



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-24:35	SUBJECT PROPERTY:	754 CANNON STREET E, HAMILTON
ZONE:	“R1a” (Low Density Residential – Small Lot)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: MICHAEL SIFONTES
Agent: KEN BEKENDAM

The following variances are requested:

1. A porch shall be permitted to encroach to a maximum of 1.82 metres into a required front yard instead of the requirement that a porch may encroach to a maximum of 1.5 metres into any required yard.
2. An exterior staircase shall be permitted to encroach 0.35 metres into the required front yard instead of the regulation that exterior staircases may not encroach into a required front yard.
3. Zero (0) parking spaces shall be required for the fourth dwelling unit in a converted dwelling instead of the requirement that one (1) parking space is required for the fourth dwelling unit in a converted dwelling.

PURPOSE & EFFECT: To permit the conversion of an existing single detached dwelling into four (4) Dwelling Units.

Notes:

1. Please be advised the property falls within the Transit Corridor Land 30 metre Buffer Zone. A Corridor Development Permit is required from Metrolinx to construct any buildings, structure, road, utility infrastructure, or to conduct any excavation, dewatering or other Prescribed Work pursuant to the Building Transit Faster Act and its Regulation. Please contact development.coordinaor@metrolinx.com for more information.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, March 26th, 2024
TIME:	9:35 a.m.
PLACE:	City Hall Council Chambers (71 Main St. W., Hamilton)

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Written comments must be received no later than noon March 22, 2024.

Comments are available the Friday prior to the Hearing and are available on our website:

www.hamilton.ca/committeeofadjustment

Orally: If you would like to speak to this item at the hearing you may do so by attending in person. Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing. We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5..



 Subject Lands

DATED: March 12, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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IN-PERSON PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating in person at the Hearing.

In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

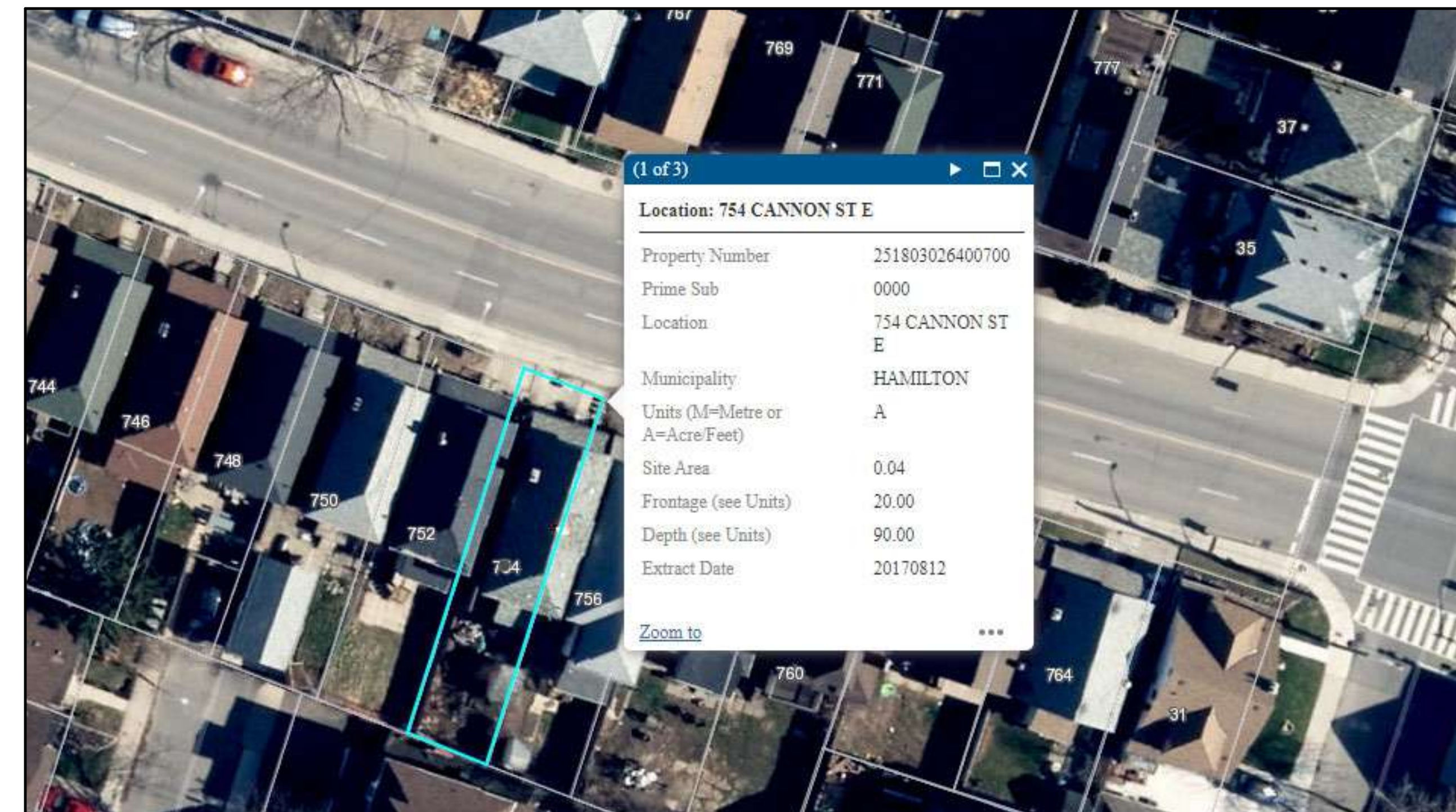
We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

754 CANNON ST E, HAMILTON

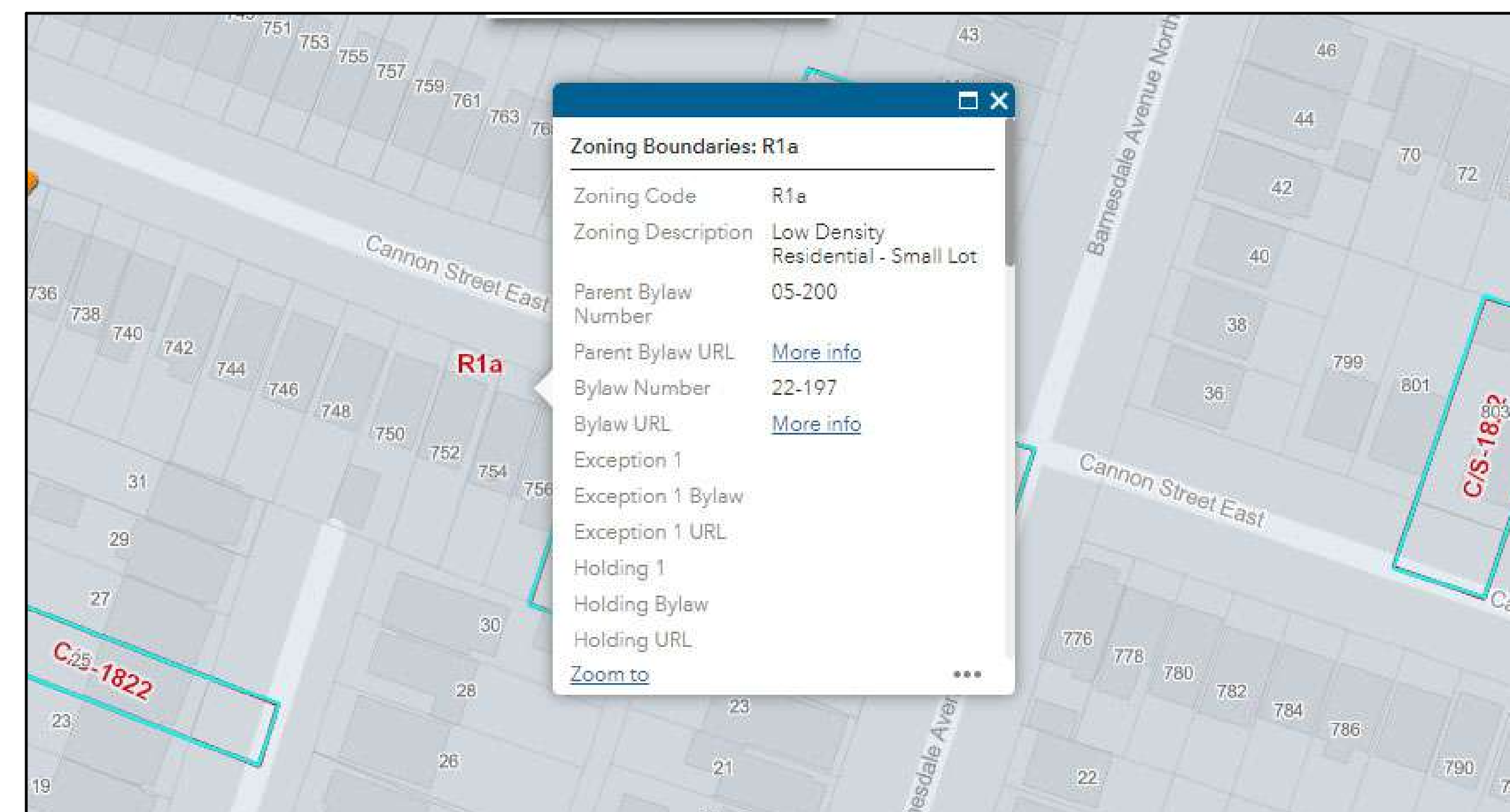
4 UNIT CONVERTED DWELLING



PROPOSED BUILDING PERSPECTIVE



AERIAL MAP



ZONING MAP

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

CELL PHONE: 905-961-0647
OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON ON
OFFICE PHONE: 905-546-4407

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Name: _____ Signature: _____ BCIN: _____

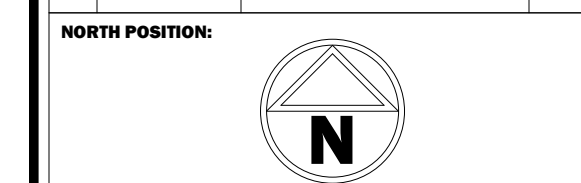
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Name: KING HOMES INC. 121307
Name: _____ BCIN: _____

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)
- BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

TITLE PAGE

PROJECT NO. 23-46 DATE: 07/06/22

SCALE: 1/2" = 1'-0" REVISION:

DRAWN BY: Author REVIEWED BY: KEN BEKENDAM

SHEET NO.

A0.01

GENERAL NOTES:

- ALL CONSTRUCTION TO COMPLY WITH THE CURRENT ONTARIO BUILDING CODE (REVISED 2012 OBC – DEC 19, 2017).
- ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING, MASONRY, OR CONCRETE SURFACES U.O.N.
- ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENING.
- CONTRACTOR SHALL VERIFY WINDOW OPENINGS WITH THE MANUFACTURER PRIOR TO WORK.
- READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ELECTRICAL PLANS SUPPLIED BY LICENSED ELECTRICAL CONTRACTOR.
- ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS BEFORE COMMENCING FABRICATION.
- THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
- PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
- CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCE NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
- THE CONTRACTOR IS NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.
- EXISTING DRAINAGE PATTERNS TO REMAIN. ANY NEW SUMP PUMP INSTALLATIONS TO DISCHARGE IN REAR YARD. BUILDING FROM THESE SHALL PROCEED ONLY WHEN MARKED "ISSUED FOR CONSTRUCTION."

EXISTING STRUCTURE NOTE:
- OWNER AND CONTRACTOR ARE FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING GENERAL AND STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO SUITE ADDITIONS INC. PRIOR TO ANY WORK.
- OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK IF REQUIRED.

CODE REFERENCES AND SPECIFICATIONS

1. FIRE PROTECTION MEASURES
ALL FIRE PROTECTION MEASURES MUST COMPLY WITH OBC 9.10.0. (U.O.N.)

2. CEILING HEIGHTS
CEILING HEIGHTS SHALL COMPLY WITH OBC 9.5.3.1. AND PART 11 – C102 OF TABLE 11.5.1.1.C.

PART 9:
BASEMENT SPACE - 2 100 mm (6'-10 3/4") over at least 75% of the basement area except that under beams and ducts the clearance is permitted to be reduced to 1 950 mm (6'-4 7/8")

- PART 11 (COMPLIANCE ALTERNATIVE):**
In a house,
(a) minimum room height shall not be less than 1 950 mm (6'-4 7/8") over the required floor area and in any location that would normally be used as a means of egress, or
(b) minimum room height shall not be less than 2 030 mm (6'-8") over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than 1 400 mm (4'-7 1/8") shall not be considered in computing the required floor area.

3. EGRESS FROM DWELLING UNIT
EGRESS FROM DWELLING UNIT SHALL COMPLY WITH OBC 9.9.9 AND PART 11 COMPLIANCE – C136 OF TABLE 11.5.1.1.C.

- PART 9:**
9.9.9.1. Travel Limit to Exits or Egress Doors
(1) Except as provided in Sentences (2) and (3), every dwelling unit containing more than 1 storey shall have exits or egress doors located so that it shall not be necessary to travel up or down more than 1 storey to reach a level served by,
(a) an egress door to a public corridor, enclosed exit stair or exterior passageway, or
(b) an exit doorway not more than 1 500 mm above adjacent ground level.
(2) Where a dwelling unit is not located above or below another suite, the travel limit from a floor level in the dwelling unit to an exit or egress door is permitted to exceed 1 storey where that floor level is served by an openable window or door,
(a) providing an unobstructed opening of not less than 1 000 mm in height and 550 mm in width, and
(b) located so that the sill is not more than,
(i) 1 000 mm above the floor, and
(ii) 7 m above adjacent ground level.
(3) The travel limit from a floor level in a dwelling unit to an exit or egress door is permitted to exceed 1 storey where that floor level has direct access to a balcony.

- 9.9.9.2. Two Separate Exits
(1) Except as provided in Sentence 9.9.7.3.(1), where an egress door from a dwelling unit opens onto a public corridor or exterior passageway it shall be possible from the location where the egress door opens onto the corridor or exterior passageway to go in opposite directions to two separate exits unless the dwelling unit has a second and separate means of egress.

- 9.9.9.3. Shared Egress Facilities
(1) A dwelling unit shall be provided with a second and separate means of egress where an egress door from the dwelling unit opens onto,
(a) an exit stairway serving more than one suite,
(b) a public corridor,
(i) serving more than one suite, and
(ii) served by a single exit,
(c) an exterior passageway,
(i) serving more than one suite,
(ii) served by a single exit stairway or ramp, and
(iii) more than 1.5 m above adjacent ground level, or
(d) a balcony,
(i) serving more than one suite,
(ii) served by a single exit stairway or ramp, and
(iii) more than 1.5 m above adjacent ground level.

- PART 11 (COMPLIANCE ALTERNATIVE):**
In a house, exit requirements are acceptable if at least one of the following conditions exists:
(a) a door, including a sliding door, that opens directly to the exterior from a dwelling unit, serves only that dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.,
(b) an exit that is accessible to more than one dwelling unit and provides the only means of egress from each dwelling unit, provided that the means of egress is separated from the remainder of the building and common areas by a fire separation having a 30 min fire-resistance rating and provided further that the required access to exit from any dwelling unit cannot be through another dwelling unit, service room or other occupancy, and both dwelling units and common areas are provided with smoke alarms that are installed in conformance with Subsection 9.10.19. and are interconnected, or
(c) access to an exit from one dwelling unit which leads through another dwelling unit where,
(i) an additional means of escape is provided through a window that conforms to the following:
(A) the sill height is not more than 1 000 mm above or below adjacent ground level,
(B) the window can be opened from the inside without the use of tools,
(C) the window has an individual unobstructed open portion having a minimum area of 0.38 m² with no dimension less than 460 mm
(D) the sill height does not exceed 900 mm above the floor or fixed steps,
(E) where the window opens into a window well, a clearance of not less than 1 000 mm shall be provided in front of the window, and
(F) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19. and are interconnected,
(ii) an additional means of escape is provided through a window that conforms to the following:
(A) the window is a casement window not less than 1 060 mm high, 560 mm wide, with a sill height not more than 900 mm above the inside floor,
(B) the sill height of the window is not more than 5 m above adjacent ground level, and
(C) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19. and are interconnected, or (iii) the building is sprinklered and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.

10. EGRESS FROM BEDROOMS
EGRESS FROM BEDROOMS SHALL COMPLY WITH OBC 9.9.10.1

- PART 9:**
(1) Except where a door on the same floor level as the bedroom provides direct access to the exterior, every floor level containing a bedroom in a suite shall be provided with at least one outside window that,
(a) is openable from the inside without the use of tools,
(b) provides an individual, unobstructed open portion having a minimum area of 0.35 m² with no dimension less than 380 mm, and
(c) maintains the required opening described in Clause (b) without the need for additional support.
(2) Except for basement areas, the window required in Sentence (1) shall have a maximum sill height of 1000 mm above the floor.

- (3) When sliding windows are used, the minimum dimension described in Sentence (1) shall apply to the openable portion of the window.
- (4) Where the sleeping area within a live/work unit is on a mezzanine with no obstructions more than 1 070 mm above the floor, the window required in Sentence (1) may be provided on the main level of the live/work unit provided the mezzanine is not more than 25% of the area of the live/work unit or 20 m², whichever is less, and an unobstructed direct path of travel is provided from the mezzanine to this window.
- (5) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 550 mm shall be provided in front of the window.
- (6) Where the sash of a window referred to in Sentence (5) swings towards the window well, the operation of the sash shall not reduce the clearance in a manner that would restrict escape in an emergency.
- (7) Where a protective enclosure is installed over the window well referred to in Sentence (5), such enclosure shall be openable from the inside without the use of keys, tools or special knowledge of the opening mechanism.

5. SMOKE ALARMS
SMOKE ALARMS SHALL COMPLY WITH OBC 9.10.19. AND PART 11 COMPLIANCE – C175 OF TABLE 11.5.1.1.C.

- PART 9:**
9.10.19.1. Required Smoke Alarms
(2) Smoke alarms conforming to CAN/ULC-S531, "Smoke Alarms", shall be installed in each dwelling unit and in each sleeping room not within a dwelling unit.
(3) Smoke alarms required in Sentence (1) shall have a visual signalling component conforming to the requirements in 3.8.5.3. (Light, Color and Pulse Characteristics) of NFPA 72, "National Fire Alarm and Signaling Code".
(4) The visual signalling component required in Sentence (2) need not, (a) be integrated with the smoke alarm provided it is interconnected to it, (b) be on battery backup, or (c) have synchronized flash rates, when installed in a dwelling unit.
(5) The luminous intensity for visual signalling components required in Sentence (2) that are installed in sleeping rooms shall be a minimum of 175 cd.
(6) Smoke alarms required in Sentence (1) shall be installed on or near the ceiling.
9.10.19.3. Location of Smoke Alarms
(1) Within dwelling units, sufficient smoke alarms shall be installed so that,
(a) there is at least one smoke alarm installed on each storey, including basements, and
(b) on any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed,
(i) in each sleeping room, and
(ii) in a location between the sleeping rooms and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.
(2) Within a house that contains an interior shared means of egress or common area, a smoke alarm shall be installed in each shared means of egress and common area.
(3) A smoke alarm required in Sentences (1) and (2) shall be installed in conformance with CAN/ULC-S553, "Installation of Smoke Alarms".
9.10.19.1. Power Supply
(1) Except as provided in Sentences (2) and (3), smoke alarms required in Sentences 9.10.19.1.(1) and 9.10.19.3.(2) shall,
(a) be installed with permanent connections to an electrical circuit,
(b) have no disconnect switch between the overcurrent device and the smoke alarm, and
(c) in case the regular power supply to the smoke alarm is interrupted, be provided with a battery as an alternative power source that can continue to provide power to the smoke alarm for a period of not less than 7 days in the normal condition, followed by 4 min of alarm.
9.10.19.1. Interconnection of Smoke Alarms
(1) Where more than one smoke alarm is required in a dwelling unit, the smoke alarms shall be wired so that the activation of one alarm will cause all alarms within the dwelling unit to sound.

- PART 11 (COMPLIANCE ALTERNATIVE):**
Smoke alarms may be battery operated.

10. CARBON MONOXIDE ALARMS
CARBON MONOXIDE ALARMS SHALL COMPLY WITH OBC 9.33.4. AND PART 11 COMPLIANCE – C197 OF TABLE 11.5.1.1.C.

- PART 9:**
9.33.4.1. Application
(1) This Subsection applies to every building that,
(a) contains a residential occupancy, and
(b) contains a fuel-burning appliance or a storage garage.
9.33.4.1. Location of Carbon Monoxide Alarms
(1) Where a fuel-burning appliance is installed in a suite of residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the suite.
(2) Where a fuel-burning appliance is installed in a service room that is not in a suite of residential occupancy, a carbon monoxide alarm shall be installed,
(a) adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the service room, and
(b) in the service room.
(3) Where a storage garage is located in a building containing a residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the storage garage.
(4) Where a storage garage serves only the dwelling unit to which it is attached or built in, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the dwelling unit.
(5) A carbon monoxide alarm shall be mechanically fixed,
(a) at the manufacturer's recommended height, or
(b) in the absence of specific instructions, on or near the ceiling.
9.33.4.1. Installation and Conformance to Standards
(1) The carbon monoxide alarm required by Article 9.33.4.2. shall,
(a) except as permitted in Sentence (2), be permanently connected to an electrical circuit and shall have no disconnect switch between the overcurrent device and the carbon monoxide alarm,
(b) be wired so that its activation will activate all carbon monoxide alarms within the suite, where located within a suite of residential occupancy,
(c) be equipped with an alarm that is audible within bedrooms when the intervening doors are closed, where located adjacent to a sleeping area, and
(d) conform to,
(i) CAN/CSA-6.19, "Residential Carbon Monoxide Alarming Devices", or
(ii) UL 2034, "Single and Multiple Station Carbon Monoxide Alarms".
(2) Where the building is not supplied with electrical power, carbon monoxide alarms are permitted to be battery operated.

- PART 11 (COMPLIANCE ALTERNATIVE):**
Carbon monoxide alarms may be battery operated or plugged into an electrical outlet.

10. FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES
FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES SHALL COMPLY WITH OBC 9.10.8.3 AND PART 11 COMPLIANCE - C147 OF TABLE 11.5.1.1.C.

- PART 9:**
(1) Except as otherwise provided in this Subsection, all load bearing walls, columns and arches in the storey immediately below a floor or roof assembly shall have a fire-resistance rating of not less than that required for the supported floor or roof assembly.
PART 11 (COMPLIANCE ALTERNATIVE):
(a) Except as provided in (b) and (c), 30 min rating is acceptable.
(b) In a house, 15 min horizontal fire separation is acceptable where,
(i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
(ii) smoke alarms are interconnected.
(c) In a house, the fire-resistance rating of the fire separation is waived where the building is sprinklered.

