



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

| | | | |
|-------------------------|------------------------------|--------------------------|---|
| APPLICATION NO.: | SC/A-24:22 | SUBJECT PROPERTY: | 69 CACTUS CRESCENT, STONEY CREEK |
| ZONE: | "R4-32" (Single Residential) | ZONING BY-LAW: | Zoning By-law former City of Stoney Creek 3692-92, as Amended |

APPLICANTS: Owner: BRANDON AND KRYSTLE CHERRIERE
Applicant: TOMASZ GORAL

The following variances are requested:

1. A total lot coverage for all accessory buildings shall not exceed 11.0 percent of the total lot area instead of the maximum permitted 10.0 percent lot coverage for all accessory buildings.

PURPOSE & EFFECT: To permit the construction of a new 62.28 square metre accessory building in the rear yard of the existing Single Detached Dwelling.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

| | |
|---------------|--|
| DATE: | Tuesday, March 12, 2024 |
| TIME: | 2:55 p.m. |
| PLACE: | Via video link or call in (see attached sheet for details) |
| | City Hall Council Chambers (71 Main St. W., Hamilton) |
| | To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment |

For more information on this matter, including access to drawings illustrating this request and other information submitted:

SC/A-24:22

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

PUBLIC INPUT

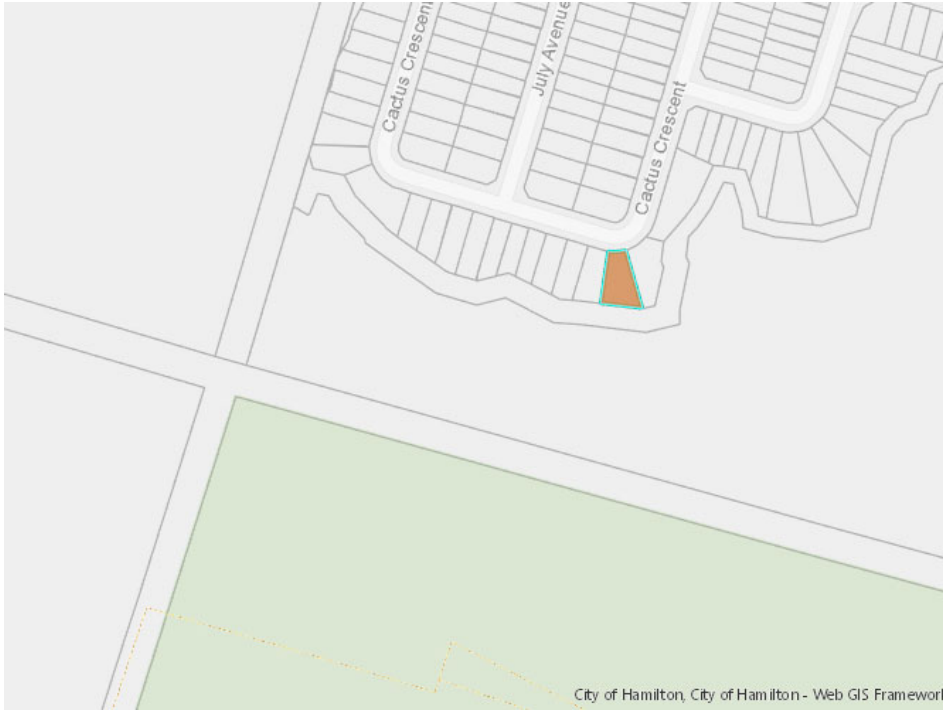
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon March 8, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon March 11, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding SC/A-24:22, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: February 22, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

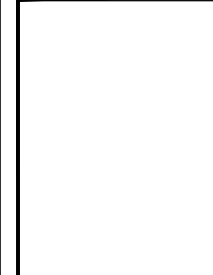


SITE PLAN INFORMATION TAKEN FROM:
 PLAN OF LOTS 237, 238 AND 239
 REGISTERED PLAN 62M-1257
 CITY OF HAMILTON
 BY: R-PE SURVEYING LTD.
 DATE: 09 MARCH 2020

| | | | | | |
|----------------|---------------|----------------|-------|------------|----|
| SCALE | 3/32" - 1'-0" | DRAWN BY | TCG | CHECKED BY | FS |
| DATE | 09 NOV 2023 | DRAWING NUMBER | A-1.1 | | |
| PROJECT NUMBER | 2401 | | | | |

| | |
|--|-----------|
| DRAWING TITLE | SITE PLAN |
| CACTUS CRESCENT RESIDENCE | |
| 69 CACTUS CRESCENT, HAMILTON, ONT. L8K 6R9 | |

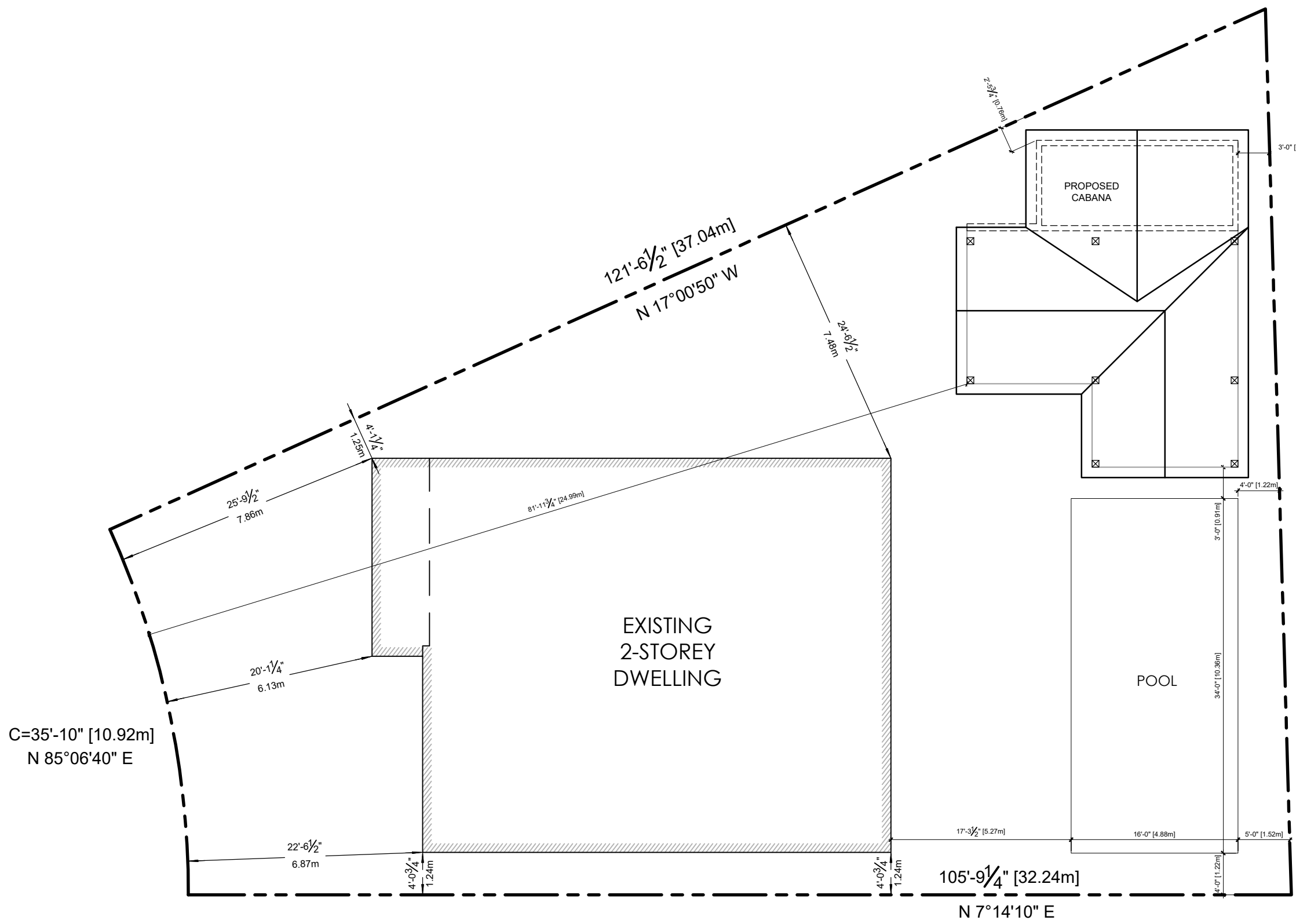
| No. | DATE | REVISION/SUBMISSION | ISSUED BY |
|-----|-------------|---------------------|-----------|
| 1. | 13 DEC 2023 | ISSUED FOR PERMIT | TCG |



GORAL DESIGN
 T: 647.505.9632
 E: tgoral@goraldesign.ca



THIS DRAWING IS THE PROPERTY OF GORAL DESIGN INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GORAL DESIGN INC. THE DESIGN AND CONSTRUCTION OF THIS PROJECT IS THE SOLE RESPONSIBILITY OF GORAL DESIGN INC. AND THE CLIENT. THE CLIENT IS ADVISED THAT THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS ADVISED THAT THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CLIENT IS ADVISED THAT THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CLIENT IS ADVISED THAT THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.



LOT AREA: 610.88m.sq.
 HOUSE FOOTPRINT: 166.21m.sq.
 PROPOSED CABANA: 62.28m.sq.

STRUCTURAL NOTES AND SPECIFICATIONS

THESE NOTES ARE TO BE FULLY READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER INCLUDED DRAWINGS SUBMITTED FOR PERMIT. IT IS THE RESPONSIBILITY OF THE OWNER, OWNERS' CONSULTANT AND CONTRACTOR TO READ AND FULLY UNDERSTAND THE REQUIREMENTS OF THE PROPOSED WORK COMPLETED DURING THE DESIGN STAGE PRIOR TO COMMENCING CONSTRUCTION.

