



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-24:27	SUBJECT PROPERTY:	2 ERIC BURKE COURT, HAMILTON
ZONE:	R1 (Low Density Residential)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: RANDY AND AMANDA VIEIRA
Applicant: QUI NGUYEN

The following variances are requested:

1. To permit a maximum required yard encroachment of 1.8 metres for the proposed rear yard covered porch instead of the required maximum yard encroachment of 1.5 metres for a porch.

PURPOSE & EFFECT: To facilitate the construction of a rear yard covered porch.

Notes:

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, March 26th, 2024
TIME:	10:35 a.m.
PLACE:	City Hall Council Chambers (71 Main St. W., Hamilton)

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the

Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Written comments must be received no later than noon March 22, 2024.

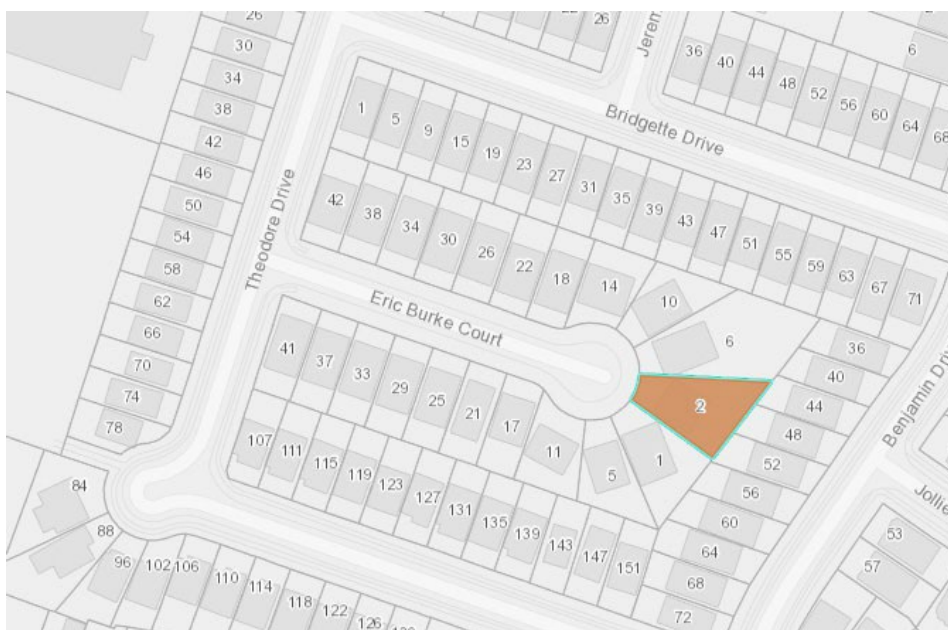
Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Orally: If you would like to speak to this item at the hearing you may do so by attending in person. Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing. We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5..



 **Subject Lands**

DATED: March 12, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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E-mail: cofa@hamilton.ca

IN-PERSON PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating in person at the Hearing.

In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

DESIGN LOADING:

ROOF LOAD: HAMILTON
(ABOVE ESCARPMENT-EAST OF JOHN C. MUNRO INT'L AIRPORT)

TYP. ROOF DEAD LOAD	= 20psf
Ss	= 31psf
Sr	= 9psf
S	= 28psf

EXISTING FLOOR PLAN DIMENSIONS/
CONFIGURATION IS APPROXIMATE

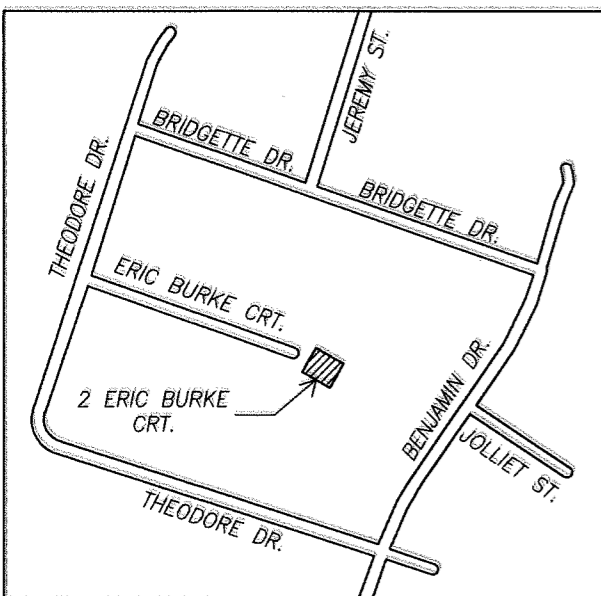
**SITE IS CLASSIFIED AS 'R1' ZONE AS PER
CITY OF HAMILTON ZONING BY LAW NO. 05-200**

ALL SITE PLAN DIMENSIONS/INFORMATION BASED ON SITE REVIEW

EXISTING FRAMING SHOWN IS ASSUMED BASED ON SITE REVIEW.
CONTRACTOR TO EXPOSE EXISTING STRUCTURE AND REPORT ANY
DISCREPANCIES TO THE ENGINEER.

**THE CITY OF HAMILTON ZONING BY-LAW 05-200:
SECTION 4. GENERAL PROVISIONS. 4.6 PERMITTED YARD ENCROACHMENTS**

ZONING BY-LAW 05-200; 4.6 PERMITTED YARD ENCROACHMENTS:
A PORCH, DECK OR CANOPY MAY ENCR OACH INTO ANY REQUIRED
YARD TO A MAXIMUM OF 1.5 METERS, OR TO A MAXIMUM OF
HALF THE DISTANCE OF THE REQUIRED YARD, WHICHEVER IS THE
LESSER;