11. SEPARATION OF SERVICE ROOMS
SEPARATION OF SERVICE ROOMS SHALL COMPLY WITH OBC 9.10.10.4

- PART 9:**
9.10.10.1. Appliances and Equipment to be Located in a Service Room
(1) Except as provided in Sentences (2) and (3) and Article 9.10.10.5., fuel-fired appliances shall be located in a service room separated from the remainder of the building by a fire separation having not less than a 1 h fire-resistance rating.
(2) Except as required in the appliance installation standards referenced in Sentences 6.2.1.4.(1) and 9.33.1.2.(1), fuel fired spaceheating appliances, space-cooling appliances and service water heaters need not be separated from the remainder of the building as required in Sentence (1) where the equipment serves,
(a) not more than one room or suite,
(b) a house, or
(c) a building, other than a house, with a building area of not more than 400 m² and a building height of not more than 2 storeys.
(3) Sentence (1) does not apply to fireplaces and cooking appliances.

9. SEPARATION OF RESIDENTIAL SUITES

SEPARATION OF RESIDENTIAL SUITES SHALL COMPLY WITH OBC 9.10.9.14 AND PART 11 COMPLIANCE - C152 OF TABLE 11.5.1.1.C.

- PART 9:**
(1) Except as provided in Sentences (2) and (3) and Article 9.10.21.2., suites in residential occupancies shall be separated from adjacent rooms and suites by a fire separation having a fire-resistance rating of not less than 45 min.
(2) Sleeping rooms in boarding, lodging or rooming houses where sleeping accommodation is provided for not more than 8 boarders or lodgers shall be separated from the remainder of the floor area by a fire separation having a fire-resistance rating of not less than 30 min where the sleeping rooms form part of the proprietor's residence and do not contain cooking facilities.
(3) Except as provided in Sentences (4) and (5), dwelling units that contain 2 or more storeys including basements shall be separated from the remainder of the building by a fire separation having a fire-resistance rating of not less than 1 h.
(4) Except as provided in Sentence (5), dwelling units in a house shall be separated from each other and common areas by a fire separation having a fire-resistance rating of not less than 45 min.
(5) The fire-resistance rating of the fire separation required in Sentence (4) is permitted to be waived where the house is sprinklered.

- PART 11 (COMPLIANCE ALTERNATIVE):**
(a) Except as provided in (b) and (c), 30 min fire separation is acceptable.
(b) In a house, 15 min horizontal fire separation is acceptable where,
(i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and
(ii) smoke alarms are interconnected.
(c) In a house, the fire-resistance rating of the fire separation is waived where the building is sprinklered.

10. CLOSURES (DOORS):
CLOSURES SHALL COMPLY WITH OBC 9.10.13.1 AND PART 11 COMPLIANCE - C155 OF TABLE 11.5.1.1.C.

- PART 9:**
(1) Except as provided in Article 9.10.13.2., openings in required fire separations shall be protected with a closure conforming to Table 9.10.13.1. and shall be installed in conformance with NFPA 80, "Fire Doors and Other Opening Protectives", unless otherwise specified in this Part.

- PART 11 (COMPLIANCE ALTERNATIVE):**
Existing functional closures are acceptable subject to C.A.'s C8 and C156.
(a) Existing functional and sound doors in existing buildings that are either hollow metal or kalamein and containing wired glass at least 6 mm thick and conforming to Sentence 3.1.8.14.(2) are permitted in lieu of doors not required to exceed 45 min.
(b) all existing functional and sound hollow metal or kalamein doors which carry existing 1.5 h labels are acceptable in lieu of current 1.5 h labels and may contain wired glass panels not exceeding 0.0645 m², at least 6 mm thick and conforming to Sentence 3.1.8.14.(2), and
(c) every fire door, window assembly or glass block used as a closure in a required fire separation shall be installed in conformance with good engineering practice. In a house, existing unlabelled doors at least 45 mm solid core wood or metal clad are acceptable. For existing closures, ratings of 20 min will not be required where the entire floor area is sprinklered.

11. LAUNDRY FIXTURES
LAUNDRY FIXTURES SHALL COMPLY WITH OBC 9.31.4.2.

- PART 9:**
(1) Laundry facilities or a space for laundry facilities shall be provided in every dwelling unit or grouped elsewhere in the building in a location conveniently accessible to occupants of every dwelling unit.

12. NATURAL VENTILATION
NATURAL VENTILATION SHALL COMPLY WITH OBC 9.32.2.1 AND PART 11 COMPLIANCE - C194 OF TABLE 11.5.1.1.C.

- PART 9:**
(1) The unobstructed openable ventilation area to the outdoors for rooms and spaces in a residential occupancy ventilated by natural means shall conform to Table 9.32.2.1.

- PART 11 (COMPLIANCE ALTERNATIVE):**
In a house, rooms or spaces to be ventilated by natural means in accordance with Subsection 9.32.2. or by providing adequate mechanical ventilation.

13. ELECTRICAL FACILITIES
ELECTRICAL FACILITIES SHALL COMPLY WITH OBC 9.34.

14. INTERCONNECTION OF SYSTEMS
INTERCONNECTION OF SYSTEMS SHALL COMPLY WITH OBC 6.2.3.9 AND PART 11 COMPLIANCE – C91 OF TABLE 11.5.1.1.C.

- PART 6:**
(1) In a residential occupancy, air from one suite shall not be circulated to any other suite or to a public corridor or public stairway.

- PART 11 (COMPLIANCE ALTERNATIVE):**
In a building containing not more than four dwelling units or residential suites, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit or suite, provided smoke alarms are installed in each dwelling unit or suite and provided a smoke detector is installed in the supply or return air duct system serving the entire building which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.

15. PENETRATIONS
PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A FIRE SEPARATION MUST BE NON COMBUSTIBLE AND FIRE STOPPED.

16. PLUMBING
ALL PLUMBING MUST CONFORM TO O.REG.332/12, DIV. B PART 7 OF THE BUILDING CODE

17. HANDRAILS AND GUARDRAILS
INSTALL HANDRAILS AND GUARDRAILS IN ACCORDANCE WITH 9.8.7. AND 9.8.8 OF THE BUILDING CODE RESPECTIVELY

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.
LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A BUSCON, L.T. kenbekendam@royalmail.com
CELL PHONE: 905-961-0647
OFFICE ADDRESS: 979 MAIN ST. # HAMILTON, ON
OFFICE PHONE: 905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Name: _____ Signature: _____ BCIN: _____
REGISTRATION INFORMATION
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KING HOMES INC. 121307
Name: _____ BCIN: _____

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5. USE LATEST REVISED DRAWINGS.

6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.

7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION. LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)

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9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
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NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

CONSTRUCTION NOTES

PROJECT NO.	DATE:
23-46	07/06/22

SCALE:	REVISION:

DRAWN BY:	REVIEWED BY:
Author	KEN BEKENDAM

SHEET NO.

A0.02

SITE INFORMATION & STATISTICS

ADDRESS:	754 CANNON ST E, HAMILTON, ON
ZONING TYPE:	R1a
LOT AREA:	1800.00 SQ FT (167.22 m ²)
LOT FRONTAGE:	20' - 00" (6.10 m)

GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
2. ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
7. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION, AND INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFIRM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCING NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR
12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

EXISTING STRUCTURE NOTE:

OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK, OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

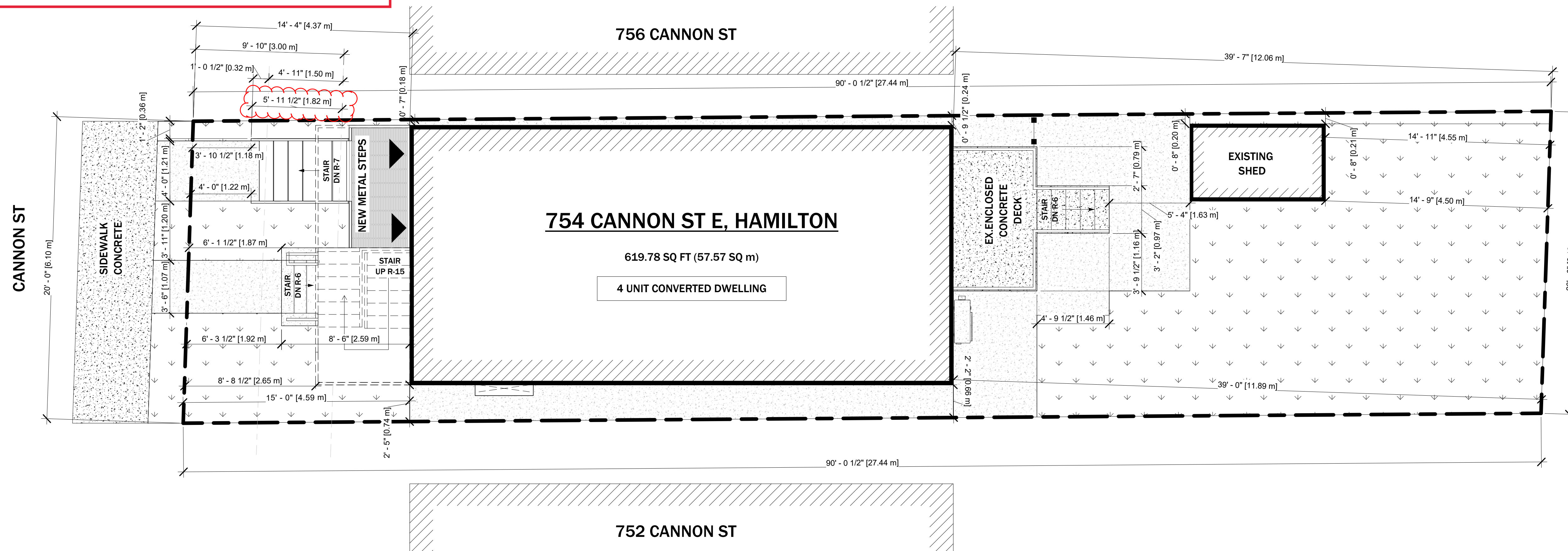
BUILDING CODE COMPLIANCE NOTE:

THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE O.B.C. AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.

SITE PLAN:

BASED ON HAMILTON SITE MAPS AND MEASUREMENTS ON SITE DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS. THIS SITE SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES.

TO PERMIT PORCH AND STAIRS 5'-11 1/2" (1.82M) INTO THE REQUIRED FRONT YARD WHEREAS THE ZONING BYLAW 4.6 OF HAMILTON ZONING BYLAW 05-200 REQUIRES A PORCH, DECK OR CANOPY TO ENCROACH INTO ANY REQUIRED YARD TO A MAXIMUM OF 1.5 METERS, OR TO A MAXIMUM OF HALF THE DISTANCE OF THE REQUIRED YARD, WHICHEVER IS THE LESSER.



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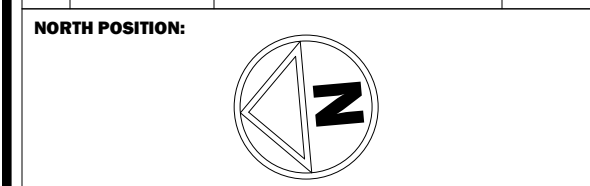
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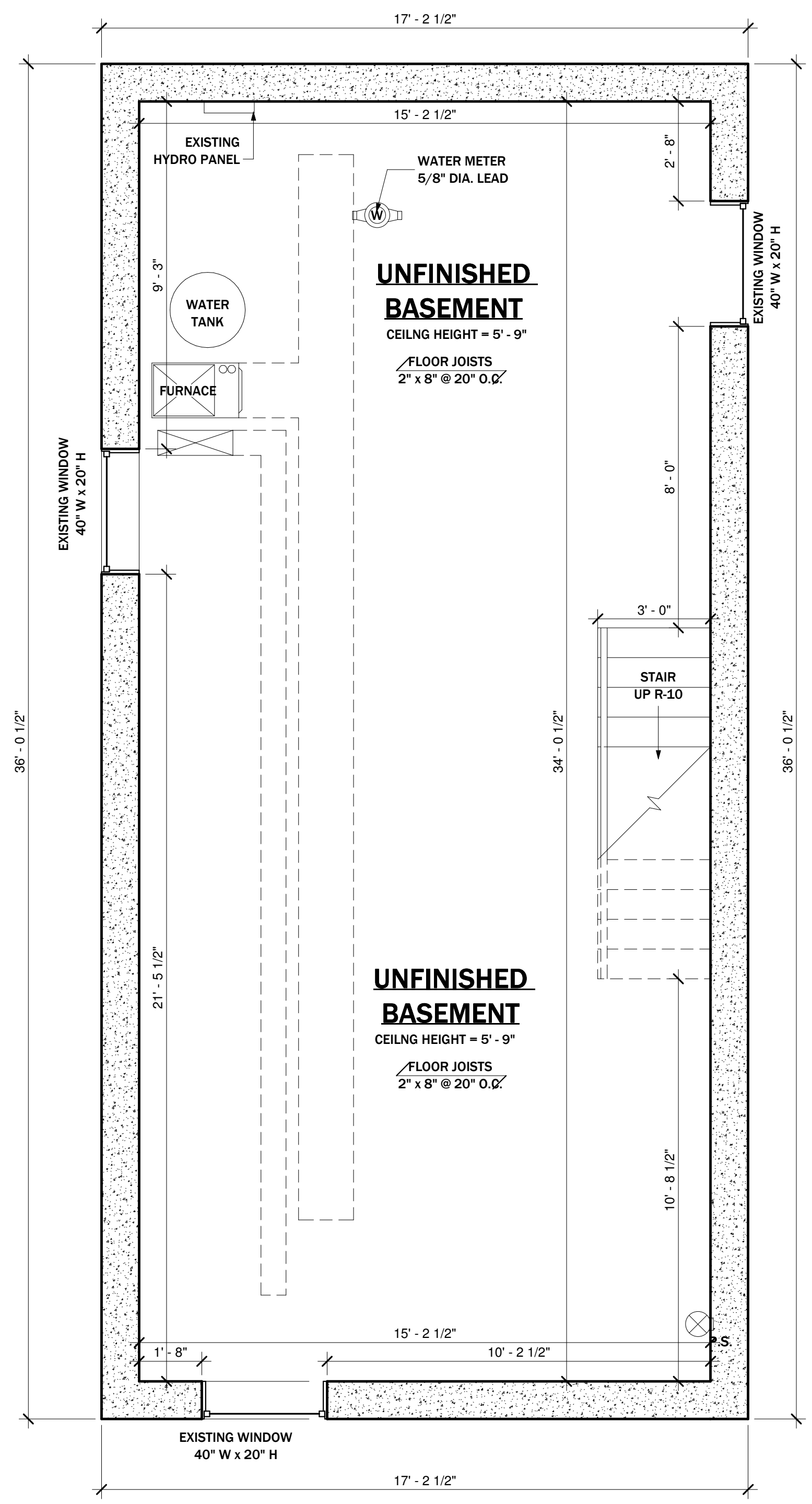
754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:
SITE PLAN

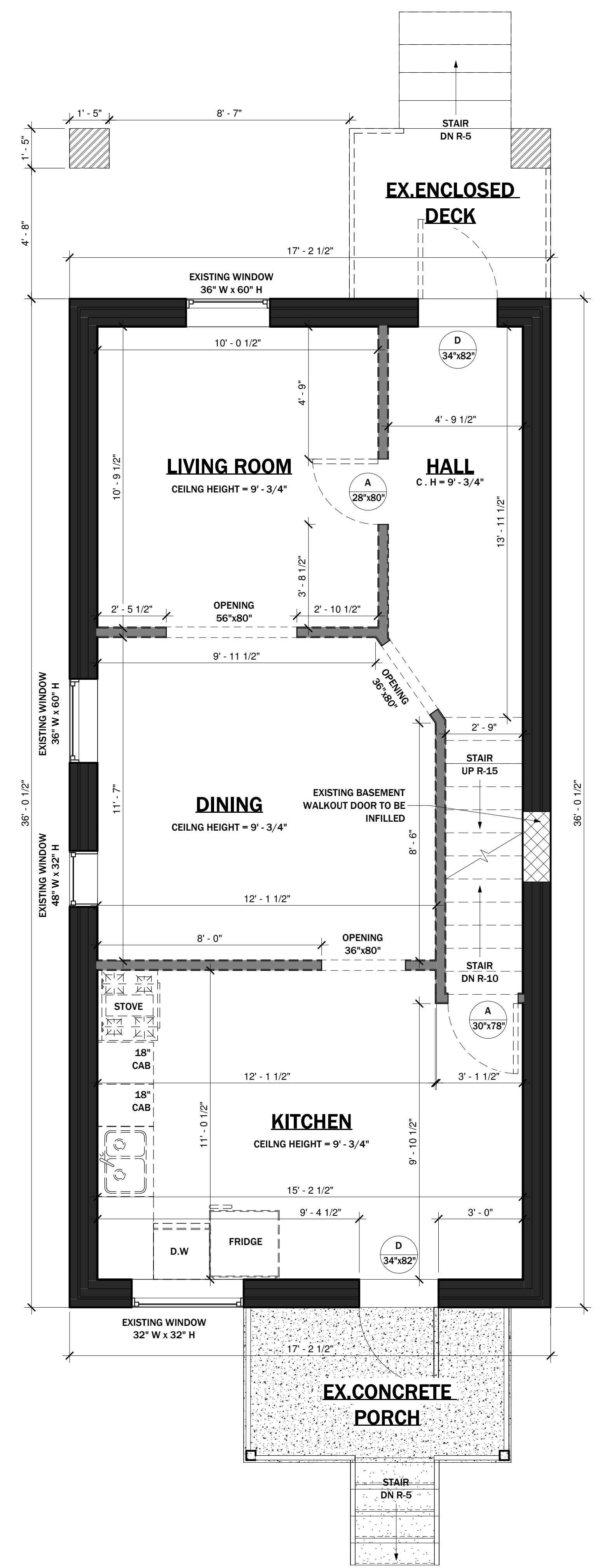
PROJECT NO. 23-46	DATE 07/06/22
SCALE 1/4" = 1'-0"	REVISION
DRAWN BY: Author	REVIEWED BY: KEN BEKENDAM

SHEET NO.

SP1.01



1 EXISTING BASEMENT
3/8" = 1'-0"



2 EXISTING 1ST FLOOR
3/8" = 1'-0"



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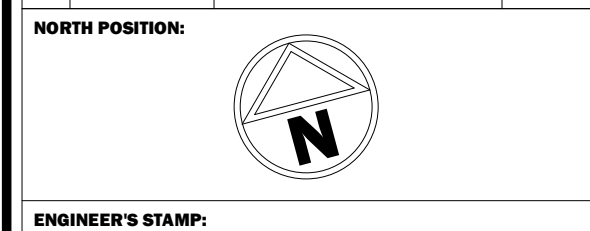
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754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

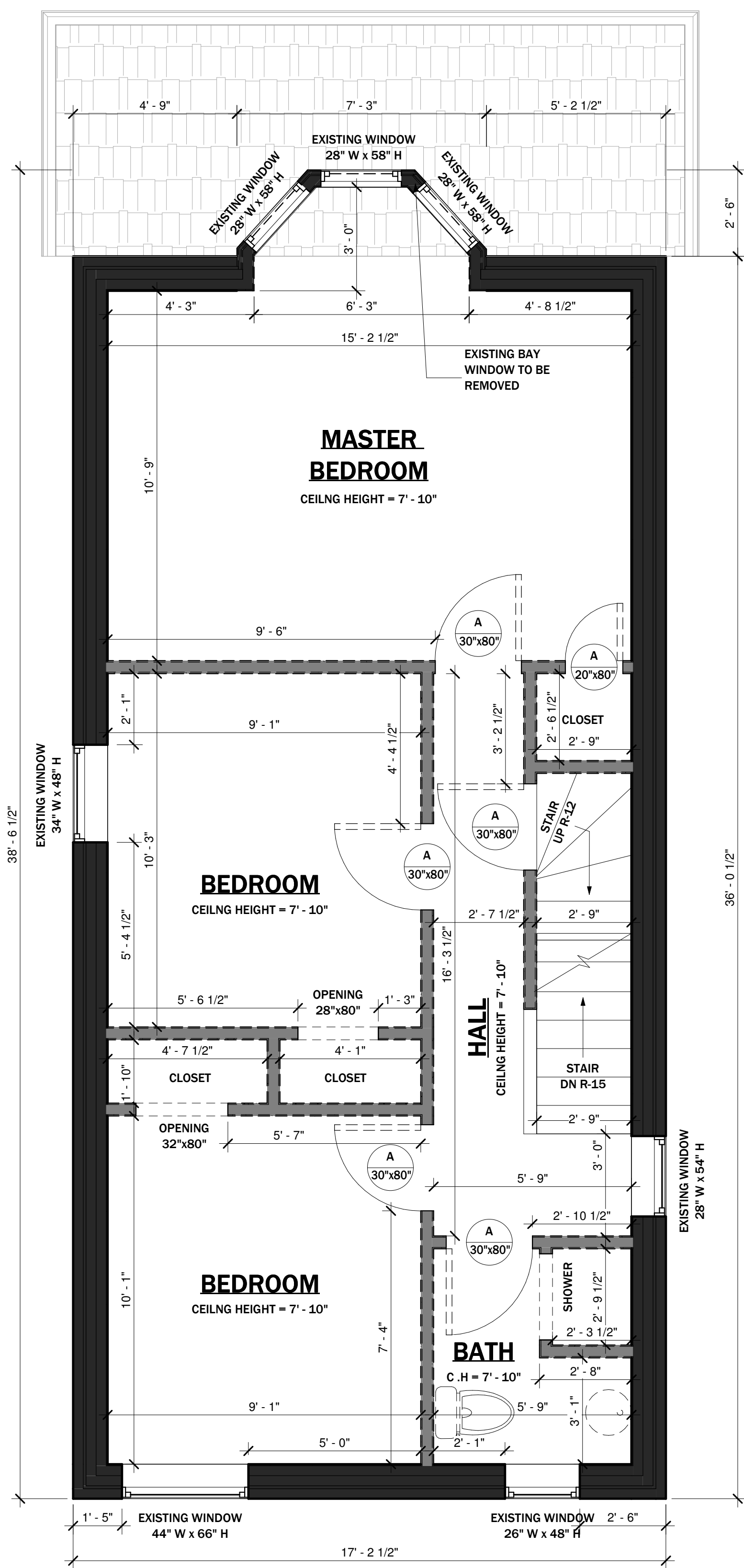
SHEET NAME:
EXISTING FLOOR PLANS

PROJECT NO.	DATE
23-46	07/06/22

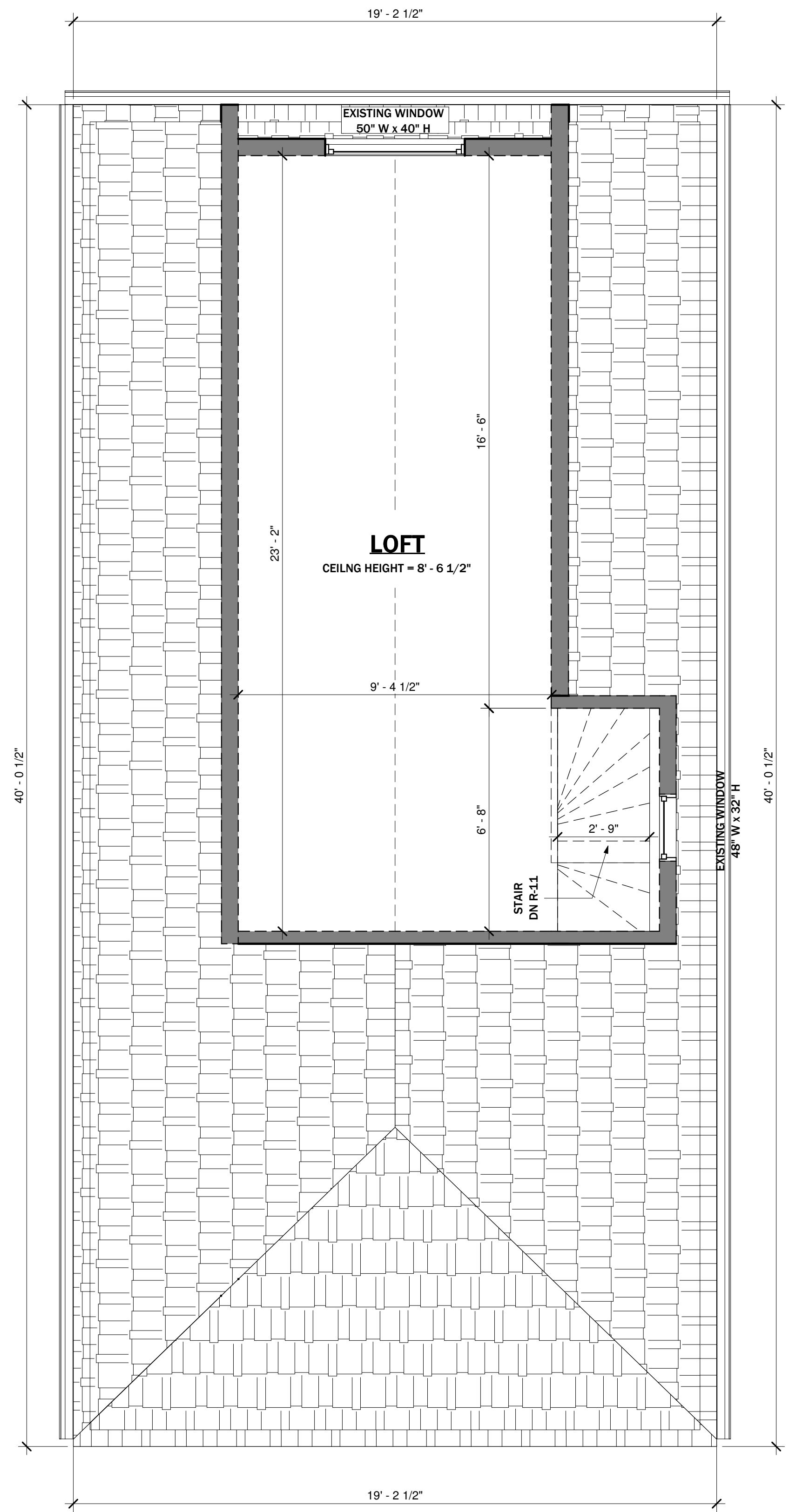
SCALE:	REVISION:
3/8" = 1'-0"	