1. GENERAL

- 1.1 CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING AND/OR TEMPORARY WORKS DURING CONSTRUCTION FOR THE SAFE INSTALLATION OF ALL CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL, DIRECTION AND SUPERVISION OF THE CONSTRUCTION METHODS, MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR ALL SHORING AND/OR TEMPORARY WORKS.
1.2 CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL CONSTRUCTION OF THE WORK AND BE RESPONSIBLE FOR THE CONTROL, DIRECTION AND SUPERVISION OF THE CONSTRUCTION METHODS, MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR ALL CONSTRUCTION OF THE WORK
1.3 THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE HEALTH AND CONSTRUCTION SAFETY LEGISLATION AT THE PLACE OF THE WORK.
1.4 PRIOR TO THE COMMENCEMENT OF NEW WORKS, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE EXISTING STRUCTURE IS INTACT AND FREE OF DEFECTS SUCH AS, BUT NOT LIMITED TO, CRACKS, SPALLING, ROT, DEFLECTIONS, DEFORMATIONS AND SETTLEMENTS IT IS THE DUTY OF THE CONTRACTOR TO OPEN AREAS OF EXISTING TO INSPECT THE UNDERLYING STRUCTURE WHERE IT IS NOT FULLY EXPOSED.
1.5 WHERE THE CONTRACTOR IS REQUIRED TO VERIFY SITE CONDITIONS, THIS SHALL MEAN THAT THE CONTRACTOR SHALL EXPOSE THE EXISTING CONDITION AND REPORT THEIR FINDING TO THE OWNER AND/OR OWNERS CONTRACTED CONSULTANT.
1.6 THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE BUILDING DEPARTMENT FOR REQUIRED INSPECTION (REFER TO THE BUILDING PERMIT FOR INSPECTION REQUIREMENTS.) THE DESIGNER AND/OR ENGINEER WILL NOT BE RESPONSIBLE OR HELD LIABLE, IN PART OR IN WHOLE, FOR DESIGN ERRORS RELATED TO THE WORK IF WE ARE NOT RETAINED TO INSPECT THE WORK DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER OR OWNERS CONTRACTOR / CONSULTANT TO RETAIN AN ENGINEERING CONSULTANT DURING CONSTRUCTION AS MAY BE REQUIRE BY THE CITY INSPECTOR.
1.7 THE CONTRACTOR SHALL REVIEW ALL DIMENSIONS SHOWN ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS WITH ALL THE OTHER DISCIPLINE DRAWINGS (ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL) AND REPORT ANY DISCREPANCIES TO THE APPLICABLE DISCIPLINE IMMEDIATELY.
1.8 STRUCTURAL DETAILS SHALL SUPERSEDE THOSE DETAILS SHOWN ON DRAWINGS AND SHALL SUPERSEDE THOSE ON TYPICAL DETAILS. IN THE CASE OF A DISCREPANCY, THE MORE STRINGENT SHALL GOVERN.
1.9 ALL WORK AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE (O.B.C.). IT IS EXPECTED THAT ALL WORK SHALL BE CARRIED OUT BY PERSONS WHO ARE KNOWLEDGEABLE AND COMPETENT WITHIN THEIR TRADES OF SPECIALIZATION TO CARRY OUT THE WORK AS IT PERTAINS TO THIS PROJECT. THE CONTRACTOR, IN AGREEING TO UNDERTAKE THE WORK, SHALL COMPLY WITH ALL THE DETAILED REQUIREMENTS OF THE O.B.C., SPECIFICALLY THOSE REQUIREMENTS SET FORTH IN PART 9.

2. DESIGN INFORMATION

- 2.1 DESIGN WAS DONE IN ACCORDANCE WITH THE PART 9 OF THE ONTARIO BUILDING CODE.
2.2 PLAIN CONCRETE FOR FOOTINGS WHERE DESIGNED IN ACCORDANCE WITH PART 9 OF THE O.B.C. AND ALL OTHER UNREINFORCED AND REINFORCED CONCRETE WAS DESIGNED TO CSA A23.3
2.3 UNREINFORCED MASONRY FOUNDATION WALLS WHERE DESIGNED IN ACCORDANCE WITH PART 9 OF THE O.B.C. AND ALL OTHER UNREINFORCED AND REINFORCED MASONRY TO CSA S304.1
2.4 STRUCTURAL STEEL DESIGN IS IN ACCORDANCE CAN/CSA S16.1
2.5 ROOF JOISTS AND CEILING JOISTS AND RAFTERS WHERE DESIGNED IN ACCORDANCE WITH PART 9 OF THE O.B.C. AND FLOOR JOISTS AND ALL WOOD MEMBERS ARE DESIGNED TO CSA 086
2.6 UNLESS NOTED OTHERWISE, LOADS ARE SHOWN ON THE DRAWINGS. CONSTRUCTION LOADS SHALL NOT EXCEED THOSE TABULATED IN THE DESIGN NOTES OR THE DRAWINGS.
2.7 CONTRACTOR SHALL MAKE SPECIAL PROVISION FOR THE WORK IF UNDERTAKEN IN COLD WEATHER CONDITIONS AND SHALL COMPLY WITH ALL STANDARDS OF PRACTICE PERTAINING TO COLD WEATHER CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF IT IS THE INTENTION TO PERFORM WORK THROUGH COLD WEATHER CONDITIONS, PRIOR TO BEGINNING OF WORK.

3. GEOTECHNICAL AND EXCAVATION WORKS

- 3.1 THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE TO RUN OF 7:10.
3.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO EXCAVATING (I.E. "CALL BEFORE YOU DIG" ONTARIO ONE CALL).
3.3 THE DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING CAPACITY OF 100kPa. A GEOTECHNICAL REPORT MAY BE REQUIRED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER OR OWNERS CONTRACTED CONTRACTOR/CONSULTANT TO HIRE A GEOTECHNICAL ENGINEER AS NEEDED.
3.4 CONTRACTOR SHALL PLACE FOOTINGS AND PIERS ON NATURALLY UNDISTURBED SOIL. THE EXPOSED SOIL SURFACE SHALL BE FREE FROM ALL DELETERIOUS MATERIALS. IF THE CONTRACTOR IDENTIFIES WET OR WEAK AREAS, THESE AREAS SHOULD BE INVESTIGATED BY A GEOTECHNICAL ENGINEER.
3.5 THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNDERTAKING ALL EXCAVATION WORK AND SHALL PERFORM THE WORKS AS TO PREVENT DAMAGE TO ADJACENT STRUCTURES, PROPERTY, UTILITIES, ROADS, SIDEWALKS DURING ALL STAGES OF CONSTRUCTION.
3.6 THE BASE AND SIDE OF EVERY EXCAVATION AREA SHALL BE FREE FROM ORGANIC MATERIAL.
3.7 IN AREAS WHERE TERMITES ARE KNOWN TO BE PROBLEMATIC, ALL STUMPS, ROOTS, AND OTHER WOOD DEBRIS SHALL BE REMOVED FROM THE SOIL TO A DEPTH NOT LESS THAN 300mm (12") IN UNEXCAVATED AREAS UNDER A BUILDING OR STRUCTURE.
3.8 EXCAVATION SHALL BE FREE FROM STANDING WATER. THIS CONDITION SHALL GIVE RISE TO A FURTHER GEOTECHNICAL INVESTIGATION BY A GEOTECHNICAL ENGINEER TO CONFIRM THE ALLOWABLE BEARING CAPACITY OF THE SOIL.
3.9 IF THE WORK IS TO PROCEED DURING WINTER MONTHS, THE EXCAVATED AREAS SHALL BE KEPT FROM FREEZING THROUGHOUT THE CONSTRUCTION PERIOD.
3.10 ALL FOOTINGS AND FOUNDATIONS SHALL BE FOUNDED AT A DEPTH NOT LESS THAN 1.2M (4FT) BELOW GRADE, EXCEPT WHERE INSULATING MEASURES HAVE BEEN MADE TO REDUCE THE DEPTH OF FROST PENETRATION AND DIRECTION OF THE ICE LENSING.

4. CONCRETE NOTES

- 4.1 DESIGN AND CONSTRUCTION OF CONCRETE SHALL CONFORM TO CSA A23.3
4.2 UNLESS OTHERWISE NOTED, THE CONCRETE SHALL HAVE MINIMUM PROPERTIES.
- TYPE GU CEMENT, NOMINAL SIZE AGGREGATE OF 20mm
- GENERAL USE CONCRETE: 25MPa At 28 DAYS, 75mm SLUMP & 0.55 WATER/CEMENT RATIO.
- CONCRETE FOR EXTERIOR USE AND/OR EXPOSED TO FREEZING: 32MPa at 28 DAYS, 75mm SLUMP, 0.45 WATER/ CEMENT RATIO & 5-8% AIR ENTRAINMENT
4.3 REINFORCED CONCRETE SHALL HAVE THE FOLLOWING COVER TO REINFORCEMENT:
- CONCRETE CAST AGAINST SOIL AND/OR EXPOSED TO FREEZING SHALL HAVE A 75mm (3") COVER
- CONCRETE NOT EXPOSED TO FREEZING OR CAST AGAINST SOIL SHALL HAVE A 25mm (1") COVER
4.4 ALL ANCHOR RODS SHALL ALL BE THREADED ASTM A193 B7 ROD.
4.5 ALL GROUT SHOWN ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS SHALL BE SikaGrout 212 OR APPROVED EQUAL. GROUT SHALL BE PLACED UNDER ALL COLUMN BASE PLATES TO ENSURE FULL BEARING ON THE CONCRETE.
4.6 THE FINISHED CONCRETE PRODUCT SHALL BE PLACED IN SUCH A MANNER THAT ANY ARCHITECTURALLY EXPOSED OR COMMONLY VISIBLE CONCRETE SURFACE SHALL BE FREE FROM VISIBLE SIGNS OF STREAKING OR HONEYCOMBING.
4.7 ALL REINFORCING STEEL SHALL BE GRADE 400MPa AND CONFORM TO CSA G3018
4.8 REINFORCEMENT SHALL BE SUPPORTED BY WIRE CHAIRS OR APPROVED EQUAL TO MAINTAIN CONCRETE COVER.
4.9 REINFORCING STEEL SHALL BE FREE FROM LOOSE SCALE, RUST, MUD, OIL OR ANY OTHER CONTAMINATE THAT MAY REDUCE THAT BOND BETWEEN THE STEEL REINFORCEMENT AND THE CONCRETE.
4.10 VERTICAL REINFORCEMENT IN FOUNDATION WALLS SHALL BE ONE PIECE AND NOT SPLICED.
4.11 TACK WELDING, HEATING OR CUTTING OF STEEL REINFORCEMENT IS PROHIBITED.
4.12 LOCATION OF FLOOR CONTROL JOINTS SHALL BE SPACED AT A MAXIMUM OF 6m (20FT) AND SHALL BE PROVIDED AROUND ALL COLUMN FOOTINGS.
4.13 CONCRETE SHALL CURE AS PER CSA A23 1.2.
4.14 ALL CONCRETE SHALL BE CONSOLIDATED WITH A MECHANICAL VIBRATOR.