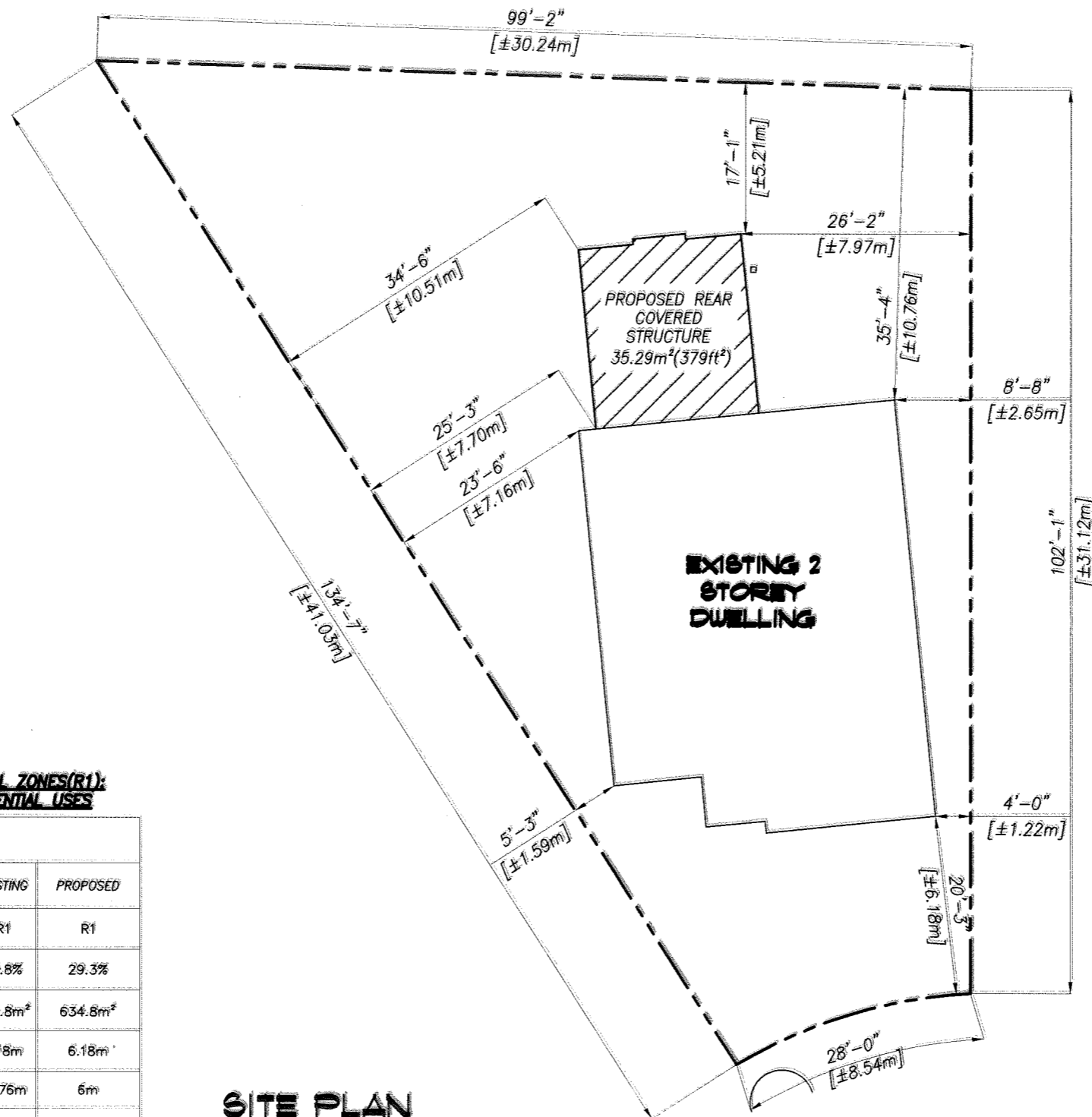


KEY PLAN
N.T.S

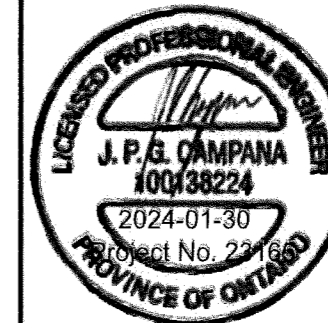
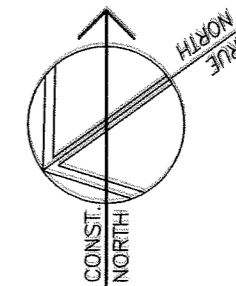


**THE CITY OF HAMILTON ZONING BY-LAW 05-200: SECTION 15 RESIDENTIAL ZONES(R1):
SECTION 4. GENERAL PROVISIONS. 4.8.1 BUILDINGS ACCESSORY TO RESIDENTIAL USES**

ZONE REGULATION			
	PERMITTED USES UNDER ZONING BY-LAW	EXISTING	PROPOSED
ZONING DESIGNATION	SINGLE DETACHED DWELLING	R1	R1
MAX LOT COVERAGE	57%	23.8%	29.3%
MIN LOT AREA	360 m ²	634.8m ²	634.8m ²
MIN FRONT YARD	6 m	6.18m	6.18m
MIN REAR YARD SETBACK	7.5 m	10.76m	6m
MIN INTERIOR SIDE SETBACK	1.2 m	1.26m	7.97m
EXISTING BUILDING AREA	N/A	151.8m ²	186.13m ²



SITE PLAN
SCALE: 1/16"=1'-0"



No.	DATE	REVISION
1	24/01/30	ISSUED FOR PERMIT

REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6
905-333-9119 www.kaloseng.ca

**REAR COVERED
PORCH**

2 ERIC BURKE CRT.

HAMILTON

ONTARIO

GENERAL NOTES

DATE JANUARY 2024	DRAWN BY J.H. & M.E.	DRAWING No. SP1.01
PROJECT No. 23165	CHECKED BY J.P.	

GENERAL NOTES

- CHECK ALL DIMENSIONS ON THESE DRAWINGS WITH ALL OTHER DRAWINGS, INCLUDING BUT NOT LIMITED TO DRAWINGS PREPARED ARCHITECTURAL, MECHANICAL OR ELECTRICAL CONSULTANTS. REPORT ANY INCONSISTENCIES TO THE ENGINEER PRIOR TO COMMENCING WITH THE WORK. DO NOT SCALE THE DRAWINGS.
- THE DESIGN LIVE LOADS ARE INDICATED ON THE DRAWINGS. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LOADS.
- THE COMPLETED STRUCTURE IS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING, SHORING AND ANY OTHER TEMPORARY OR PERMANENT MEASURES AS REQUIRED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SUPPORT OF EXISTING OR ADJACENT STRUCTURES AS REQUIRED. ALL BRACING AND SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONSTRUCTION FEATURES NOT FULLY SHOWN ARE COMPARABLE TO SIMILAR CONDITION DETAILS.
- REFER TO OTHER CONSULTANTS DRAWINGS FOR DETAILS OF OPENINGS, PITS, CHAMFERS, DEPRESSIONS NOT INDICATED ON THE STRUCTURAL DRAWINGS.
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST ONTARIO BUILDING CODE, LATEST APPLICABLE REGULATIONS AND GOOD CONSTRUCTION PRACTICES.
- THE STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DRAWINGS AND SPECIFICATIONS.
- CLARIFY ANY QUERIES WITH THE ENGINEER REGARDING THE INTERPRETATION OF THE DRAWINGS, PRIOR TO THE COMMENCEMENT OF ANY WORK.