DRAWN BY:	REVIEWED BY:
Author	KEN BEKENDAM

SHEET NO.
A1.01



1 EXISTING 2ND FLOOR
3/8" = 1'-0"



2 EXISTING 3RD FLOOR
3/8" = 1'-0"



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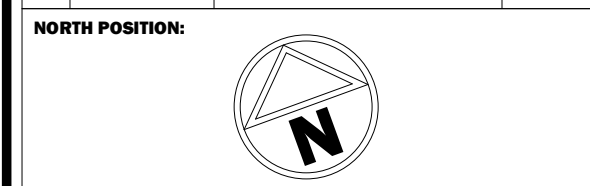
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ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

EXISTING FLOOR PLANS

PROJECT NO.	DATE	SCALE	REVISION
23-46	07/06/22	3/8" = 1'-0"	
DRAWN BY:	Author	REVIEWED BY:	KEN BEKENDAM

SHEET NO.

A1.02

SEPARATION BETWEEN RESIDENTIAL SUITES

SEPARATION BETWEEN SUITES TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14.(1), PART 11 C152 (a) AND PART 9.11.2.1(1)-STC 50. REFER TO SB-3 TABLE 1 AND 2 FOR ASSEMBLY DETAILS.

NEW VERTICAL PARTITION (WALLS) - W4A (1HR FR, STC51)

- NEW 2x4 STUD WALL SPACED 16" O.C.
- 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM)
- RESILIENT METAL CHANNELS SPACED 24" O.C.
- 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

NEW HORIZONTAL PARTITION (CEILING) - FBD (30MIN FR, STC50)

- 2" x 11 7/8" TJI @ 16" O.C.
- SUBFLOOR OF 15.5 mm PLYWOOD, OSB OR WAFFERBOARD.
- 6" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 150 mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM)
- RESILIENT METAL CHANNELS SPACED @ 24" O.C.
- 1 LAYER 5/8" TYPE X GYPSUM BOARD ON CEILING SIDE

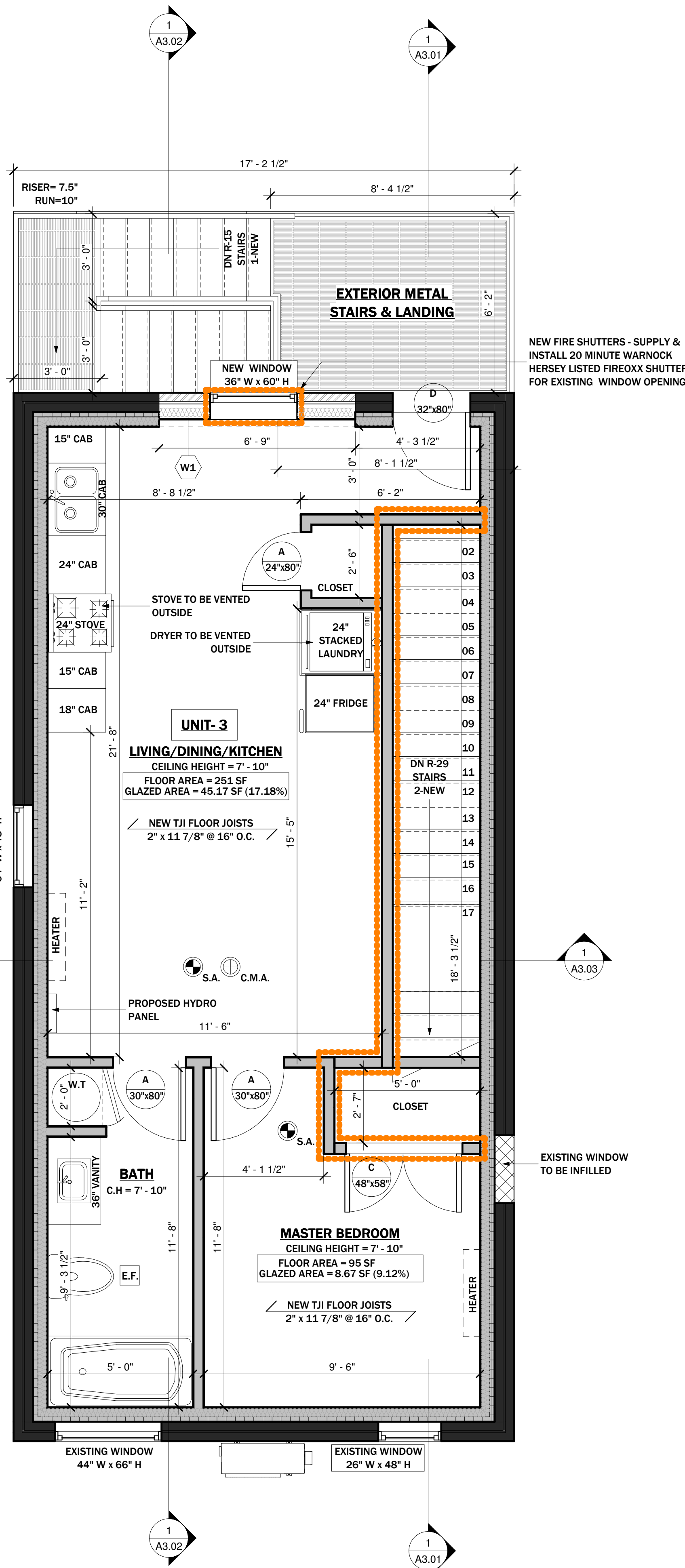
NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNITS

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS PREPARED BY REVIVE ENGINEERING

WALL TYPE SCHEDULE

- W1**
- 4" NOM. MASONRY. REFER TO ELEVATIONS.
 - NON-CORROSIVE METAL TIES AT 32" O.C. HORIZONTAL. 16" O.C. VERTICAL.
 - MASONRY VENTS AT 24" O.C. TOP AND BOTTOM OF CAVITY WALL C/W INSECT SCREENS, COLOUR TO MATCH MASONRY.
 - PROVIDE THROUGH-WALL FLASHING AT BOTTOM OF CAVITY TO MIN. 6" UP BEHIND TYVEK AIR BARRIER.
 - 1" AIR SPACE, COMPLETE WITH MORTAR MESH FULL HEIGHT.
 - TYVEK AIR BARRIER, LAP AND TAPE ALL JOINTS, MECHANICALLY FASTENED WITH SPIRAL NAILS AND 2" DIA. WASHERS TO EACH STUD 16" O.C. VERT. STAPLES NOT ACCEPTABLE.
 - 1/2" PLYWOOD SHEATHING.
 - 2"x6" STUDS @ 16" O.C., DOUBLE PLATE AT TOP
 - FILL STUD CAVITY WITH BATT INSULATION (R-22)
 - 6 MIL POLY VAPOUR BARRIER, LAP AND SEAL ALL JOINTS MIN. 3" AND SEAL W/ ACOUSTIC MASTIC SEALANT.
 - 1/2" GYPSUM BOARD, TAPED SANDED READY FOR FINISHES. USE 5/8" TYPE X GYPSUM BOARD IN LIEU OF 1/2" DRYWALL, WHERE THE SETBACK IS LESS THAN 4" AWAY FROM THE PROPERTY LINE SEE PLAN.

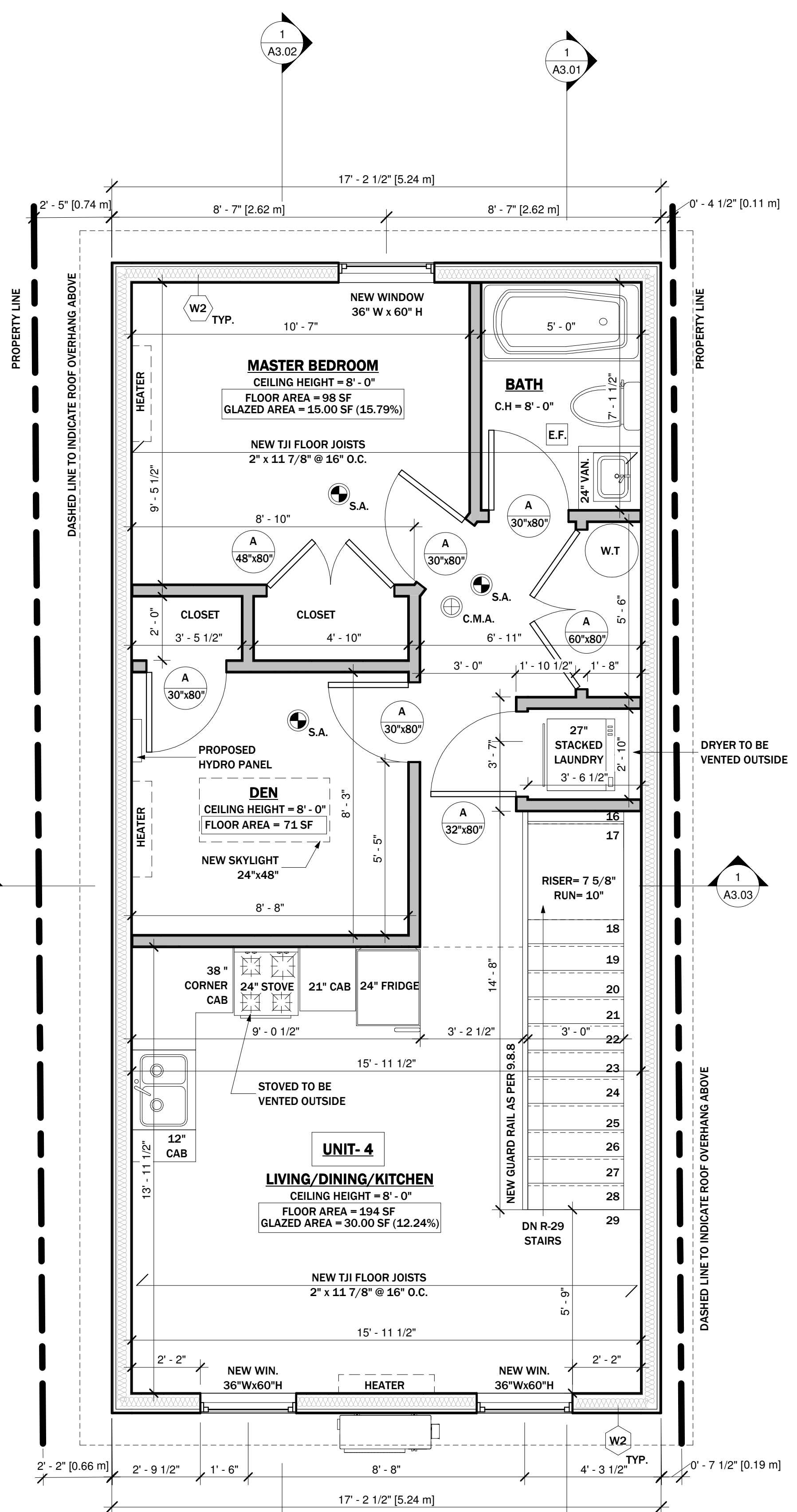
- W2**
- PRE-FINISHED WOOD SIDING.
 - REFER TO ELEVATIONS AND DETAILS FOR SIZES AND STYLES.
 - INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.
 - 1"x2" VERTICAL FURRING STRAPPING @ 16" O.C. ALIGNED WITH STUDS
 - TYVEK 'HOUSEWRAP' INSTALL AS PER MANUFACTURER SPECIFICATIONS LAP AND TAPE ALL JOINTS
 - 1/2" PLYWOOD SHEATHING
 - 2"x6" @ 16" O.C. STUD WALLS WITH R-22 BATT INSULATION.
 - 2"x6" WOOD GIRT AT MID-HEIGHT
 - DOUBLE PLATES AT TOP AND SILL PLATE AT BOTTOM
 - 6 MIL VAPOUR/AIR BARRIER (WARM SIDE), LAP ALL JOINTS MIN. 3" AND SEAL WITH ACOUSTIC TYPE SEALANT.
 - 1/2" GYPSUM BOARD TAPED, FILLED, SANDED READY FOR PAINT.
 - USE 5/8" TYPE X DRYWALL IN LIEU 1/2" DRYWALL
 - WHERE SETBACK IS LESS THAN 4" AWAY FROM PROPERTY LINE.
 - PROVIDE THROUGH WALL BASE FLASHING UP MIN. 8" SHEATHING PAPER.



NEW FIRE SHUTTERS - SUPPLY & INSTALL 20 MINUTE WARNOCK HERSEY LISTED FIREOXX SHUTTER FOR EXISTING WINDOW OPENING

EXISTING WINDOW TO BE INFILLED

1 PROPOSED 2ND FLOOR
3/8" = 1'-0"



2 PROPOSED 3RD FLOOR
3/8" = 1'-0"

KING HOMES INC.
legal second suites.com

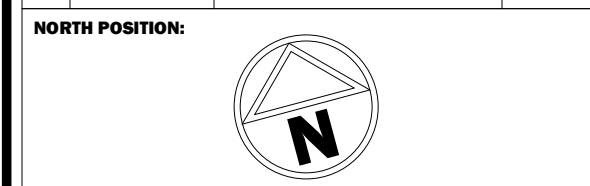
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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:
PROPOSED 2ND & 3RD FLOOR PLANS

PROJECT NO.	DATE
23-46	07/06/22
SCALE:	REVISION:
3/8" = 1'-0"	
DRAWN BY:	REVIEWED BY:
Author	KEN BEKENDAM

SHEET NO.
A1.05



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A BUSCOM, L.T. CELL PHONE: 905-961-0647 kenbekendam@gmail.com OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON OFFICE PHONE: 905-546-4467

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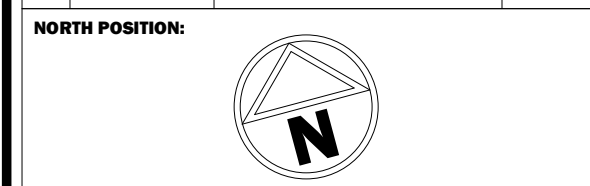
QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code

REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code KING HOMES INC. 121307

GENERAL NOTES:

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Table with 4 columns: NO., DATE, GENERAL DESCRIPTION, INITIALS. Rows 01, 02, 03, 04.



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME: WATER PROOFING PLAN

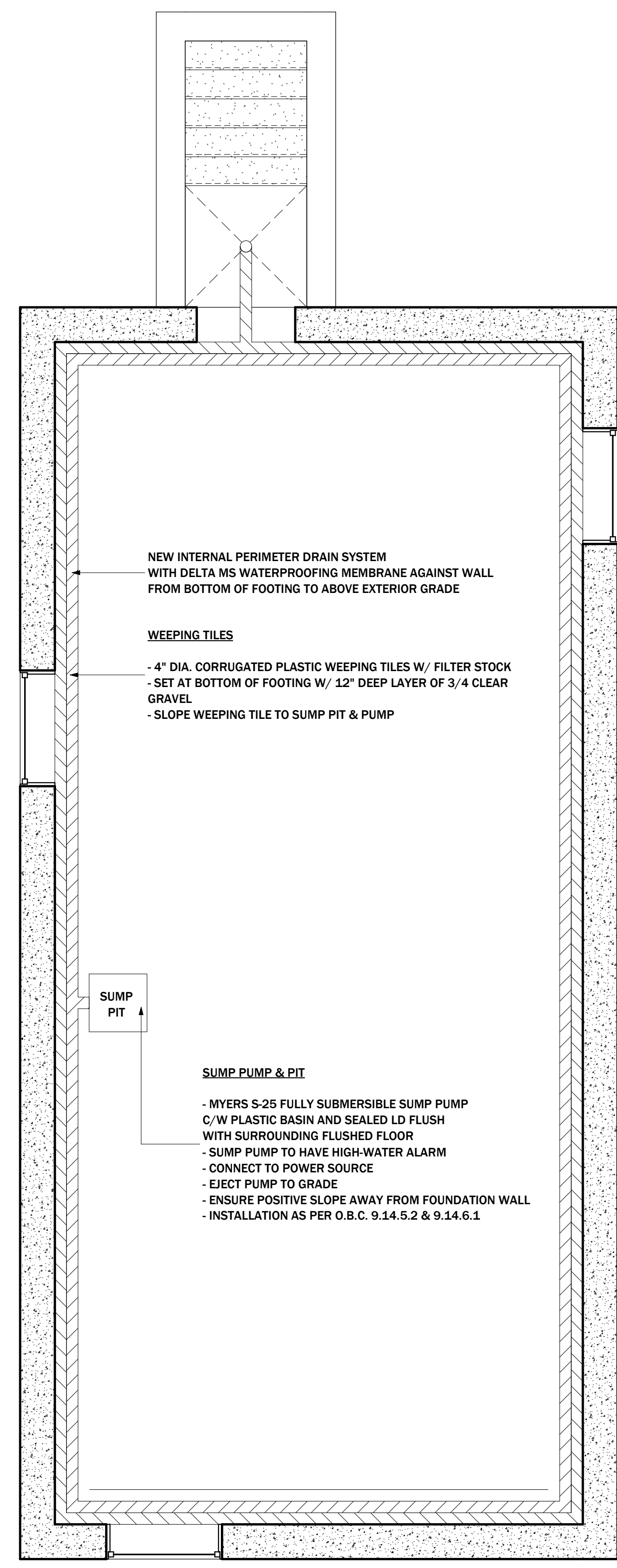
PROJECT NO. 23-46 DATE: 07/06/22

SCALE: 3/8" = 1'-0" REVISION:

DRAWN BY: Author REVIEWED BY: KEN BEKENDAM

SHEET NO.