5. STEEL NOTES

- 5.1 THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH CSA S16 AND THE CISC STANDARD CODE OF PRACTICE.
5.2 ALL STRUCTURAL STEEL SHALL BE GRADE 350W AND CONFORM TO CSA G40.20-13/G40.21-13
5.3 ALL STEEL PLATES OTHER MISCELLANEOUS SHAPES SHALL BE GRADE 300W AND CONFORM G40.20-13/G40.21-13
5.4 WELDING PRACTICES SHALL CONFORM TO CSA W59-13.
5.5 CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTIONS IF WELDING IS TO BE DONE ONSITE AND NEAR COMBUSTIBLE MATERIALS, WHERE CUTTING OR WELDING IS DONE NEAR WALLS, PARTITIONS, CEILING OR ROOF OF COMBUSTIBLE CONSTRUCTION, FIRE-RESISTANT SHIELDS OR GUARDS SHALL BE PROVIDED TO PREVENT IGNITION.
5.6 CONNECTION NOT DETAILED ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS SHALL BE DESIGNED AND DETAILED BY THE FABRICATOR'S ENGINEER.
5.7 USE A MINIMUM OF 2 BOLTS FOR EVERY BOLTED CONNECTION. ALL BOLTED CONNECTIONS SHALL BE DONE USING TURN-ON-NUT METHOD, UNLESS NOTED OTHERWISE ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS.
5.8 ALL EXPOSED STEEL MEMBERS AND CONNECTORS SHALL BE HOT DIPPED GALVANIZED.

4. CONCRETE MASONRY (C.M.U.) NOTES

- 6.1 THE DESIGN AND ERECTION OF MASONRY ELEMENTS SHALL BE IN ACCORDANCE WITH CAN/CSA-A371-04 (R2009) - MASONRY CONSTRUCTION FROM BUILDINGS AND S304.1-04 - DESIGN OF MASONRY STRUCTURE
6.2 CONCRETE SHALL BE TESTED AT A FREQUENCY NO LESS THAN SET OF CYLINDERS/DAY/TYPE OF CONC. OR EVERY 50 CUBIC METERS OF CONCRETE. TEST RESULTS SHALL BE PROVIDED TO THE OWNER OR OWNERS CONTRACTED CONSULTANT.
6.3 CONCRETE BLOCKS SHALL CONFORM TO CSA A165 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 15MPa-H/15/D/M.
6.4 USE ONLY TYPE S MORTAR CONFORMING TO CSA-A179-04
6.5 MASONRY WALLS ARE TO BE RUNNING BOND WITH FULL MORTAR BEDS, UNLESS NOTED OTHERWISE. COURSING HEIGHT SHALL BE 200MM (8") FOR ONE BLOCK AND ONE JOINT.
6.6 ALL MORTAR JOINTS ARE TO BE TOOLED TO A CONCAVE JOINT, BOTH INTERIOR AND EXTERIOR EXPOSURES.
6.7 CONTINUOUS WELDED DOUBLE WIRE WELDED LADDER OR TRUSS TYPE SHALL CONFORM TO CAN/CSA-A370-04 (R2009)-CONNECTORS FOR MASONRY.
6.8 ALL MASONRY USED AS FOUNDATION WALLS SHALL BE PARGED AS PER O.B.C 9.15.6
6.9 ALL REINFORCING STEEL SHALL BE GRADE 400MPa AND CONFIRM TO CSA G30.18
6.10 REINFORCEMENT SHALL BE SUPPORTED BY WIRE CHAIRS OR APPROVED EQUAL TO MAINTAIN CONCRETE COVER.
6.11 REINFORCING STEEL BE FREE FROM LOOSE SCALE, RUST, MUD, OIL OR ANY OTHER CONTAMINATE THAT MAY REDUCE THE BOND BETWEEN THE STEEL REINFORCEMENT AND THE CONCRETE.
6.12 VERTICAL REINFORCEMENT IN FOUNDATION WALLS SHALL BE ONE PIECE AND NOT SLICED.
6.13 TACK WELDING, WELDING, HEATING OR CUTTING OF STEEL REINFORCEMENT IS PROHIBITED.
6.14 ERECT ALL MASONRY VENEER PLUMB, SQUARE AND TRUE TO LINES.
6.15 INSTALL METAL CONNECTORS AND PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

5. MASONRY VENEER NOTES

- 7.1 DESIGN AND CONSTRUCTION OF MASONRY VENEER FOR RESIDENTIAL CONSTRUCTION SHALL CONFORM TO PART 9 OF THE O.B.C.: SECTIONS 9.20.64 - MASONRY VENEER, SECTION 9.20.9.5- TIES FOR MASONRY VENEER.
7.2 MASONRY VENEER SHALL BE SOLID WITH A MINIMUM COMPRESSIVE STRENGTH OF 15MPa
7.3 MASONRY VENEER SHALL BE LAID IN A RUNNING BOND PATTERN.
7.4 MORTAR AND GROUT SHALL CONFORM TO CSA-A173-04. USE ONLY TYPE S MORTAR FOR ALL CONSTRUCTION.
7.5 ALL MORTAR JOINTS ARE TO BE TOOLED TO A CONCAVE JOINT, BOTH INTERIOR AND EXTERIOR EXPOSURES.
7.6 MASONRY VENEER TIES SHALL HAVE A MAXIMUM VERTICAL SPACING OF 400MM (16") AND A MAXIMUM HORIZONTAL SPACING OF 400MM (16"). THE VERTICAL SPACING SHALL MATCH EVERY VERTICAL STUD SPACING.
7.7 TIES SHALL BE CORROSION-RESISTANT METAL TIES NAILED TO THE STUDS AND EMBEDDED IN THE MORTAR JOINTS BETWEEN THE MASONRY TO TIE THE VENEER TO THE FRAMEWORK.
7.8 MASONRY TIES SHALL NOT BE LESS THAN 0.76MM THICK AND 22MM WIDE, CORROSION RESISTANT AND SHAPED TO PROVIDE A KEY WITH THE MORTAR JOINT. MASONRY STRAPS ARE NOT PERMITTED.
7.9 MASONRY VENEER SHALL NOT PROJECT MORE THAN 30MM BEYOND THE FACE OF THE SUPPORTING BASE, PROVIDED THAT THE UNITS ARE AT LEAST 90MM (3 1/2") THICK.
7.10 ALL MASONRY VENEER LINTELS SHALL BE HOT DIPPED GALVANIZED.
7.11 ALL MASONRY VENEER LINTELS SHALL SUPPORT AT LEAST TWO THIRDS OF THE VENEER THICKNESS.
7.12 ERECT ALL MASONRY VENEER PLUMB, SQUARE AND TRUE TO LINES.
7.13 INSTALL METAL CONNECTORS AND PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

8. WOOD NOTES

- 8.1 DESIGN AND CONSTRUCTION OF WOOD MEMBERS AND CONNECTORS SHALL CONFORM TO PART 9 OD THE O.B.C., CSA 086, & CWC "ENGINEERING GUIDE FOR WOOD FRAME CONSTRUCTION".
8.2 ALL WOOD EXPOSED TO THE EXTERIOR SHALL BE PRESERVATIVE TREATED. EXTERIOR PLYWOOD SHEATHING SHALL BE STAMPED EXTERIOR GRADE. SHEATHING SHALL CONFORM TO CSA 0151 AND BE GRADE D-FIR PLYWOOD. OSB BOARD IS NOT PERMITTED ON ANY EXTERIOR SURFACE.
8.3 SAWN LUMBER SHALL CONFORM TO CSA 0141 AND BE STAMPED SPF NO. 2 OR GREATER
8.4 IN AREAS WHERE TERMITES ARE KNOWN TO OCCUR, DESIGN AND CONSTRUCTION SHALL CONFORM TO CLAUSE 9.3.2.8 OF THE O.B.C.
8.5 ERECT ALL WOOD FRAMING PLUMB, SQUARE AND TRUE TO LINES.
8.6 COMMON WIRE NAILS SHALL PENETRATE THE WOOD SUBSTRATE PER THE FOLLOWING TABLE

Table with 4 columns: SIZE, DIAMETER, WIRE GAUGE, PENETRATION. Rows include 8d, 10d, 16d, 20d with corresponding dimensions.

NOTE: PENETRATION IS MEASURED INTO THE PIECE OF WOOD RECEIVING THE NAIL. 38mm (1.5") OF PENETRATION IS ACCEPTABLE FOR 10D AND 16D NAILS FOR TOP PLATE SAND 38mmx (2x) MEMBERS.

