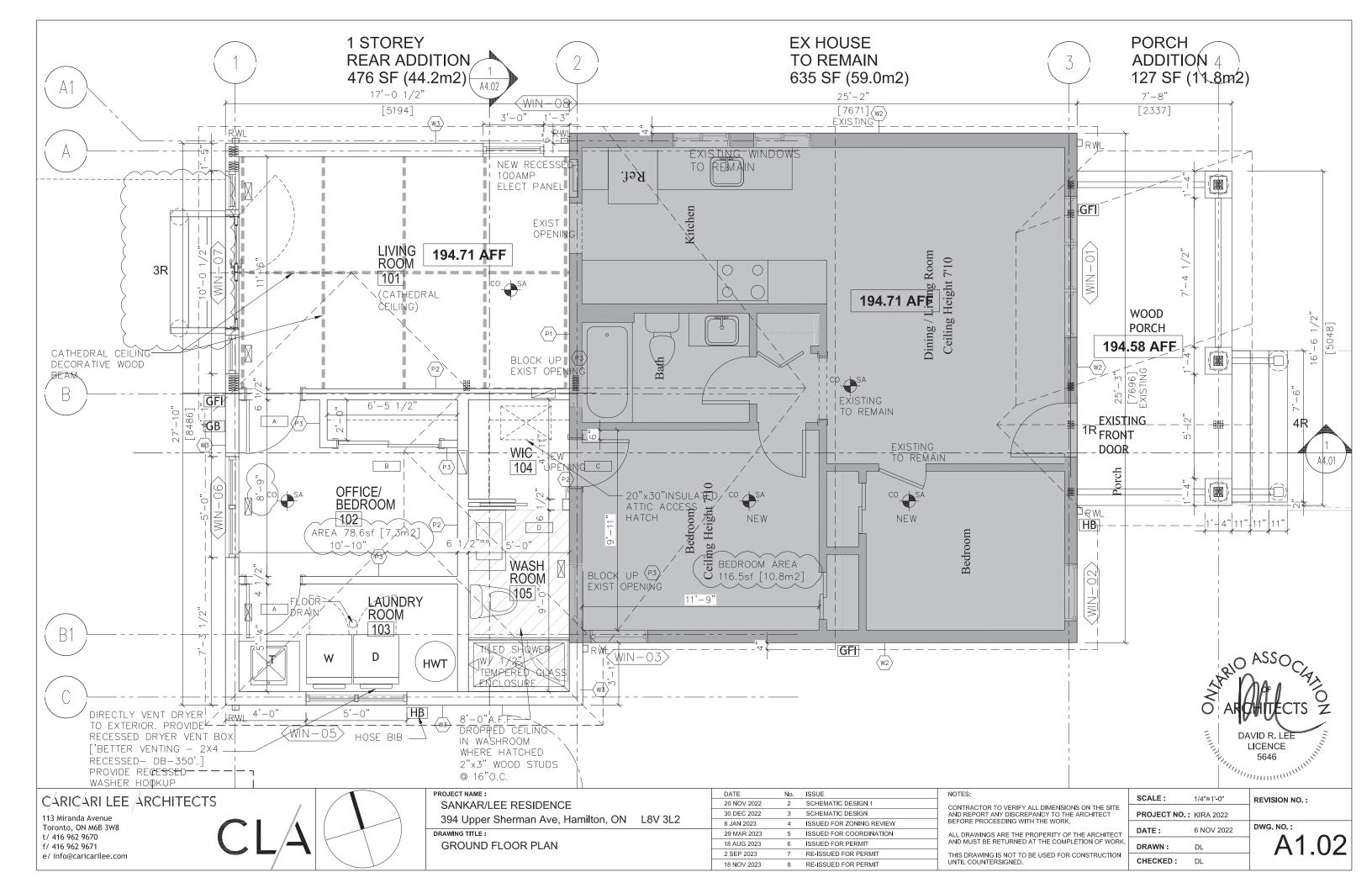
CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

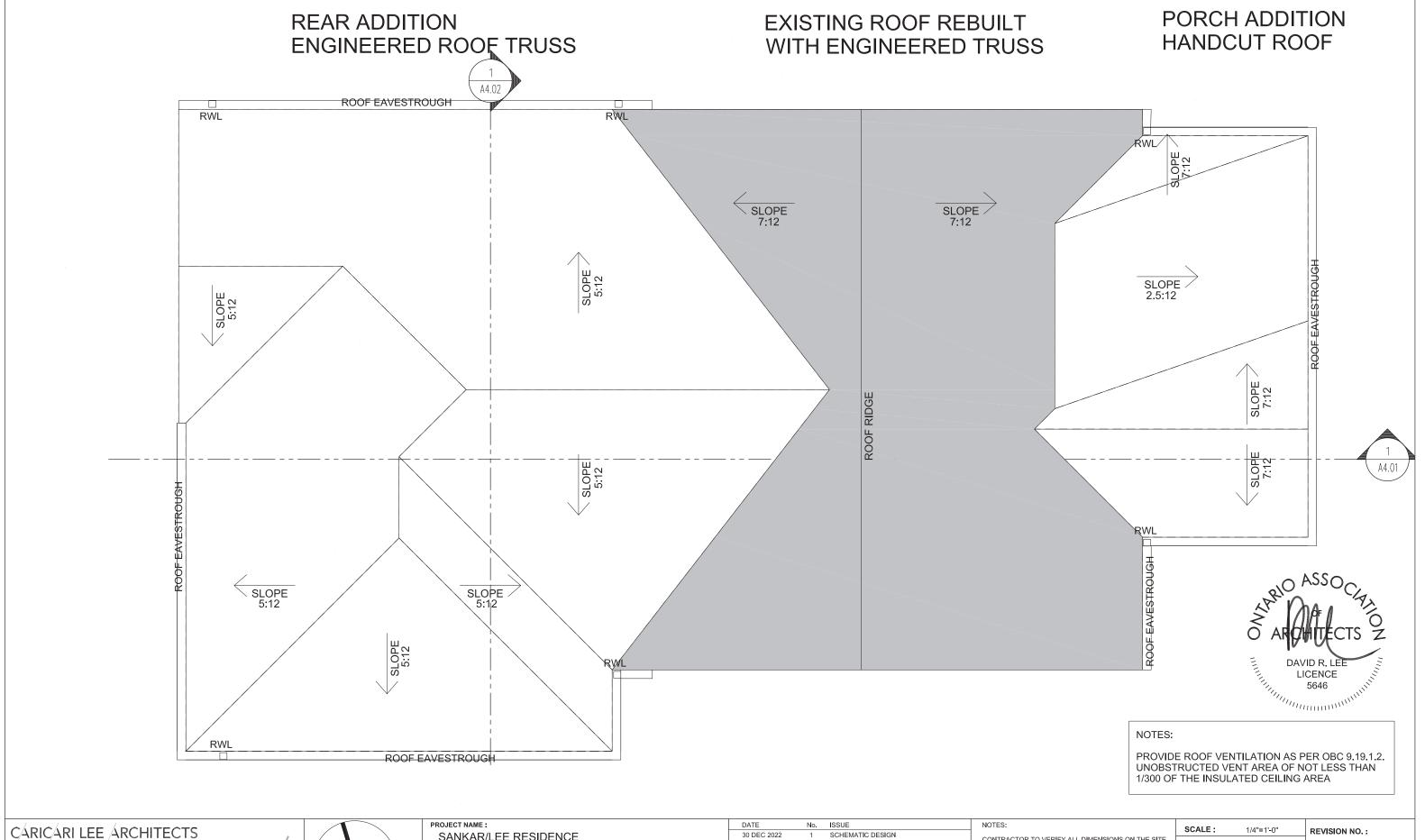
ALL DRAWINGS ARE THE PROPERITY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIONED.

	SCALE:	1/8"=1'-0"	REVISION NO. :
	PROJECT NO.	: KIRA 2022	
	DATE:	6 NOV 2022	DWG. NO. :
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113 Miranda Avenue Toronto, ON M6B 3W8 t/ 416 962 9670 f/ 416 962 9671 e/info@caricarilee.com



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SANKAR/LEE RESIDENCE	
394 Upper Sherman Ave, Hamilton, ON	L8V 3L2