A1.06



NEW INTERNAL PERIMETER DRAIN SYSTEM WITH DELTA MS WATERPROOFING MEMBRANE AGAINST WALL FROM BOTTOM OF FOOTING TO ABOVE EXTERIOR GRADE

WEEPING TILES - 4" DIA. CORRUGATED PLASTIC WEEPING TILES W/ FILTER STOCK - SET AT BOTTOM OF FOOTING W/ 12" DEEP LAYER OF 3/4 CLEAR GRAVEL - SLOPE WEEPING TILE TO SUMP PIT & PUMP

SUMP PIT

SUMP PUMP & PIT - MYERS S-25 FULLY SUBMERSIBLE SUMP PUMP C/W PLASTIC BASIN AND SEALED LD FLUSH WITH SURROUNDING FLUSHED FLOOR - SUMP PUMP TO HAVE HIGH-WATER ALARM - CONNECT TO POWER SOURCE - EJECT PUMP TO GRADE - ENSURE POSITIVE SLOPE AWAY FROM FOUNDATION WALL - INSTALLATION AS PER O.B.C. 9.14.5.2 & 9.14.6.1

1 WATER PROOFING PLAN 3/8" = 1'-0"



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.
LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T. kenbekendam@gmail.com
CELL PHONE: 905-965-0647
OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON
OFFICE PHONE: 905-546-4467

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 KING HOMES INC. 121307
 Name BCIN

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01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

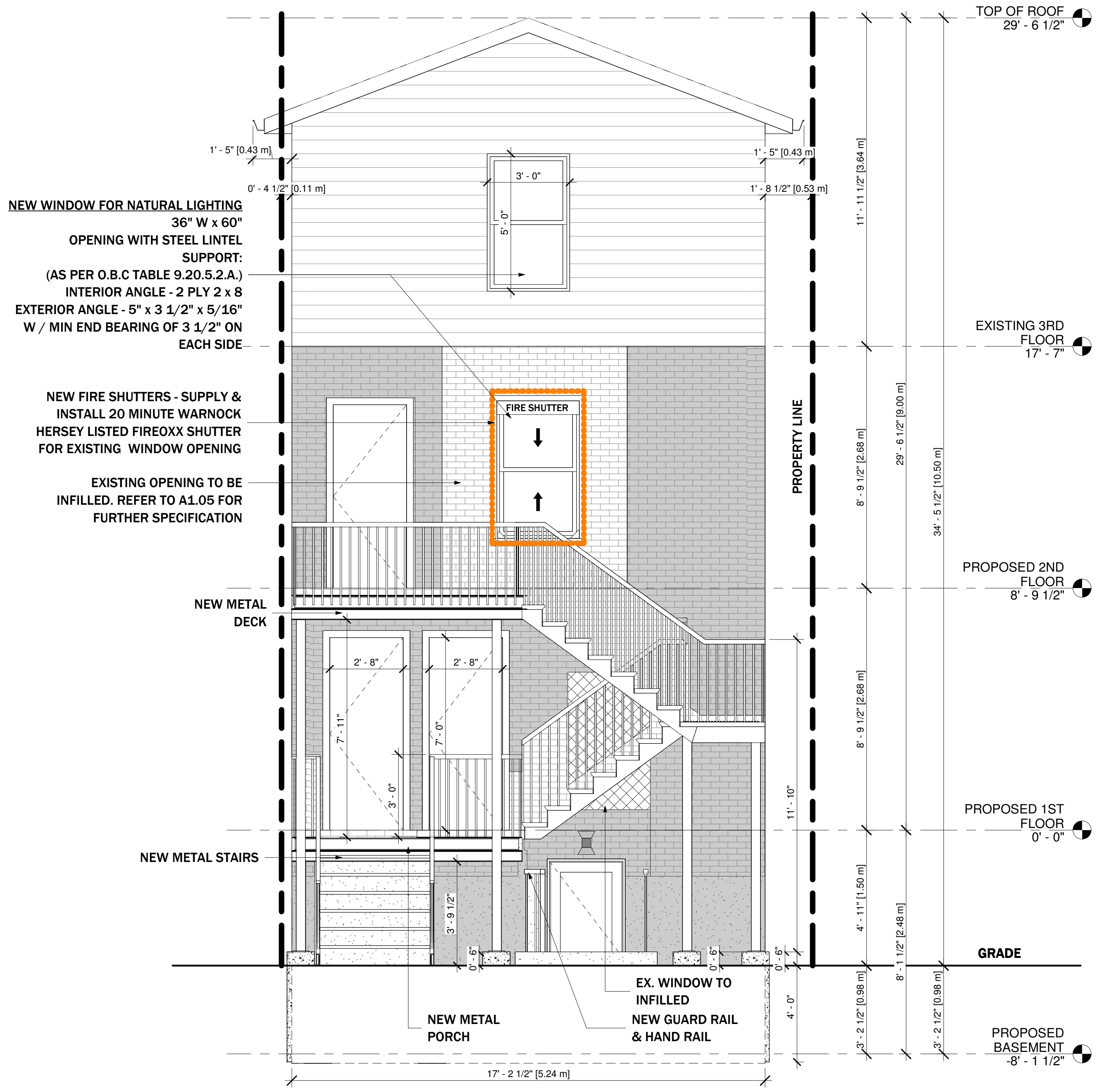
SHEET NAME:
PROPOSED FRONT & REAR ELEVATIONS

PROJECT NO.	DATE
23-46	07/06/22

SCALE:	REVISION:
3/8" = 1'-0"	

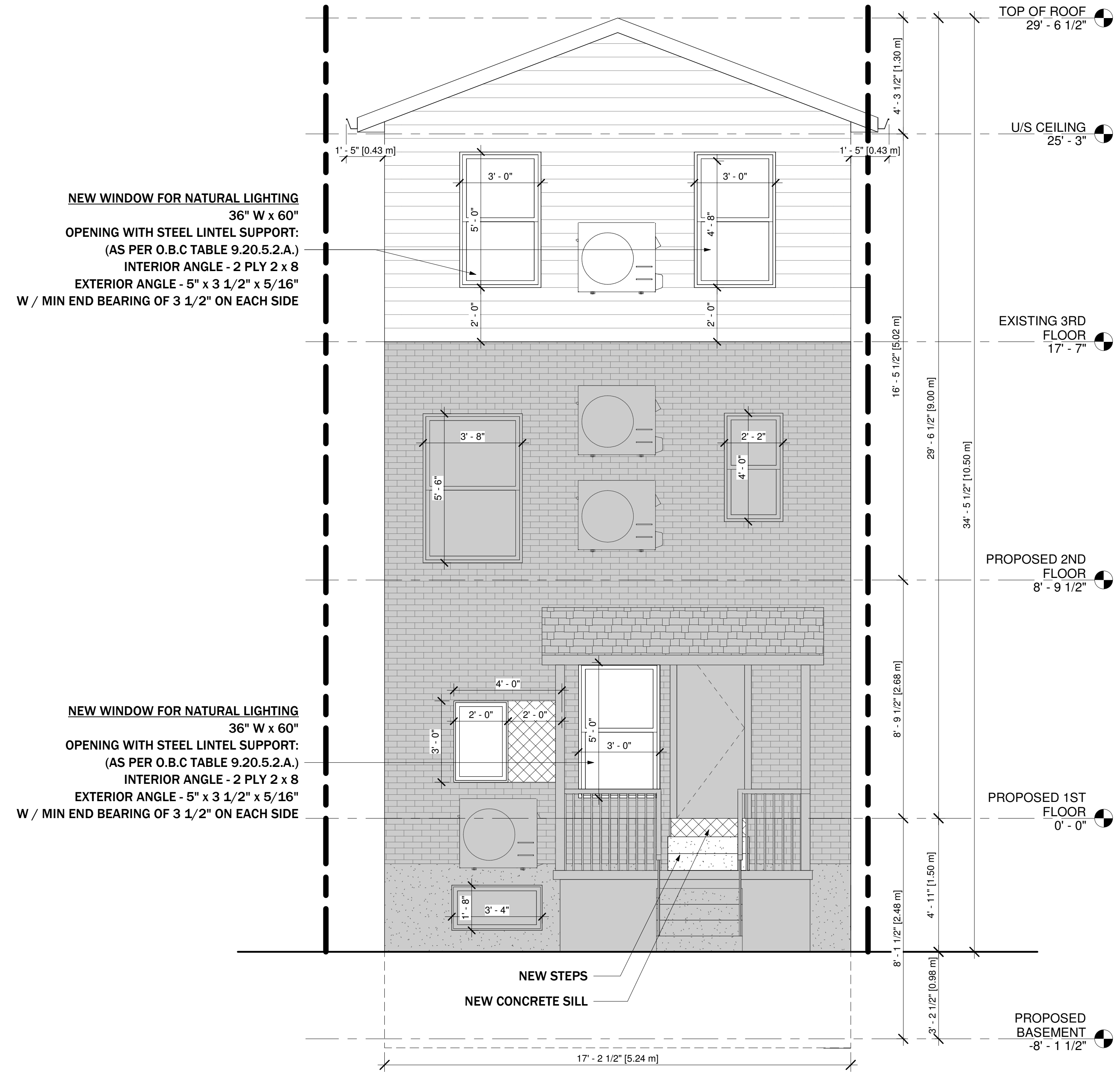
DRAWN BY:	REVIEWED BY:
Author	KEN BEKENDAM

SHEET NO.
A2.01



GLAZED UNPROTECTED OPENINGS
 SETBACK TO PROPERTY LINE = 3.38 m
 WALL SURFACE AREA = 48.20 m² (518.79 SF)
 MAX PERMITTED OPENINGS = 8.70 m² (18%)
 PROPOSED = 3.70 m² (7.67%)

1 PROPOSED FRONT ELEVATION
 3/8" = 1'-0"



GLAZED UNPROTECTED OPENINGS
 SETBACK TO PROPERTY LINE = 13.07 m
 WALL SURFACE AREA = 48.20 m² (518.79 SF)
 MAX PERMITTED OPENINGS = (100%)
 PROPOSED = 8.49 m² (91.39 SF)

2 PROPOSED REAR ELEVATION
 3/8" = 1'-0"



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REGISTRATION INFORMATION
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Name: KING HOMES INC. BCIN: 121307

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
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03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

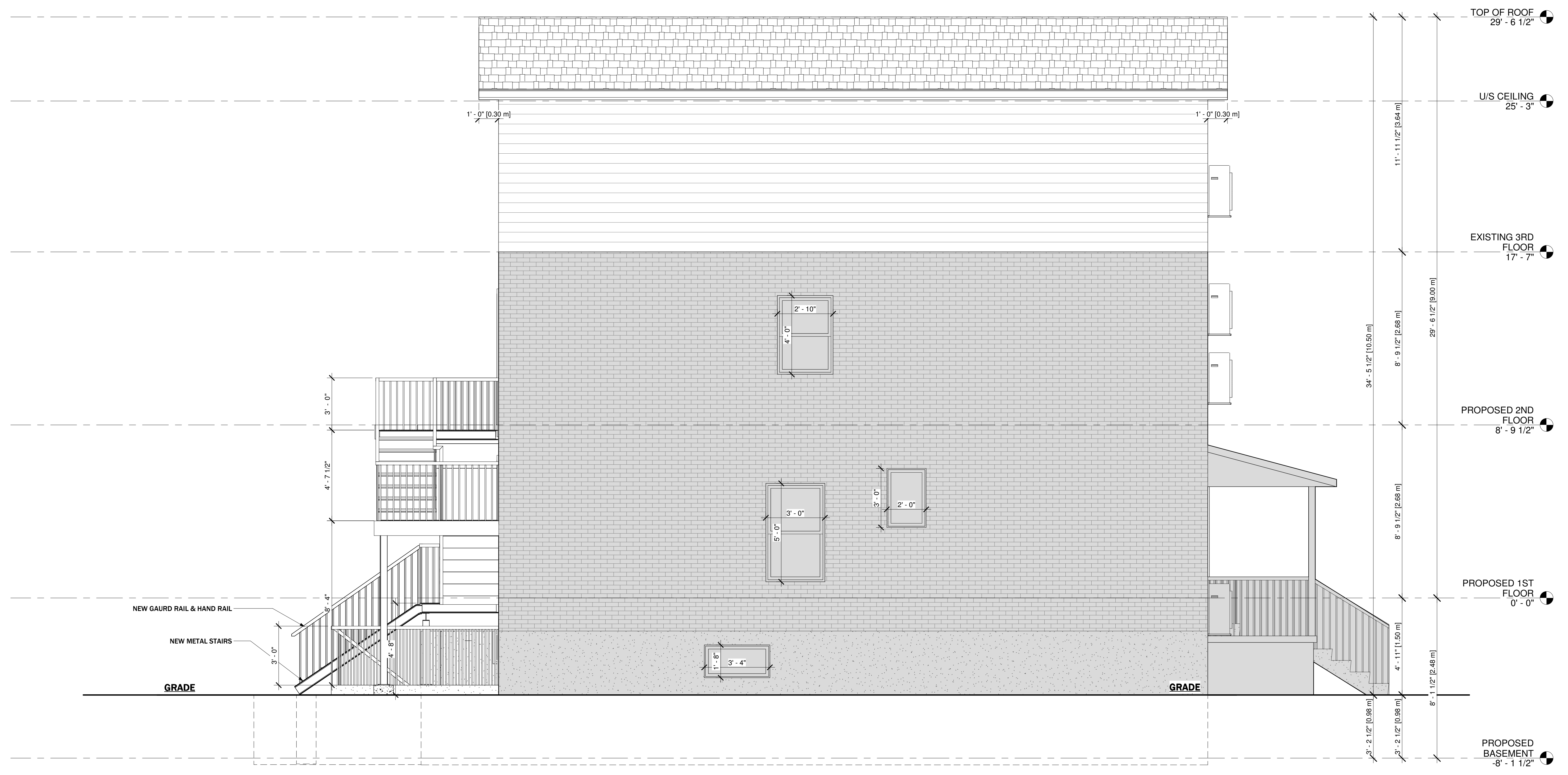
SHEET NAME:

PROPOSED RIGHT ELEVATION

PROJECT NO. 23-46	DATE 11/02/23
SCALE 3/8" = 1'-0"	REVISION:
DRAWN BY: Author	REVIEWED BY: Checker

SHEET NO.

A2.02



1 PROPOSED EAST ELEVATION
3/8" = 1'-0"



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Name: _____ Signature: _____ BCIN: _____

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
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NORTH POSITION:

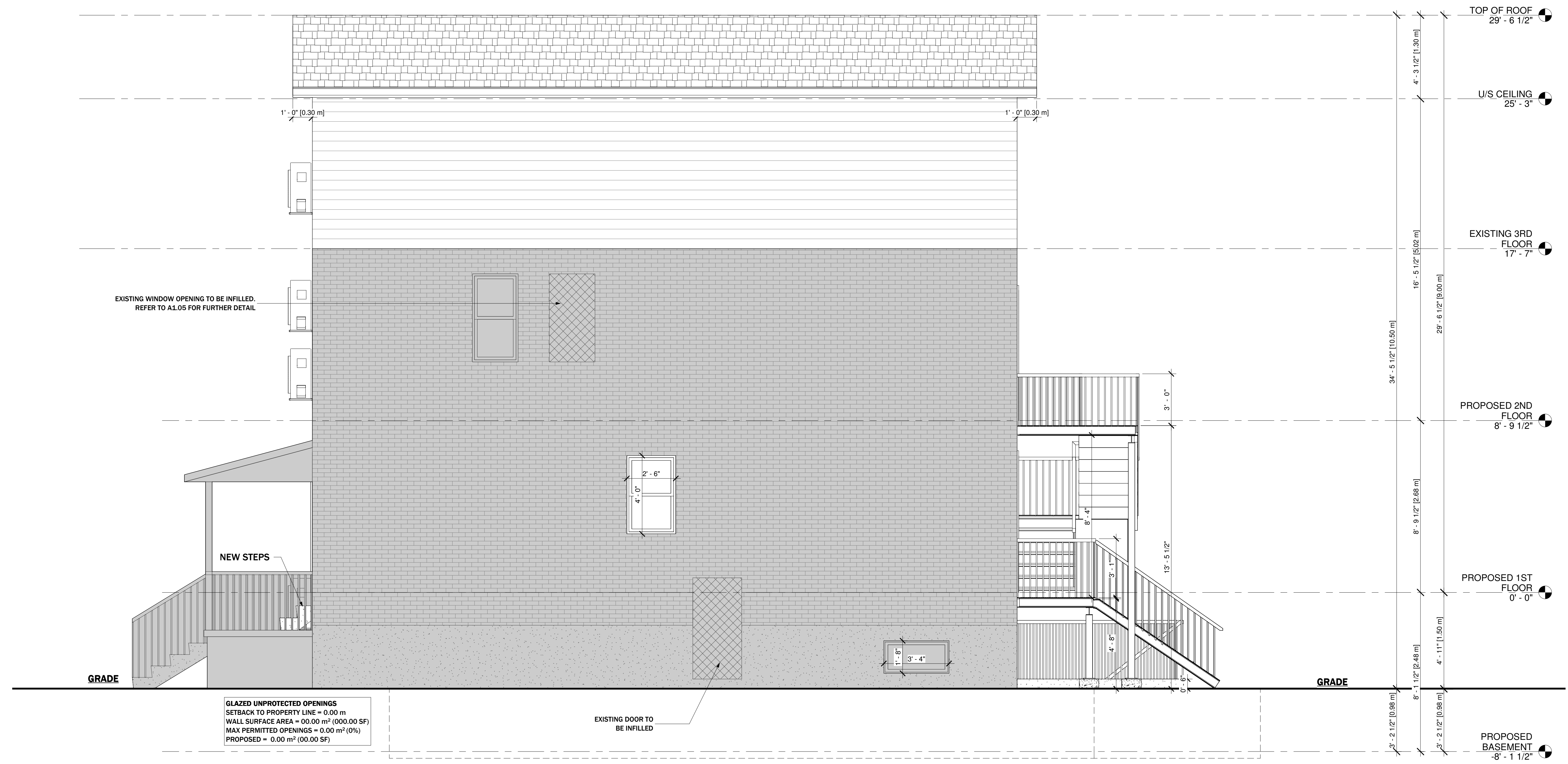
ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:
PROPOSED LEFT ELEVATION

PROJECT NO. 23-46	DATE 11/28/23
SCALE 3/8" = 1'-0"	REVISION
DRAWN BY: Author	REVIEWED BY: Checker

SHEET NO.
A2.03



1 PROPOSED WEST ELEVATION
3/8" = 1'-0"



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

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kenbekendam@gmail.com

CELL PHONE:
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OFFICE PHONE:
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QUALIFICATION INFORMATION
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REGISTRATION INFORMATION
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Name: KING HOMES INC. BGIN
121307

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01			
02			
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04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

EXISTING ELEVATIONS

PROJECT NO. 23-46 DATE: 07/06/22

SCALE: 1/2" = 1'-0" REVISION:

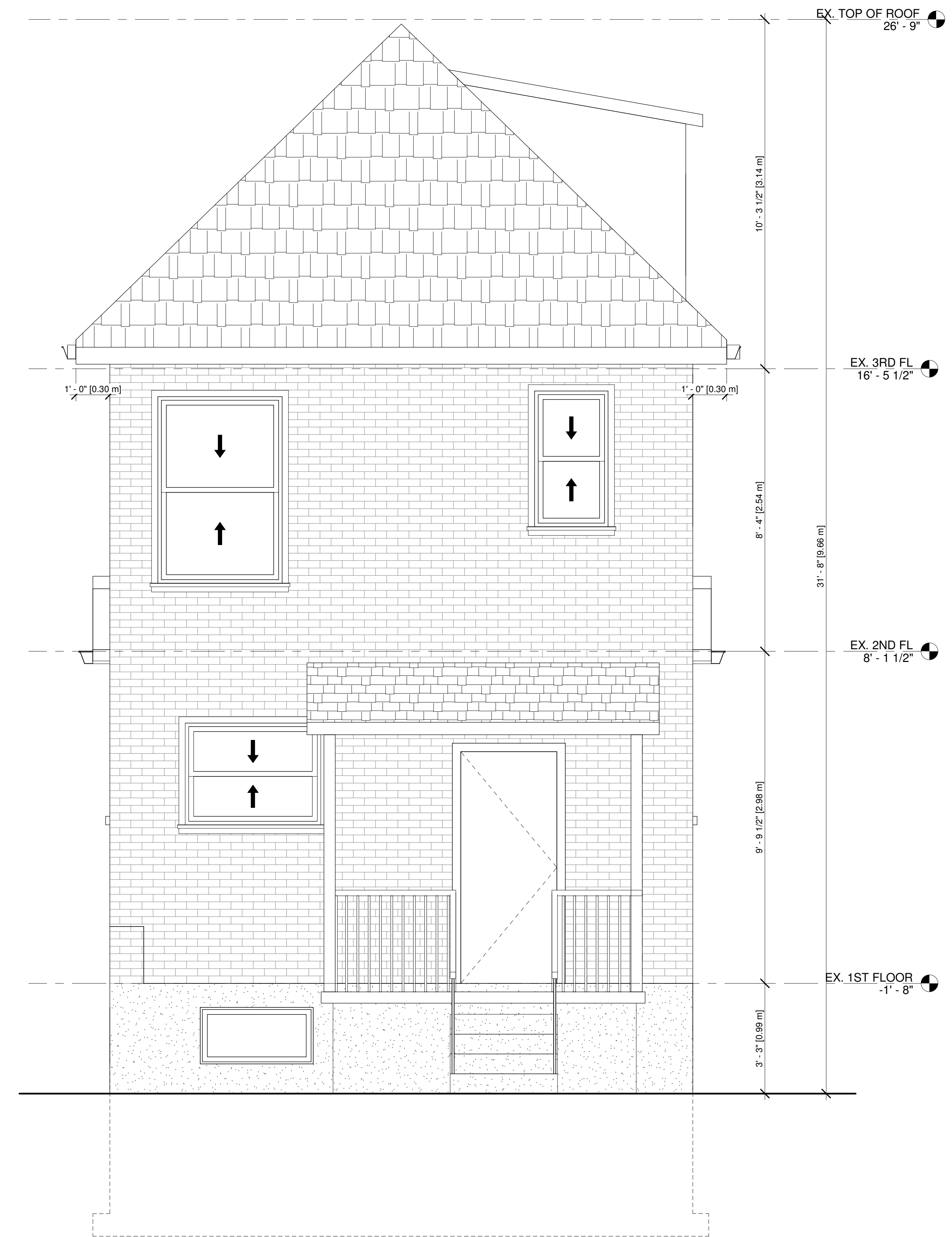
DRAWN BY: Author REVIEWED BY: KEN BEKENDAM

SHEET NO.

A2.05



① EXISTING FRONT ELEVATION
1/2" = 1'-0"



② EXISTING REAR ELEVATION
1/2" = 1'-0"



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Name: KING HOMES INC. 121307
Signature: BGIN

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01			
02			
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04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

CROSS SECTION

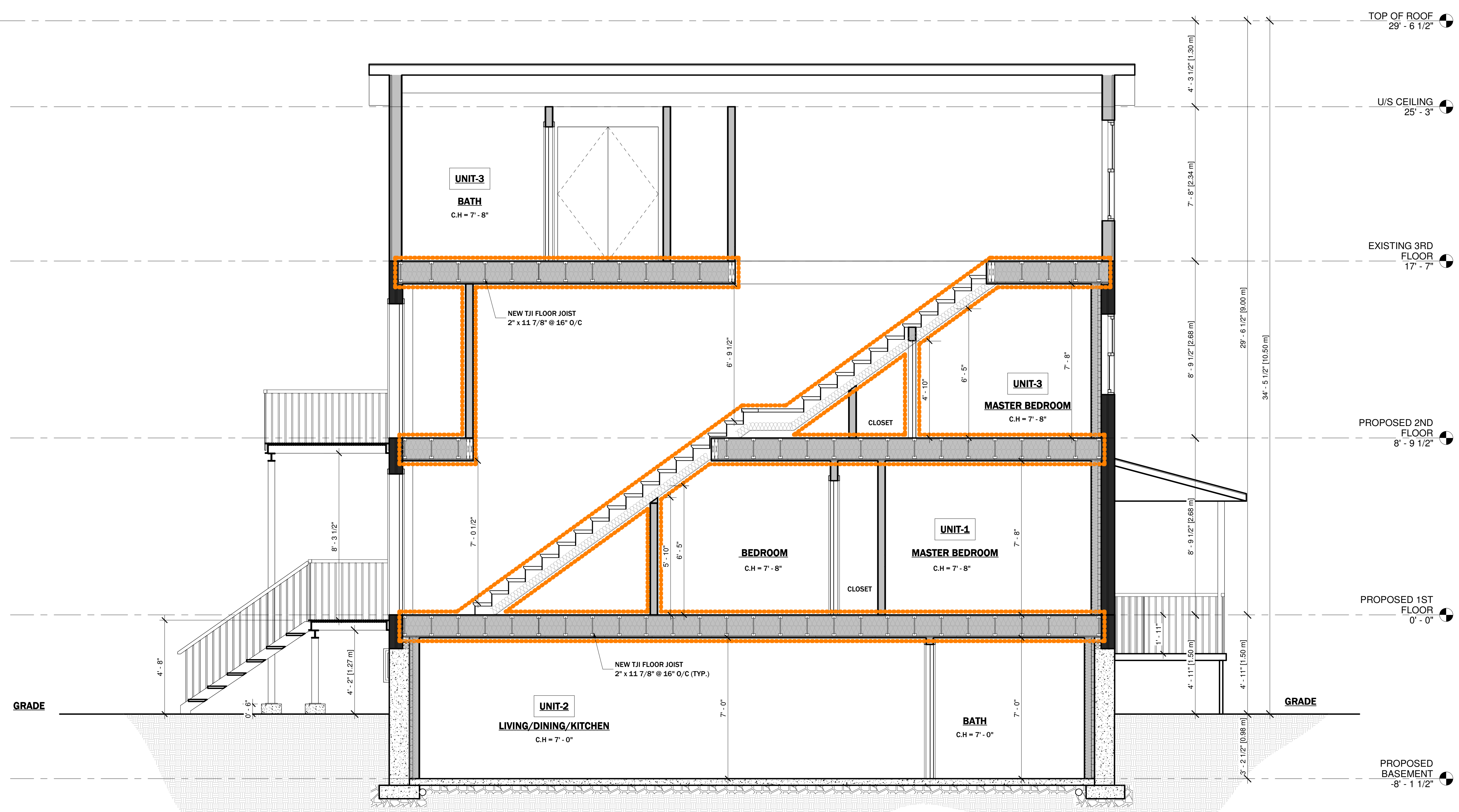
PROJECT NO. 23-46 DATE: 07/06/22

SCALE: 3/8" = 1'-0" REVISION:

DRAWN BY: Author REVIEWED BY: KEN BEKENDAM

SHEET NO.