- 8.7 STEEL WIRE NAILS OR COMMON SPIRAL NAILS, SPIKES, AND STAPLES SHALL CONFORM TO ASTM F 1667. ALL FASTENERS SHALL BE HOT DIPPED GALVANIZED IF USED FOR EXTERIOR APPLICATIONS.
8.8 HOLES SHALL BE DRILLED TO PREVENT SPLITTING OF WOOD AS REQUIRED.
8.9 INSTALL ENGINEERED LUMBER, METAL CONNECTORS AND PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.
8.10 TOP PLATES SHALL BE CONSTRUCTED OF TWO PLATES, SAME SIZE AS STUD, STAGGERED SPLICES MINIMUM OF 1220MM (4'-0"). CENTRE SPLICES OVER STUDS. SPLICES SHALL CONSTRUCTED WITH A MINIMUM OF 1-16D NAILS.
8.11 BUILT -UP WOOD MEMBER SHALL CONFORM TO CSA 086 CLAUSE 5.5.6.4 AND BE NAILED TOGETHER WITH (2)-75MM LONG NAILS EVERY 200MM ON CENTERS AND WITHIN 60MM FROM EACH END. HOT DIPPED GALVANIZED NAILS SHALL BE USED IF EXPOSED TO THE ELEMENTS.
8.12 SOLID LOCKING OR CROSS BRACING SHALL BE INSTALLED FOR ALL FLOOR JOISTS. BLOCKING/BRACING SHALL BE PROVIDED WITHIN 2.1M (6'-10") FROM EACH SUPPORT AND THE SPACING OF BLOCKING/BRACING SHALL NOT EXCEED 2.1M (6'-10").
8.13 ALL OPENINGS SHALL BE REINFORCED WITH A MINIMUM OF DOUBLE HEADERS AND DOUBLE TRIMMERS, UNLESS NOTED OTHERWISE ON THE STRUCTURAL PLANS.
8.14 NON-LOAD BEARING WALLS SHALL HAVE DOUBLE JOISTS PROVIDED WHEN THE JOISTS RUN PARALLEL WITH THE WALL OR SOLID BLOCKING SHALL BE PROVIDED WHEN THE JOIST ARE PERPENDICULAR TO THE WALL.
8.15 END SUPPORTS OF ALL ROOF AND JOISTS SHALL HAVE THEIR ENDS HELD IN POSITION BY EITHER: SOLID BLOCKING, NAILED BRIDGING, NAILING TO OTHER MEMBERS OR JOISTS HANGERS.
8.16 ALL FLOOR AND ROOF SHEATHING SHALL HAVE A MINIMUM OF THICKNESS OF 19MM (3/4"), T&G, GLUED AND NAILED TO FLOOR JOISTS.
8.17 WALL SHEATHING SHALL HAVE A MINIMUM OF THICKNESS PF 127MM (1/2") AND BE OF A PLYWOOD CONSTRUCTION.
8.18 ALL WALLS OVER 244M (8'-0") HIGH SHALL HAVE BLOCKING PROVIDED AT MID-HEIGHT OF THE STUDS.
8.19 ALL WOODS PRODUCTS SHALL BE KEPT FROM THE GROUND AND SHALL BE PROTECTED FROM THE EXTERIOR ENVIRONMENT.
8.20 THE STRUCTURE SHALL NOT BE FULLY ENCLOSED UNTIL THE WOOD MOISTURE CONTENT HAS BEEN VERIFIED TO BE AT OR BELOW 15% ANY SIGNS OF MOLD OR ROT SHALL BE REMOVED IMMEDIATELY AND REPLACED BY AN ACCEPTABLE WOOD ELEMENT.
8.21 ALL FRAMING HANGERS ARE TO BE INSTALLED AS PER APPROVED MANUFACTURER SPECIFICATIONS.
8.22 NOTCHING OR DRILLING HOLES IN FLOOR JOISTS OR WALL STUDS SHALL TO BE DONE IN ACCORDANCE WITH PART 9 OBC AND/OR APPROVED MANUFACTURER SPECIFICATIONS.

STEEL LINTEL: Table with 2 columns: LINTEL, SIZE. Rows L1-L7 with dimensions.

WOOD LINTELS AND BUILT-UP WOOD BEAMS: Table with 3 columns: LINTEL, SIZE, SPAN. Rows W2-6 to W4-12.

LAMINATED VENEER LUMBER (LVL) BEAMS: Table with 2 columns: LINTEL, SIZE. Rows LVL2-8 to LVL3-14.

SOLID BEARING: Table with 2 columns: SB2, SB3. Rows 2 MEMBER BUILT-UP STUD, 3 MEMBER BUILT-UP STUD.

NOTE: SOLID LOAD BEARING (THE WIDTH OF THE STUD POST SHALL NOT BE LESS THAN THE WIDTH OF THE BEAM IT SUPPORTS) ALL SOLID LOAD BEARING POINTS MUST BE CONTINUOUS AND CARRIED DOWN TO BEAMS, FOUNDATION WALLS OR FOOTINGS. PROVIDE BLOCKING AS REQUIRED.

- NOTES:
1. PROVIDE THE FOLLOWING BEARING LENGTH.
- 1-3/4" FOR ENGINEERING JOISTS
- 3-1/2" FOR LVL AND WOOD BEAMS
- 6" FOR STEEL LINTELS AND STEEL BEAMS
2. BACK-TO-BACK STEEL LINTELS SHALL BE BOLTED TOGETHER W/ 1/2" DIA. A307 BOLTS (W/ NUTS AND WASHERS) @ 12" o.c. OR WELDED W/ 1/2" FILLET WELDS (3"-12")
3. FOLLOW MANUFACTURES SPECIFICATIONS FOR ALL ENGINEERING PRODUCTS.
4. MINIMUM 2 ROWS OF 10d x 3" LONG NAILS AT 12" o.c. EACH SIDE OF LVL BEAMS
5. MINIMUM OF 24 - 10d x 3" LONG NAILS PER SIDE AND EACH SIDE AT POINT LOADS OF LVL BEAMS

LEGEND: Table with 2 columns: Symbol, Description. Rows include DB_JST, PA, SB, B.E.W., SBFA, SA, CMD, FD, R.O., C.O., P.T., CANT.

NOTE: CONTRACTOR TO VERIFY ALL EXISTING STRUCTURAL CONDITIONS FOR DISCREPANCIES PRIOR AND DURING CONSTRUCTION. IF DISCREPANCIES ARE FOUND THEN A REDESIGN MAY BE REQUIRED.

NOTE: THE CONTRACTOR SHALL PROVIDE AND IS RESPONSIBLE FOR ALL TEMPORARY SUPPORT, SHORING, OR BRACING AS REQUIRED TO COMPLETE THE WORK

NOTE: TONED WALL REPRESENT EXISTING WALLS TO REMAIN (TYP.)

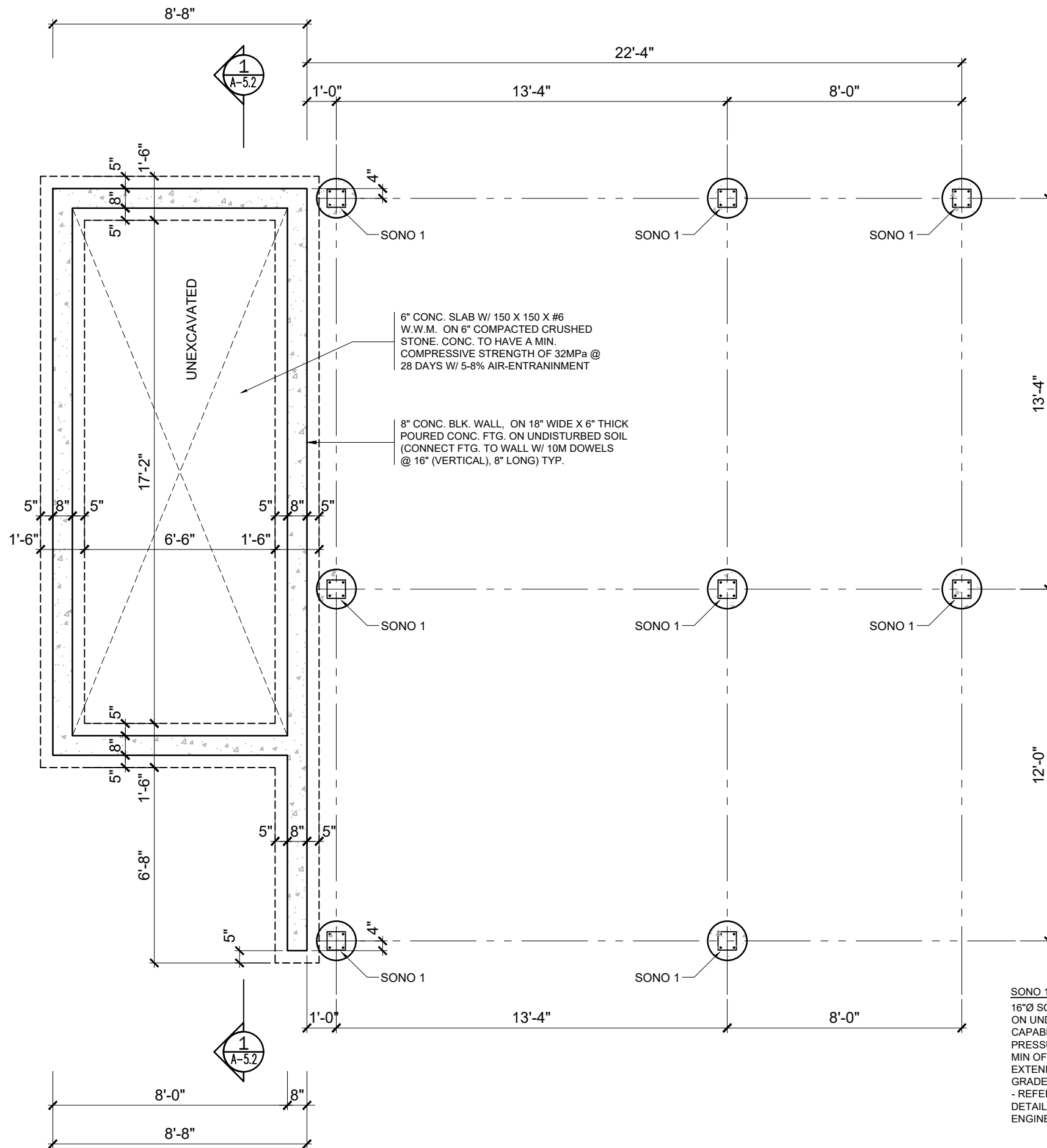
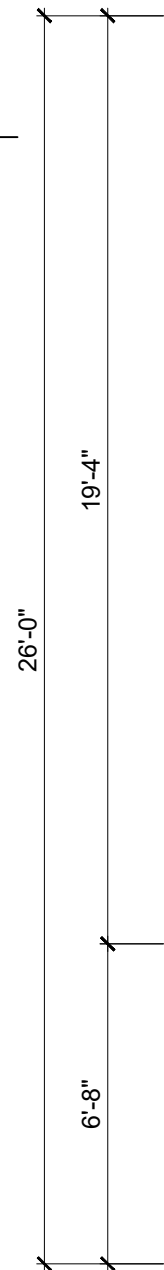
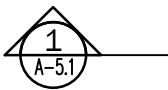
Scale, Date, Project Number, Drawing Number, Checked By, Drawn By. Includes large 'A-2.1' title.