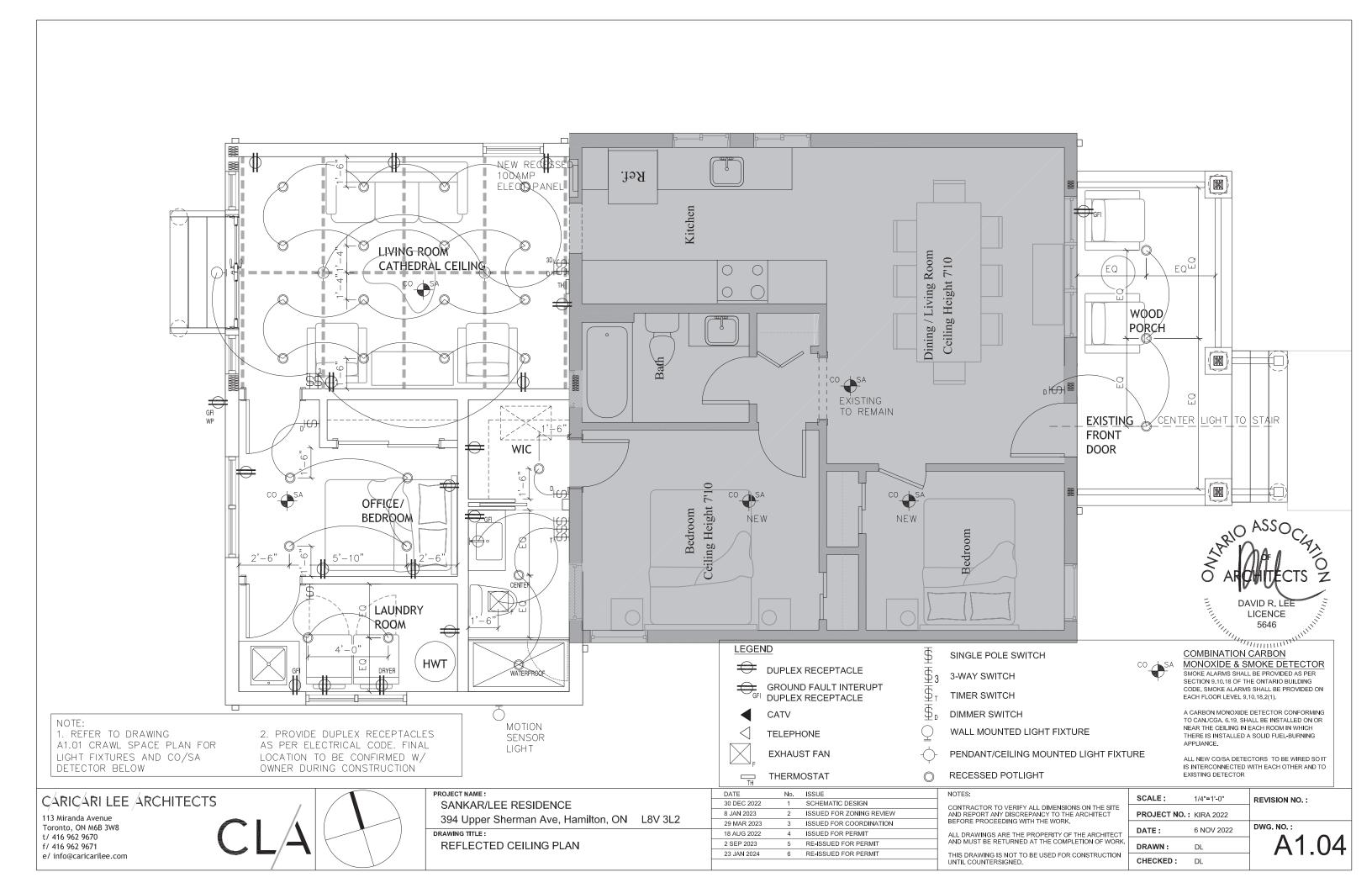
DRAWING TITLE: **ROOF PLAN** 

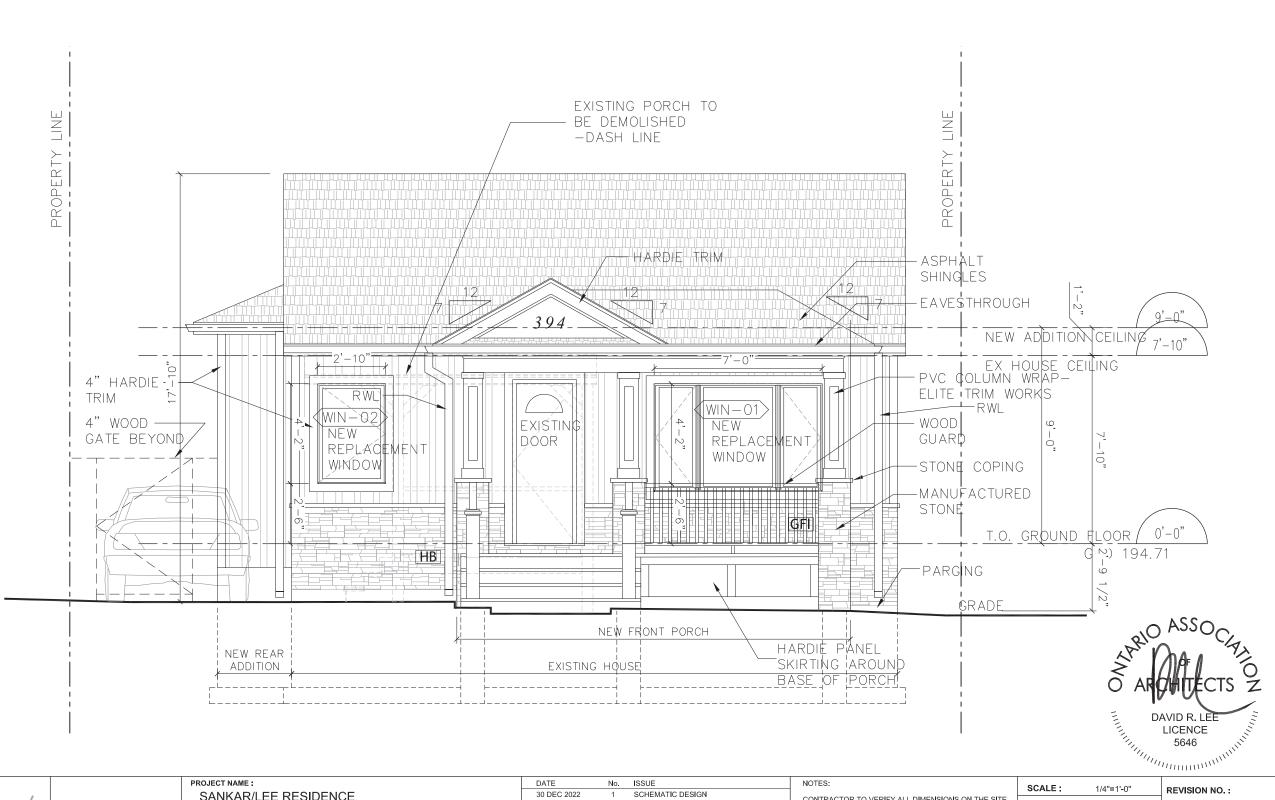
DATE	No.	ISSUE	
30 DEC 2022	1	SCHEMATIC DESIGN	٦
8 JAN 2023	2	ISSUED FOR ZONING REVIEW	٦
29 MAR 2023	3	ISSUED FOR COORDINATION	
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113 Miranda Avenue Toronto, ON M6B 3W8 t/ 416 962 9670 f/ 416 962 9671 e/ info@caricarilee.com CLA

SANKAR/LEE RESIDENCE

394 Upper Sherman Ave, Hamilton, ON L8V 3L2

FRONT (EAST) ELEVATION

 DATE
 No.
 ISSUE

 30 DEC 2022
 1
 SCHEMATIC DESIGN

 8 JAN 2023
 2
 ISSUED FOR ZONING REVIEW

 29 MAR 2023
 3
 ISSUED FOR COORDINATION

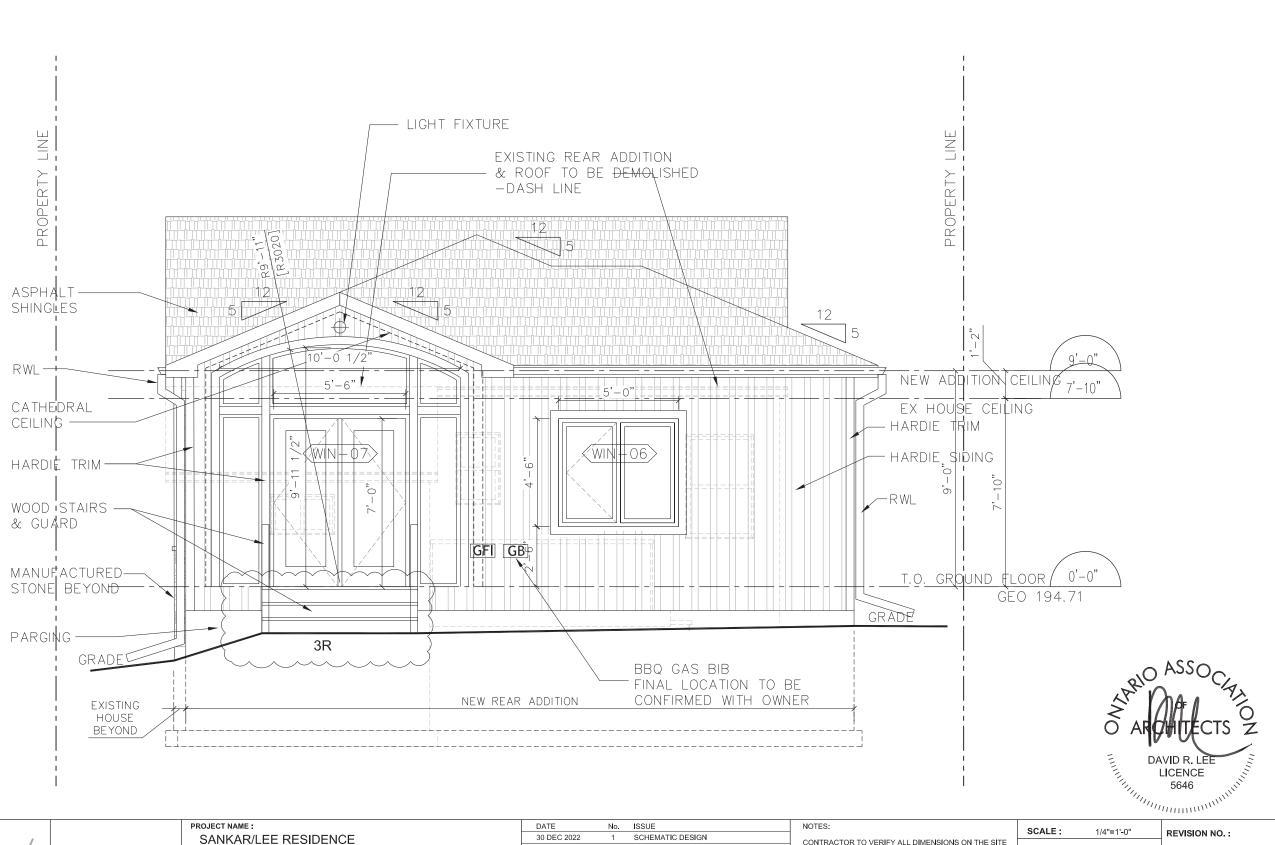
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CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

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E	PROJECT NO.	: KIRA 2022	
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113 Miranda Avenue Toronto, ON M6B 3W8 t/ 416 962 9670 f/ 416 962 9671 e/ info@caricarilee.com CLA

SANKAR/LEE RESIDENCE
394 Upper Sherman Ave, Hamilton, ON L8V 3L2

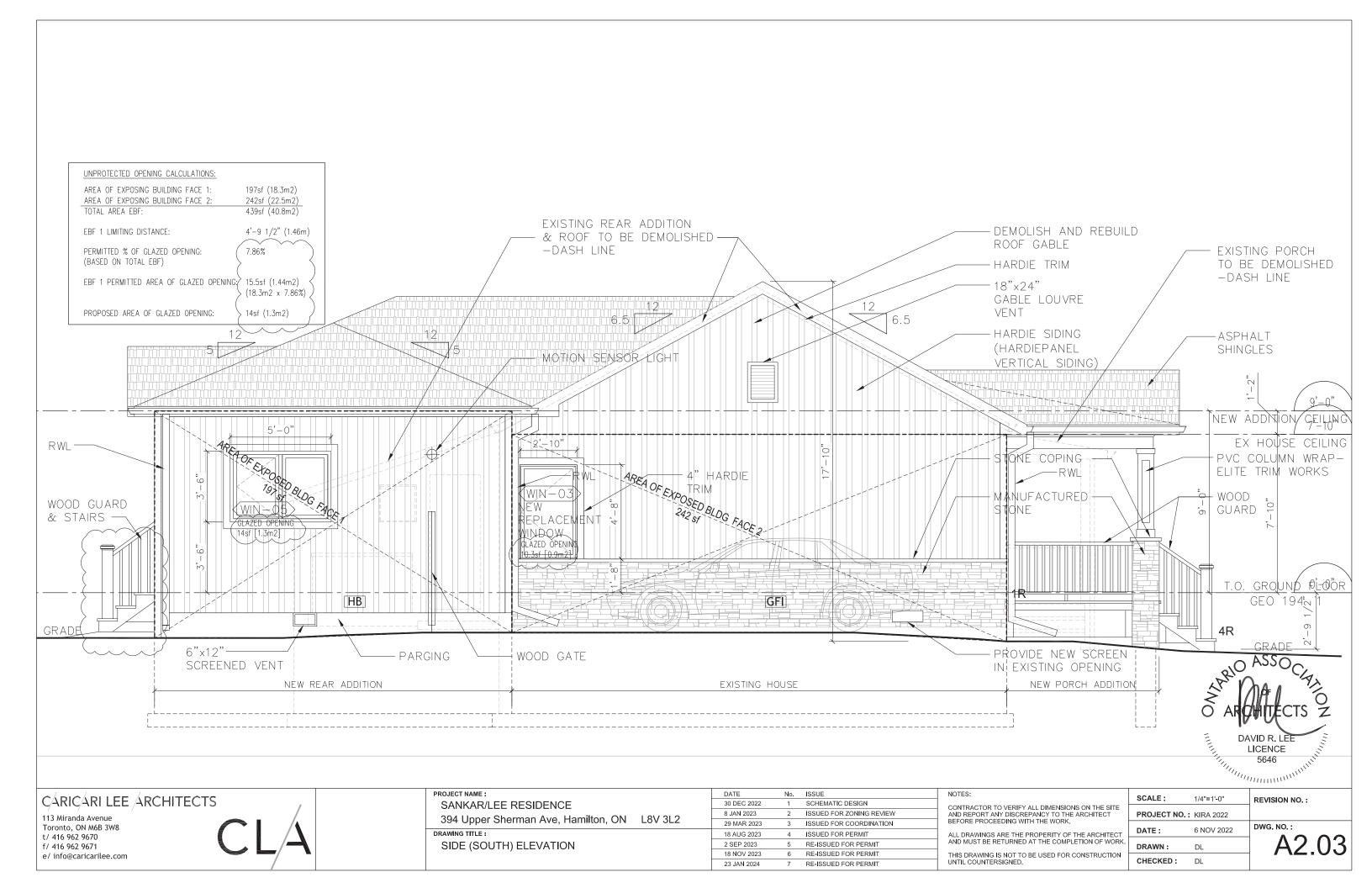
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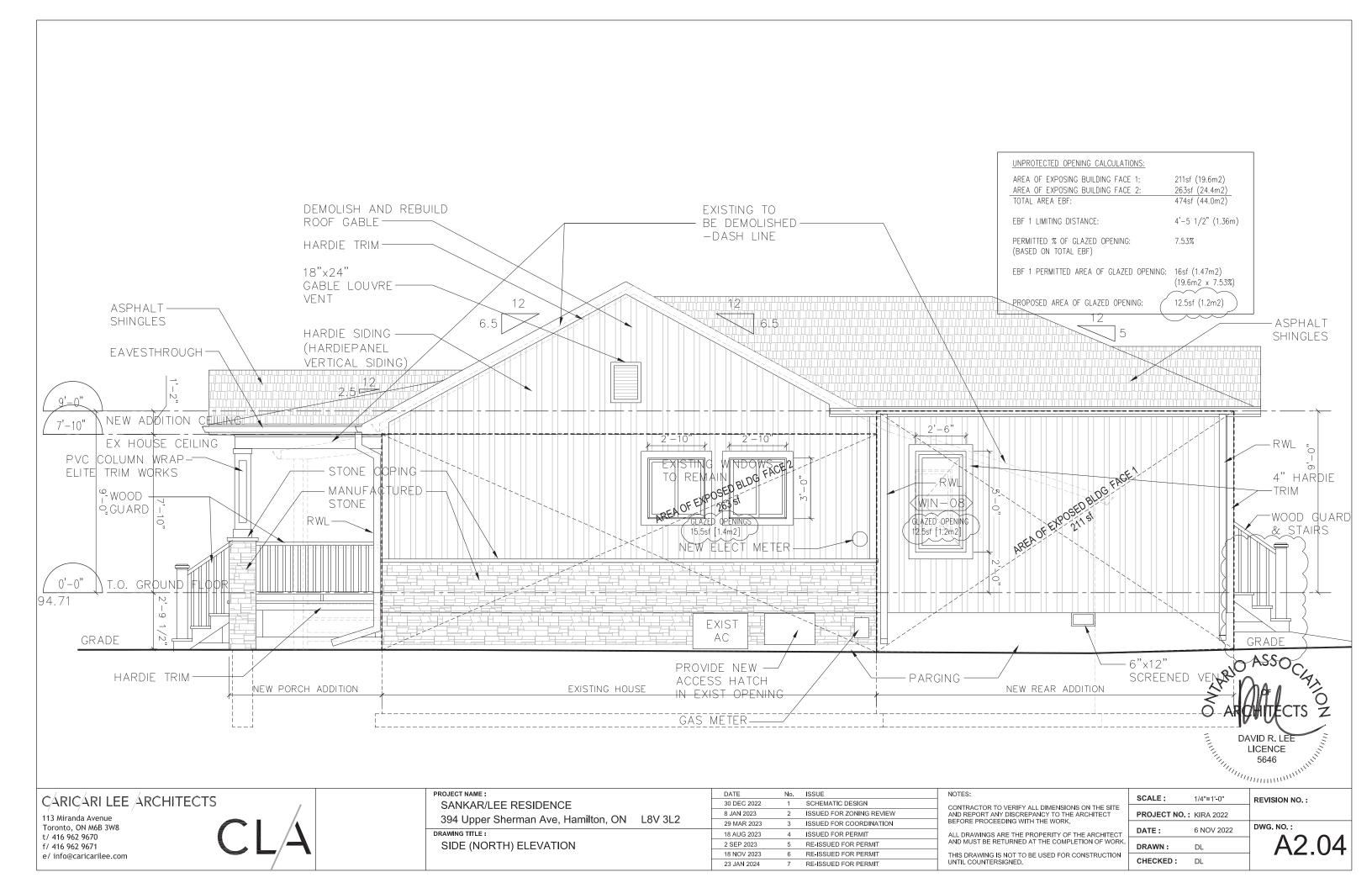
CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