A3.01



1 Section 2
3/8" = 1'-0"



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.
LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A BUSCOM, L.T.
 kenbekendam@gmail.com
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NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

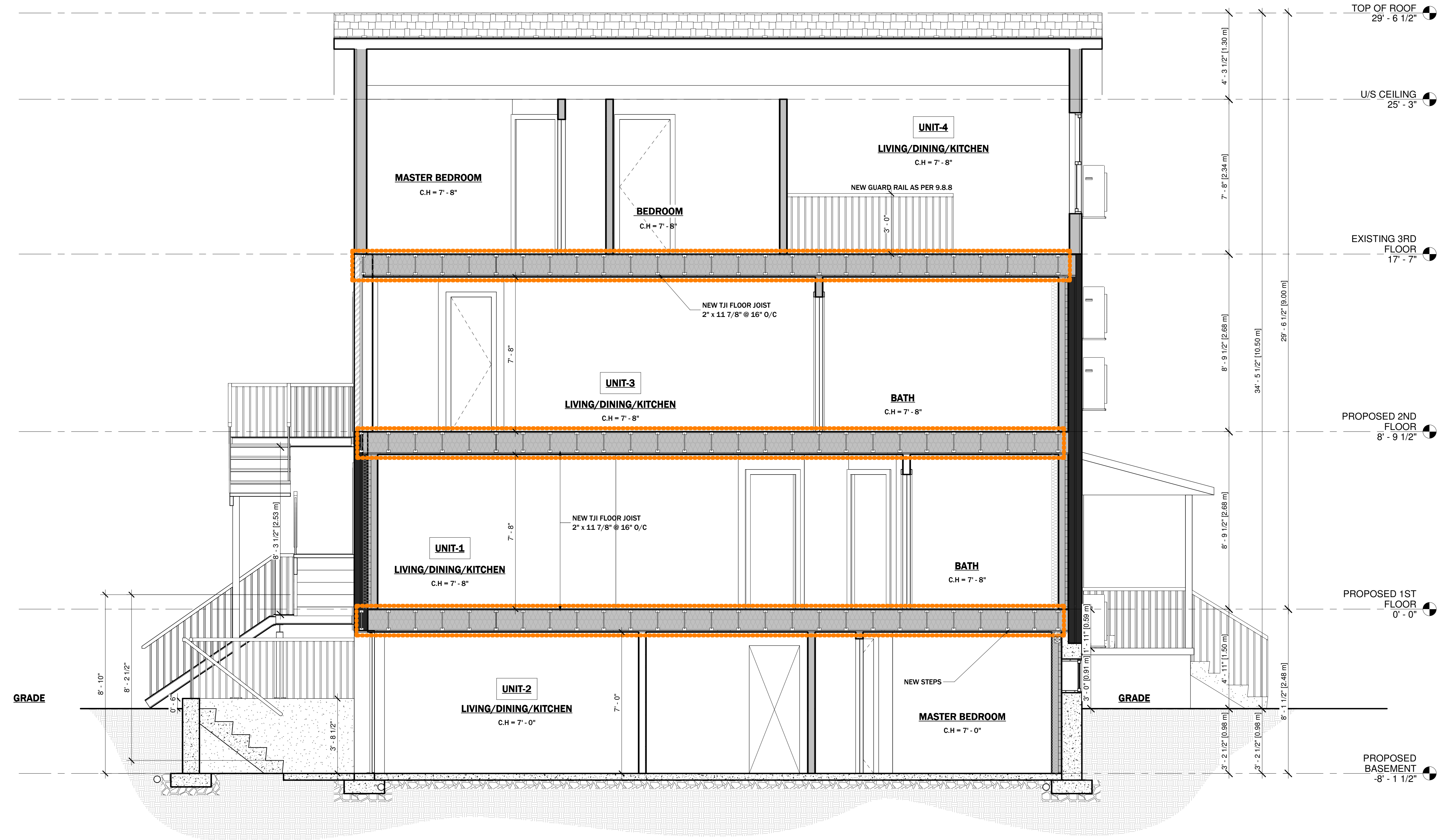
SHEET NAME:

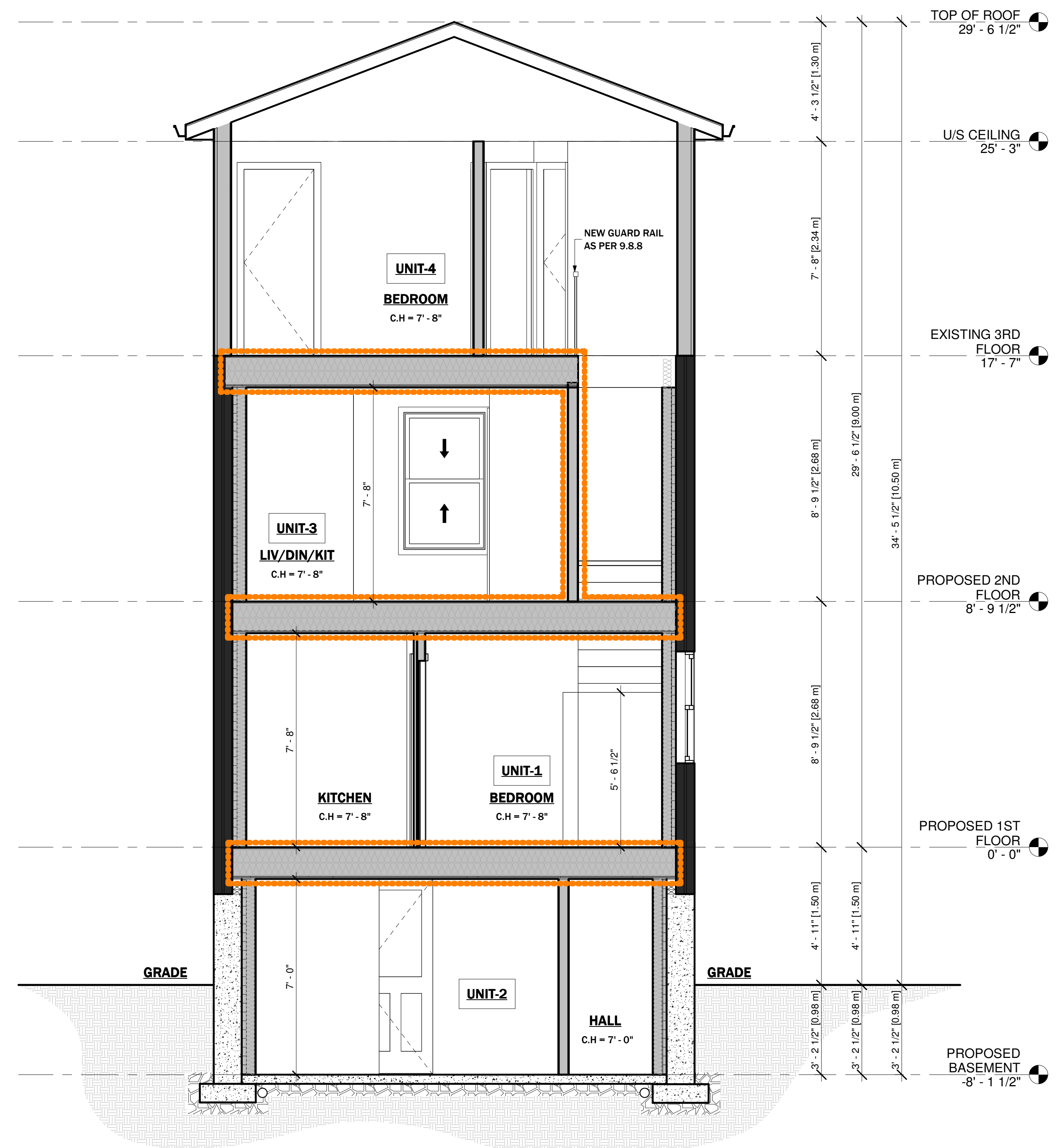
CROSS SECTION-2

PROJECT NO. 23-46	DATE: 10/30/23
SCALE: 3/8" = 1'-0"	REVISION:
DRAWN BY: Author	REVIEWED BY: Checker

SHEET NO.

A3.02





① Section 4
3/8" = 1'-0"

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A. BUSCOM, L.T.
kenbekendam@gmail.com

CELL PHONE:
905-961-0647

OFFICE ADDRESS:
979 MAIN ST. E. HAMILTON, ON

OFFICE PHONE:
905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Name: _____ Signature: _____ B.C.N.:

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

KING HOMES INC. 121307
Name: _____ B.C.N.:

GENERAL NOTES:

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- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:
CROSS SECTION -3

PROJECT NO. 23-46 DATE: 10/31/23

SCALE: 3/8" = 1'-0" REVISION:

DRAWN BY: Author REVIEWED BY: Checker

SHEET NO.

A3.03



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A BUSCOM, L.T.
kenbekendam@gmail.com
OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON
OFFICE PHONE: 905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

Name: _____ Signature: _____ BCIN: _____
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code
KING HOMES INC. 121307
Name: _____ BCIN: _____

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

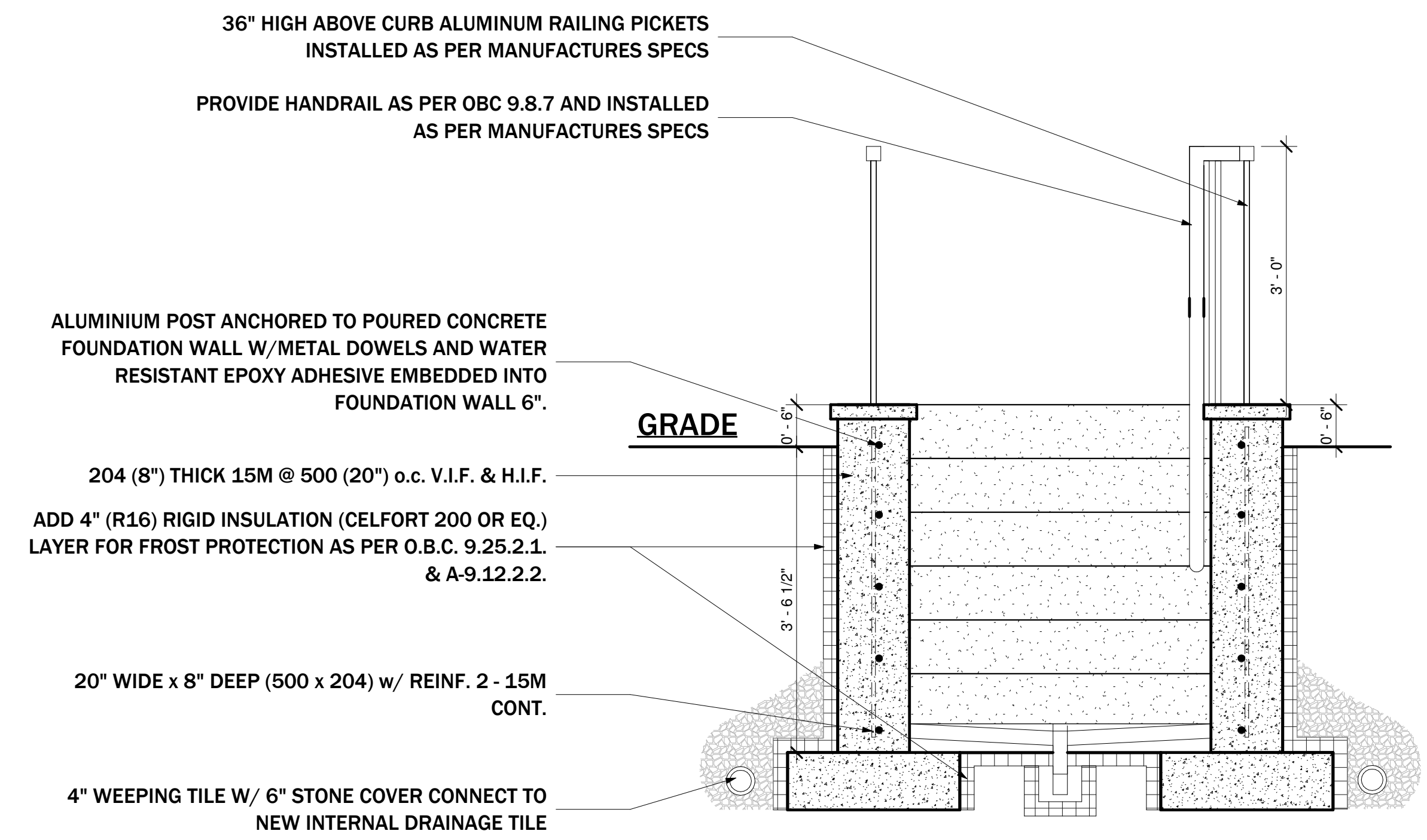
754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

WALKOUT DETAILS

PROJECT NO. 23-46	DATE: 07/06/22
SCALE: As indicated	REVISION:
DRAWN BY: Author	REVIEWED BY: KEN BEKENDAM
SHEET NO.	

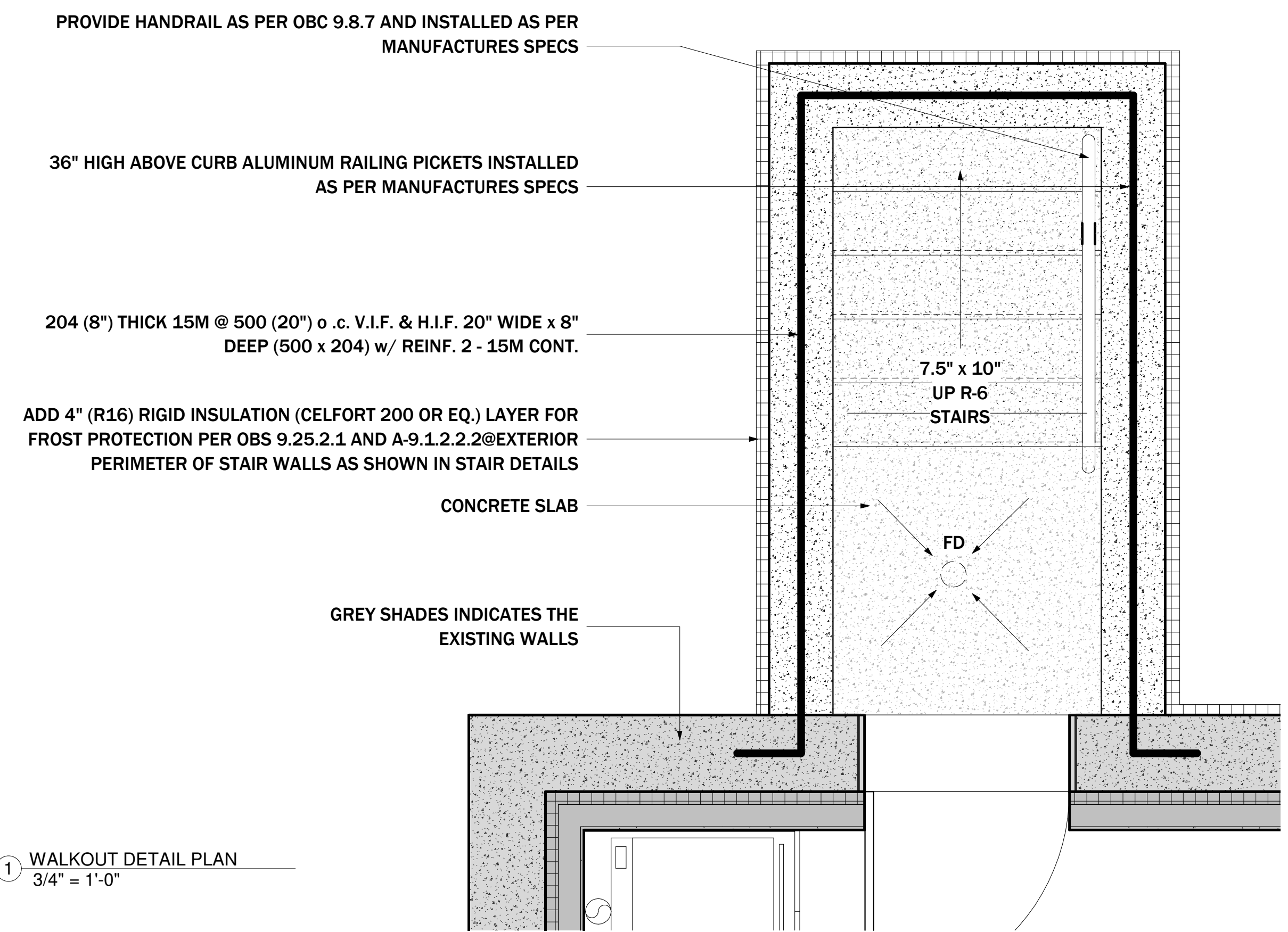
A3.04



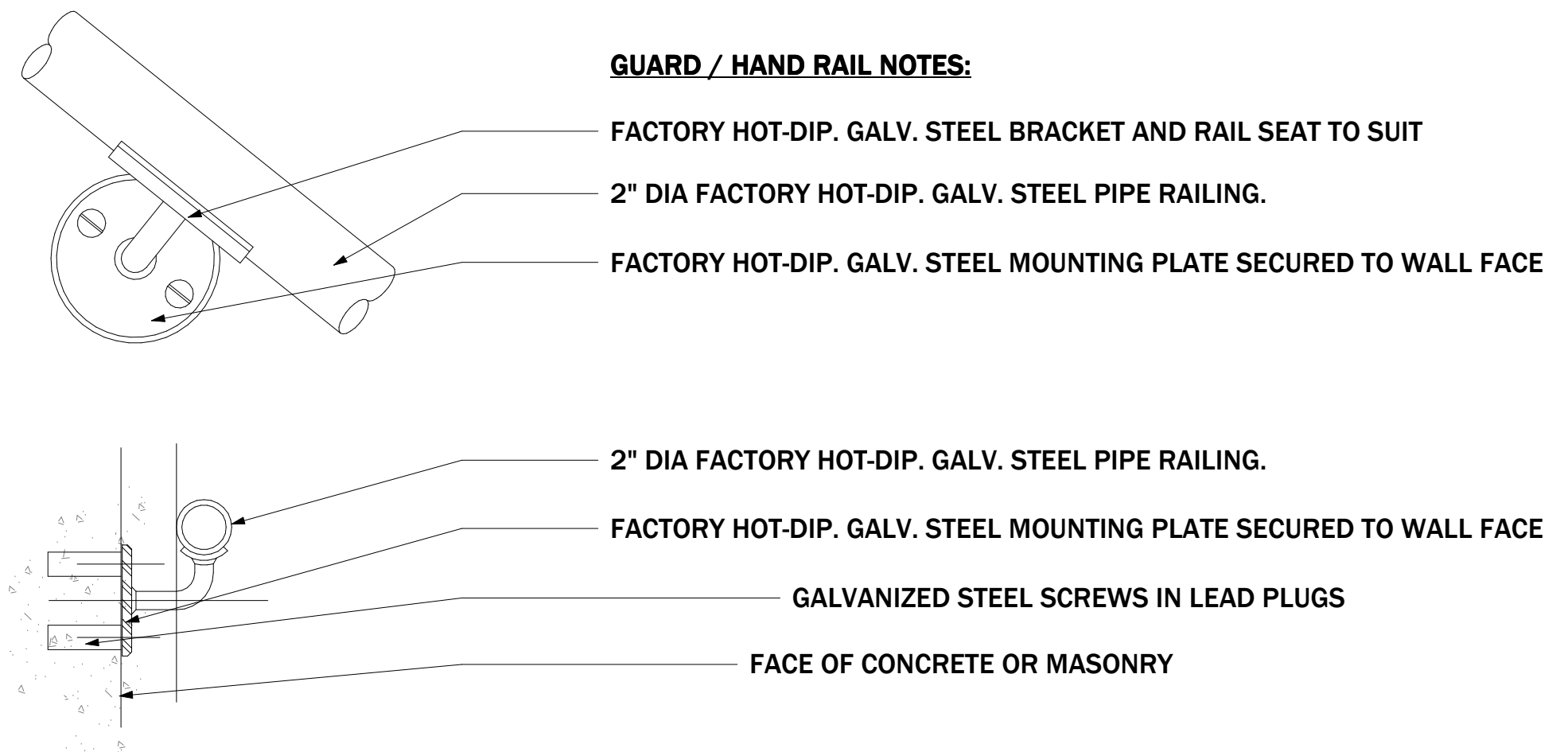
NOTE: SEE FLOOR PLAN FOR ACCURATE QUANTITY OF RISERS REQUIRED. EXISTING SITE CONDITIONS TO BE REVIEWED TO ENSURE EACH RISER HAS A MAXIMUM RISE ENSURE EACH RISER HAS A MAXIMUM RISE REPORTED TO THE DESIGNER.

NOTE: POURED CONC. FOOTING ON NATURAL UNDISTUBED SOIL OR COMPACTED ENGINEERED FILL WITH A BEARING CAPACITY OF 75 kPa.