Drawing Title: TYPICAL NOTES AND SCHEDULES. Project Name: CACTUS CRESCENT RESIDENCE. Location: 69 CACTUS CRESCENT, HAMILTON, ONT., L8K 9R9.

Table with 4 columns: No., Date, Revision/Submission, Issued By. Includes date 13 DEC 2023.

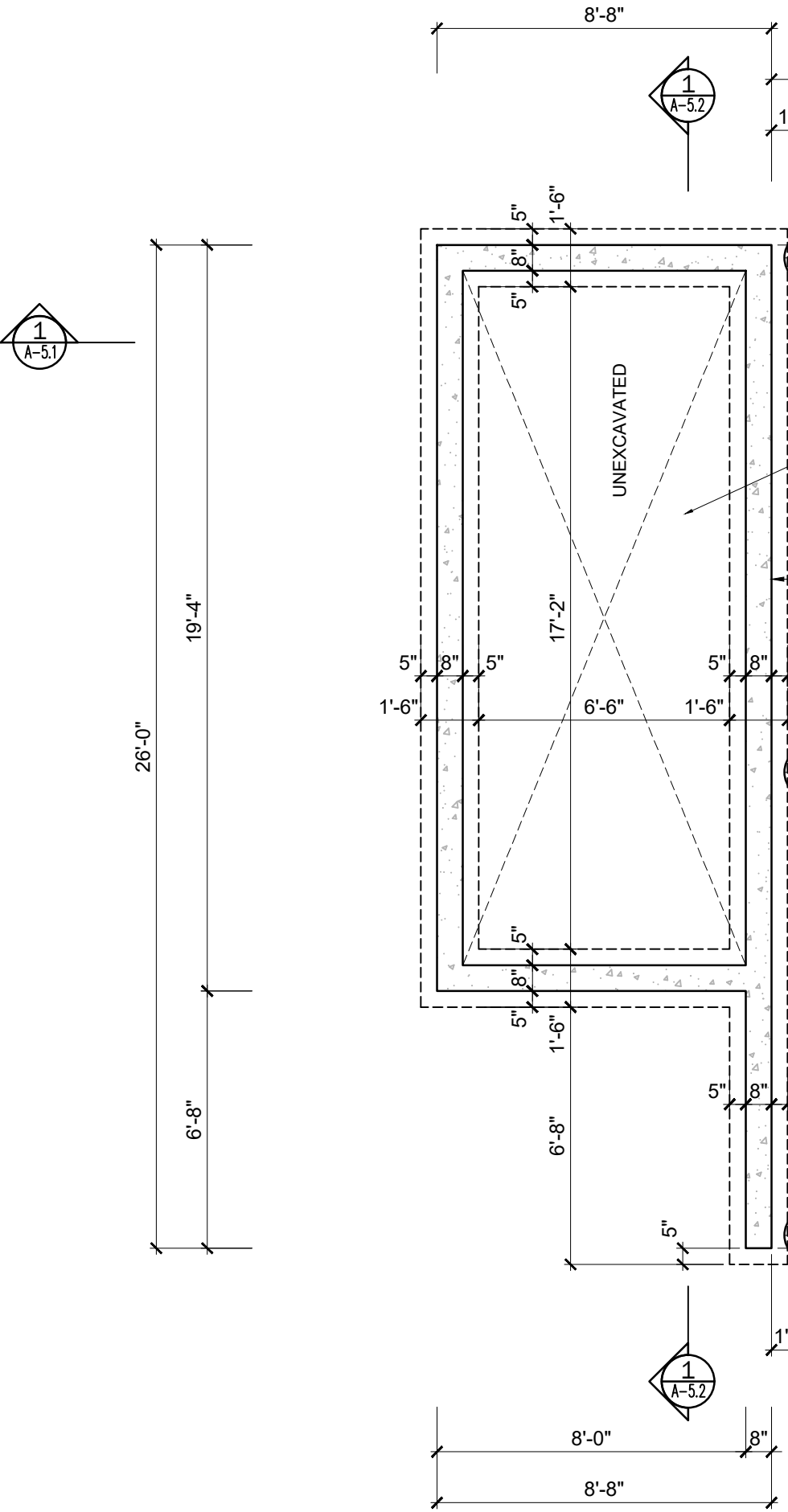
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DISCLAIMER: THE DESIGNER HAS PROVIDED THE DESIGN SERVICES IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERING ACT AND REGULATIONS THEREUNDER. THE DESIGNER HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS OF THE PROJECT. THE DESIGNER HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS OF THE PROJECT. THE DESIGNER HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS OF THE PROJECT.



OPEN AREA DESIGN BY OTHERS. REFER TO THE ELITE ENGINEERING GROUP INC. DESIGN DRAWINGS.

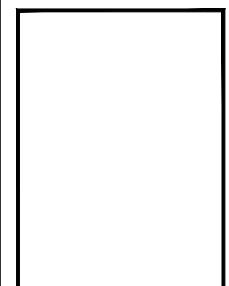
SONO 1
16"Ø SONO TUBE CONC. PIER, TO BEAR ON UNDISTURBED NATIVE SOIL CAPABLE OF SUSTAINING A BEARING PRESSURE OF 150 KPa AND EXTEND A MIN OF 4'-0" BELOW FINISH GRADE. EXTEND CONC. 6" ABOVE THE FINISH GRADE. (TYP.)
- REFER TO ANCHOR PLATE SECTION DETAIL DRAWING A-01 THE ELITE ENGINEERING GROUP INC.



| | | | | | |
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| | DATE | | 09 NOV 2023 | | DRAWING NUMBER |
| PROJECT NUMBER | | 2401 | | | |

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|----------------|---|
| DRAWING TITLE | FOOTINGS PLAN |
| DRAWING NUMBER | A-3.1 |
| PROJECT NUMBER | 69 CACTUS CRESCENT, HAMILTON, ONT., LBR GR9 |

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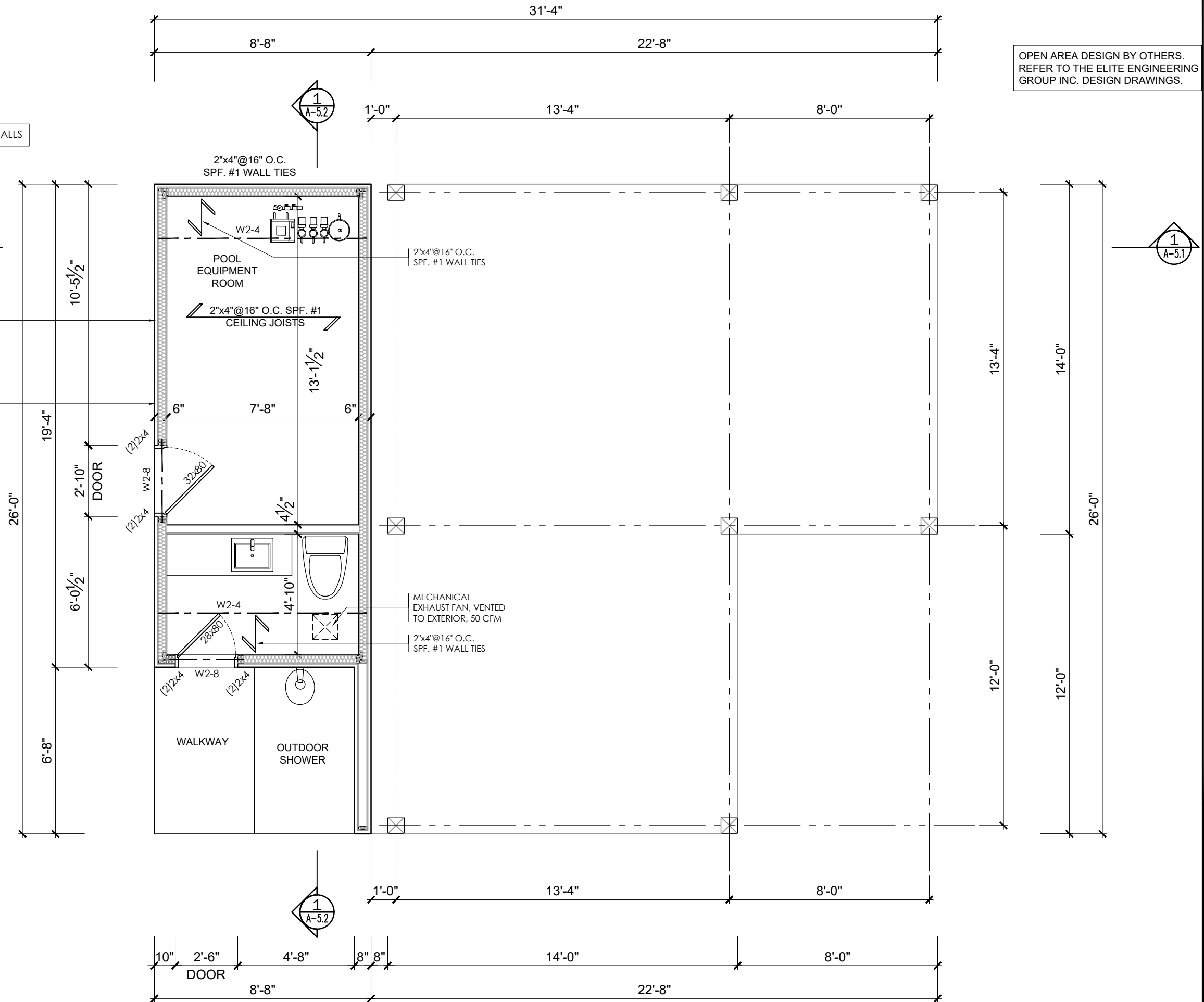
NOTE: USE TYPE 'X' DRYWALL ON NORTH, EAST AND SOUTH WALLS

BOARD AND BATTEN SIDING WALL CONSTRUCTION: 2"x4":
 BOARD AND BATTEN SIDING CONFORMING TO O.B.C.
 REQUIREMENTS AND APPLIED PER MANUFACTURES SPECIFICATIONS

- APPROVED SHEATHING PAPER
- 1/2" (12.7mm) EXTERIOR TYPE SHEATHING
- 2"x4" (38mm x 140mm) SPRUCE STUDS @ 16" (400mm) O.C.
- 1/2" (12.7mm) GYPSUM WALLBOARD INTERIOR FINISH.