TIMBER FRAMING

- ALL DESIGN AND CONSTRUCTION SHALL BE CARRIED OUT IN CONFORMANCE WITH CSA STANDARD 086.
- SAWN LUMBER SHALL BE SPRUCE/PINE/FIR GRADE NUMBER 1 AND GRADE NUMBER 2 IN THE RATIO OF 67% (MINIMUM) AND 33% (MAXIMUM) RESPECTIVELY.
- PROVIDE STEEL JOIST HANGERS AS SHOWN ON THE PLAN. FASTENING SHALL BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. EACH HANGER SHALL BE CAPABLE OF SUPPORTING 800lbs.
- LAMINATED VENEER LUMBER (LVL) SHALL BE MANUFACTURED WITH SOUTHERN YELLOW PINE OR DOUGLAS FIR VENEERS PROVIDING A MINIMUM FLEXURAL STRESS RESISTANCE (FB) OF 2600 PSI (BASED ON 12" DEEP SECTION). THE MODULUS OF ELASTICITY SHALL BE 2.0X10⁶ PSI MINIMUM. FASTENING OF MULTIPLE PLY BEAMS SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- ALL HEAVY TIMBER SHALL BE GRADE EASTERN WHITE PINE No.2
- PROVIDE MOISTURE BARRIER AROUND ALL WOOD MEMBERS IN DIRECT CONTACT WITH CONCRETE OR BLOCK. CONTINUOUS MOISTURE BARRIER IS REQUIRED AT POINTS OF CONTACT.
- PROVIDE 6"x6" SUPPORT POST UNDER EACH END OF ALL TIMBER BEAMS UNLESS OTHERWISE NOTED
- ALL TIMBER EXPOSED TO EXTERIOR SHALL BE PRESSURE TREATED

CONCRETE NOTES

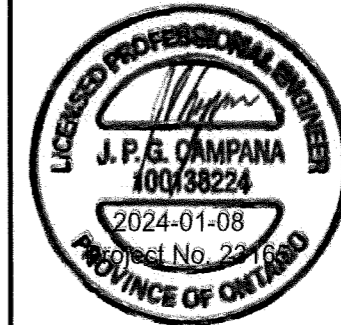
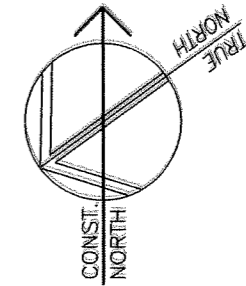
- ALL STRUCTURAL CONCRETE ELEMENTS HAVE BEEN DESIGNED IN ACCORDANCE WITH CSA STANDARD CAN/CSA A23.3. ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA STANDARD CAN/CSA A23.1.
- MINIMUM CONCRETE STRENGTH AT 28 DAYS SHALL BE:
 - SLAB ON GRADE - 32 MPA TYPE C2
 - FOOTINGS - 25 MPA TYPE C1
 - FOUNDATION WALL - 25 MPA TYPE F2

SLUMP SHALL BE 3" ± 1".
AGGREGATE SHALL BE ¾" MAXIMUM.
- THE DEFORMED REINFORCING STEEL SHALL CONFORM TO CSA STANDARD G30.18M-09 GRADE 300R FOR STIRRUPS AND TIES AND GRADE 400R FOR ALL OTHER REINFORCING. UNLESS OTHERWISE NOTED THE REINFORCING LAP LENGTH SHALL BE "CLASS B" IN SPLICES. ALL REINFORCING HOOKS AND BENDS SHALL BE IN ACCORDANCE WITH A23.1.
- THE REINFORCING COVER FOR CONCRETE SHALL BE:
 - 3" FOR CONCRETE AGAINST EARTH
 - 1½" FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER WHERE THE REINFORCING BAR IS 15M OR SMALLER
 - 2" FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER WHERE THE REINFORCING BAR IS 20M OR LARGER
- FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL WITH A MINIMUM BEARING RESISTANCE OF:
 - 2000 psf (SLS)
 - 3000 psf (ULS).

THE CONTRACTOR SHALL VERIFY THE CAPACITY PRIOR TO PLACEMENT OF CONCRETE.
- THE FOOTING DESIGN IS BASED ON INFORMATION AVAILABLE AT THE TIME OF DESIGN. THE FOOTING DESIGN MAY BE ALTERED DURING CONSTRUCTION, IF THE SITE CONDITIONS WARRANT, BUT ONLY WITH THE EXPRESS PERMISSION OF THE ENGINEER.
- SLAB-ON-GRADE CONSTRUCTION SHALL BE CAPABLE OF SUPPORTING 500 lbs/ft² WITHOUT RELATIVE SETTLEMENT.
- PROVIDE DOWELS TO WALLS AND COLUMNS TO SHUT THE REINFORCING IN THE WALL OR COLUMN ABOVE.
- ALL ADHESIVE ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE HILTI HIT-HY200 (OR APPROVED EQUAL) PROCEDURES.