3 WALKOUT SECTION-2
3/4" = 1'-0"

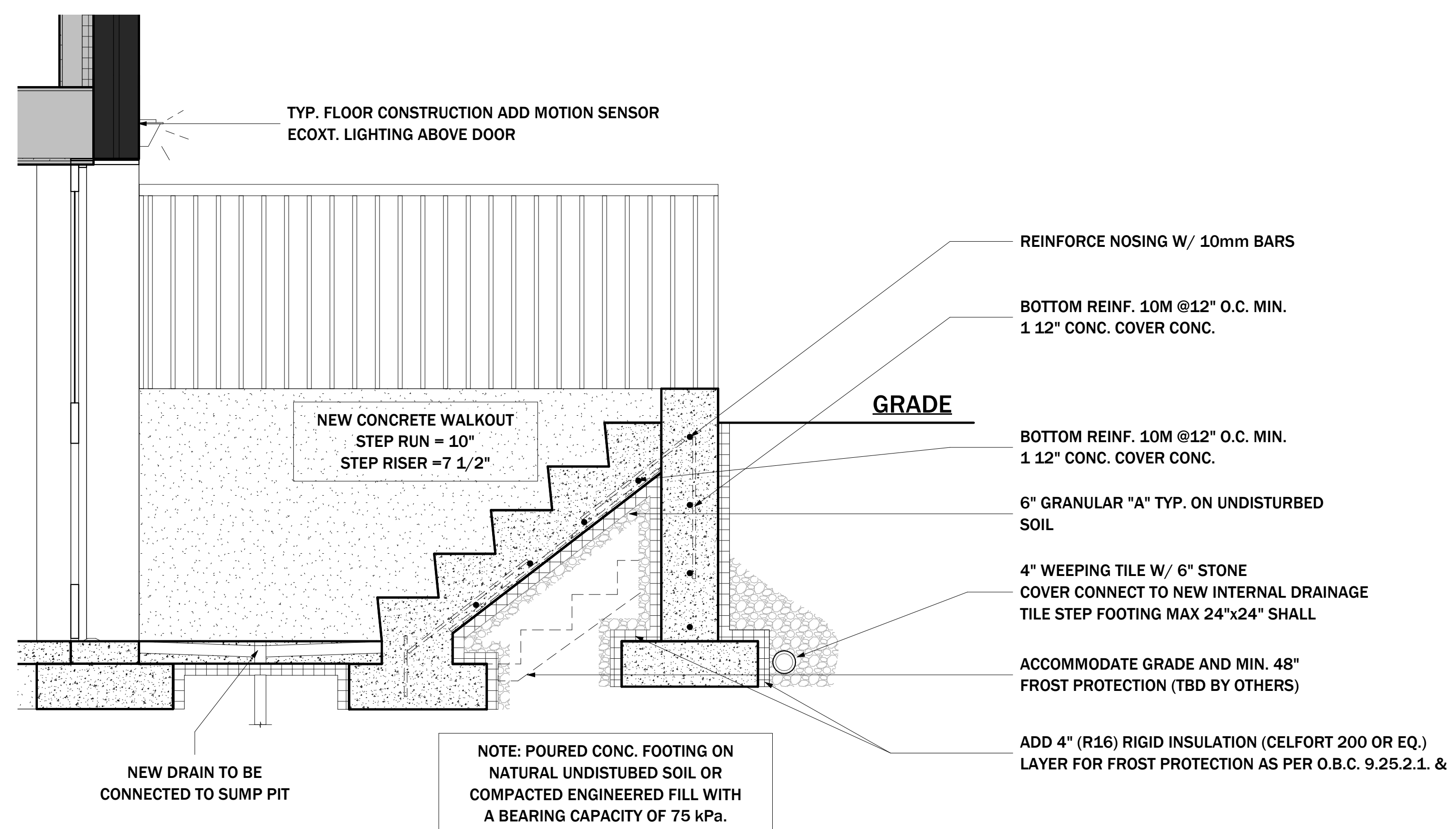


1 WALKOUT DETAIL PLAN
3/4" = 1'-0"

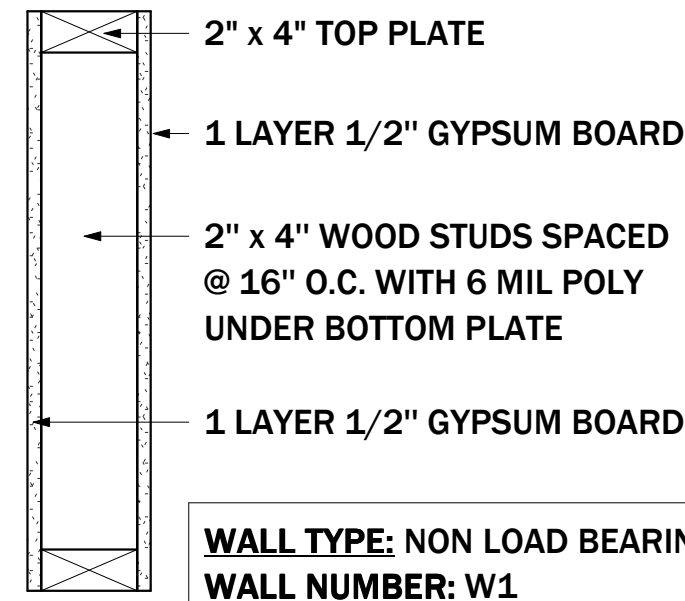


NOTES: 4" MAX SPACE BETWEEN PICKETS, OPENING THROUGH ANY GUARD SHALL BE OF SIZE WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF MORE THAN 4". GUARDS SHALL BE DESIGNED AND INSTALLED SO THAT NO MEMBER ATTACHED ON WALKING SURFACE WILL FACILITATE CLIMBING. GUARDS TO RESIST LOADS AS PER O.B.C. 9.8.7.7.(1)(a)

4 HAND RAIL DETAILS
1/2" = 1'-0"

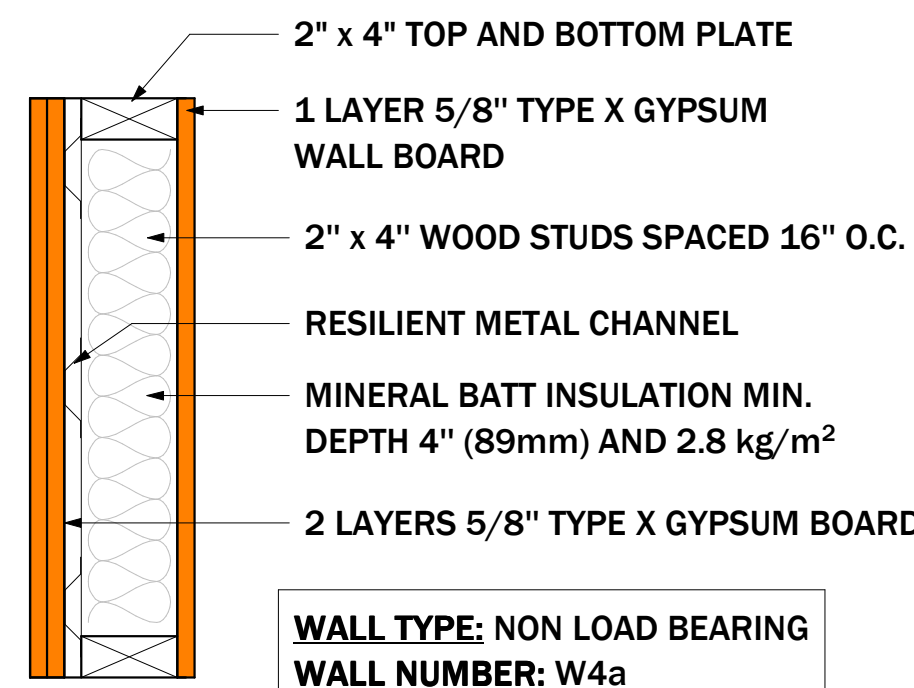


2 WALKOUT SECTION -1
3/4" = 1'-0"



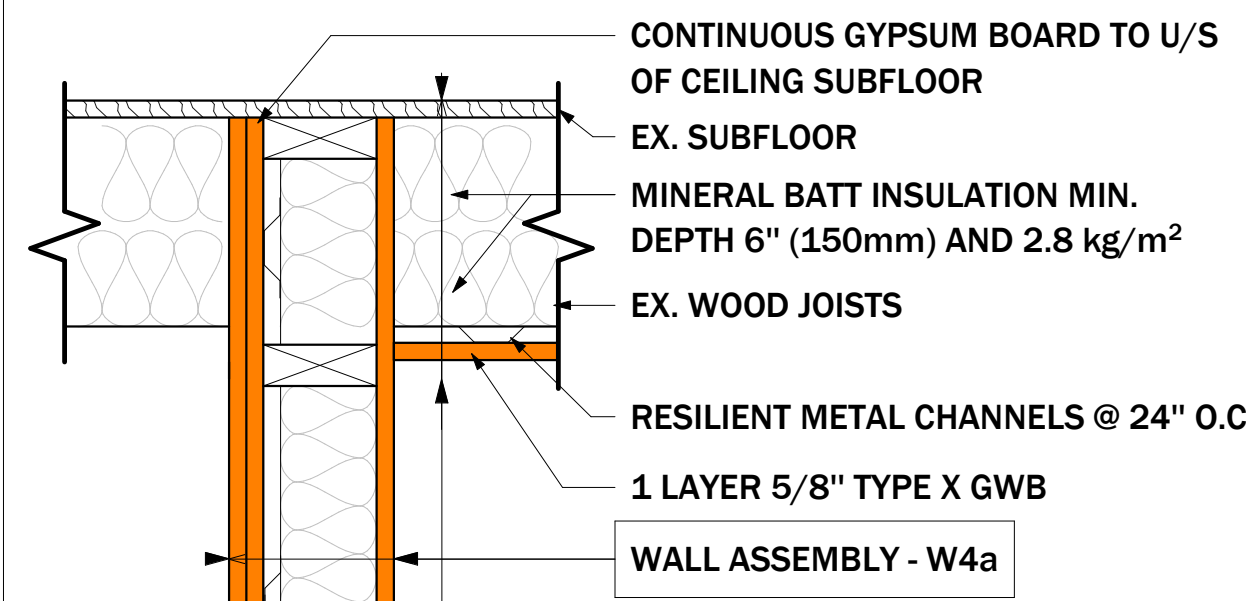
WALL TYPE: NON LOAD BEARING
WALL NUMBER: W1
FRR: UNRATED
STC: UNRATED

01 NEW: INTERIOR PARTITION WALL
 WITH GWB BOTH SIDES



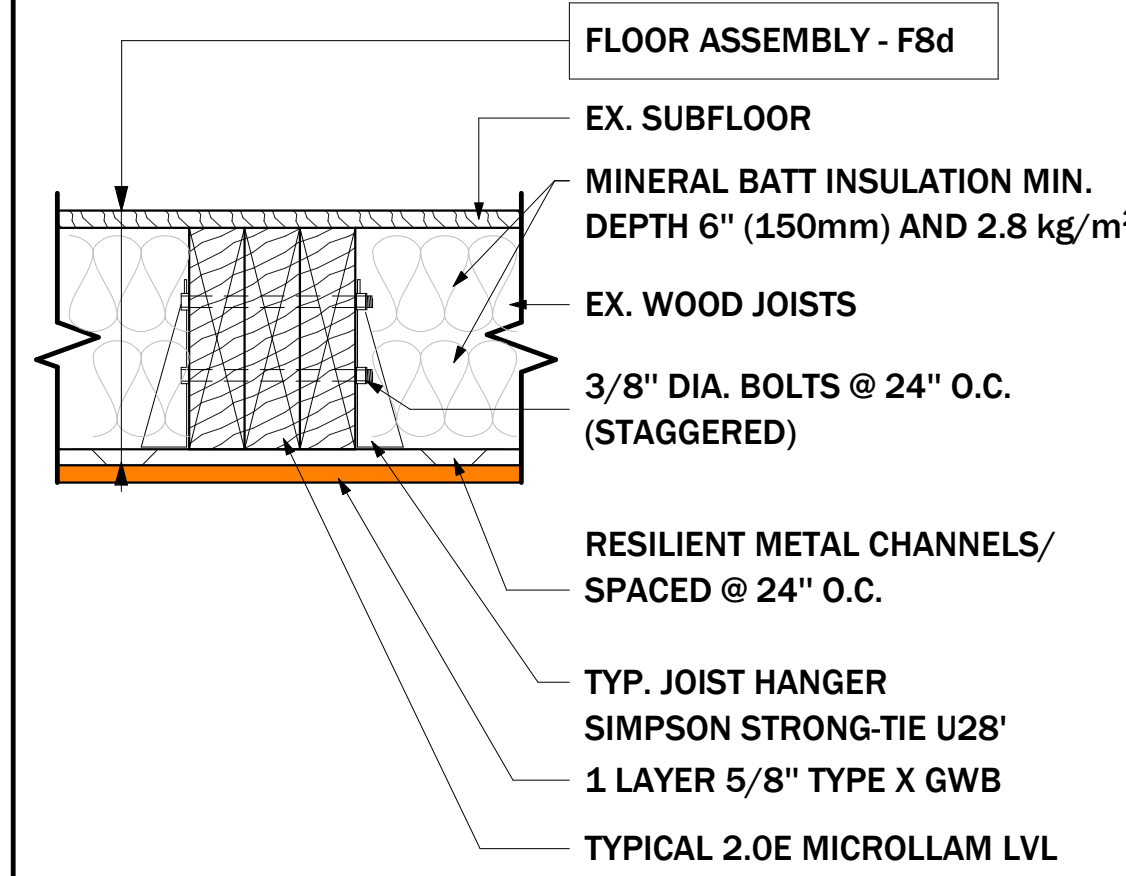
WALL TYPE: NON LOAD BEARING
WALL NUMBER: W4a
FRR: 1 HR
STC: 51

02 NEW: INTERIOR PARTITION WALL
 WITH 1HR FIRE SEPARATION

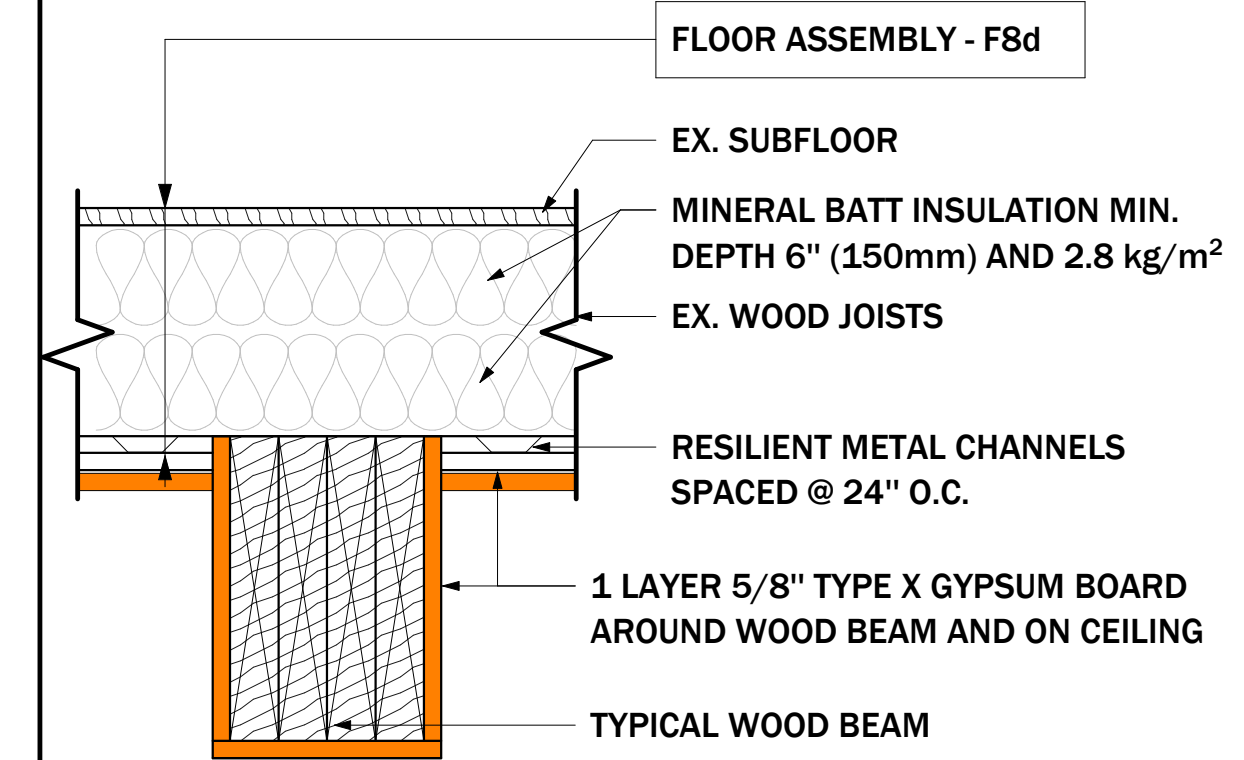


TYPE OF ASSEMBLY: WOOD JOIST
ASSEMBLY NUMBER: F8d
FRR: 30 HR
STC: 50

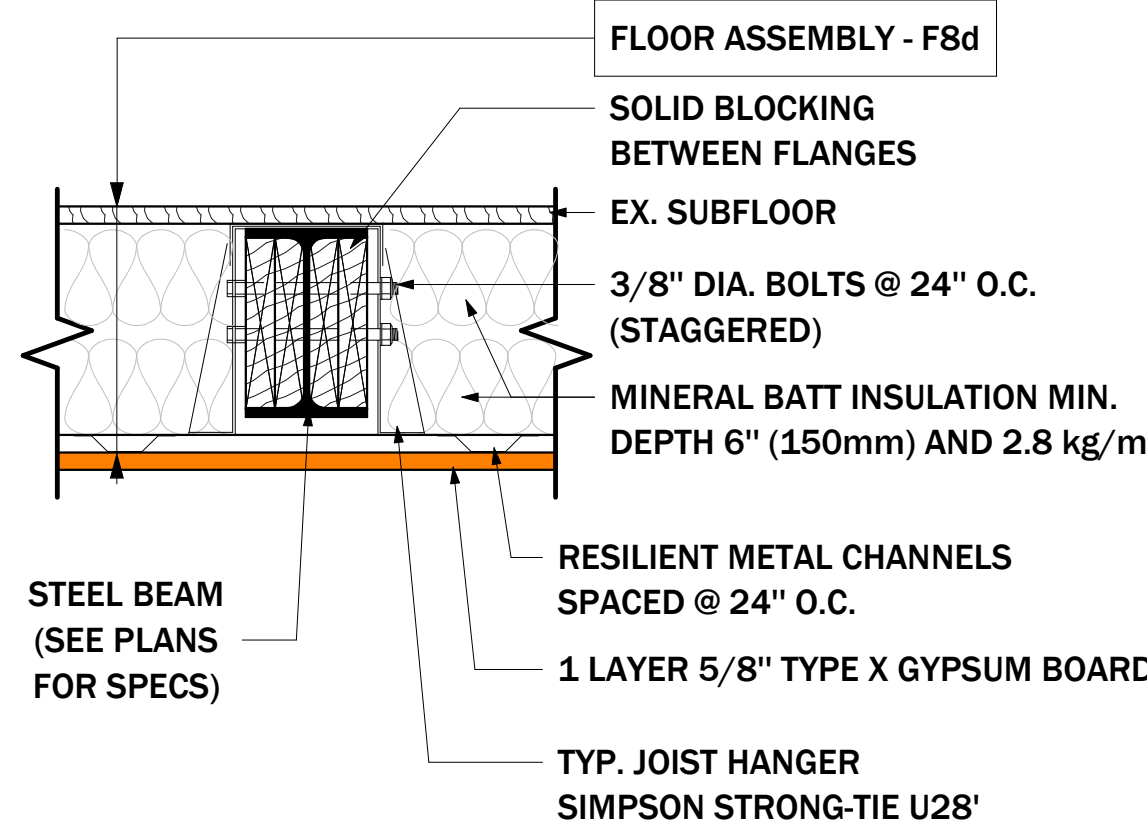
03 VERTICAL FIRE SEPARATION
 AT CEILING DETAIL