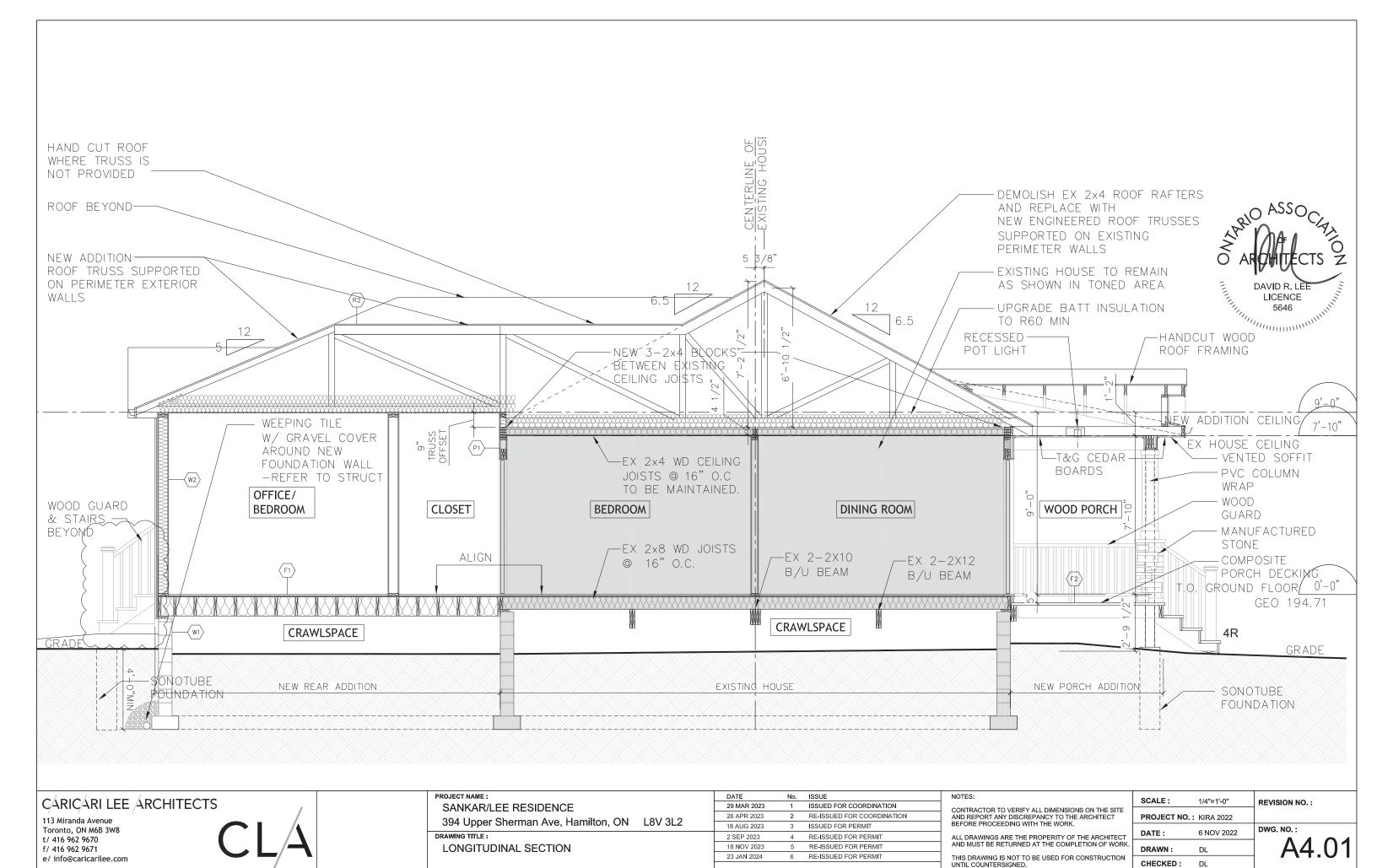
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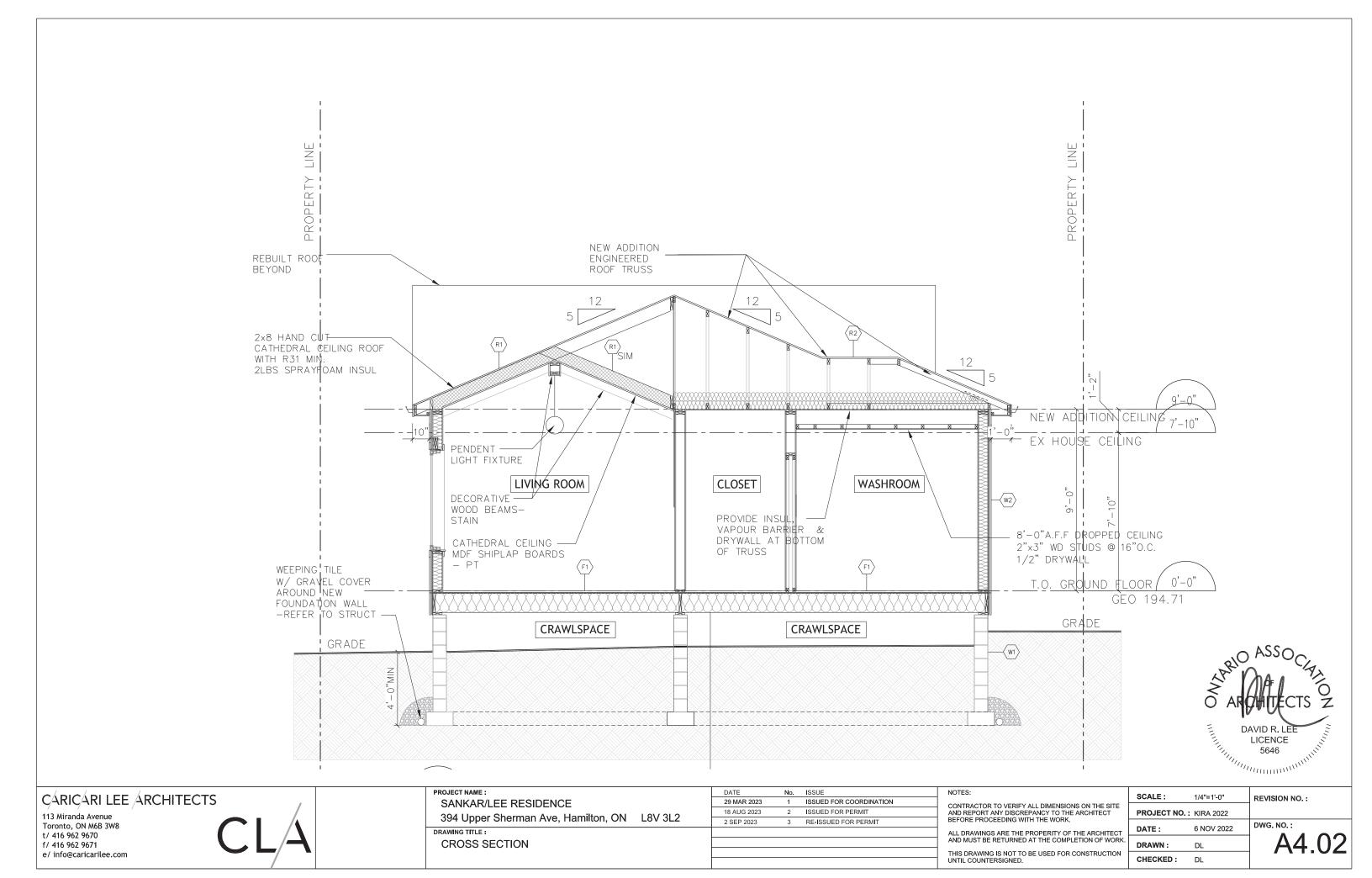
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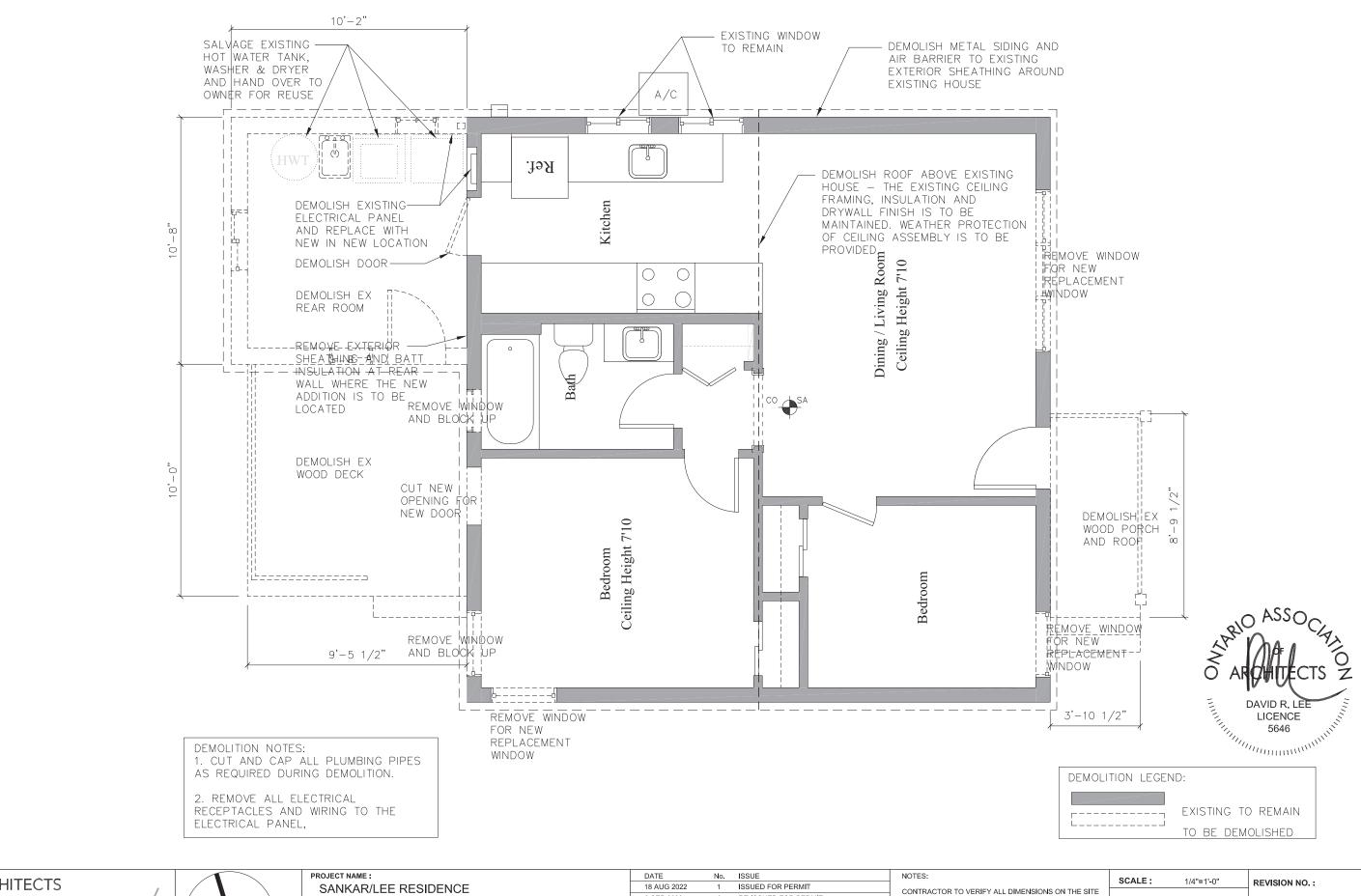
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DRAWING TITLE:
DEMOLITION DRAWINGS