(1/2" TYPE 'X' REQUIRED ON WALLS WHERE BUILDING WITHIN 1.2m FROM PROPERTY LINE)

2"x4" SILL PLATE, TIED TO TOP OF FOUNDATION WALL WITH 8" LONG x 1/2"Ø ANCHOR BOLTS C/W NUT AND WASHER WITH 2-1/2" HOOK. ANCHOR BOLTS TO BE SPACED NOT MORE THAN 4'-0" o.c. AND EMBEDDED NOT LESS THAN 4" INTO CONC. PROVIDE SILL GASKET BETWEEN PLATE AND FOUNDATION WALL. PROVIDE NON-SHRINK GROUT TO LEVEL PLATE.



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|----------------|--------------|------------|-------------|----------------|
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| PROJECT NUMBER | | 2401 | | |

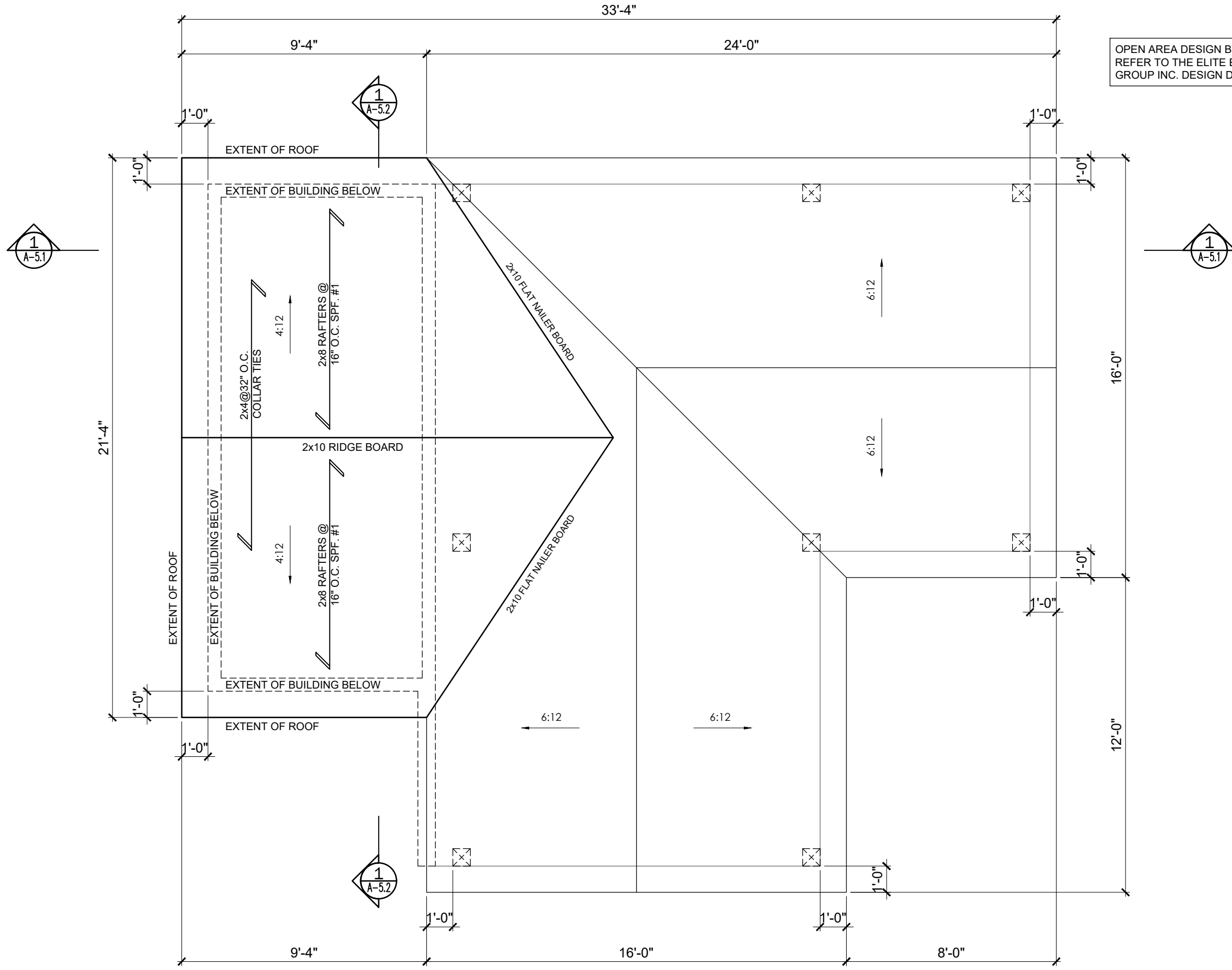
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| DRAWING TITLE | FLOOR PLAN |
| PROJECT NAME | CACTUS CRESCENT RESIDENCE |
| PROJECT ADDRESS | 69 CACTUS CRESCENT, HAMILTON, ONT. L8K 8R9 |

| No. | DATE | REVISION/SUBMISSION | ISSUED BY | ISSUED FOR PERMIT |
|-----|-------------|---------------------|-----------|-------------------|
| 1. | 13 DEC 2023 | | TC | |

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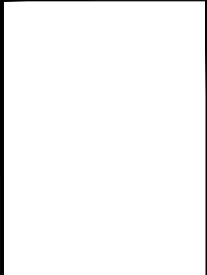


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| PROJECT NUMBER | 2401 | | | | |

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| DRAWING TITLE | ROOF PLAN |
| | CACTUS CRESCENT RESIDENCE |
| | 69 CACTUS CRESCENT, HAMILTON, ONT. L8K 6R9 |

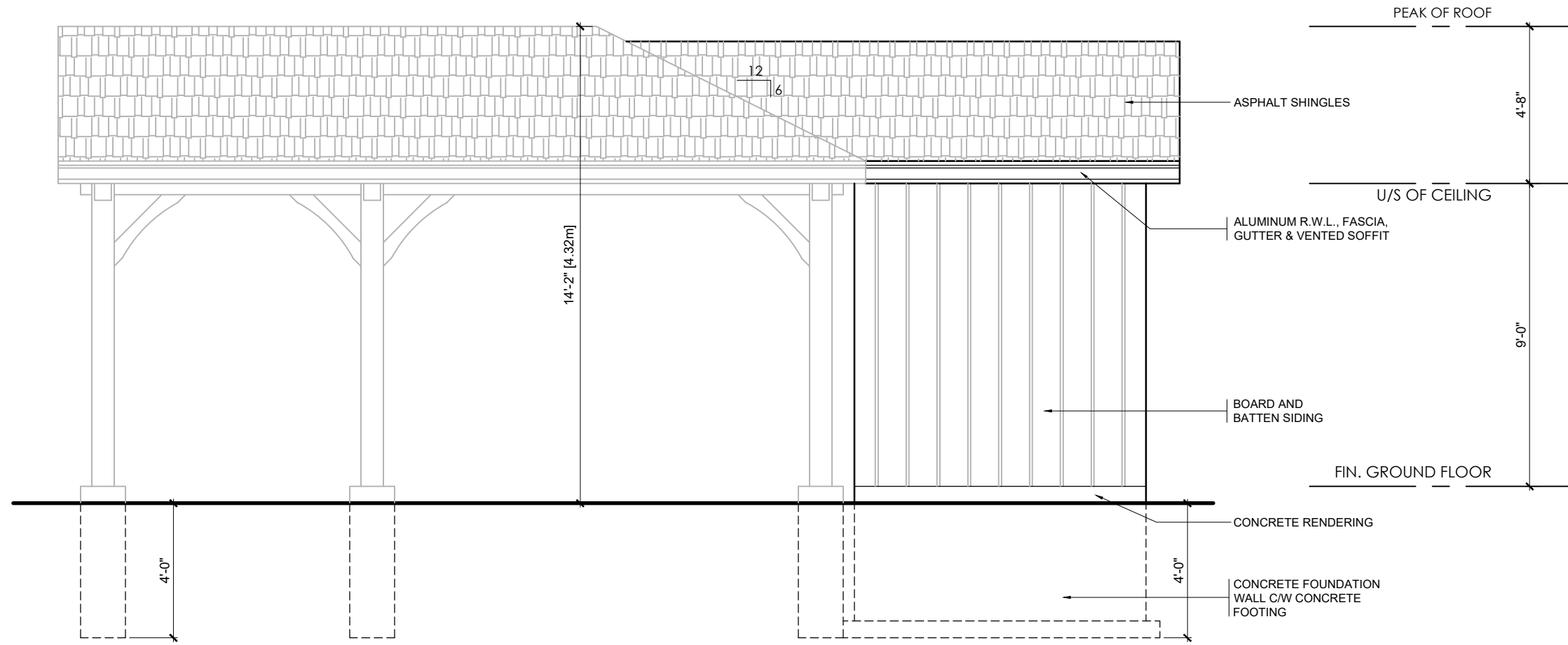
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SOUTH ELEVATION