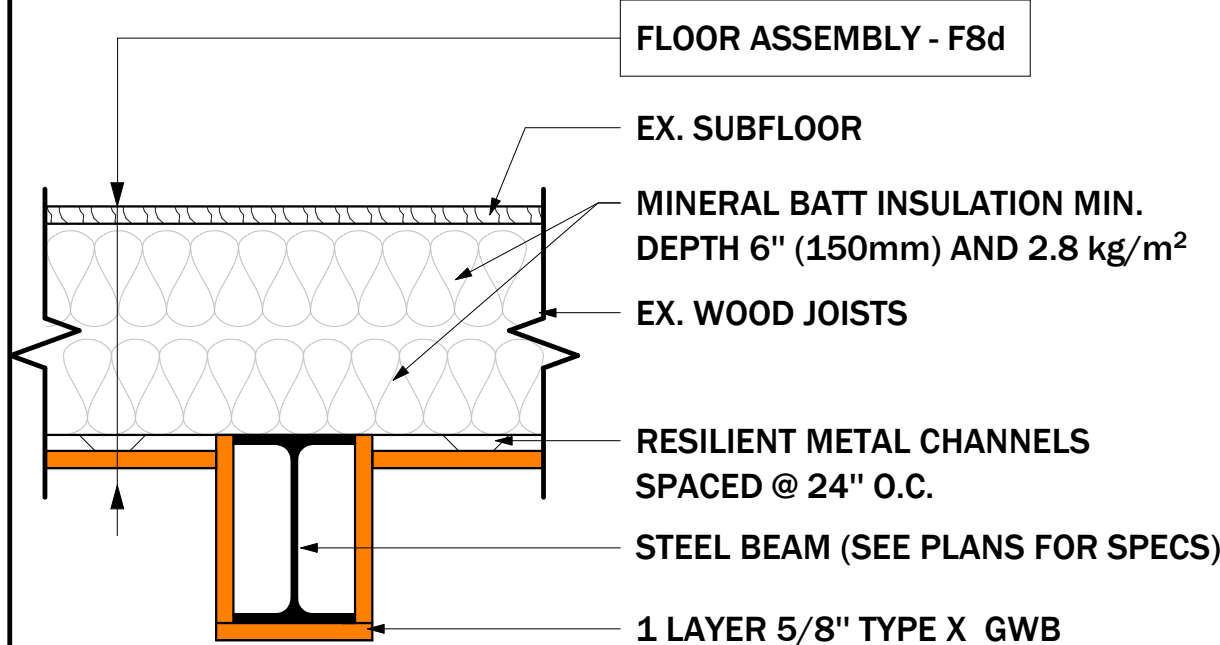
04 LVL BEAM DETAIL
 FLUSH



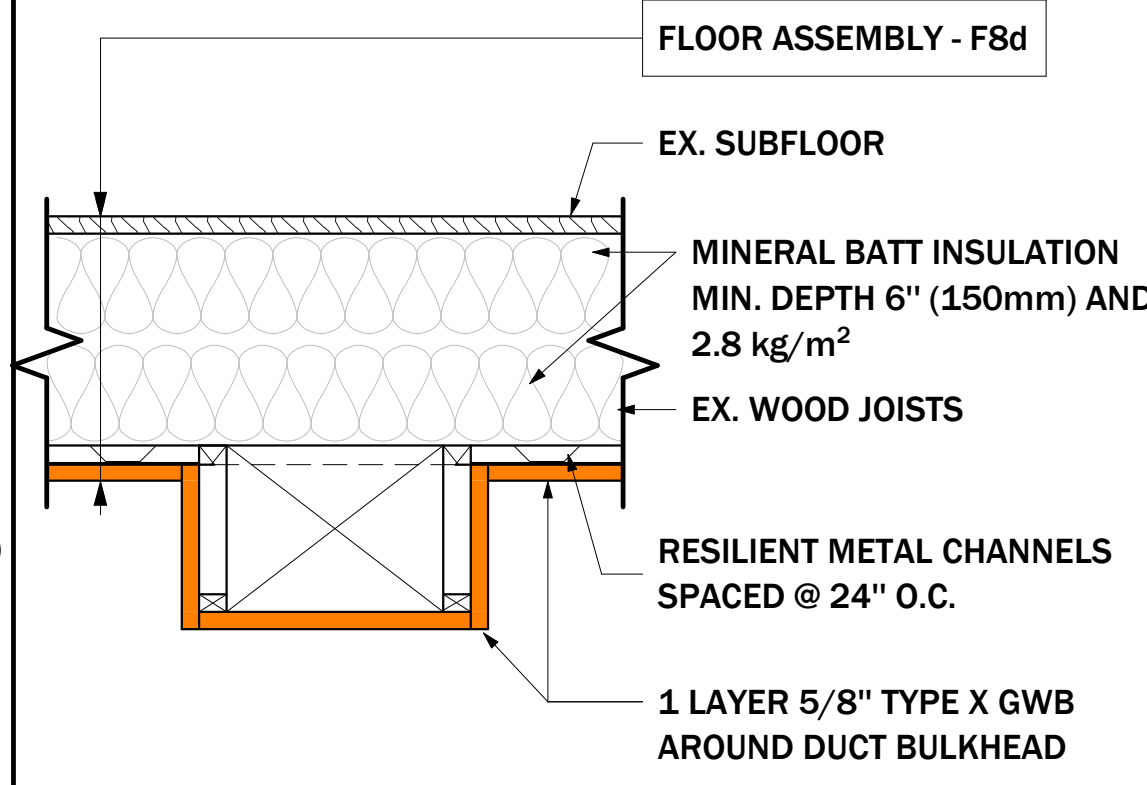
05 WOOD BEAM FIRE-RATED
 DROPPED



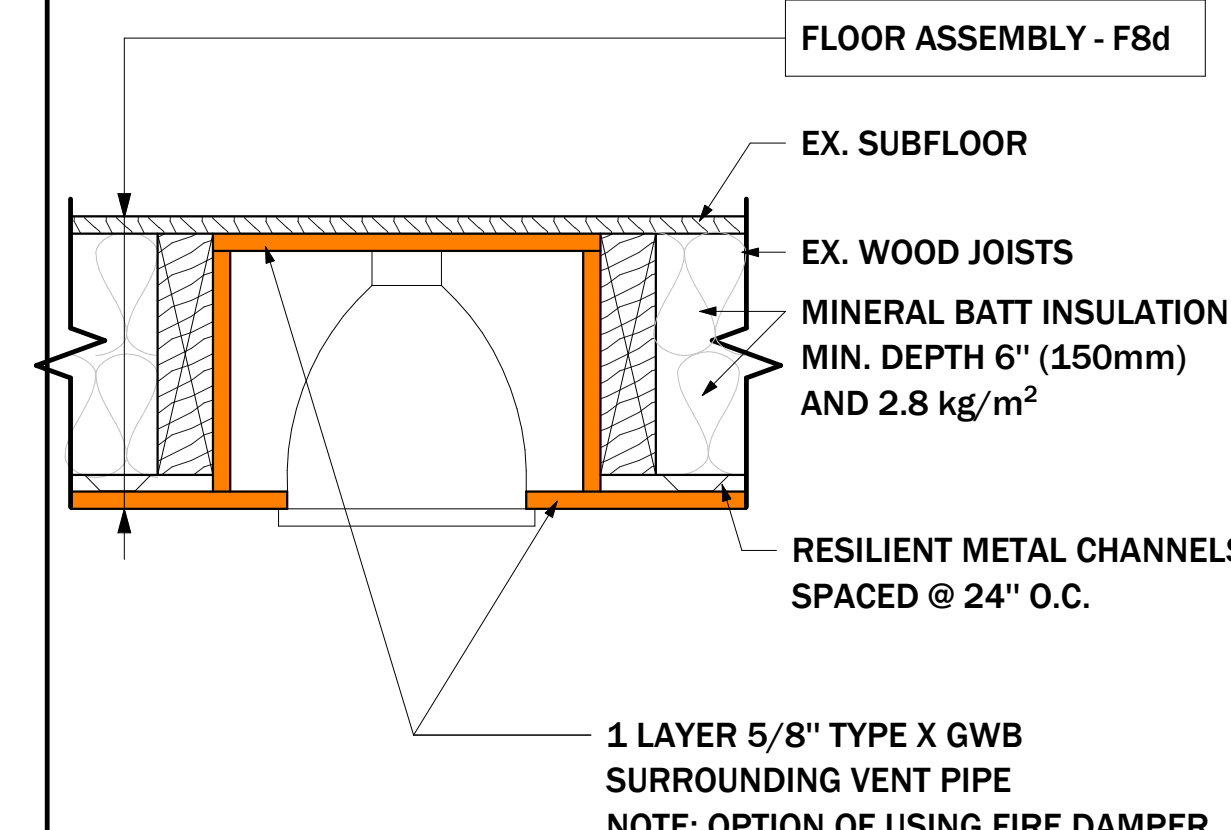
06 STEEL BEAM FIRE-RATED
 FLUSH



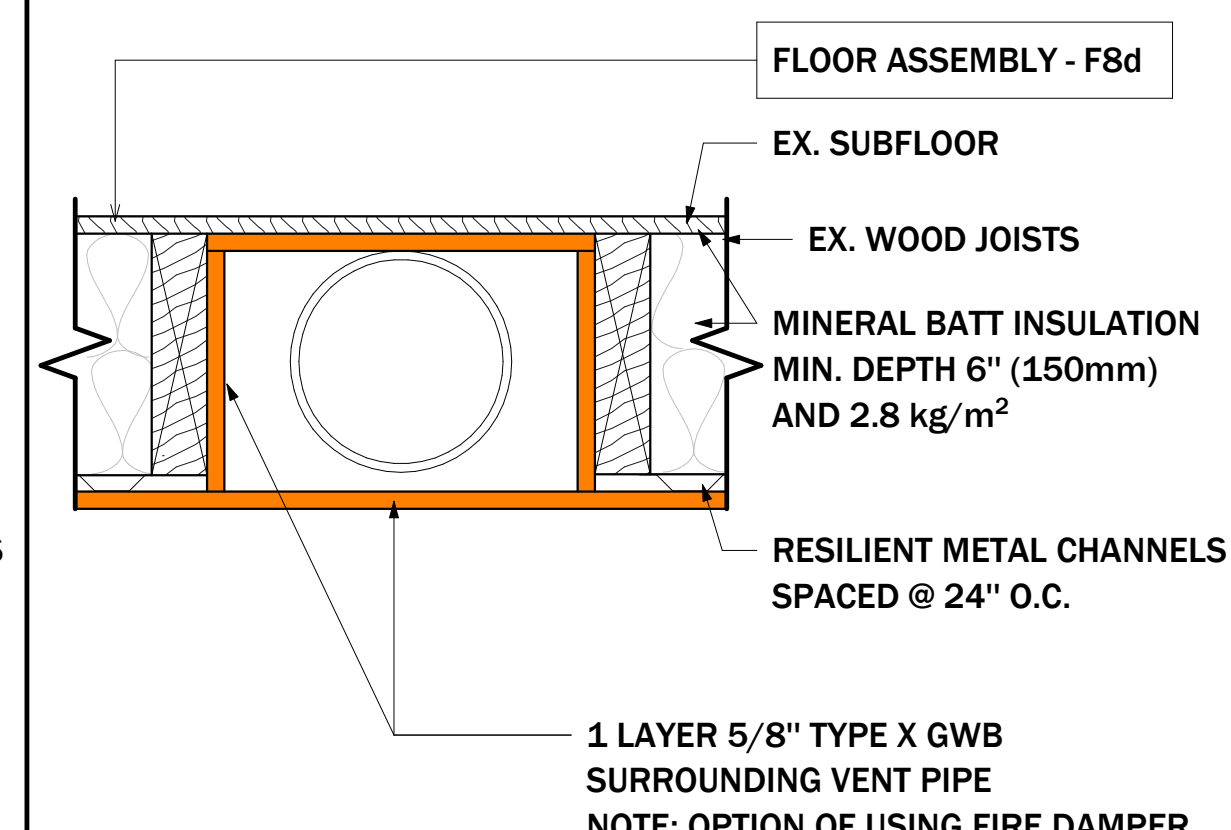
07 STEEL BEAM FIRE-RATED
 DROPPED



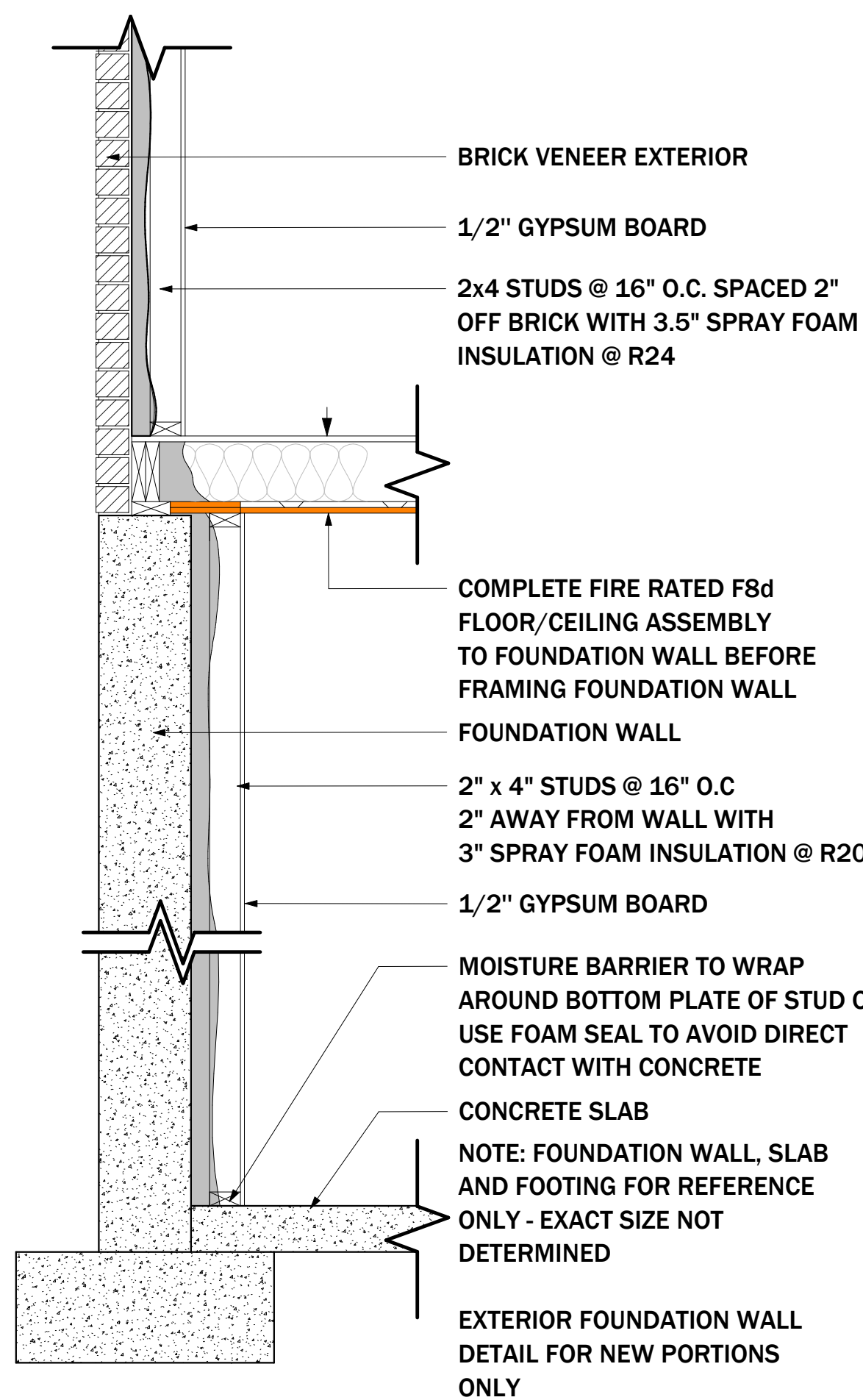
08 DUCTS FIRE-RATED



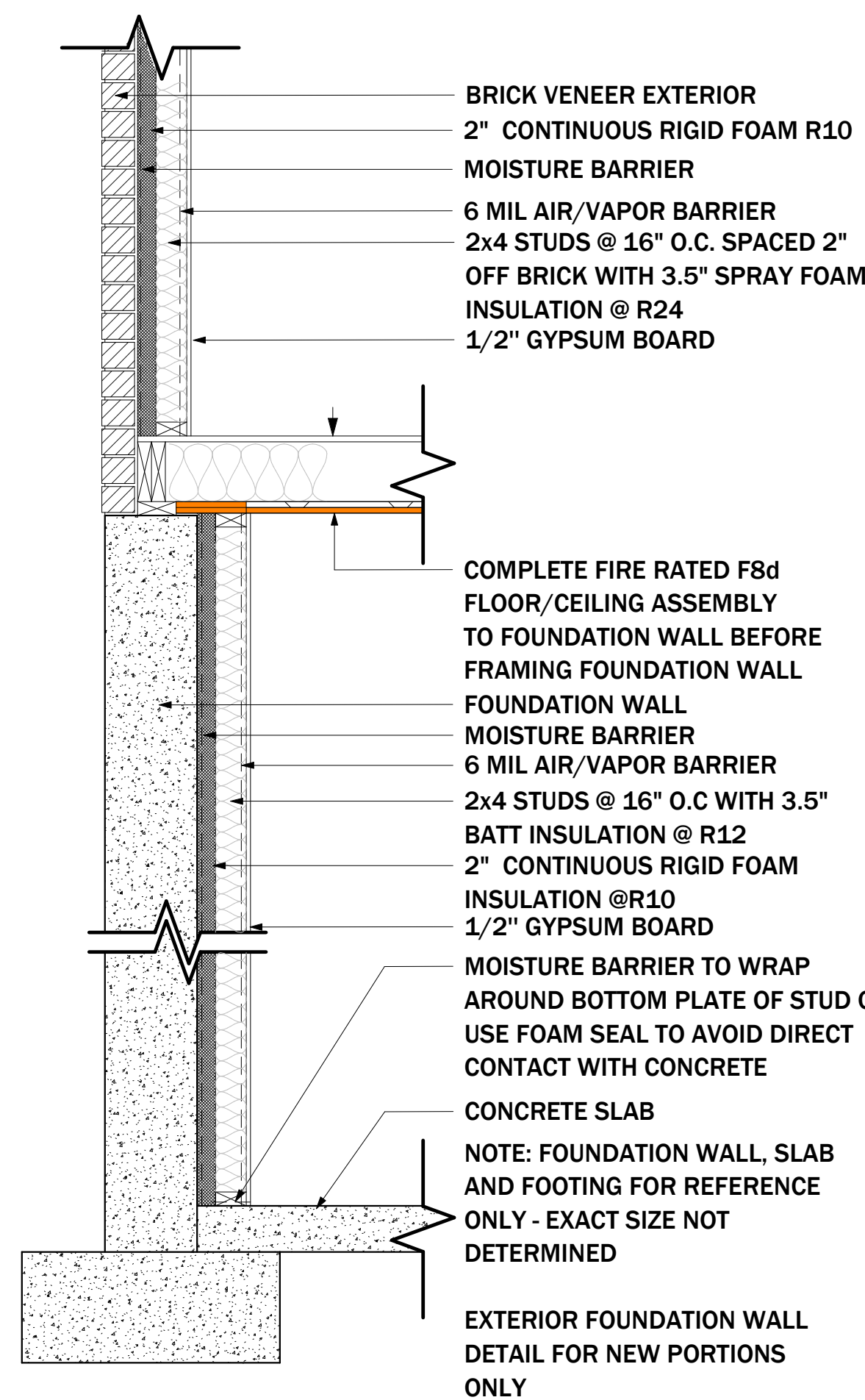
09 RECESSED LIGHTS FIRE-RATED



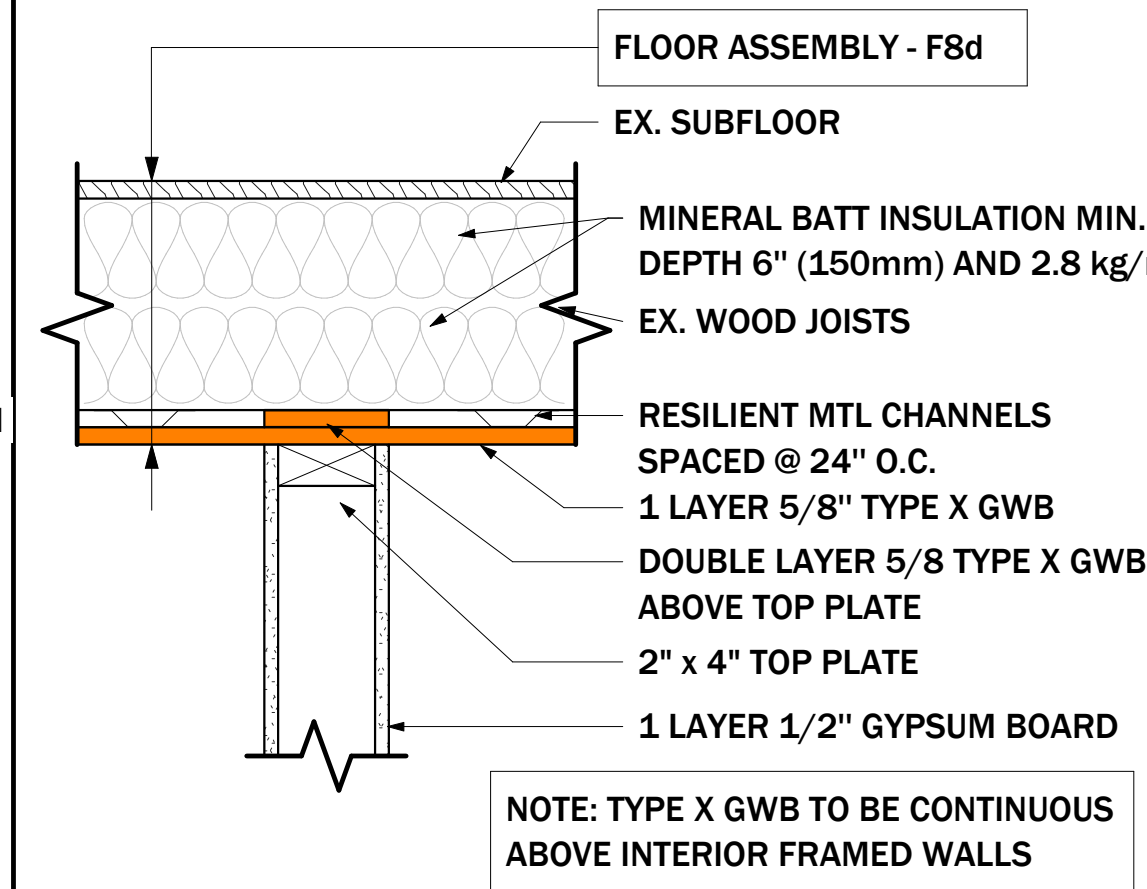
10 EXHAUST VENTS FIRE-RATED
 BATH FANS, CLOTHES DRYERS &
 KITCHEN EXHAUSTS



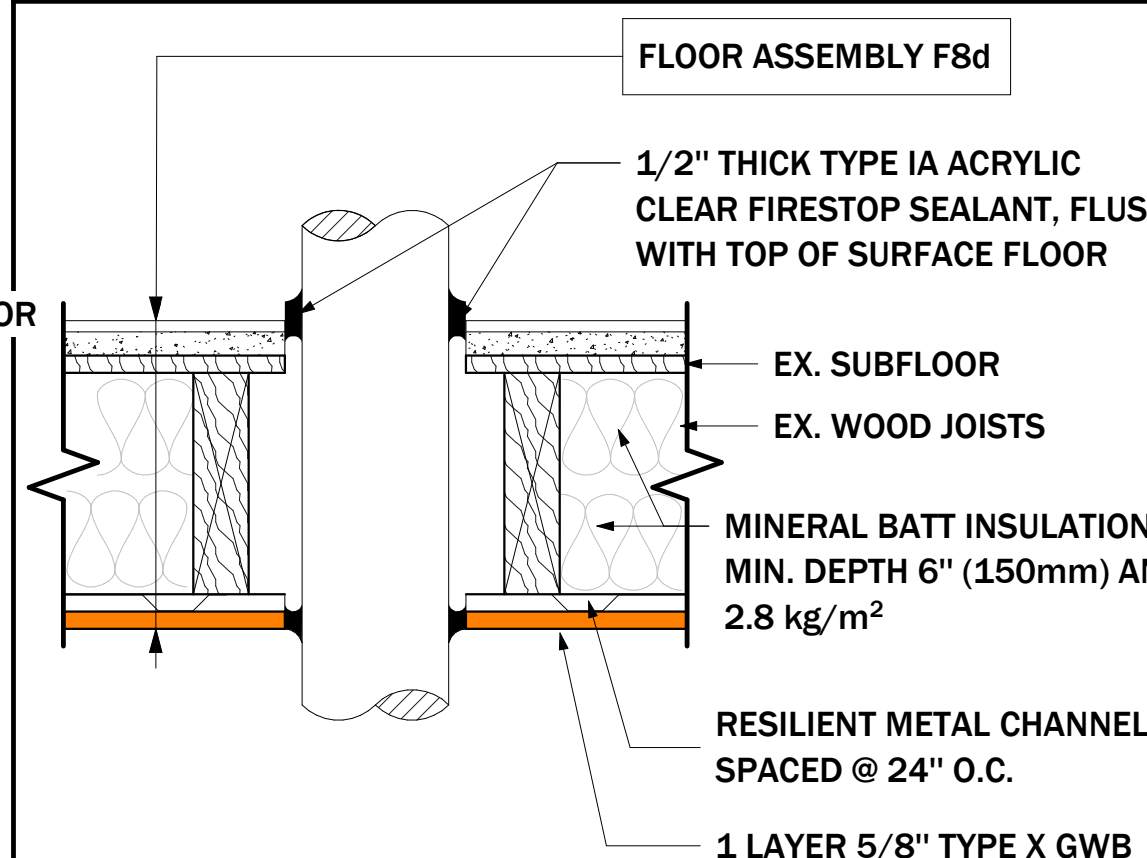
11 EXTERIOR WALL - OPTION 1
 SPRAY FOAM



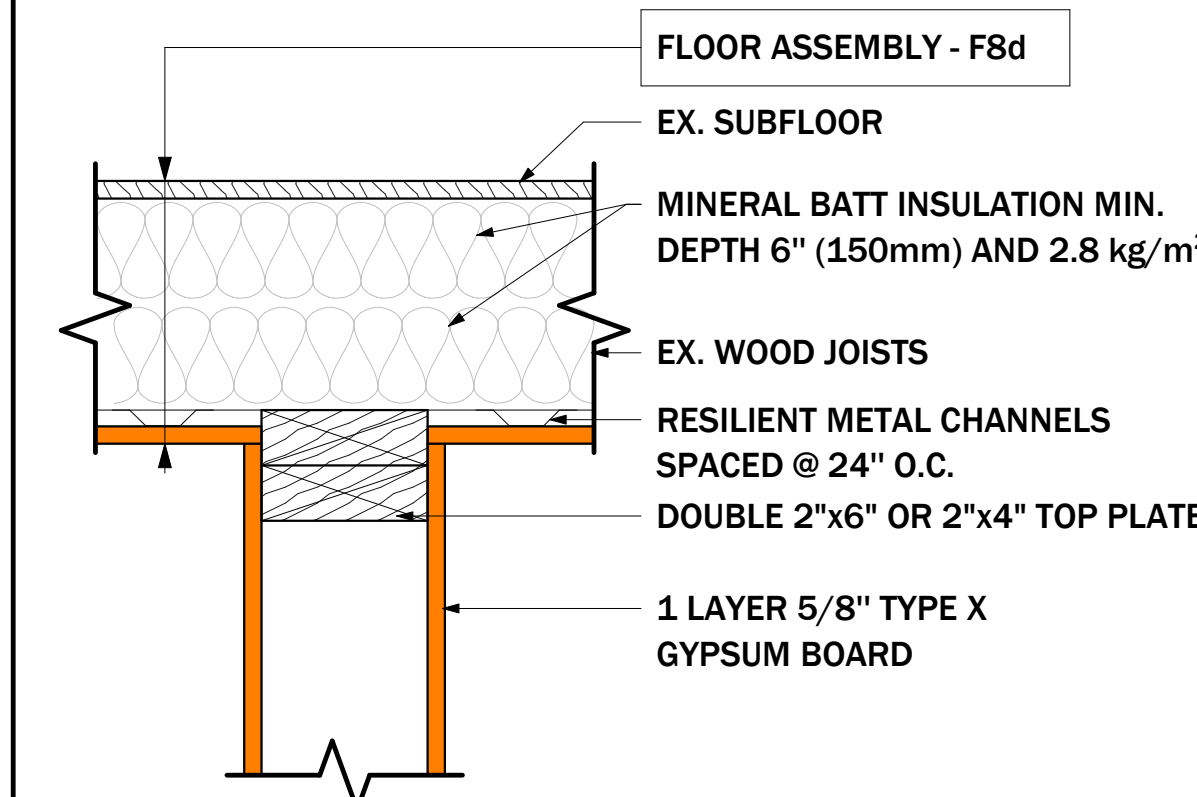
12 EXTERIOR WALL - OPTION 2
 BATT INSULATION