DATE NO. ISSUE

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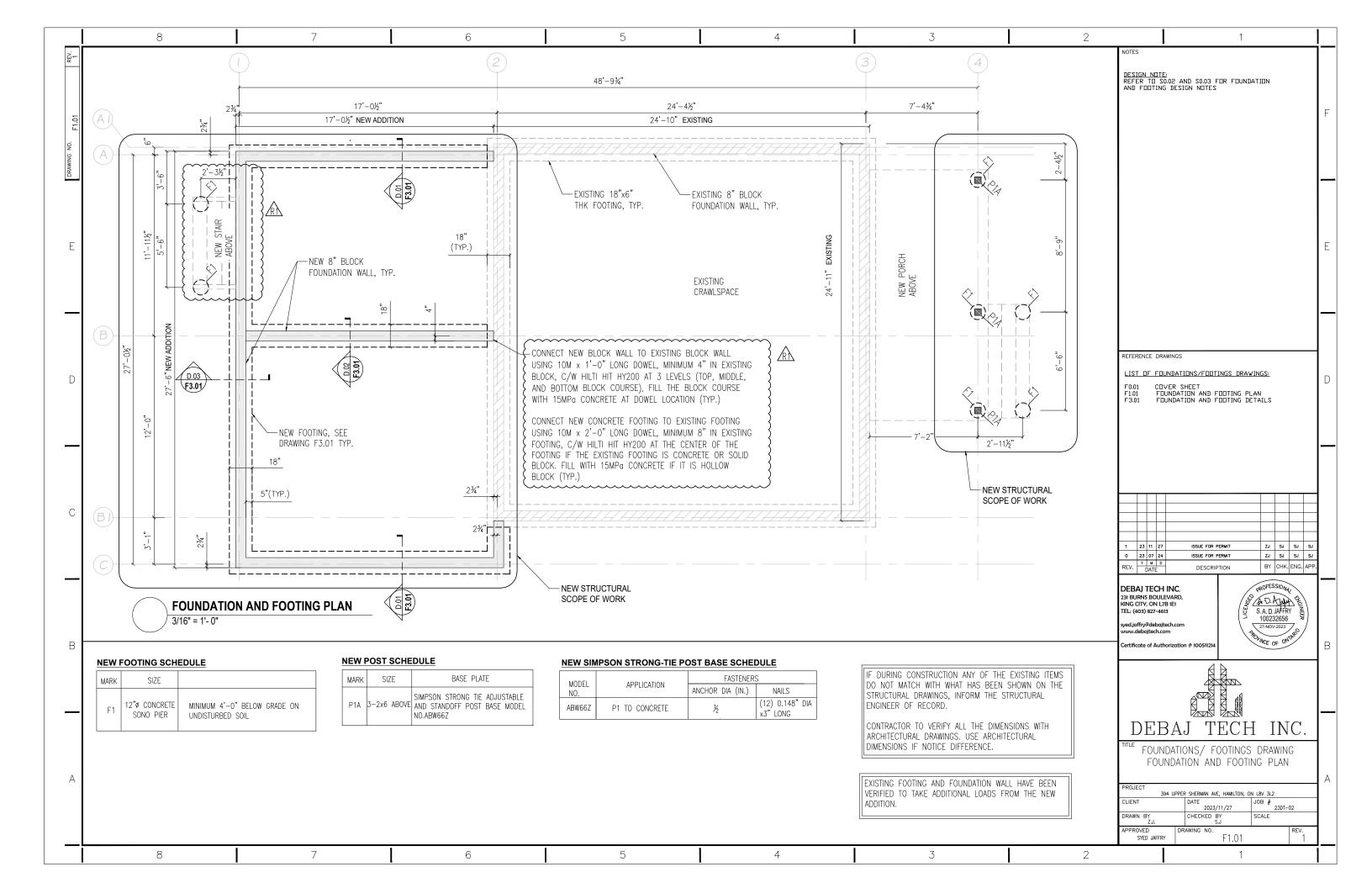
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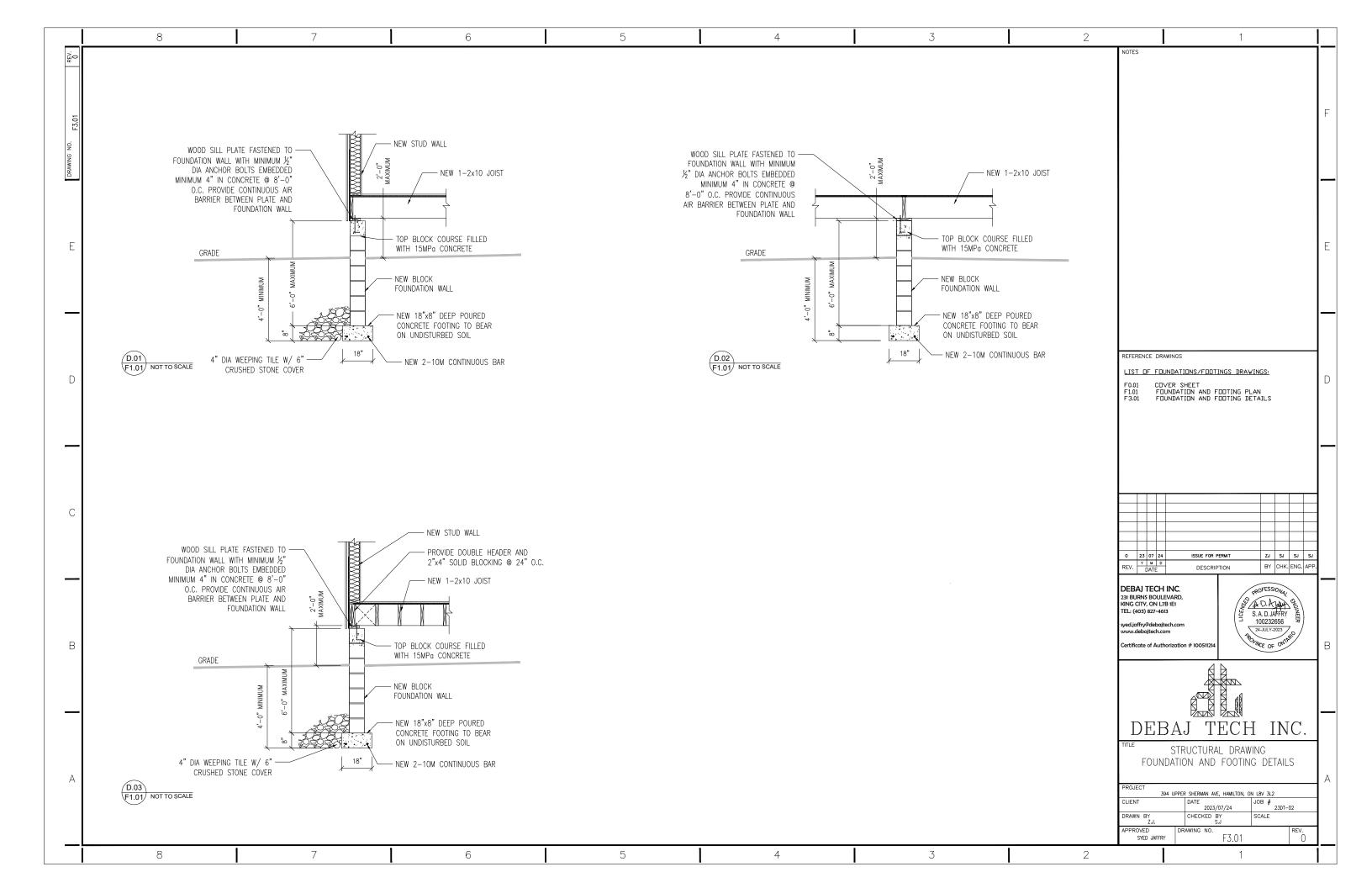
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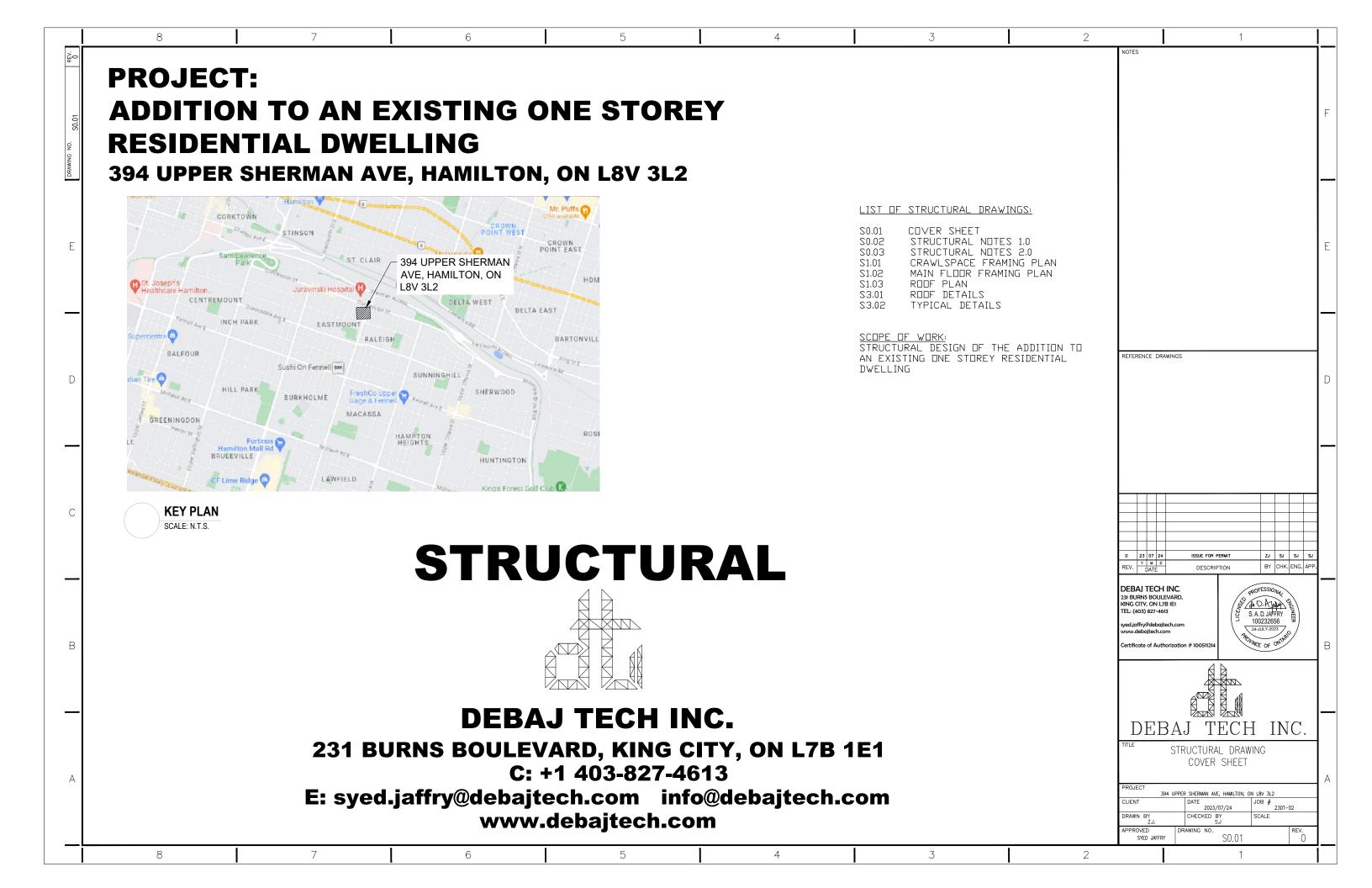
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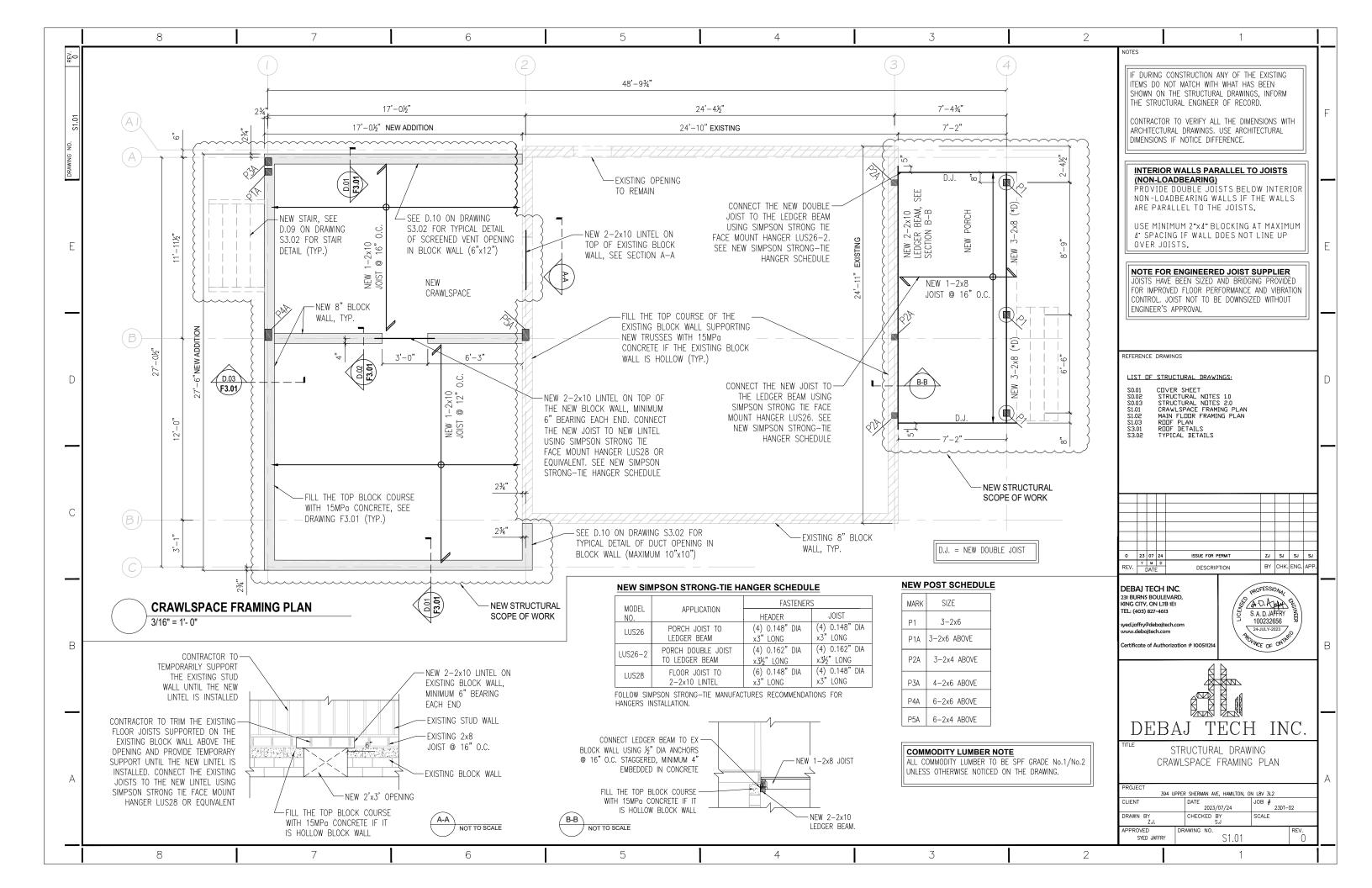


