



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	SC/A-24:14	SUBJECT PROPERTY:	23 FIRST STREET S, STONEY CREEK
ZONE:	"R1" (Single Residential)	ZONING BY-LAW:	Zoning By-law former City of Stoney Creek 3692-92, as Amended

APPLICANTS: Owner: SHELLEY ROGERS
Applicant: SHELLEY ROGERS/ TYLER KOEPKE

The following variances are requested:

1. A maximum lot coverage of 13.2% (55.8 m2) shall be permitted for all Accessory Buildings instead of the minimum required lot coverage of 10% (42.27 m2) total lot coverage for all Accessory Buildings.

PURPOSE & EFFECT: So as to permit an Accessory Structure to the existing Single Detached Dwelling notwithstanding that:

Notes:

- i) Please note, insufficient information has been provided to determine the location of Parking provided for the existing Single Detached Dwelling. Should the demolition of the existing Accessory Building (Garage) and the construction of the proposed Accessory Building (Garage) result in a reduction in parking spaces below the required 2 parking spaces per unit for a Single Detached Dwelling within an R1 Zone, additional variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, March 26th, 2024
TIME:	12:35 p.m.
PLACE:	City Hall Council Chambers (71 Main St. W., Hamilton)

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Written comments must be received no later than noon March 22, 2024.

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Orally: If you would like to speak to this item at the hearing you may do so by attending in person. Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing. We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5..



 **Subject Lands**

DATED: March 12, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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IN-PERSON PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating in person at the Hearing.

In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

SHELLEY ANN ROGERS

23 1st STREET SOUTH,
HAMILTON, ON.,
L8G 1P8


PAGE LIST	
A0.01	TITLEPAGE
A0.02	GENERAL NOTES
F1.01	FDN/FTG PLAN
S1.01	WALL FRAMING PLAN
S1.02	ROOF FRAMING PLAN
S2.01	ELEVATIONS
S2.02	ELEVATIONS
S4.01	SECTIONS
S4.02	SECTIONS
SP1.01	SITE PLAN



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IN COLLABORATION WITH:



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PROJECT NAME
SHELLEY ANN ROGERS

PAGE DETAILS
**DETACHED ACCESSORY BUILDING
TITLEPAGE**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS AS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER AND APART OF THE REGISTERED DESIGN FIRM.

DESIGNER: NAME: Julia Cangemi BCIN: 104087
DESIGN FIRM: NAME: Jac Design Inc. BCIN: 110671

2023-11-30
DATE SIGNATURE

NOT VALID UNLESS DATED and SIGNED

DRAWN BY: as noted

APPROVED BY: JC

DATE: 2023-10-10

SCALE:

FILE: J231005

SHEET: **A0.01**

GENERAL NOTES	
1.	ALL CONSTRUCTION SHALL CONFIRM TO THE CURRENT EDITION OF THE ONTARIO BUILDING CODE 2012.
2.	ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
3.	ANY ERROR OR OMISSIONS ARE TO BE REPORTED TO DESIGNER/DESIGN FIRM PRIOR TO CONSTRUCTION.
4.	ANY DEVIATION TO THE DESIGN TO BE REPORTED TO THE DESIGNER/DESIGN FIRM AND MUST BE NOT APPLIED WITHOUT FORMAL WRITTEN APPROVAL.
5.	THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER/DESIGN FIRM AND TO BE USED FOR THE PROJECT NOTED IN TITLEBLOCKS ONLY.
6.	NO BUILDING SHALL BE BUILT ADJACENT OR IN PROXIMITY TO THE STRUCTURE SO AS TO ADVERSELY ALTER WIND OR SNOW LOADING CONDITIONS.
7.	STRUCTURAL COMPONENTS THAT ARE DAMAGED EITHER DURING THE STRUCTURE ERECTION OR THE LIFE OF THE STRUCTURE MUST BE REPORTED IMMEDIATELY TO THE DESIGNER/DESIGN FIRM.
8.	CONFIRM ALL EXISTING FRAMING/DETAILS AS NOTED WITH SITE CONDITIONS, PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES BEFORE PROCEEDING, AS NOT ALL AREAS WERE ACCESSIBLE DURING SITE VISIT.
9.	PRIOR TO ORDERING ANY MATERIALS, CONTRACTOR/OWNER TO ENSURE ANY/ALL POSTS ALIGN DIRECTLY WITH SUPPORTING MEMBERS BELOW, AS NOTED ON DRAWINGS. CONFIRM WITH JAC DESIGN INC. IF OTHERWISE.
10.	PROVIDE FLASHING WHERE NECESSARY FOR WATERPROOFING.
11.	ELECTRICAL SUBJECT TO FIELD INSPECTION BY "ELECTRICAL SAFETY AUTHORITY".