MASONRY NOTES

- ALL STRUCTURAL ELEMENTS HAVE BEEN DESIGNED IN ACCORDANCE WITH CSA STANDARD S304.1. ALL MASONRY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA STANDARD A371. ALL MASONRY CONNECTORS, REINFORCING AND TYING SHALL BE IN ACCORDANCE WITH CSA A370. ALL MORTAR AND GROUT SHALL BE IN ACCORDANCE WITH A179.
- ALL CONCRETE BLOCKS SHALL BE NORMAL WEIGHT TYPE H/15/A/M UNLESS OTHERWISE NOTED. MORTAR SHALL BE TYPE S FOR LOADBEARING AND TYPE N FOR NON-LOADBEARING.
- VERTICAL CONTROL JOINTS SHALL BE PROVIDED AT A MAXIMUM SPACING OF 20'-0". REFER TO ARCHITECTURAL DRAWING FOR DETAILS AND LOCATIONS.
- TRIM ALL OPENINGS WITH 2-15M BARS.
- GROUT SHALL CONSIST OF ON ONE PART PORTLAND CEMENT, THREE PARTS SAND (MAXIMUM AGGREGATE SIZE SHALL BE ¾") WITH WATER TO PROVIDE A MINIMUM 10MPa COMPRESSIVE STRENGTH AT 28 DAYS. SLUMP SHALL BE 8" TO 10".
- ALL CELLS CONTAINING REINFORCING SHALL BE GROUTED SOLID. TWO BLOCK COURSES BELOW BEARING PLATES SHALL BE GROUTED SOLID.
- THE MASONRY SHALL BE CONSTRUCTED EVENLY WITH MAXIMUM LIFTS OF 1200 PER DAY. DO NOT TOOTH AND BOND OR STACK BOND MASONRY. RAKE BACK ENDS OF UNFINISHED WALLS.
- ALL MORTAR JOINTS SHALL BE TOOLED (CONCAVE). A MINIMUM BED JOINT OF ¼" IS REQUIRED FOR THE STARTING COURSE TO A MAXIMUM OF ¾". THE BED JOINTS SHALL BE ¾".
- PROVIDE VERTICAL AND HORIZONTAL REINFORCING AS FOLLOWS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
 - 6" CONCRETE BLOCK - 10M VERTICAL AT 24" O.C. & HEAVY DUTY TRUSS TYPE HORIZONTAL REINFORCING EVERY SECOND COURSE.
 - 8" CONCRETE BLOCK - 15M VERTICAL AT 32" O.C. & HEAVY DUTY TRUSS TYPE HORIZONTAL REINFORCING EVERY SECOND COURSE.
 - 10" CONCRETE BLOCK - 20M VERTICAL AT 24" O.C. & HEAVY DUTY TRUSS TYPE HORIZONTAL REINFORCING EVERY COURSE.
 - 12" CONCRETE BLOCK - 20M VERTICAL AT 24" O.C. & HEAVY DUTY TRUSS TYPE HORIZONTAL REINFORCING EVERY COURSE.
- THE HORIZONTAL REINFORCING AT EXTERIOR WALLS SHALL BE GALVANIZED. DO NOT EXTEND HORIZONTAL REINFORCING THROUGH CONTROL JOINTS UNLESS OTHERWISE NOTED.
- PROVIDE A STEEL LINTEL OVER ALL OPENINGS OR RECESSES INCLUDING OPENINGS FOR MECHANICAL AND ELECTRICAL COMPONENTS. ALL EXTERIOR LINTELS TO BE HOT DIP GALVANIZED.
- BUILD THE MASONRY SOLID AROUND ALL BEAM, LINTEL AND JOIST POCKETS. INSTALL BEARING PLATES AT THE SPECIFIED ELEVATION AND GROUT THE PLATE INTO THE WALL A MINIMUM OF 16".
- PROVIDE TEMPORARY BRACING AS REQUIRED TO SUPPORT THE MASONRY WALLS IN CONSTRUCTION. PROTECT THE MASONRY WALLS FROM THE ELEMENTS AT ALL TIMES EXCEPT DURING CONSTRUCTION PROGRESS.



No.	DATE	REVISION
1	24/01/08	ISSUED FOR PERMIT

REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6
905-333-9119 www.kaloseng.ca

REAR COVERED PORCH

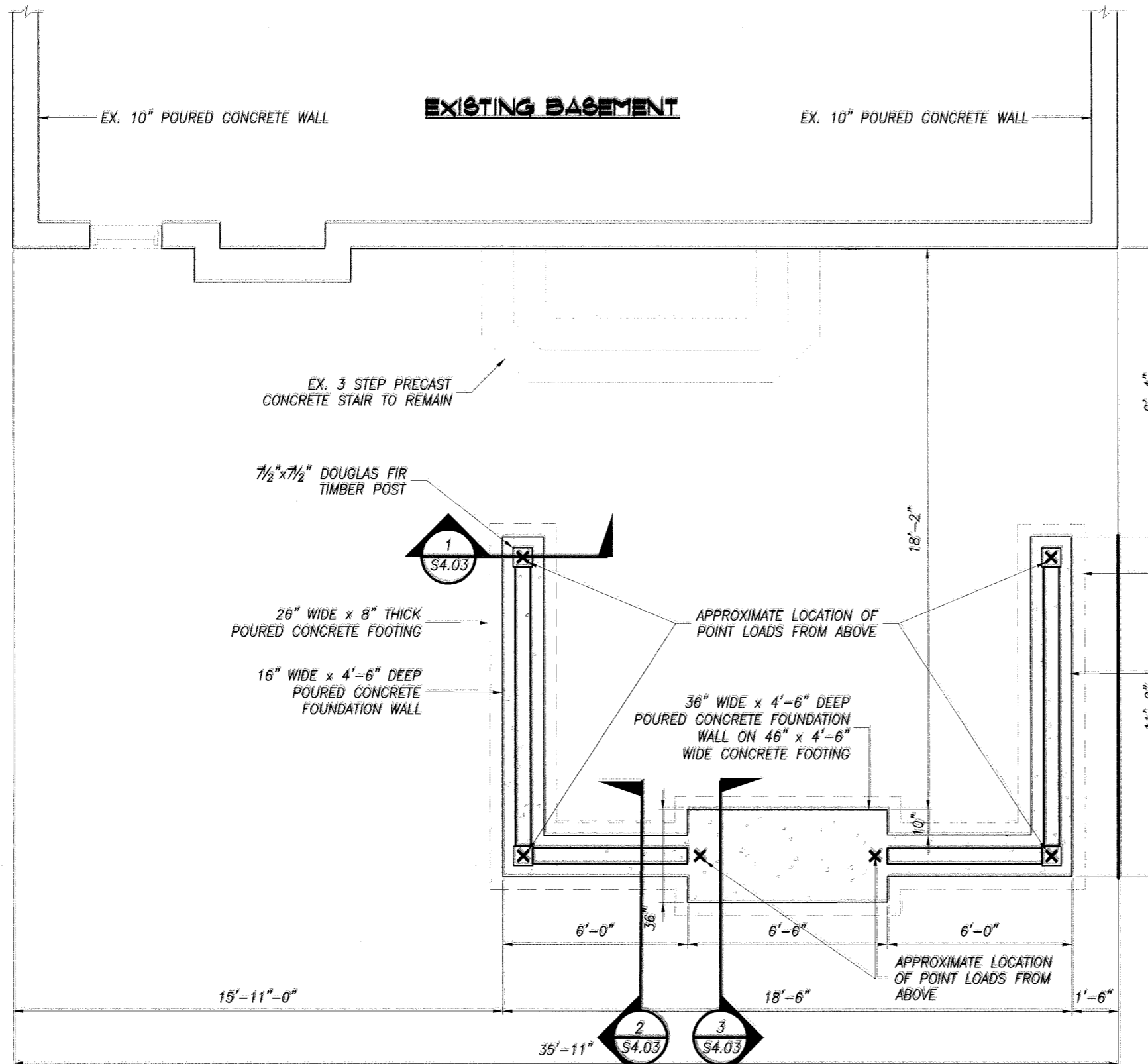
2 ERIC BURKE CRT.