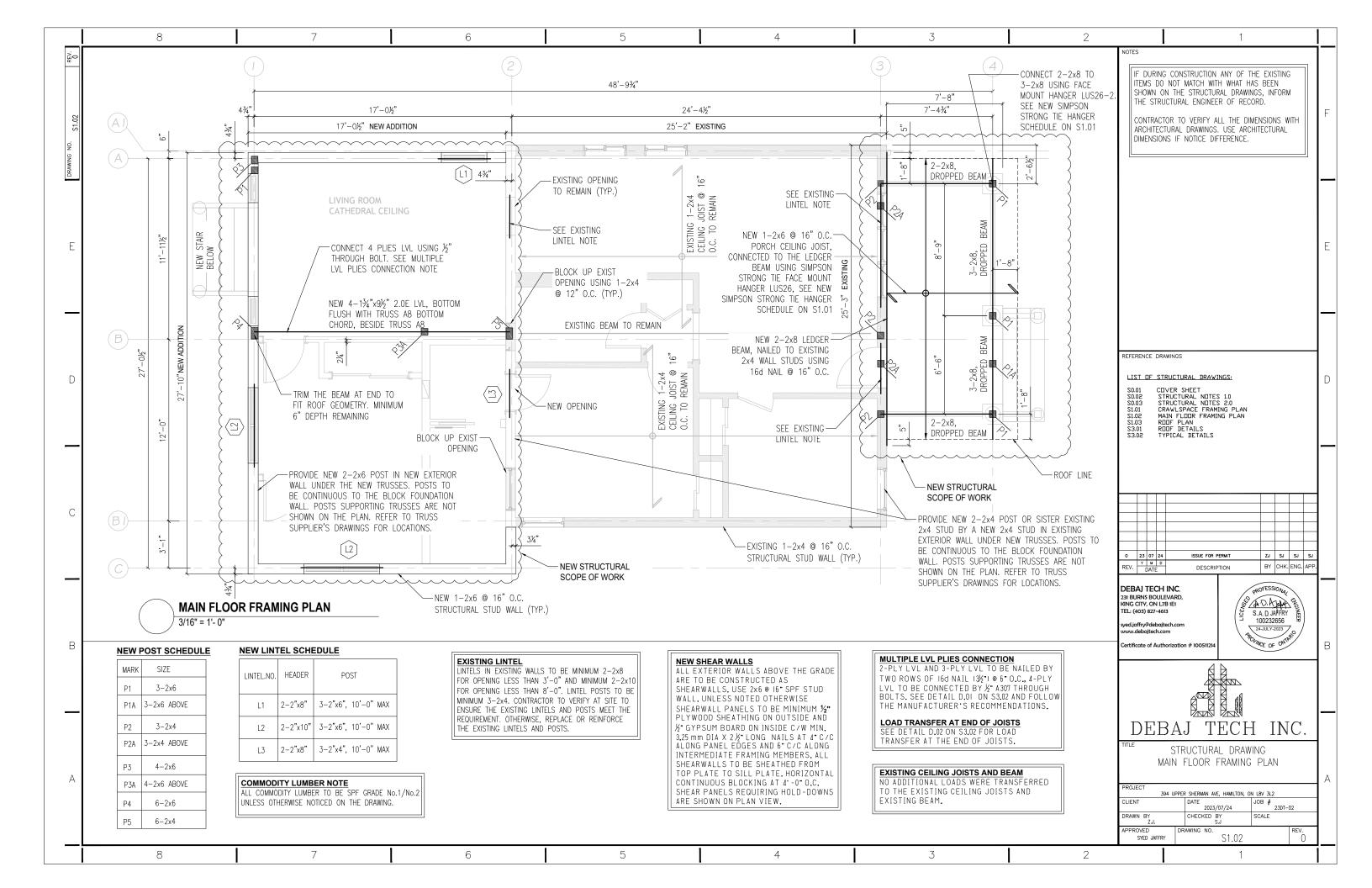


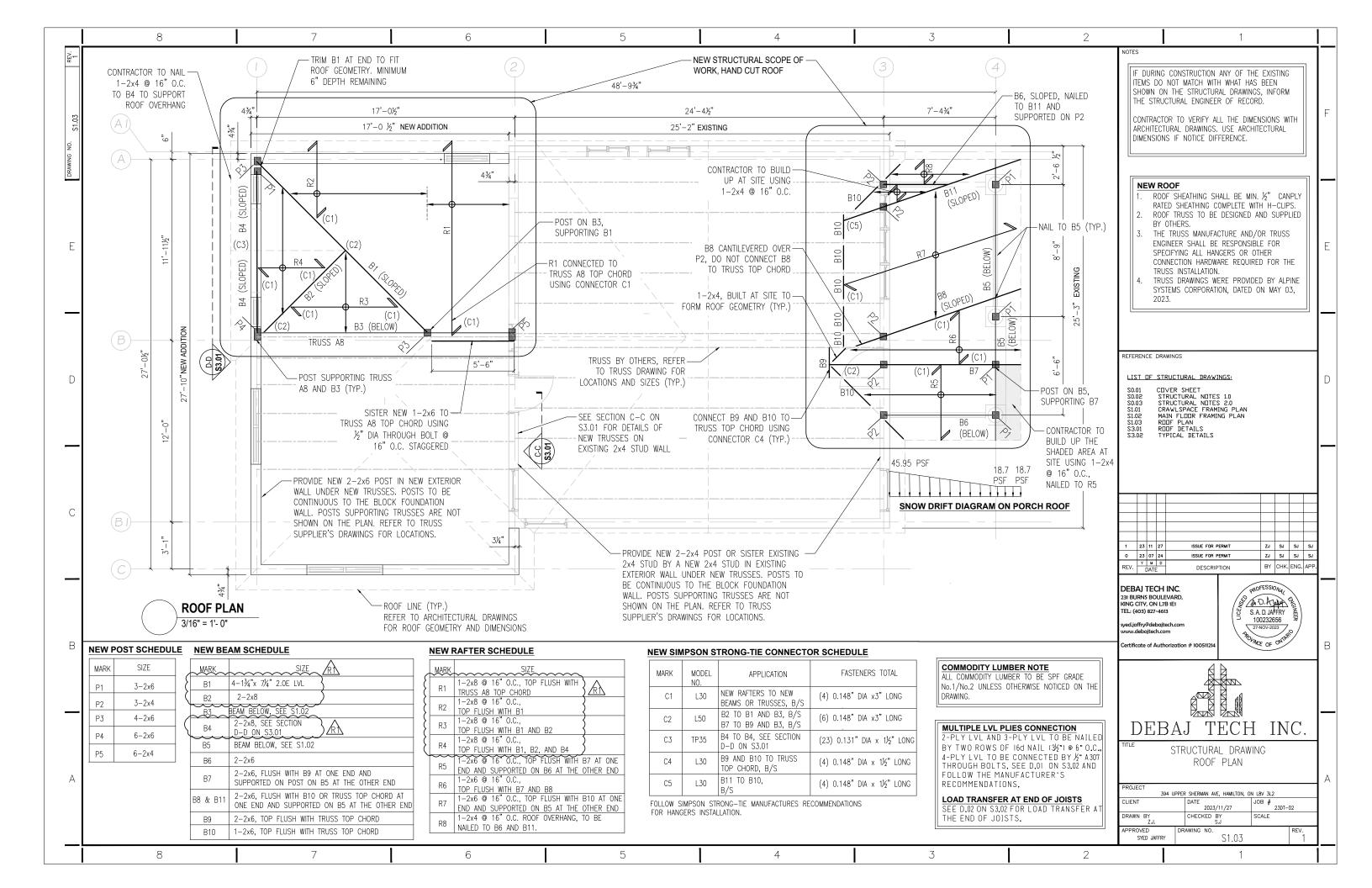


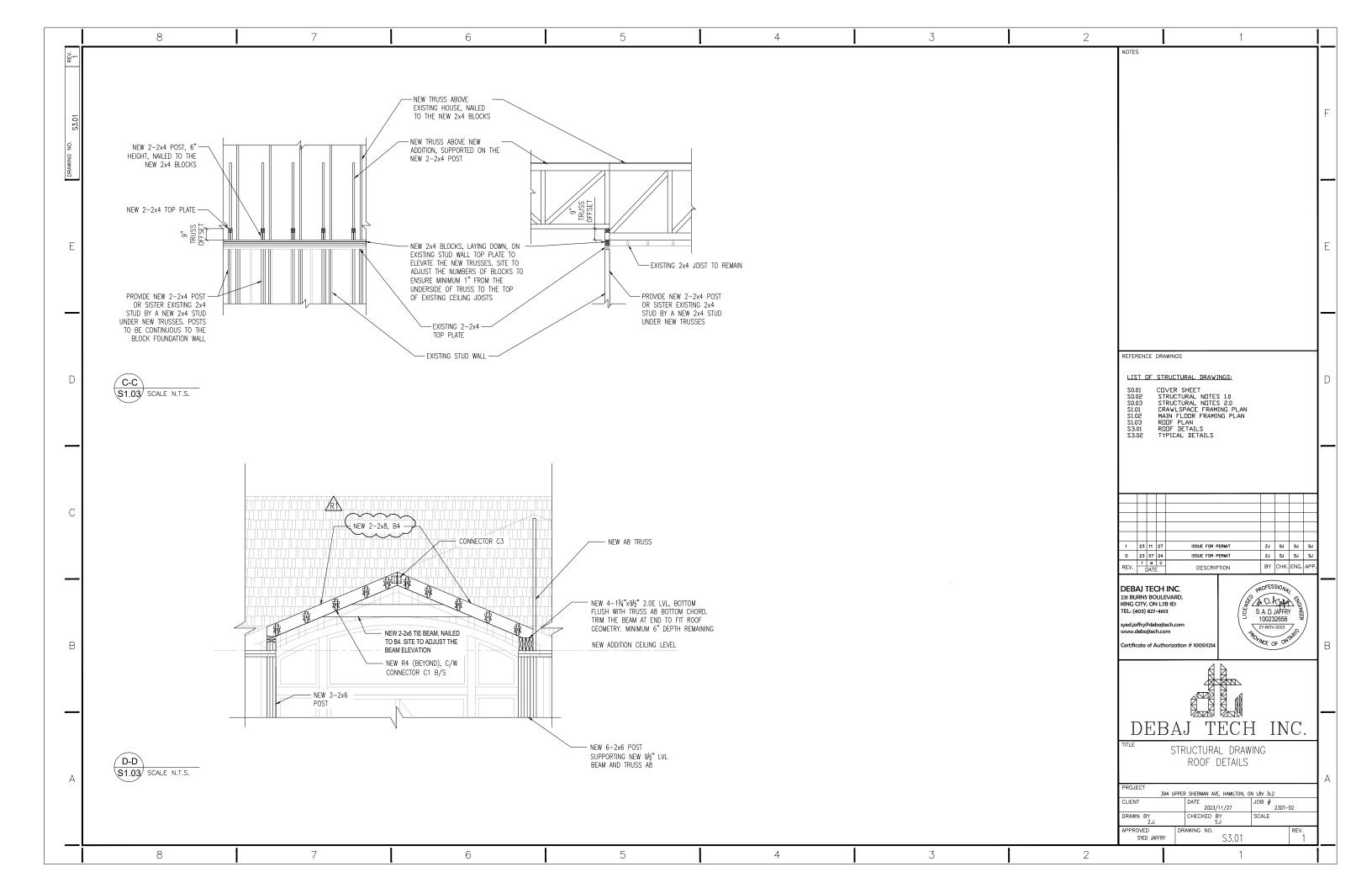
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<u>٥</u> ٠	, , , , , , , , , , , , , , , , , , ,			<u>'</u>	1	I		NOTES	
Δ.	STRUCTURAL NOTES 1.0	CONCRETE: MATERIAL	WOOD  MATERIAL		GROUT MATERIAL				
	(DESIGN)	CAST IN PLACE CONCRETE SHALL CONFORM TO:      CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION:     CSA A23.1—19	IS PREDICATED ON THE THE NLGA STANDARD GR	R DESIGN IS IN ACCORDANCE WITH CAN/CSA 086—1: JSE OF LUMBER THAT IS GRADED IN ACCORDANCE W ADING RULES FOR CANADIAN LUMBER AND IDENTIFIED SOCIATION OR INDEPENDENT GRADING AGENCY IN	TH OTHER EQUIVALEN'  BY APPROVAL.	L BE AS SPECIFIED ON THE DI T EPOXY GROUT CAN BE USED	ON ENGINEER'S		
S0.02	GENERAL NOTES:	••• TEST METHODS AND STANDARD PRACTICES FOR CONCRETE: CSA A23.2-19	ACCORDANCE WITH THE	PROVISIONS OF CAN/CSA 0141.  (GLULAM) SHALL BE DOUGLAS FIR COMBINATION		NTITIOUS GROUT TO BE 35 MF OUT IS SIKA 212, UNLESS NOT			
NO.	MHERE DOCUMENTS ARE REFERENCED IN THE NOTES AND DRAWINGS, THEY SHALL BE LATEST EDITIONS.	DESIGN OF CONCRETE STRUCTURES: CSA A23.3—19	MANUFACTURED IN ACCO GLULUM MUST BE CERTIF	(GLULAM) SHALL BE DUOGLAS FIR COMBINATION RDANCE WITH CAN/CSA 0122. THE MANUFACTURERS IED IN ACCORDANCE WITH CAN/CSA 0177, QUALIFICA IRS OF STRUCTURAL GLUED LAMINATED TIMBER. STR	TION COMPRESSIVE STR	TO CONFORM TO CSA A179, 2 ENGTH AT 28 DAYS, 250 mm			
SAWING	2. READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH SPECIFICATIONS AND ALL OTHER CONTRACT DOCUMENTS.	NOTES.  1. CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 30 MPG AT 28 DAYS.	GRADE TO BE AS SPECIF	IED ON PLANS DRAWINGS.  LUMBER (SCL) INCLUDE LAMINATED VANEER LUMBEI	NOTES	io mm.			
JO	DRAWINGS NOT TO BE SCALED. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.      BEFORE PROCEEDING WITH WORK, CHECK ALL THE DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS AGAINST THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND REPORT DISCREPANCIES TO THE ENGINEER REFER TO	FOR AREAS SUBJECT TO FREEZE/THAW CYCLES SUCH AS ENTRY SLABS, CURBS, SIDEWALKS, EXTERIOR PADS, EXTERIOR STAIRWELL, ETC. THE CONCRETE SHALL BE 32MPa WITH 5% TO 8% AIR ENTRAINMENT. UNLESS NOTE OTHERWISE ON THE DRAWINGS.	(LVL) AND PARALLEL ST MANUFACTURED IN ACCO MANUFACTURING STANDA	RAND LUMBER (PSL) SHALL BE DOUGLAS FIR AND RDANCE WITH TRUSS JOIST MACMILLAN CORPORATION RDS (WEYERHAEUSER) AS REFERENCED IN THE NAT C (NES) REPORT NO. NER-481. STRESS GRADES TO	1. GROUT MIXING, CO ITEMS SHALL CONF ONAL RECOMMENDATIONS	NSISTENCY, FORMING, PLACING FORM TO THE GROUT MANUFA S FOR INTENDED USE.			
	THE ARCHITECTURAL AND OTHER DRAWINGS FOR LOCATIONS AND SIZES OF OPENINGS AND SIZES OF HOWN ON THE STRUCTURAL DRAWINGS. HOWEVER, OBTAIN THE ENGINEER'S PRIOR APPROVAL BEFORE INSTALLING OPENINGS, STEELING STRUCKS STRUCKS OF THE STRUCKS SECOND SE	LEAN CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 15 MPa AT 28 DAYS.     CONCRETE MIXES SHALL BE DESIGNED BY A CERTIFIED CONCRETE TESTING.	WITH CAN/CSA 0121 OR	GLAS FIR MANUFACTURED AND IDENTIFIED IN ACCORD CANADIAN SOFTWOOD PLYWOOD MANUFACTURED AND		N HARDWARE			
F	SLEEVES, ETC. WHICH ARE NOT SHOWN ON STRUCTURAL DRAWINGS.  5. SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS AND SIZES OF PITS. BASES. HOUSE KEEPING PADS. SUMPS. TRENCHES.	LABORATORY.  4. EXPOSURE CLASS PER CSA A23.1 TO BE USED FOR DETERMINATION OF	IDENTIFIED IN ACCORDAN  5. ORIENTED STRAND BOAR	CE WITH CAN/CSA 0151. O (OSB) SHALL COMPLY WITH CAN/CSA 0325.	MATERIAL 1. ALL CONNECTORS	SHALL BE CSA APPROVED.			
_	DEPRESSION,S GROOVES, CURBS, CHAMFER AND SLOPES NOT SHOWN ON STRUCTURAL DRAWINGS.	WATER/CEMENT RATIO.  5. AGGREGATES SHALL COMPLY WITH ASTM C 33.		IG TO BE SPF GRADE NO. 2 OR BETTER.	<ol> <li>CONNECTION HARD APPROVED FOR TH</li> </ol>	WARE BY THE FOLLOWING MAN IE PROJECT:	UFACTURERS ARE		
	HORIZONTAL AND VERTICAL DESIGN LOADINGS ARE NOTED. THEY SHALL NOT BE EXCEEDED DURING CONSTRUCTION.	<ol><li>TYPE 10 CEMENT TO BE USED. TYPE 50 CEMENT TO BE USED IN CASE THE GEOTECHNICAL REPORT INDICATES THAT SULPHUR IS PRESENT IN THE SOIL.</li></ol>		ERECTION AND CONNECTION NAILING & HANGERS TO IE JOIST MANUFACTURER'S SPECIFICATIONS.	BE ••• USP STRUCT	RONG TIE COMPANY INC. TURAL CONNECTORS BY SHEAR TRANSFER SYSTEMS			
	DESIGN NOTES:  1. THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF	7. MAXIMUM TIME SHALL NOT BE MORE THAN 90 MINUTES BETWEEN CONCRETE BATCHING AND PLACEMENT. IF MORE THAN 90 MINUTES, THE CONCRETE SHOULD BE REJECTED, SENT BACK AND RE-ORDERED.	2. ALL ENGINEERED MICROL	LAM LVL BEAM INSTALLATION AND ERECTION TO BE I	J	TS TO CONFORM TO ASTM F-			
_	THE ONTARIO BUILDING CODE 2012.  2. STRUCTURAL ELEMENTS HAVE BEEN DESIGNED TO THE LATEST REVISIONS OF THE	8. FORM WORK MATERIAL SHALL FOLLOW THE RECOMMENDATIONS OF CSA A23.1.		RESTING ON CONCRETE OR MASONRY SHALL BE PRES	SURE 4. ALL OTHER ANCHO OTHERWISE.	R BOLTS TO CONFORM TO AS	TM 307 UNLESS NOTED		
	FOLLOWING;  STRUCTURAL REINFORCED CONCRETE CAN/CSA - A23.3-19	9. REMOVE ALL DEBRIS FROM FORMS BEFORE PLACING CONCRETE.  10. CONCRETE SHALL BE CAREFULLY PLACED IN REINFORCED ELEMENTS SO AS TO	4. ALL BEAMS SHALL HAVE RECOMMENDATIONS.	FULL BEARING ON SUPPORTS AS PER MANUFACTURE	3	DS TO BE AS SPECIFIED ON D	ESIGN DRAWINGS.		
Г	STRUCTURAL STEEL CAN/CSA - S16-19 WOOD CAN/CSA - 086-19 MASONRY CAN/CSA - S304.1-04  3. WOOD MEMBERS HAVE BEEN DESIGNED WITH THE HELP OF WOOD DESIGN MANUAL	AVOID SEGREGATION OF AGGREGATES. UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED 5'.  11. CONTRACTOR TO MECHANICALLY VIBRATE ALL CONCRETE INCLUDING SLABS ON GRADE.	<ol><li>SHEAR PANEL BLOCKING PLYWOOD WITH 8D NAILS</li></ol>	SHALL BE MADE OF 2x SOLID FRAMING WITH ¾" MIN AT 6" O.C UNLESS NOTED OTHERWISE AND SHALL E USSES WITH MINIMUM 2—16D NAILS AT THE TOP ANE TRUSS FRAMING.	E MATERIALS AND CO CRITERIA. IT IS IMP	HORS AND FASTENERS FEATUR DATINGS DESIGNED TO MEET S PORTANT FOR THE CONTRACTO THAT IS SUITABLE FOR THE IN	PECIFIC PERFORMANCE R TO SELECT A MATERIAL	REFERENCE DRAWINGS	DAVINGS:
U	2017 BY CANADIAN WOOD COUNCIL.     SPECIFIED LOADINGS ARE AS PER ONTARIO BUILDING CODE 2012 AND NATIONAL BUILDING CODE OF CANADA 2020.	SPECIAL CURING PRECAUTIONS TO BE TAKEN TO MINIMIZE SHRINKAGE CRACKING     OF CONCRETE SLABS DUE TO WEATHER CONDITIONS.  13. CONTRACTOR TO USE WINTER CONCRETING METHODS CONFORMING TO CSA A23.1	THE DIAMETER OF THE E	STALLED IN HOLES DRILLED WITH A BIT ‰" LARGER : OLT. LAG BOLTS SHALL BE INSTALLED IN PRE-DRILLI S WITH A WRENCH, AND NOT WITH AN ELECTRIC OR .	HAN ENVÍRONMENT BAS AND CLIMATE CONI	ED UPON FACTORS SUCH AS O DITIONS. CONTRACTOR TO REVI ENSURE PROPER CONNECTORS	CORROSION RESISTANCE EW MANUFACTURER'S	S0.01 CDVER SHEET S0.02 STRUCTURAL NE S0.03 STRUCTURAL NE S1.01 CRAWLSPACE FF	DTES 1.0 DTES 2.0
	5. LOADING:  DEAD LOAD = 1 kPa LIVE LOAD = 2 kPa	WHEN THE MEAN DAILY TEMPERATURE FALLS BELOW 5°C.  14. SAW CUT JOINTS SHALL BE CUT TO MAINTAIN A MINIMUM DEPTH OF 1/4 TH OF THE SLAB THICKNESS.		N WOOD SHALL HAVE STEEL WASHERS UNDER HEADS PREVENT LOOSENING.	3. ALL NAILS, SCREW	ECTORS AS PER MANUFACTUR S, BOLTS AND WELDS FOR COI		S1.02 MAIN FLOOR FR S1.03 ROOF PLAN S3.01 ROOF DETAILS	
	6. WIND LOAD (FOR HAMILTON):  WIND (\$\frac{1}{2}\text{ HOURLY PRESSURE}) = 0.46 kPa THE MIPPORTANCE FACTOR IW:  EXPOSURE = 0.75  OPEN TERRAIN	15. CONTROL JOINTS IN SLABS ON GRADE SHALL BE SPACED EACH WAY EVERY 10' FOR SLABS 4" THICK OR SMALLER, SPACED EACH WAY EVERY 12.5' FOR SLABS 5" THICK AND SPACED EACH WAY 15' FOR SLABS 6" THICK.			4. WELDING ALLOWED	ER'S RECOMMENDATIONS. AS PER MANUFACTURER'S RE S IDENTIFIED ACCEPTABLE FOR		\$3.02 TYPICAL DETAIL	_\$
	FOR LATERAL DESIGN, WIND LOAD GOVERNS  7. SNOW LOAD (FOR HAMILTON):	16. CONSTRUCTION JOINTS IN STRUCTURAL ELEMENTS NOT DETAILED ON THE DRAWINGS REQUIRE APPROVAL FROM THE ENGINEER.			CONNECTORS IN C	JSE STAINLESS STEEL 304 OR ONTACT WITH PRESSURE TREA CONNECTORS NOT TO BE USED	TED WOOD. ALUMINUM		
C	GROUND SNOW LOAD = 1.1 kPa RAIN LOAD = 0.4 kPa IMPORTANCE FACTOR: ULS = 1.0 SLS = 0.9 SNOW LOAD FACTOR = 0.55 SLOPE FACTOR CS = 1.0	17. SLABS ON GRADE TO BE 5" THICK AND REINFORCED WITH ONE LAYER OF WELDED WIRE MESH 6x6 W2.9 PLACED 1" CLEAR OF THE TOP OF THE SLAB, UNLESS NOTED OTHERWISE ON DRAWINGS.			PRE-DEFLECTED B	ORAGE FOR SHEAR WALLS SHA OLT TYPE OR STRAP TYPE. SS D BY THE MANUFACTURER.	ALL BE EITHER TB ANCHOR BOLTS TO BE		
C	<ol> <li>THE LATERAL FORCES DUE TO WIND OR EARTHQUAKE ARE RESISTED BY THE LATERAL LOAD RESISTING SHEARWALLS AND DIAPHRAGM.</li> </ol>	DEINICORONIO OTEEL			½" DIAMETER ANCH	EXTERIOR WALLS AT CONCRETE HOR BOLTS EMBEDDED 7" MINII			
	9. FOUNDATIONS AND FOOTINGS HAVE BEEN DESIGNED BASED ON AN ASSUMED FACTORED BEARING RESISTANCE (ULS) OF 150 kPa AND A SERVICEABILITY LIMIT STATE BEARING PRESSURE (SLS) OF 100 kPa. IF THIS CONDITION DOES NOT PREVAIL AT THE SITE, ADVISE THE ENGINEER BEFORE PROCEEDING WITH THE WORK.	MATERIAL  1. REINFORCING STEEL SHALL CONFORM TO THE LATEST REVISION OF CSA G30.18,			BOLTS, EXPANSION MAXIMUM SPACING	S. INTERIOR NON—SHEAR WALLS ! ANCHORS OR EPOXY BOLTS . . TWO MINIMUM PER WALL SHC S SHALL HAVE A MINIMUM OF	AT 72" ON CENTER IT PINS ON INTERIOR	Y M D	FOR PERMIT ZJ SJ SJ SJ SCRIPTION BY CHK. ENG. APP
	10. FROST DEPTH OF 4'-0" IS CONSIDERED.  11. DESIGN OF NON-STRUCTURAL ELEMENTS SUCH AS STAIRS, NON-LOAD BEARING	CARBON STEEL BARS OF REINFORCED CONCRETE.  2. REINFORCING STEEL SHALL BE GRADE 400R FOR REGULAR REBARS AND GRADE 400W FOR WELDABLE REBARS. (YIELD STRENGTH = 400 MPa)			AND BE PLACED A  9. ALL SILL PLATES S	T 32" ON CENTER MAXIMUM S SHALL HAVE A MINIMUM OF TW	PACING. O BOLTS PER SECTION OF	DATE	
	WALLS, WEEPING TILES ETC. AND THEIR ATTACHMENT ARE NOT INCLUDED AND MUST BE PROVIDED BY OTHERS UNLESS NOTED ON THE DRAWINGS.  12. DESIGN OF PREFABRICATED STRUCTURAL PRODUCTS SUCH AS WOOD TRUSSES.	NOTES			FROM EACH END.	S LOCATED NOT MORE THAN 12		DEBAJ TECH INC. 231 BURNS BOULEVARD, KING CITY, ON L7B 1E1	PROFESSIONAL PE
	CONCRETE PRECAST ELEMENTS, ETC. ARE NOT INCLUDED. THESE ARE TO BE DESIGNED AND SUPPLIED BY OTHERS UNLESS NOTED ON THESE DRAWINGS.	<ol> <li>REINFORCEMENT CHAIRS, SUPPORTS, AND SPACERS SHALL BE ADEQUATE FOR STRENGTH AND SUPPORT OF REINFORCING AND MEET THE REQUIREMENTS OF CSA A23.1.</li> </ol>			AND SHEAR WALLS	TE WASHERS AT ALL ANCHOR  S.  S. TO BE INSTALLED AS PER M		TEL: (403) 827-4613 syed.jaffry@debajtech.com	S. A. D. IAFRY (100232656)
В		<ol><li>LENGTH OF LAP SPLICES SHALL BE DERIVED FROM CSA 23.3 UNLESS SPECIFIED ON DRAWINGS.</li></ol>			RECOMMENDATIONS EDGE DISTANCE AN	S TO BE INSTALLED AS PER N S. CONTRACTOR TO FOLLOW AL ND SPACING ETC. CONTRACTOR LITERATURE PRIOR TO INSTALL	L REQUIREMENTS INCLUDING TO REVIEW	www.debajtech.com  Certificate of Authorization # 1005	The Third
	GEOTECHNICAL SOIL INVESTIGATION:	3. ALL REINFORCEMENT BARS TO BE SECURELY TIED IN PLACE PRIOR TO PLACEMENT OF CONCRETE.			ROOF:	ETERATORE FROM TO INSTALL	A HON		1
	IT IS THE RESPONSIBILITY OF THE OWNER TO RETAIN A GEOTECHNICAL ENGINEER TO INSPECT AND CONFIRM SOIL BEARING CAPACITY AS INDICATED	4. CONCRETE COVER FOR REINFORCING BARS TO CONFORM TO CSA A23.1-14 AND BE FOLLOWS:				TO BE DESIGNED AND SUPPLIET	) BY TRUSS MANUFACTURER.		
	ON DRAWINGS PRIOR TO PLACEMENT OF FOUNDATIONS.  2. IN CASE THE OWNER DOES NOT RETAIN A GEOTECHNICAL ENGINEER AND A SOIL REPORT IS NOT PROVIDED, THE ENGINEER IS NOT LIABLE FOR SOIL	• 75 mm FOR CONCRETE CAST AGAINST & PERMANENTLY EXPOSED TO EARTH • 50 mm FOR CONCRETE POURED IN FORMS BUT EXPOSED TO WEATHER.			2. ALL BRACING REC	QUIREMENTS AND RECOMMENDA RESPONSIBILITY OF THE TRUS	TIONS FOR THE TRUSS		
	BEARING PRESSURE AND OTHER SOIL PROPERTIES BEYOND THE MINIMUM SPECIFIED ON DRAWINGS AS PER CODE.  3. IF A GEOTECHNICAL INVESTIGATION IS BEING PERFORMED, THE OWNER SHALL INFORM THE ENGINEER SO THAT THE ENGINEER MAY BE ABLE TO RECOMMEND	•• 30 mm FOR ALL OTHER REINFORCEMENT			DRAWINGS AND D REGISTERED ENGI	HALL SUBMITS ENGINEERED SHO BESIGN CALCULATIONS BEARING NEER. SHOP DRAWINGS SHALL ARING POINTS AND DESIGN LO	STAMP OF A PROFESSIONAL SHOW ANY SPECIAL DETAILS		TECH INC.
	ANY ADDITIONAL PARAMETERS OR TESTS REQUIRED SUCH AS SULPHUR CONTENT IN SOIL ETC.					HALL SPECIFY ALL HANGERS AI HE INSTALLATION OF THE ROOF			URAL DRAWING IRAL NOTES 1.0
А									MAN AVE, HAMILTON, ON LBV 3L2
									2023/07/24 JOB # 23DT-02 KED BY S.J SCALE NO. REV.
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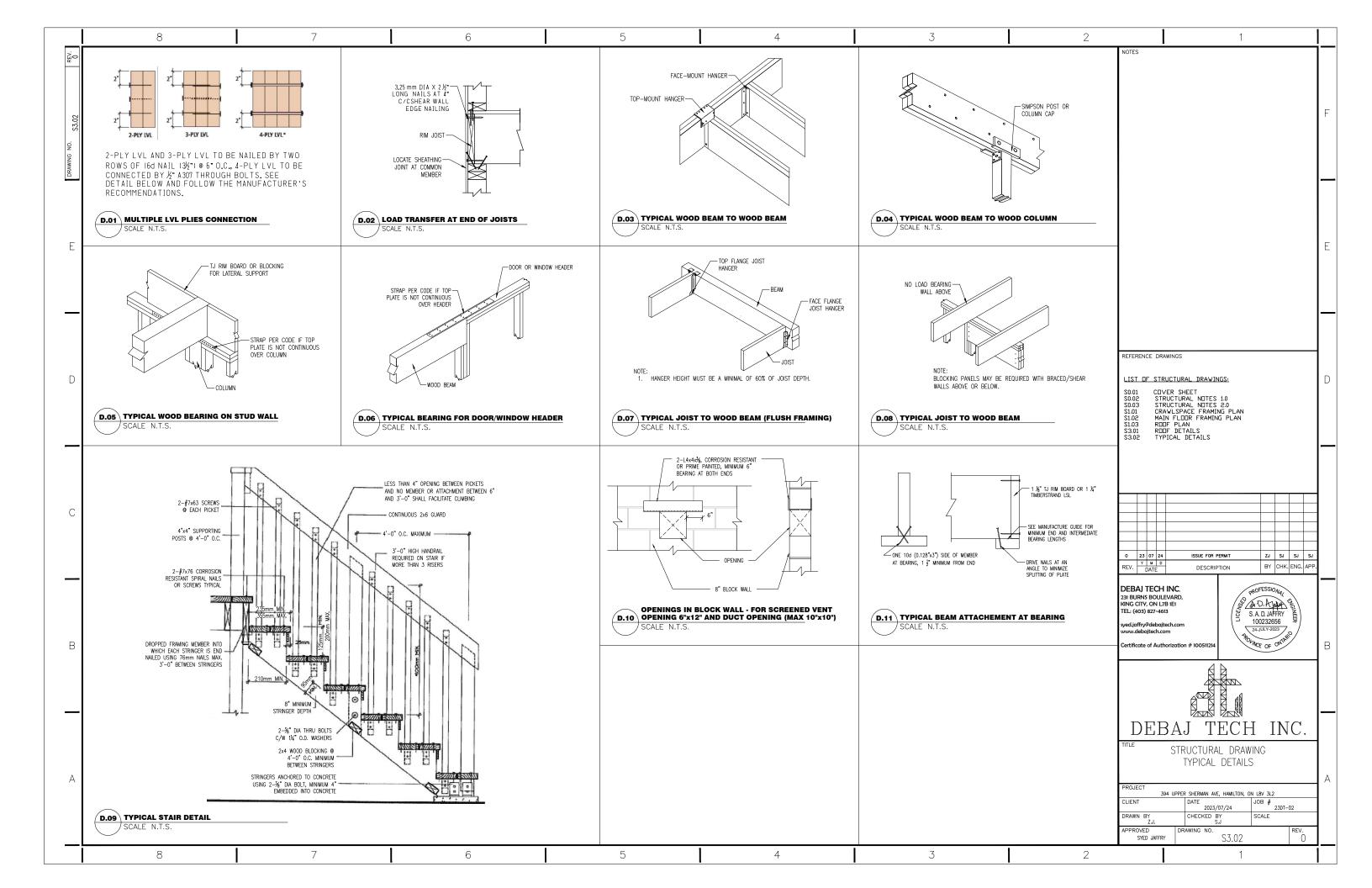
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	EQUINDATION:				SITE INSPECTION	16.		NOTES	
STRUCTURAL NOTES 2.0	FOUNDATION.			TO BE ONLY AS PER			ER AT LEAST		
FOUNDATION:  STRUCTURAL NOTES 2.0 (CONTRUCTION)  CONSTRUCTION NOTES:  1. PROJECT STRUCTURAL STRUCTU									
(GONGTROUTION)	<ol><li>ANCHOR BOLTS AND HOLD DOWNS SHALL BE SECURED IN PLACE PRIOR TO POURING CONCRETE.</li></ol>	SHEARWALLS, AND IN	NTERNAL LOAD BEARING	WALLS ARE ALLOWED TO BE	APPROPRIATE INTERVALS FOR				