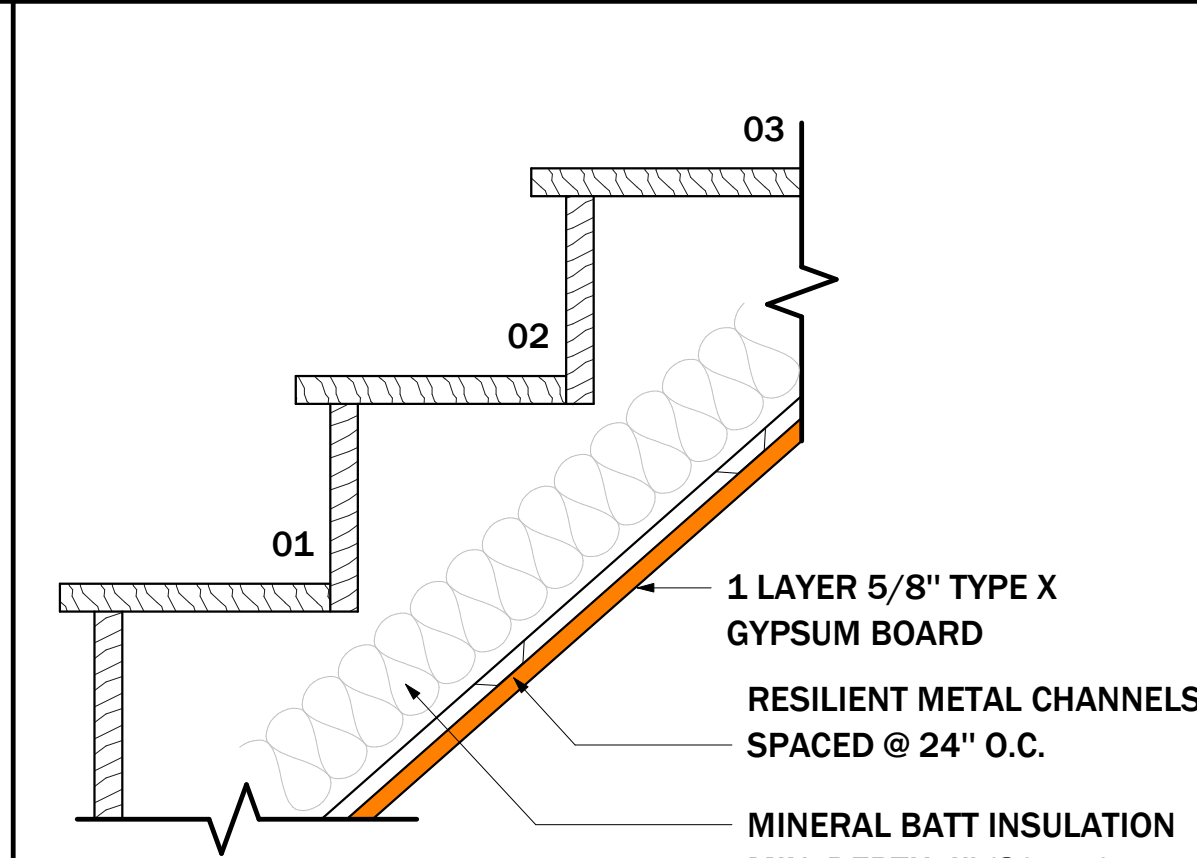
13 INTERIOR WALL - NON LOAD BEARING
 FIRE SEPARATION



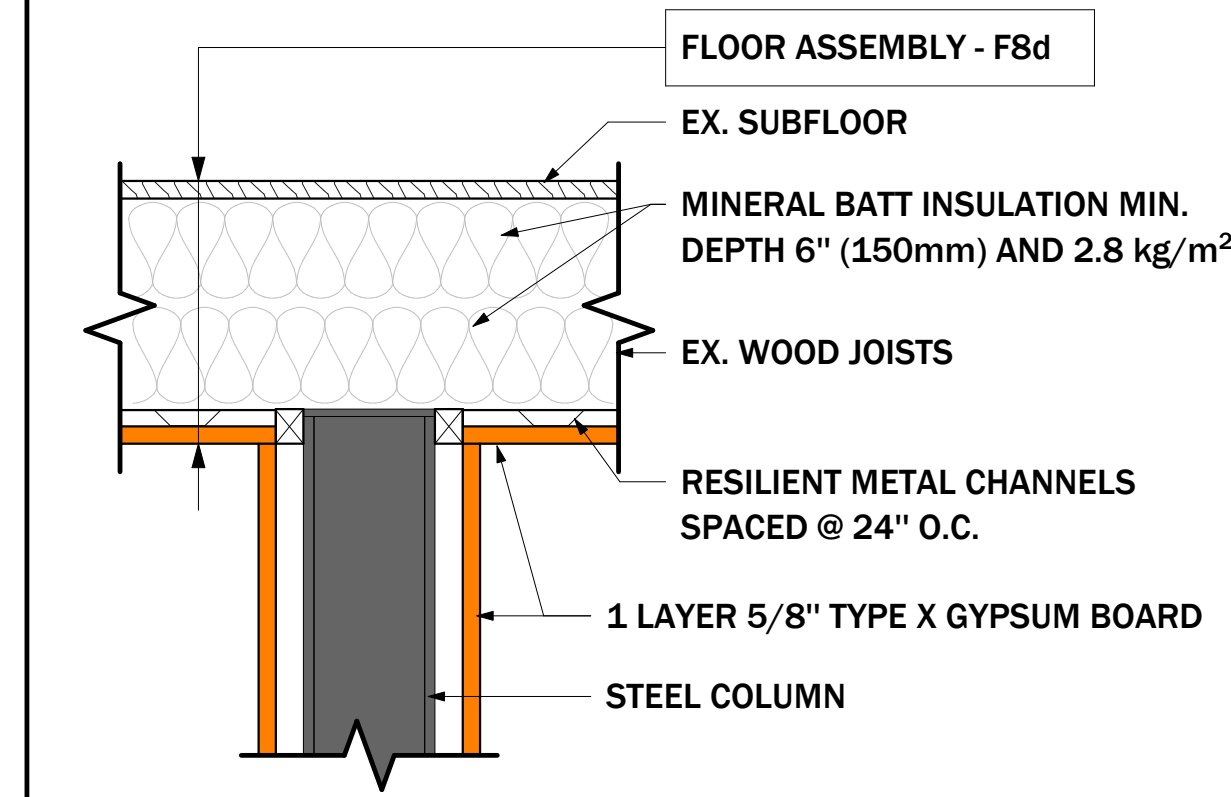
16 FIRESTOP DETAIL FLOOR PENETRATION
 SEE HILTI DETAILS



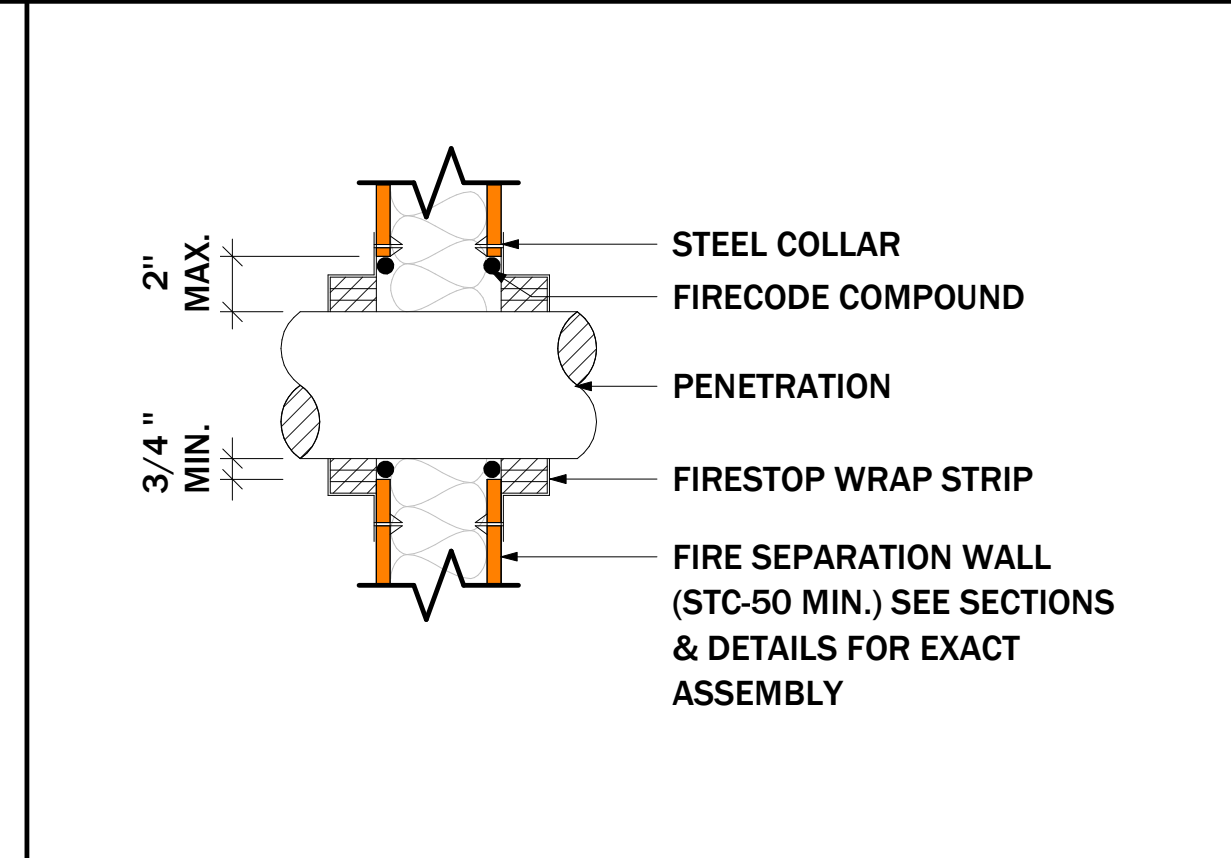
14 LOAD BEARING FIRE-RATED
 WALL AT CEILING DETAIL



17 FIRE-RATED STAIR



15 STRUCTURAL COLUMNS
 FIRE SEPARATION



18 FIRESTOP DETAIL WALL PENETRATION
 SEE HILTI DETAILS

CITY ELECTRONIC STAMP:

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LEAD DESIGNER & CONSULTANT: KEN BERENDAM, B.A. BUSCON, L.T.
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CELL PHONE: 905-965-0647
OFFICE PHONE: 905-546-4467

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:
754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:
FIRE SEPARATION DETAILS - NO SONO PANEL

PROJECT NO. 23-46 DATE: 05/09/23

SCALE: As indicated REVISION:

DRAWN BY: Author REVIEWED BY: Checker

SHEET NO.

1/2" = 1'-0"



Hamilton

January 05, 2024

FILE: ALR
FOLDER: 23-315857-00 ALR
ATTENTION OF: Ross McIntosh
TELEPHONE NO: (905) 546-2424
EXTENSION: 2077

Christopher Houghton
979 MAIN ST E
HAMILTON, ON L8M 1N2

Attention:

Re: APPLICABLE LAW REVIEW – ZONING BYLAW
Present Zoning: R1A LOW DENSITY RESIDENTIAL (SMALL LOT)
Address: 754 CANNON ST E, HAMILTON, ON

An Applicable Law Review respecting zoning bylaw compliance has been completed and the following comments are provided.

COMMENTS:

1. This applicant is proposing to convert the existing single-family dwelling to a single-family dwelling containing 4 dwelling units.
2. The proposed use is permitted within the current zoning.

3. **LRT - Transit Corridor Land 30m Buffer Zone:**

A Corridor Development Permit is required from Metrolinx to construct any buildings, structure, road, utility infrastructure, or to conduct any excavation, dewatering or other Prescribed Work pursuant to the Building Transit Faster Act and its Regulation. Please contact development.coordinaor@metrolinx.com for more information.

4. **Zoning Policy: ZON-041**

Additions to Dwellings Legal Non-Complying in Location:

Any proposed addition(s) to a dwelling which do not further aggravate the existing legally establish non-complying yard setbacks shall be permitted and shall not require an application for minor variance, provided that the existing yard setbacks are maintained or are moving closer to compliance with the yard setback requirements of the applicable zone.

The addition(s) shall still be required to meet all other applicable zoning requirements, including but not limited to height, lot coverage, minimum landscaped area and parking regulations.

Encroachments shall be permitted into the existing legal non-complying yard setback in accordance with the applicable regulations within the Zoning By-law.

5. The proposed converted dwelling has been reviewed under the R1a Zone & Converted Dwelling

regulations of the City of Hamilton Zoning By-law No. 05-200;

R1a Zone – Low Density Residential (Small Lot)

(Section 15.2 of Hamilton Zoning By-law 05-200)

	By-law Requirement	Provided	Conforming/ Non-Conforming
SECTION 15.2.2 – R1A REGULATIONS			
Minimum Lot Area [as per section 15.2.2.1(a) of Hamilton Zoning By-law 05-200]	270.0 m ²	167.22m ²	Deemed to Comply
Minimum Lot Width [as per section 15.2.2.1(b) of Hamilton Zoning By-law 05-200]	9.0 m	6.10m	Deemed to Comply
Minimum Setback from the Front Lot Line [as per section 15.2.2.1(c) of Hamilton Zoning By-law 05-200]	3.0m	3.38m	Conforms
Minimum Setback from a Side Lot Line [as per section 15.2.2.1(d) of Hamilton Zoning By-law 05-200]	1.2m	West:0.52m East: 0.33m	Deemed to Comply
Minimum Setback from a Flankage Lot Line [as per section 15.2.2.1(e) of Hamilton Zoning By-law 05-200]	3.0m	<i>No Flankage lot line</i>	N/A
Minimum Setback from a Rear Lot Line [as per section 15.2.2.1(f) of Hamilton Zoning By-law 05-200]	7.5m	13.07m	Conforms
Maximum Building Height [as per section 15.2.2.1(g) of Hamilton Zoning By-law 05-200]	10.5m	9.54m	Conforms
Parking [as per section 15.2.2.1(h) of Hamilton Zoning By-law 05-200]	<ul style="list-style-type: none"> i) In accordance with the requirements of Section 5 of this By-law. ii) Notwithstanding Section 5.6 c) i., 2 parking spaces shall be required for a Single Detached Dwellings 	No existing parking spaces or proposed parking spaces	See section 4.34 (E)(i) below.
Accessory Buildings [as per section 15.2.2.1(i) of Hamilton Zoning By-	In accordance with the requirements of Section 4.8 of this By-law.	<i>No Accessory Buildings proposed.</i>	N/A

law 05-200]			
GENERAL PROVISIONS <i>In accordance with the requirements of Section 4 of Hamilton Zoning By-law 05-200</i>			
Permitted Yard Encroachments [as per section 4.6 of Hamilton Zoning By-law 05-200]	a) The usual projections of window sills, chimney breasts, belt courses, cornices, eaves, troughs and other similar architectural features, ductwork, venting and other similar appurtenances may be permitted in any required yard, provided that no such feature shall project more than 0.6 metres into the required yard, or to a maximum of half the distance of the required yard, whichever is the lesser;	Not Proposed	N/A
	b) A fire escape or exterior staircase may encroach into a required side or rear yard to a maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser;	Exterior Staircase encroaches into front yard is a required exterior exit for dwelling unit <i>See 4.33.1 below</i>	Conforms
	c) An unenclosed ramp for wheelchair access may encroach into any required yard to no maximum distance;	Not proposed	N/A
	d) A porch, deck or canopy may encroach into any required yard to a maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser	Stairs of porch encroach >1.5m into required front yard	Non-Conforming
Mechanical and Unitary Equipment [as per section 4.9 of Hamilton Zoning By-law 05-200]	Hot boxes, air conditioners and pumps (including heat pumps and swimming pool pumps) and other similar mechanical equipment shall be located only in accordance with the following regulations: a) Within a required front yard, provided such equipment shall have a minimum setback of 3.0 metres from the street line, a minimum setback of 0.6 metres from a side lot line and is screened from the street by an enclosure or landscaping; and, b) Within a required side yard or required rear yard provided such equipment has a minimum setback of 0.6 metres from the side lot line or rear lot line.	Applicant to Note.	
Additional Dwelling Unit [as per section 4.33.1 of Hamilton Zoning By-law 05-200]	(c) There shall be no outside stairway above the first floor other than a required exterior exit.	Additional stairway above first floor is a required exterior exit for dwelling unit	Conforms
	(d) A maximum of one entrance shall be permitted on the front façade of a dwelling containing an Additional Dwelling Unit.	Two entrances located on front façade. Basement entrance not considered to be located on front façade.	Conforms
	i) Notwithstanding Section 4.33.1 (d) an additional entrance may be located on the	<i>Subject lands identified on</i>	

	front façade of the principal dwelling for lands identified on Figure 24 of Schedule F – Special Figures.	<i>figure 24 of Schedule F</i>	
CONVERTED DWELLINGS <i>In accordance with the requirements of Section 4.34 of Hamilton Zoning By-law 05-200</i>			
Conversion of Dwelling [as per section 4.34(a) of Hamilton Zoning By-law 05-200]	For the purpose of Section 4.34, a Converted Dwelling shall mean a Single Detached Dwelling or Duplex Dwelling, existing as of August 12, 2022, converted to contain greater than two but no more than four Dwelling Units.	Single Family Dwelling being converted to a single-family dwelling with four dwelling units	Conforms
Permitted Zones [as per section 4.34(b) of Hamilton Zoning By-law 05-200]	A Converted Dwelling shall be permitted on a lot in an “R1” or “R1a” Zone.	R1a Zone	Conforms
Applicable Zone Regulations to the Existing Dwelling [as per section 4.34(c) of Hamilton Zoning By-law 05-200]	All the regulations of this By-law applicable to the existing dwelling shall continue to apply unless specifically provided in Section 4.34.	<i>Noted.</i>	
Maximum Number of Dwelling Units [as per section 4.34(d) of Hamilton Zoning By-law 05-200]	Notwithstanding any applicable regulations of this By-law, no more than four Dwelling Units shall be permitted on a lot subject to Converted Dwelling permissions as identified in Section 4.34 (b).	Four Dwelling Units proposed	Conforms
Parking Spaces [as per section 4.34(e) of Hamilton Zoning By-law 05-200]	No parking spaces are required for Dwelling Units within a Converted Dwelling, provided the required parking spaces which existed on August 12, 2022 for the existing dwelling shall continue to be provided and maintained. i) Notwithstanding Section 4.34 (e), one parking space is required for the following conditions: A. For the fourth Dwelling Unit in a Converted Dwelling, and, B. For the fourth Dwelling Unit on a lot.	No parking spaces existing or proposed	Non-Conforming

4. This review is based on the plans submitted with the application.

5. Construction of the proposed converted dwelling containing a total of four (4) dwelling units is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setback and construction types.

6. All fencing shall conform to Hamilton Fence By-law 10-142.

7. The designer shall ensure that the fire access route conforms to the Ontario Building Code.

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

1. To permit porch and stairs 5'-11 1/2" [1.82m] into the required front yard whereas the zoning bylaw 4.6 of Hamilton Zoning bylaw 05-200 requires a porch, deck or canopy to encroach into any required yard to a maximum of 1.5 meters, or to a maximum of half the distance of the required yard, whichever is the lesser.
2. To permit zero parking spaces whereas the the zoning bylaw 4.34(e) of Hamilton Zoning By-law 5-200 requires 1 parking space for the fourth dwelling unit.



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

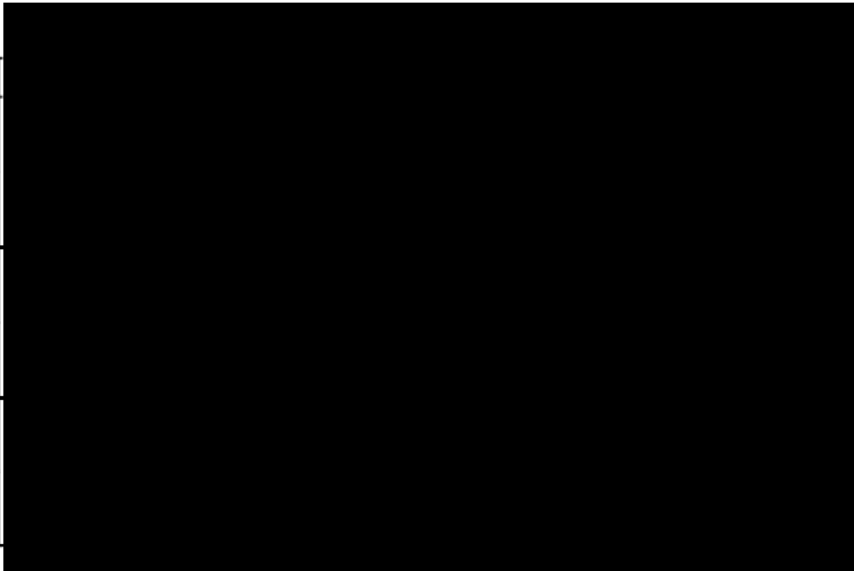
Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Michael Sifontes
Applicant(s)	
Agent or Solicitor	Ken Bekendam King Homes Inc



1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	754 Cannon St E, Hamilton, ON, Canada		
Assessment Roll Number	01004201735000		
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

[See attached ALR and additional sheet](#)

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

[Existing site constraints](#)

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
6.10	27.43	167.22	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
See site plan				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
See site plan				

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
See site plan				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
See site plan				

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Converted Dwelling - 4 units

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

unknown

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:

Unknown

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1a

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No n/a

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 4

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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