HAMILTON

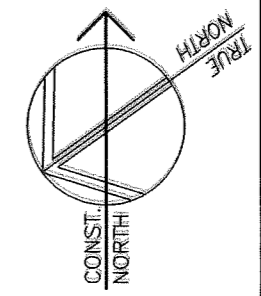
ONTARIO

GENERAL NOTES

DATE JANUARY 2024	DRAWN BY J.H. & M.E.	DRAWING No. SP.01
PROJECT No. 23165	CHECKED BY J.P.	



FOUNDATION PLAN
SCALE: 1/4"=1'-0"



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REVISIONS



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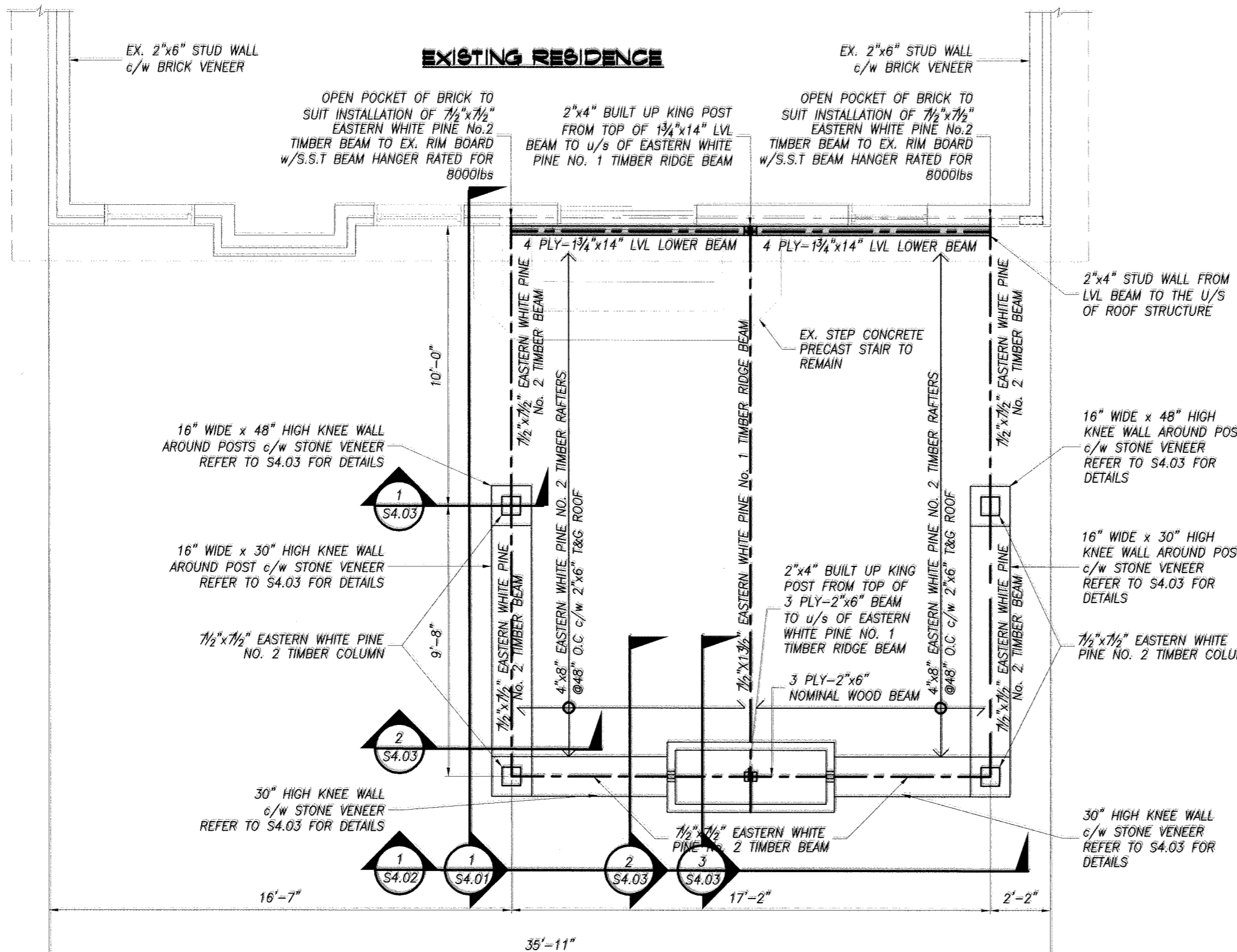
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HAMILTON