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| PROJECT NUMBER | | 2401 | | | |

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| DRAWING TITLE | ELEVATION |
| CACTUS CRESCENT RESIDENCE | |
| 69 CACTUS CRESCENT, HAMILTON, ONT. L8K 6R9 | |

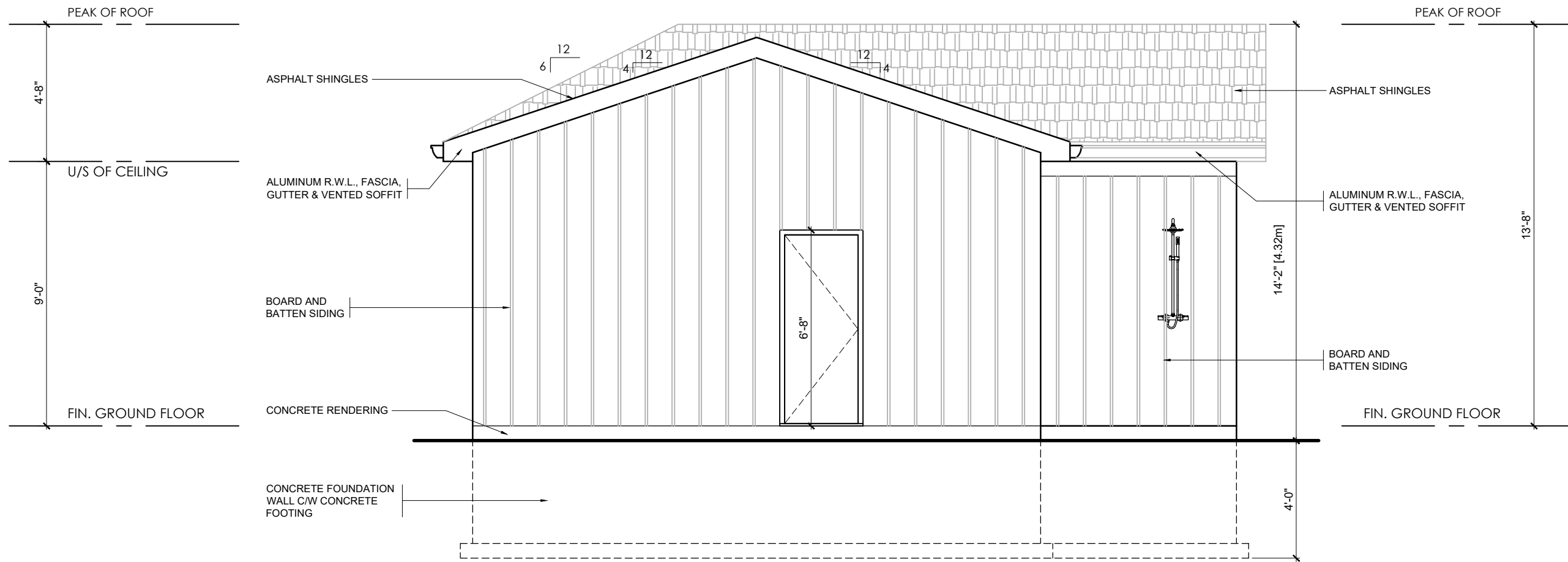
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EAST ELEVATION

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| DATE | 09 NOV 2023 | DRAWING NUMBER | | | |
| PROJECT NUMBER | A-4.2 | | | | |
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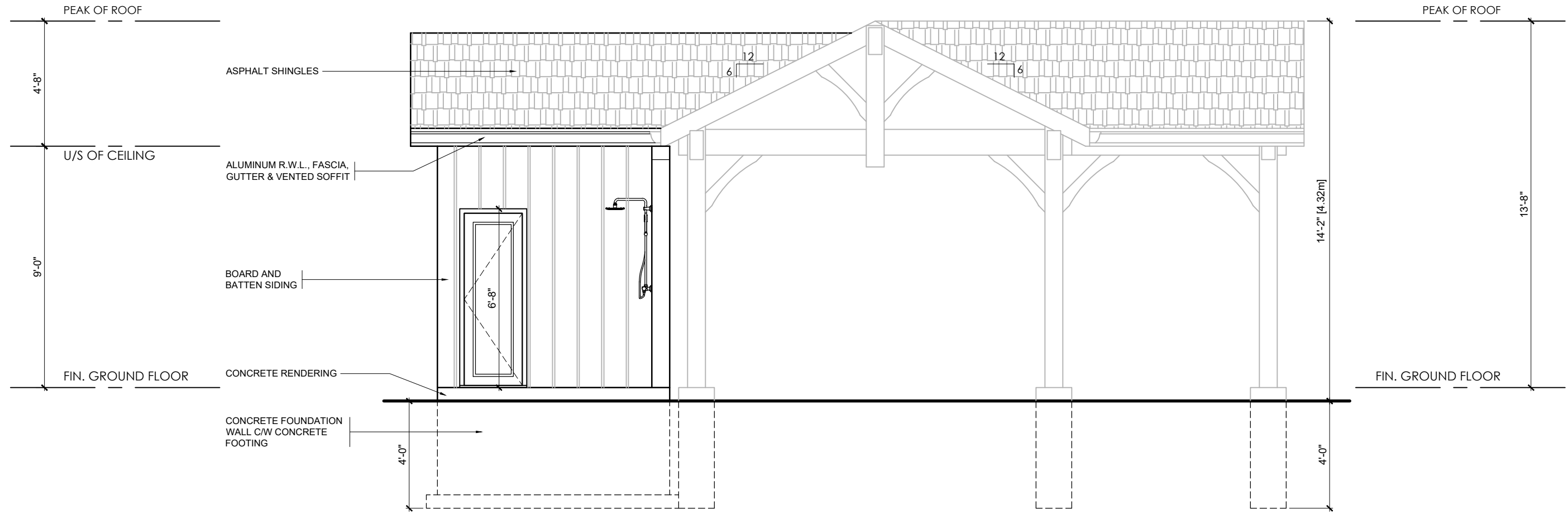
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| DRAWING TITLE | ELEVATION | | | | |
| | CACTUS CRESCENT RESIDENCE | | | | |
| | 69 CACTUS CRESCENT, HAMILTON, ONT., L8K 6R9 | | | | |

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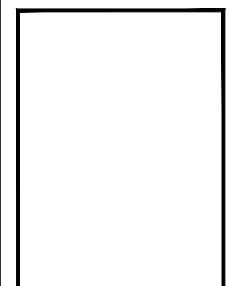


NORTH ELEVATION

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| PROJECT NUMBER | A-4.3 | | | | |
| | 2401 | | | | |

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| DRAWING TITLE | ELEVATION |
| CACTUS CRESCENT RESIDENCE | |
| 69 CACTUS CRESCENT, HAMILTON, ONT. L8K 6R9 | |

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#210 ASPHALT SHINGLES ON
#15 BLDG. PAPER ON
1/2" EXT. TYPE PLYWOOD

2x8 RAFTERS @ 16"
O.C. SPR. #1

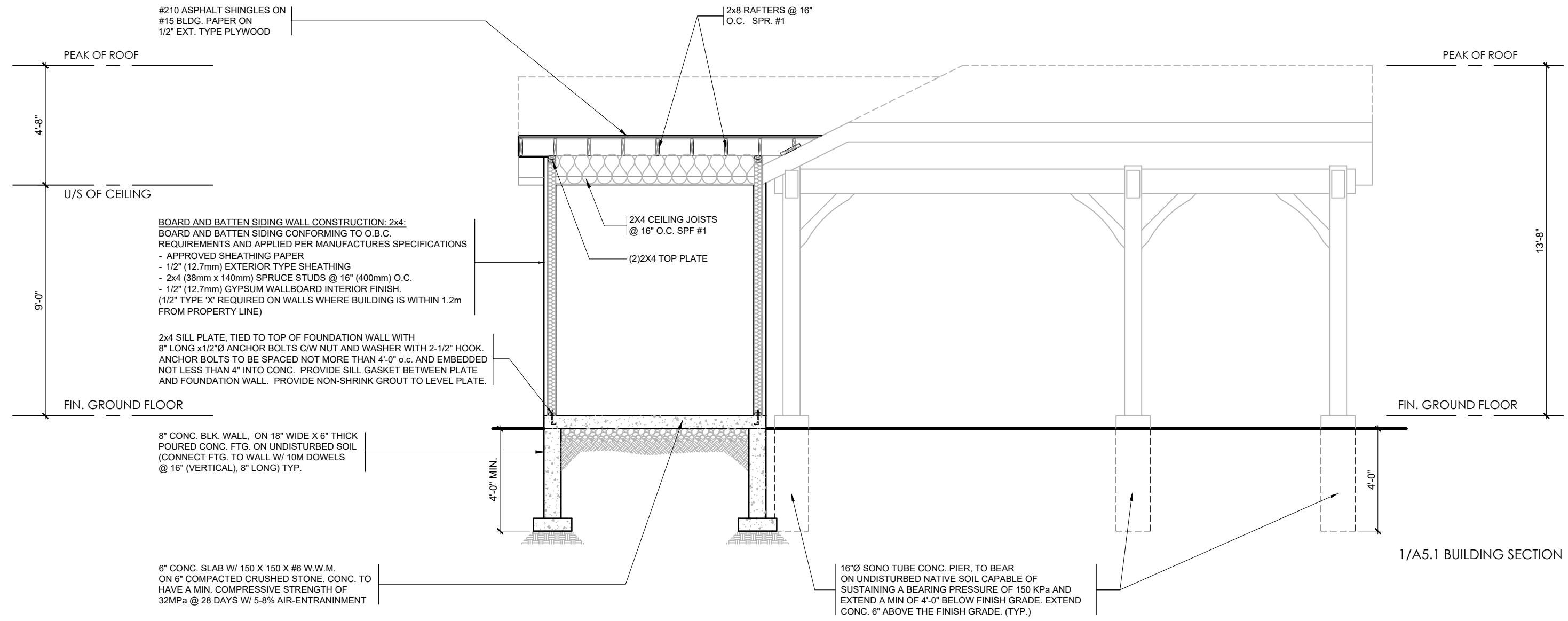
BOARD AND BATTEN SIDING WALL CONSTRUCTION: 2x4:
BOARD AND BATTEN SIDING CONFORMING TO O.B.C.
REQUIREMENTS AND APPLIED PER MANUFACTURES SPECIFICATIONS
- APPROVED SHEATHING PAPER
- 1/2" (12.7mm) EXTERIOR TYPE SHEATHING
- 2x4 (38mm x 140mm) SPRUCE STUDS @ 16" (400mm) O.C.
- 1/2" (12.7mm) GYPSUM WALLBOARD INTERIOR FINISH.
(1/2" TYPE 'X' REQUIRED ON WALLS WHERE BUILDING IS WITHIN 1.2m
FROM PROPERTY LINE)