		BEARING WALL MAY	BE CUT OR NOTCHED U	TO 40% OF ITS WIDTH.	3. STRUCTURAL INSPECTIONS BY				
CONSTRUCTION NOTES:	THE TOP OF THE WALLS HAVE BEEN PLACED AND CONCRETE HAS REACHED	BEGINING/END OF SH AND INTERNAL LOAD	HEARWALLS. STUDS IN E D BEARING WALLS ARE A	TERIOR WALLS, SHEARWALLS, LOWED TO HAVE A HOLE					
		WALL MAY HAVE A F CASE SHALL THE ED	HOLE WITH DIAMETER UP DGE DISTANCE OF ANY B	TO 60% OF ITS WIDTH. IN NO PRED HOLE BE LESS THAN	FOLLOWING STAGES:  4.1 FOUNDATIONS: PRIOR TO	POURING OF CONCRETE			
3. THESE NOTES PROVIDE SOME BASIC INFORMATION AND ARE TO SERVE AS	AGAINST ONE SIDE OF THE WALL IS NEVER GREATER THAN 1'-8" ABOVE THE LEVEL OF THE OTHER SIDE, UNLESS TEMPORARY BRACING SUPPORTS ARE			SAME SECTION OF THE STUD	4.2 AT COMPLETION OF WOOD	D FRAMING AND MAJOR S	TAGES		
AND ALL OTHER INDUSTRY BEST PRACTICES NOT LISTED HEREIN.	6. ALL BACKFILL SHALL BE GRANULAR MATERIAL PLACED COMPACTED IN LAYERS				IMPORTANT NOTE: IF THE ABOVE	INSPECTION POINTS ARE			
ORIGINAL DRAWINGS AND SITE MEASUREMENTS. CONTRACTOR TO CONFIRM ON SITE	COMPACTED TO AT LEAST 95% STANDARD PROCTOR DENSITY. ENSURE	COMPONENTS OF THE	IE SHEARWALL AND DIAP	RAGM SYSTEM ARE	TO DENY PROVISION OF LETTER (	OF COMPLIANCE FOR THE	PROJECT DUE		
		EFFECTIVE UNIT.			IN ADDITION, CLIENT/CONTRACTOR	R TO SUBMIT FOR ENGINE	ERS REVIEW		
AND TRENCHES NOT INDICATED ON THE STRUCTURAL DRAWINGS.	8. CONTRACTOR TO PROTECT BOTTOM OF EXCAVATION FROM FREEZING.			STEEL WALL PLATE SHALL BE		PLIED BY LUMBER COMPAN	IY		
PRIOR TO PERFORMING WORK ON THAT SPECIFIC ITEM.	EXCAVATION GETS FROZEN.	ABOVE STEEL COLUM	MN, AND BEAM UNDER S						
SYSTEM IN PLACE DURING CONSTRUCTION AND UNTIL COMPLETION OF THE	EXCAVATIONS OR ALONG STEPPED FOOTINGS.	22. IN CASE COLUMN IS	TO BE SUPPORTED ON						
STRUCTURAL NOTES:  CONSTRUCTION NOTES:  CONSTRUCTIO									
STRUCTURAL NOTES 2.0 (CONSTRUCTION)  CONSTRUCTION NOTES:  CONSTRUCTION N									
STRUCTURAL NOTES 2.0 (CONSTRUCTION)  STRUCTURAL PROTES									
REGULATIONS, OHSA REQUIREMENTS AND ALL OTHER APPLICABLE CODE	13. A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL		CONCEDUCATE CONCE	ACTOR AC CUOVAL ON				REFERENCE DRAWINGS	
TO GOOD CONSTRUCTION PRACTICE IN ALL DETAILS OF MATERIALS AND	EXTERIOR GRADE. A DRAINAGE LAYER SHALL CONSIST OF MIN. 200 mm MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 3.6 LB/FT, MIN. 100 mm	DESIGN DRAWINGS.						LIST OF STRUCTURAL DRA	AWINGS:
5. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE PROPER COORDINATION		2. PROVIDE ½" EXTERIO SLOPED ROOF.	OR GRADE PLYWOOD DEC	KING WITH H-CLIPS ON				S0.01 CDVER SHEET	
. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY ON THE JOB SITE DURING	REMAIN SHALL BE ADEQUATELY TEMPORARILY BRACED AND SHORED DURING		IOR GRADE PLYWOOD DE	KING WITH H-CLIPS ON				S0.03 STRUCTURAL NO S1.01 CRAWLSPACE FR	TES 2.0 RAMING PLAN
STRUCTURES, FRAMEWORK, SHORING, FORMWORK ETC. REQUIRED TO COMPLETE	APPROVAL.	CALCULATIONS SHOW	W UPLIFT FORCES. UPLIF					S1.03 ROOF PLAN S3.01 ROOF DETAILS	
PERMIT DRAWINGS, CONSTRUCTION DRAWINGS, SPECIFICATIONS, QUALITY	OF SLEEVES, OPENINGS, ETC. SHOWN ON STRUCTURAL DRAWINGS WITH	I EN MANUFACIURER	NO CITENATURE.					S3.02 TYPICAL DETAIL	
DOCUMENTS AVAILABLE ON SITE AS REQUIRED BY THE LOCAL CODES AND									
IMPLEMENTED AND HAVE THE SITE FREE FROM ACCUMULATIONS OF WASTE	FRAMING:								
STRUCTURAL NOTES 2.0 (CONSTRUCTION)  CONSTRUCTION NOTES:  CONSTRUCTION N									
OTHER RELATED STANDARDS AND PROJECT DOCUMENTS, TO ENSURE ALL THE	·	1. GUARD AND RAIL	. CONSTRUCTION SHALL E	E IN ACCORDANCE WITH					
BE PERFORMED AS INTENDED.	STUD WALL. UNLESS NOTED OTHERWISE SHEARWALL PANELS TO BE MINIMUM 1/2"	2. ALTERNATIVE GUA	ARD CONSTRUCTION INCL	DING GLASS PANELS AND					
NEEDS CLARIFICATIONS, NEEDS ANY MODIFICATION OR MATERIAL SUBSTITUTION, A REQUEST FOR INFORMATION (RFI) OR FIELD CHANGE REQUEST (FCR) IS TO	3.25 mm DIA X 2 ½" LONG NAILS AT 4" C/C ALONG PANEL EDGES AND 6" C/C	REGISTERED IN ON	NTARIO.					0 23 07 24 ISSUE	FOR PERMIT ZJ SJ S
SOLUTION. CONTRACTOR/SUPPLIER SHALL WAIT FOR ENGINEERS APPROVAL TO	FROM TOP PLATE TO SILL PLATE. HORIZONTAL CONTINUOUS BLOCKING AT 4'-0"	<ol> <li>STONE AND CERA WITH SECTION 9.3</li> </ol>	AMIC TILE INSTALLATION : 30.6 OF OBC.	HALL BE IN ACCORDANCE				DEL Y M D	
STRUCTURAL NOTES 2.0  CONSTRUCTION NOTES  CONS	OROFESSION.								
STRUCTURAL NOTES 2.0 (CONSTRUCTION)  CONSTRUCTION NOTES:  CONSTRUCTION N	231 BURNS BOULEVARD, KING CITY, ON L7B 1E1	& AD. AJahr &							
O. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE THAT EVERY	5. BOTTOM PLATE OF UPPER STORY SHEARWALL TO BE CONNECTED TO THE FLOOR FRAMING, WHERE FLOOR FRAMING IS PROPERLY CONNECTED TO LOWER STOREY	OR OTHER BOND	REDUCING COATINGS.					syed.jaffry@debajtech.com	│
WHICH COULD CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF	SHEARWALL. OVERSIZED (LONGER) SHEATHING PANELS MAY BE USED TO CONNECT UPPER STOREY SHEARWALLS TO LOWER STOREY SHEARWALLS THROUGH THE	6. AFTER INITIAL FAE	BRICATION, DO NOT BEN	KEINFORCEMENT STEEL.				www.debajtech.com	1 / 3/2 / 1820 /
1. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEVIATION FROM THE	THE UPPER AND LOWER STOREY SHEAR PANELS TO ACCOMMODATE MOVEMENT OF							Seruncate of Addionization # 1005	OF OF
PERTAINING DOCUMENT.	PANELS; STRONG WALL BY SIMPSON, STEEL STRONG WALL BY SIMPSON, AND								
STRUCTURAL NOTES:    South Construction   Construct									
SPECIFICATIONS.	FRAIL NOTES 2.0  STERUCTION)  SITE INSPECTIONS								
ENGINEER FOR REVIEW IN A TIMELY MANNER. THESE DRAWINGS TO BE STAMPED, SIGNED AND DATED BY THE CONTRACTOR'S/MANUFACTURER'S	NOTES 2.0  COTION)  SITE INSPECTIONS  SITE INSPE								
4. CONTRACTOR SHALL PROVIDE ADEQUATE VERTICAL AND LATERAL TEMPORARY	AREAS ADD CONTINUOUS 2x3 PLY GLUED AND SCREWED ON TOP OF JOISTS AND							TITLE	
SUCH THAT NOT MORE THAN 50% OF ONE FLOOR AT ONE LEVEL IS REMOVED AT ANY GIVEN TIME. SHORING AND BRACING SHALL BE SITE REVIEWED AND	<ol> <li>ALL EXISTING STRUCTURAL ITEMS FOUND RUSTED, ROTTEN, BROKEN, CUT NOTCHED, BURNED OR DAMAGED SHALL BE REINFORCED OR REPLACED.</li> </ol>								
APPROVED BY THE ENGINEER PRIOR TO EXISTING LOAD BEARING WALL									
	SIDE OF THE OPENING.							394 UPPER SHERMA	N AVE, HAMILTON, ON L8V 3L2
CONTRACTOR SHALL TAKE SPECIAL CURING PRECAUTIONS TO MINIMIZE									· ·
STRINGAGE CRACKING OF CONCRETE SLABS	MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. HOLD								
	1							SIED DAFFRI	30.03