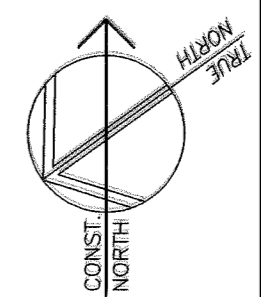
ONTARIO

FOUNDATION PLAN

DATE JANUARY 2024	DRAWN BY J.H & M.E	DRAWING No. S1.01
PROJECT No. 23165	CHECKED BY J.P	



EXISTING RESIDENCE



No.	DATE	REVISION
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REVISIONS



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REAR COVERED PORCH

2 ERIC BURKE CRT.

HAMILTON

ONTARIO

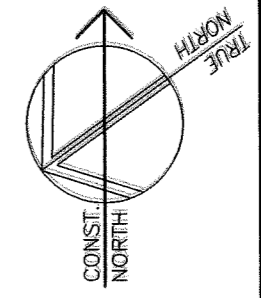
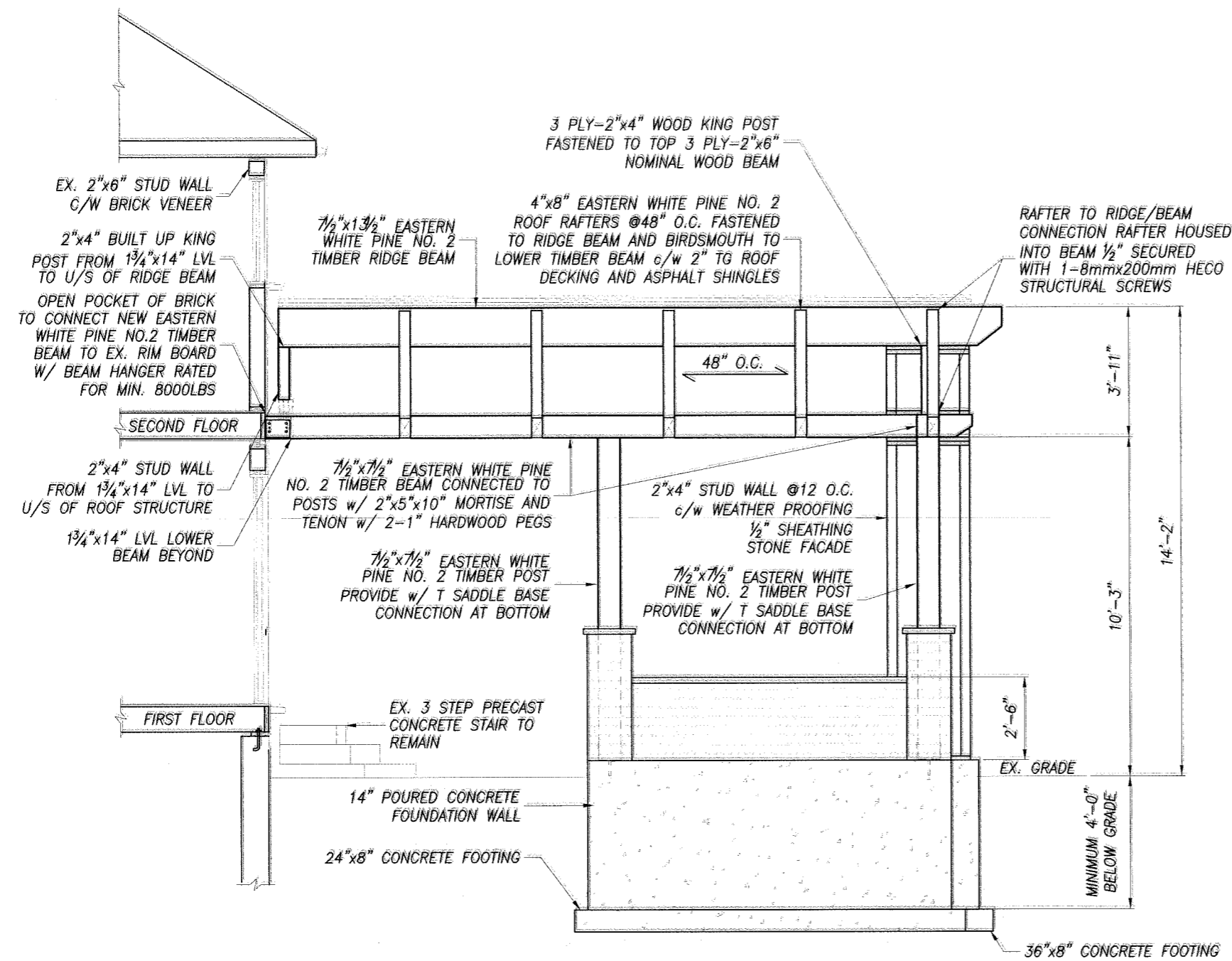
FRAMING PLAN

FRAMING PLAN
SCALE: 1/4" = 1'-0"

DATE JANUARY 2024	DRAWN BY J.H & M.E	DRAWING No. S1.02
PROJECT No. 23165	CHECKED BY J.P	

ROOF ASSEMBLY:

- 30 YEAR ROOF ASPHALT SHINGLES
- ROOFING MEMBRANE
- 2"x6" TONGUE AND GROOVE ROOF DECKING
- 4"x8" EASTERN WHITE PINE No. 2 TIMBER RAFTERS



No.	DATE	REVISION
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KE KALOS ENGINEERING