2x4 SILL PLATE, TIED TO TOP OF FOUNDATION WALL WITH
8" LONG x 1/2" Ø ANCHOR BOLTS C/W NUT AND WASHER WITH 2-1/2" HOOK.
ANCHOR BOLTS TO BE SPACED NOT MORE THAN 4'-0" o.c. AND EMBEDDED
NOT LESS THAN 4" INTO CONC. PROVIDE SILL GASKET BETWEEN PLATE
AND FOUNDATION WALL. PROVIDE NON-SHRINK GROUT TO LEVEL PLATE.

8" CONC. BLK. WALL, ON 18" WIDE X 6" THICK
POURED CONC. FTG. ON UNDISTURBED SOIL
(CONNECT FTG. TO WALL W/ 10M DOWELS
@ 16" (VERTICAL), 8" LONG) TYP.

6" CONC. SLAB W/ 150 X 150 X #6 W.W.M.
ON 6" COMPACTED CRUSHED STONE. CONC. TO
HAVE A MIN. COMPRESSIVE STRENGTH OF
32MPa @ 28 DAYS W/ 5-8% AIR-ENTRANMENT

16" Ø SONO TUBE CONC. PIER, TO BEAR
ON UNDISTURBED NATIVE SOIL CAPABLE OF
SUSTAINING A BEARING PRESSURE OF 150 KPa AND
EXTEND A MIN OF 4'-0" BELOW FINISH GRADE. EXTEND
CONC. 6" ABOVE THE FINISH GRADE. (TYP.)



1/A5.1 BUILDING SECTION

| | | | | | |
|----------------|--------------|----------------|-------|------------|----|
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| DATE | 09 NOV 2023 | DRAWING NUMBER | A-5.1 | | |
| PROJECT NUMBER | 2401 | | | | |

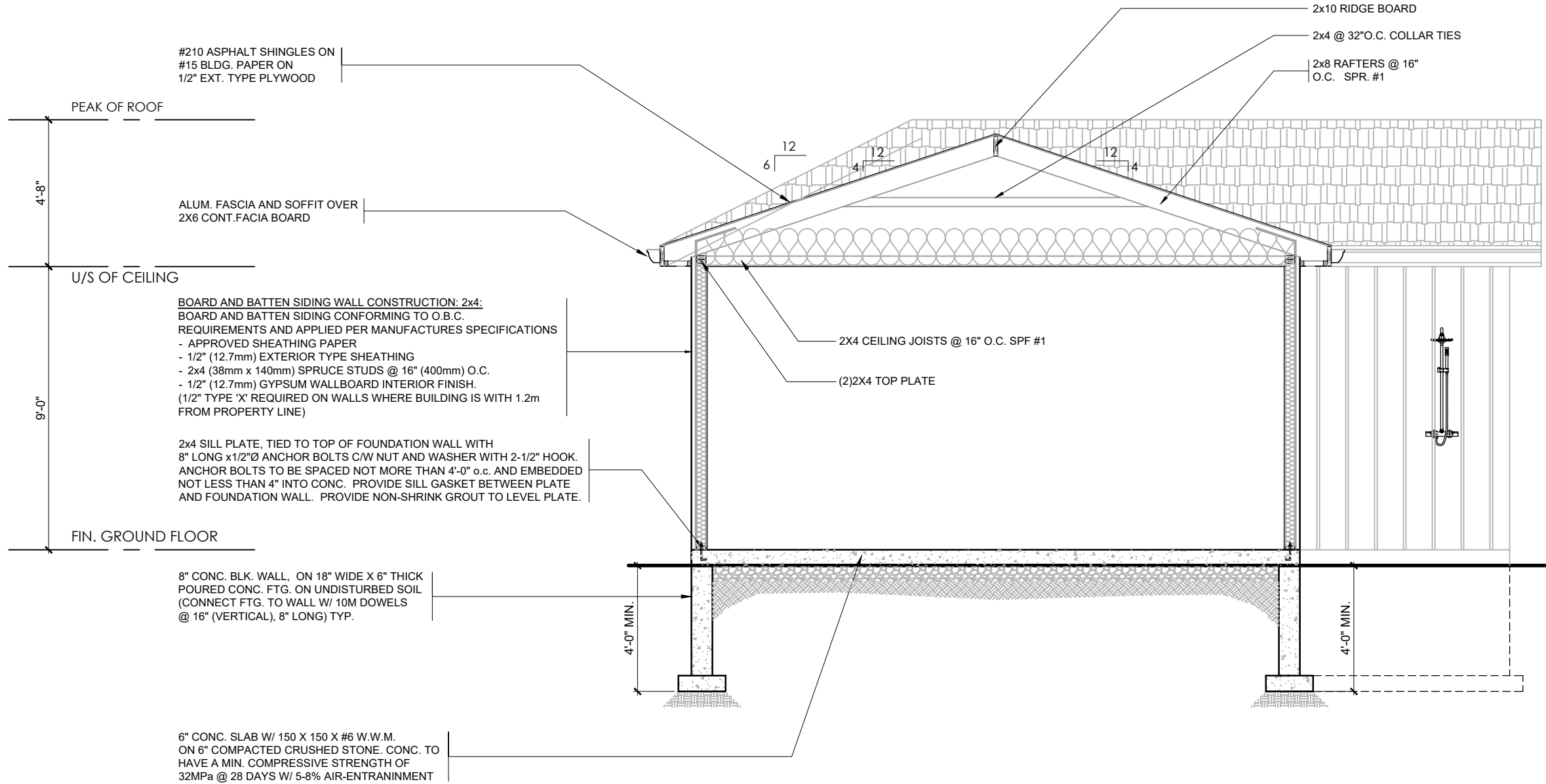
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|---|------------------|
| DRAWING TITLE | BUILDING SECTION |
| CACTUS CRESCENT RESIDENCE | |
| 69 CACTUS CRESCENT, HAMILTON, ONT., L8K 8R9 | |

| No. | DATE | REVISION/SUBMISSION | ISSUED FOR PERMIT | ISSUED BY |
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| DATE | 09 NOV 2023 | DRAWING NUMBER | | | |
| PROJECT NUMBER | 2401 | A-5.2 | | | |

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| DRAWING TITLE | BUILDING SECTION | |
| | CACTUS CRESCENT RESIDENCE | |
| | 69 CACTUS CRESCENT, HAMILTON, ONT. L8K 8R9 | |

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Hamilton

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City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
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APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

| | NAME |
|----------------------|-----------------------------|
| Registered Owners(s) | Brandon & Krystle Cherriere |
| Applicant(s) | Tomasz Goral |
| Agent or Solicitor | |

1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

AgentSolicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person

Credit over phone*

Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

| | | | |
|---------------------------|--------------------|------------|--|
| Municipal Address | 69 CACTUS CRESCENT | | |
| Assessment Roll Number | 003510852380000 | | |
| Former Municipality | Hamilton | | |
| Lot | 237, 238 and 239 | Concession | |
| Registered Plan Number | 62M-1257 | Lot(s) | |
| Reference Plan Number (s) | | Part(s) | |

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Area of cabana (3692-92 STONEY CREEK ZONING MAX LOT COVERAGE FOR ACCESSORY STRUCTURES IS 10% (61,088m²) ASKING FOR (62.28m.sq.)

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Want a bit larger cabana

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

| Lot Frontage | Lot Depth | Lot Area | Width of Street |
|--------------|-----------|----------|-----------------|
| 10.92 | 32.24 | 610.88 | |

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

| Type of Structure | Front Yard Setback | Rear Yard Setback | Side Yard Setbacks | Date of Construction |
|-------------------|--------------------|-------------------|--------------------|----------------------|
| house | 6.13m | 11.67m | 1.24m | 01/04/2020 |
| | | | | |
| | | | | |
| | | | | |

Proposed:

| Type of Structure | Front Yard Setback | Rear Yard Setback | Side Yard Setbacks | Date of Construction |
|-------------------|--------------------|-------------------|--------------------|----------------------|
| cabana | 24.99m | 0.91m | 0.76m | |
| | | | | |
| | | | | |
| | | | | |

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Storeys | Height |
|-------------------|-------------------|------------------|-------------------|--------|
| house | 166.21 m.sq. | 265 m.sq. | 2 | |
| | | | | |
| | | | | |
| | | | | |

Proposed:

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Storeys | Height |
|-------------------|-------------------|------------------|-------------------|--------|
| cabana | 62.28 m.sq. | | 1 | 4.32 m |
| | | | | |
| | | | | |
| | | | | |

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
SFD

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
SFD

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

September 3, 2020

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

LAND

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SFD

7.4 Length of time the existing uses of the subject property have continued:

January 4, 2020

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): URBAN AREA

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R4-32

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: _____

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
- _____
- _____