Committee of Adjustment

City Hall, 5<sup>th</sup> Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

# APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT II	NFORMATION			07107
-	NAME			
Registered Owners(s)	Stephen Sankar/Kira Lee			
Applicant(s)				Phone:
				E-mail:
Agent or Solicitor				Phone:
				E-mail:
1.2 All correspondent		☐ Purcha☐ Applica	nt	<ul><li>☑ Owner</li><li>☐ Agent/Solicitor</li></ul>
1.3 Sign should be se	ent to	☐ Purcha: ☐ Applica		<ul><li>☑ Owner</li><li>☑ AgentSolicitor</li></ul>
1.4 Request for digita	I copy of sign	✓ Yes*	□No	
If YES, provide er	mail address where sig	n is to be se	nt	•
1.5 All correspondence	e may be sent by emai	il	☑ Yes*	□No
(ii applicable). Off	ail must be included for ly one email address s not guarantee all corre	Upmitted wil	I recult in the	AND the Applicant/Agent voiding of this service.
LOCATION OF SU	BJECT LAND	*\		
2.1 Complete the appli	cable sections:	1		

Municipal Address	394 Upper She		
Assessment Roll Number			
Former Municipality	Barton		
Lot	9	Concession	1
Registered Plan Number		Lot(s)	T
Reference Plan Number (s)		Part(s)	

2.2	Are there	any	easemen	ts or restricti	ve coven	ants aff	fecting tl	he subject	land?

☐ Yes ☑ No
If YES, describe the easement or covenant and its effect:

## 3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Front Porch

Landskaping at Last than 50%

- ☐ Second Dwelling Unit
- Reconstruction of Existing Dwelling
- 3.2 Why it is not possible to comply with the provisions of the By-law?
  Design is larger than existing porch
- 3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☑ No

If yes, please provide an explanation:

# 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

ot Frontage	Lot Depth	Lot Area	Width of Street
38	90		volution Street
		3420	

Existing:				
Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Porch	4.80m	10.75m	0.82m(n) 2.54m(s)	06/06/1945
Proposed:				
Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
New Front Porch	3.67m	8.65m	0.82(n) 1.39m(s)	Construction
.3. Particulars of a sheets if neces	all buildings and struct	tures on or proposed	for the subject lands (a	attach additional
xisting: Type of Structure	Ground Floor Area	Cross Flags Asset	N	
Type of Structure  House	Ground Floor Area 743sf 69m2	Gross Floor Area 743sf 69m2	Number of Storeys	Height 5.35m
Type of Structure House				
Type of Structure House	743sf 69m2	743sf 69m2	1	5.35m
Type of Structure House roposed:				
Type of Structure House  roposed: Type of Structure House	743sf 69m2  Ground Floor Area 103.2m2	743sf 69m2  Gross Floor Area 103.2m2	Number of Storeys	5.35m Height
Type of Structure House  roposed: Type of Structure House  4 Type of water s  publicly own	743sf 69m2  Ground Floor Area	743sf 69m2  Gross Floor Area 103.2m2  riate box) ed water system	Number of Storeys	Height 5.43m

4.2

4	4.6	Type of sewage disposal proposed: (check approp	riate box)
		<ul> <li>✓ publicly owned and operated sanitary sewage</li> <li>✓ system privately owned and operated individual</li> <li>✓ septic system other means (specify)</li> </ul>	
4	1.7	Type of access: (check appropriate box)  ☐ provincial highway ☐ municipal road, seasonally maintained ☑ municipal road, maintained all year	☐ right of way ☐ other public road
4	8.4	Proposed use(s) of the subject property (single detact Residential	ched dwelling duplex, retail, factory etc.)
4	.9	Existing uses of abutting properties (single detached Resiential, Commerical	dwelling duplex, retail, factory etc.):
7	ŀ	HISTORY OF THE SUBJECT LAND	
7	.1	Date of acquisition of subject lands: July 22nd 2019	
7.	.2	Previous use(s) of the subject property: (single detact Residential	ned dwelling duplex, retail, factory etc)
7.	.3	Existing use(s) of the subject property: (single detach Residential	ed dwelling duplex, retail, factory etc)
7.	4	Length of time the existing uses of the subject propert Since construction	y have continued:
7.	5 V	What is the existing official plan designation of the sub	ject land?
	R	Rural Hamilton Official Plan designation (if applicable):	
		Rural Settlement Area:	
	U	Irban Hamilton Official Plan designation (if applicable)	
	Р	lease provide an explanation of how the application c	onforms with the Official Plan.
7.6	6 V	What is the existing zoning of the subject land? Resid	lential
7.8	3 H	Has the owner previously applied for relief in respect of Zoning By-lawAmendment or Minor Variance)	
		☐ Yes  If yes, please provide the file number:  Residential	No

7.9	Is the subject property the subject of a current application for consent under Section 53 of the  Planning Act?  Yes  No
	If yes, please provide the file number:
7.10	If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
	☐ Yes ☑ No
7.11	If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
8	ADDITIONAL INFORMATION
8.1	Number of Dwelling Units Existing: 1
8.2	Number of Dwelling Units Proposed: 1
8.3	Additional Information (please include separate sheet if needed):
	Landscaping at less than 50% of front yard