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REAR COVERED PORCH

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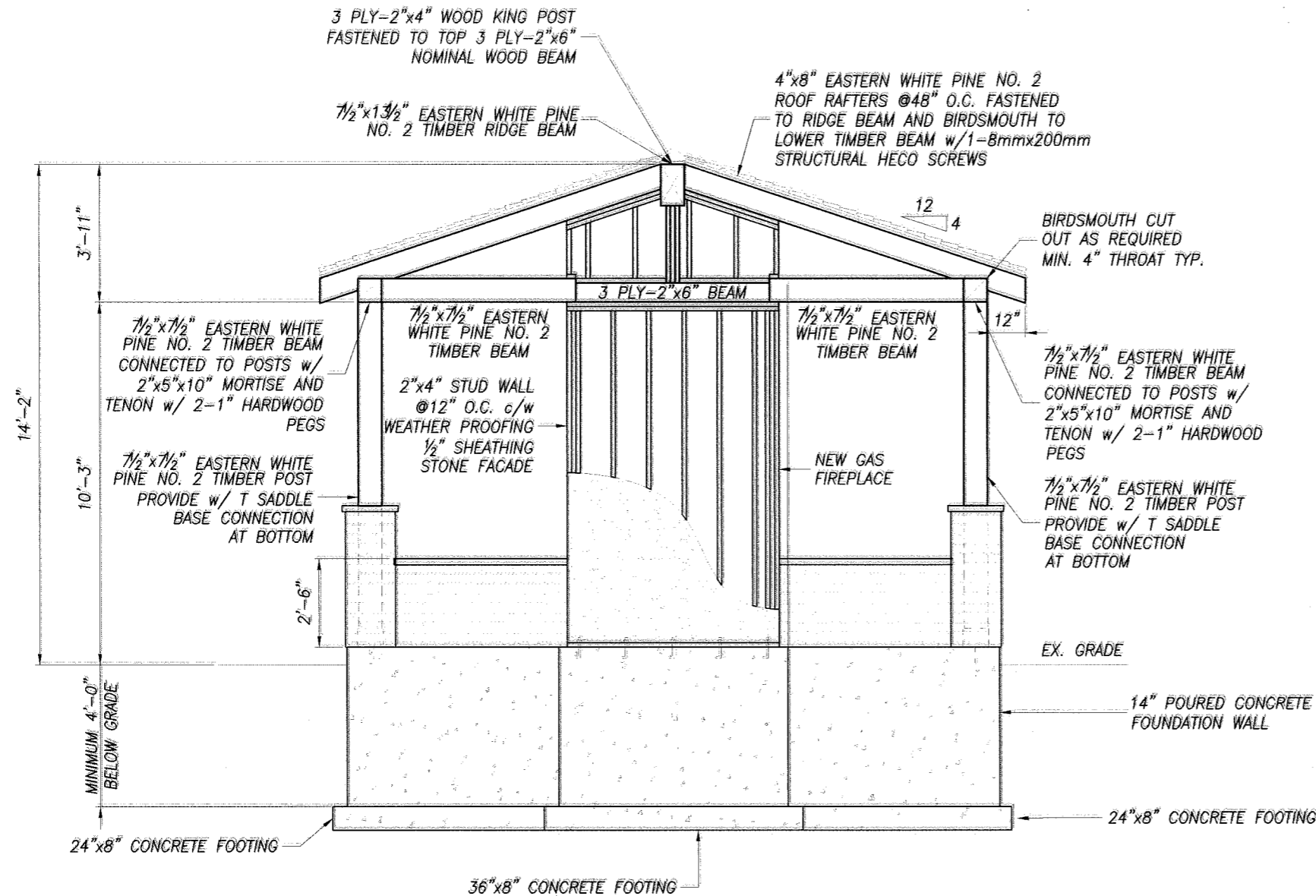
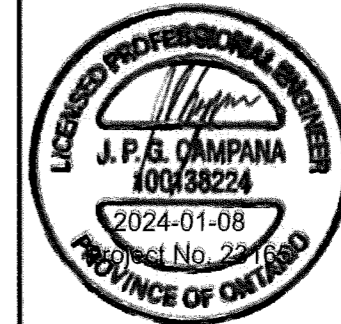
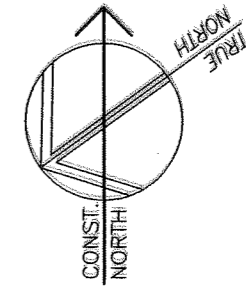
SECTION VIEW

SECTION 1
SCALE: 1/4" = 1'-0" S1.02

DATE JANUARY 2024	DRAWN BY J.H. & M.E.	DRAWING No. S4.01
PROJECT No. 23165	CHECKED BY J.P.	

ROOF ASSEMBLY

- 30 YEAR ROOF ASPHALT SHINGLES
- ROOFING MEMBRANE
- 2"x6" TONGUE AND GROOVE ROOF DECKING
- 4"x8" EASTERN WHITE PINE No. 2 TIMBER RAFTERS



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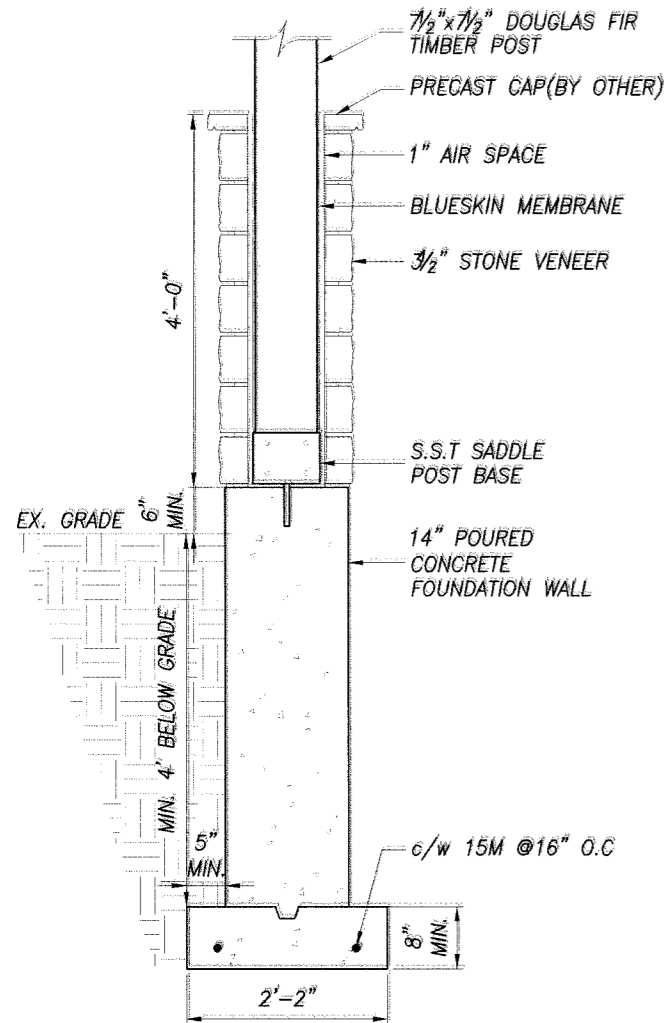
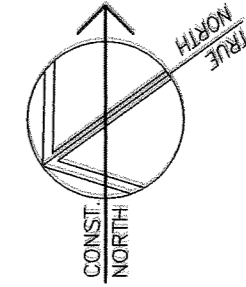
HAMILTON

ONTARIO

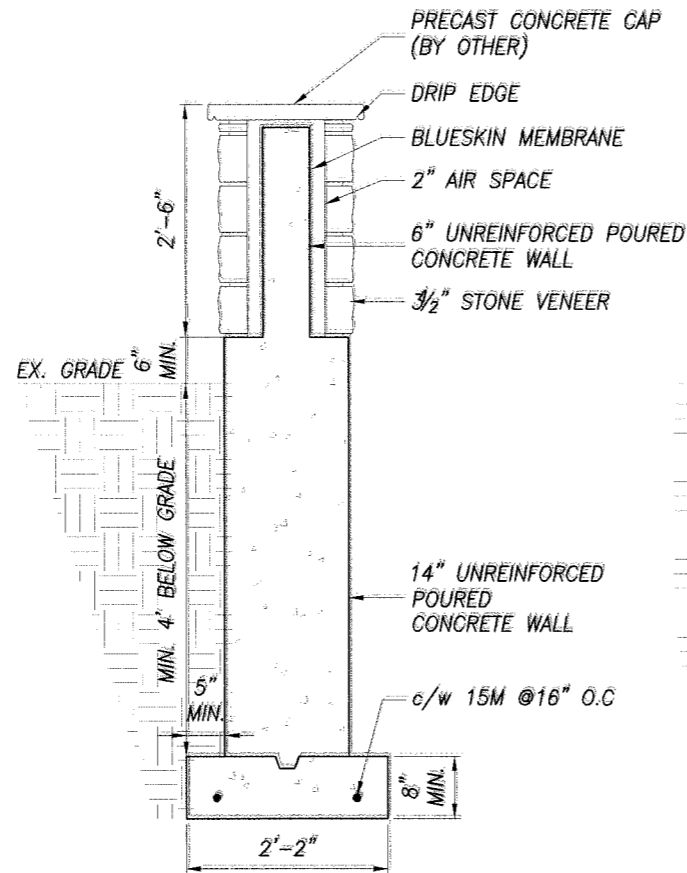
SECTION VIEW

SECTION 1
SCALE: 1/4"=1'-0" S1.02

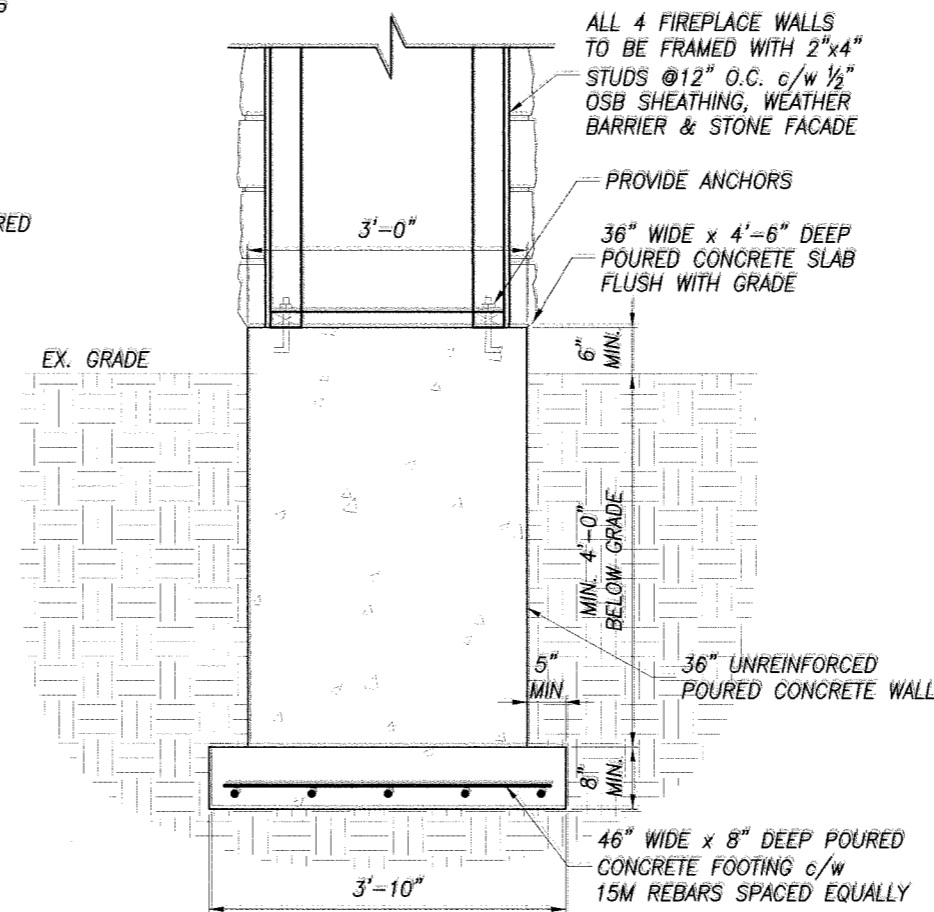
DATE JANUARY 2024	DRAWN BY J.H. & M.E.	DRAWING No. S4.02
PROJECT No. 23165	CHECKED BY J.P.	



SECTION 1
SCALE: 1"=1'-0"
S1.02



SECTION 2
SCALE: 1"=1'-0"
S1.02



SECTION 3
SCALE: 1/2"=1'-0"
S1.02

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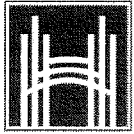
2 ERIC BURKE CRT.

HAMILTON

ONTARIO

SECTION VIEWS

DATE JANUARY 2024	DRAWN BY J.H. & M.E.	DRAWING No. S4.03
PROJECT No. 23165	CHECKED BY J.P.	



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	Randy Vieira Amanda Vieira	
Applicant(s)	Qui Nguyen	
Agent or Solicitor		

1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent quin@kaloseng.ca

1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person

Credit over phone*

Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	2 Eric Burke Ct, Hamilton, ON L9A5J9		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

New rear covered porch exceeds the minimum rear yard setback of 6m based on section 4.6 (d).

Proposed structure exceed the minmum rear setback by 0.79m

Proposed Rear Yard Setback = 5.21m

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The rear covered porch exceeds the minimum rear yard setback

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
8.54m	41.03m	634.8m ²	N/A

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
2 Storey-Detached Dwell.	6.18m	10.76m	1.22m	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Rear Covered Porch	21.92m	5.21m	7.70m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
2 Storey-Detached Dwell.	151.8m ²	Approx. 456m ²	2	7.62

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Rear Covered Porch	35.29m ²	35.29m ²	1	4.32m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

- 4.6 Type of sewage disposal proposed: (check appropriate box)
 publicly owned and operated sanitary sewage
 system privately owned and operated individual
 septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
 provincial highway
 municipal road, seasonally maintained
 municipal road, maintained all year
 right of way
 other public road
Cul de Sac
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
 Single Family Detached Dwelling
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
 Single Family Detached Dwelling

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
 Single Family Detached Dwelling
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
 Single Family Detached Dwelling
- 7.4 Length of time the existing uses of the subject property have continued:

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighborhoods

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? Residential "R1" Zone

7.8 Has the owner previously applied for relief in respect of the subject property?
 (Zoning By-law Amendment or Minor Variance)

Yes No

If yes, please provide the file number: Residential "R1" Zone

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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