CONSTRUCTION NOTES	
BACKFILL/GRADING	
1.	REMOVE ALL TOP SOIL AND ORGANIC MATERIAL.
2.	ANY/ALL FOOTINGS TO BE ON UNDISTURBED SOIL AND A MINIMUM of 4'-0" BELOW FINISH GRADE (BELOW LOCAL FROST LEVEL).
3.	SOIL CONDITIONS SHALL BE FREE-DRAINING AND HAVE A BEARING CAPACITY TO SUSTAIN A MINIMUM OF 3000 PSF [143 kPa].
4.	ANY/ALL BACKFILL TO BE COMPACTED IN 6" LAYERS.
5.	CONTRACTOR TO PROPERLY SLOPE SURFACES AWAY FROM STRUCTURE FOR PROPER DRAINAGE.
CONCRETE	
1.	ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS.
A.	3,000 PSI [20 MPA] FOR FOOTINGS AND PIERS
B.	4,600 PSI [32 MPA] FOR SLAB ON GRADE
2.	AIR ENTRAINMENT 5%-8%
3.	SLUMP 3" + 1"
4.	PROTECT ALL UNTREATED WOOD FROM DIRECT CONTACT WITH CONCRETE, CONCRETE BLOCK AND GROUT.
LUMBER/FRAMING	
1.	ALL CONVENTIONAL LUMBER TO BE SPF No. 1/2 GRADE OR HIGHER.
2.	FRAMED OPENINGS FOR ALL WINDOWS AND DOORS TO BE VERIFIED WITH MANUFACTURER'S ROUGH SIZE OPENING.
A.	DOOR AND WINDOW SIZES ARE GIVEN IN INCHES IN WIDTH AND HEIGHT RESPECTIVELY.
B.	HOMEOWNER TO SELECT ALL DOOR AND WINDOW STYLES.
3.	ANY/ALL LUMBER EXPOSED TO MOISTURE TO BE PRESSURE TREATED.
4.	ENSURE ALL NEW BEAM/HEADERS AND NEW BUILT-UP POSTS/STUD PLYS ARE FASTENED TOGETHER.
A.	FOR BUILT UP WOOD MEMBERS FASTEN AND GLUE ONE PLY TO THE NEXT, ALL 2x4s WITH 1 ROW OF 3" SPIRAL NAILS AT 8" ON CENTER STAGGERED AND SPACE NAILS 4" APART BETWEEN PLYS, FOR 2x6s AND 2x8s PROVIDE 2 ROWS OF NAILS, FOR 2x10s AND 2x12s PROVIDE 3 ROWS OF NAILS, START ALL NAILS 2" FROM THE ENDS.
5.	PROVIDE MINIMUM 3 1/2" LENGTH OF SOLID END BEARING FOR BEAMS.
6.	PROVIDE MINIMUM 1 1/2" LENGTH OF SOLID END BEARING FOR JOISTS.
FASTENERS/STEEL/PILES	
1.	DEFORMED CONCRETE REINFORCING BAR TO COMPLY WITH CSA STANDARDS.
2.	REINFORCING BAR TO BE GRADE 400R OR BETTER.
3.	BOLTS SHALL BE ASTM A325, GRADE #5, OR EQUIVALENT.
4.	STRUCTURAL STEEL SHALL BE GRADE 50.
5.	ANY/ALL THICKNESSES SHOWN, ARE BASE METAL THICKNESSES.

DOOR SCHEDULE						
WIDTH	HEIGHT	QTY	STOREY	STYLE	LOCATION	HEADER (U.N.O.)
3'-0"	6'-8"	1	1ST STOREY	36x80 DOOR	Exterior	2-PLY 2x6
9'-0"	8'-0"	1	1ST STOREY	9'x8' OVERHEAD	Exterior	2-PLY 2x10

WINDOW SCHEDULE						
WIDTH	HEIGHT	QTY	STOREY	STYLE	HEADER (U.N.O.)	
4'-0"	2'-6"	2	1ST STOREY	48x30 WINDOW	2-PLY 2x6	

ABBREVIATIONS	
APPROX.	Approximate
B/O	Bottom of
BLDG	Building
CLG	Ceiling
CON'T	Continuous
CONC	Concrete
COV'D	Covered
DEMO'D	Demolished
DOCS.	Documents
FDN	Foundation
FF	Finished Floor
FTG	Footing
HOR.	Horizontal
LB	Load-bearing
MAT'L	Material
MAX.	Maximum
MIN.	Minimum
N/A	Not Applicable
O.B.C.	Ontario Building Code
O.C.	On Center
OPT	Option
PROP.	Proposed
PT	Pressure Treated
R.W.L.	Rain Water Leader
REQ'D	Required
SPF	Spruce-Pine-Fir
T/O	Top of
TYP.	Typical
U.N.O.	Unless Noted Otherwise
U/S	Underside
VER.	Vertical
W/	With
W/P	Waterproof
WIN	Window

DESIGN LOADS	
FLOORS	DEAD LOAD = 0.5 kPa (10 PSF) LIVE LOAD = 2.0 kPa (40 PSF)
PARTITIONS	DEAD LOAD = 1.0 kPa (20 PSF)
ROOF	DEAD LOAD = 0.7 kPa (15 PSF) SNOW LOAD = HAMILTON Ss = 1.5 kPa (31.33 PSF) Sr = 0.4 kPa (8.4 PSF)

CEILING HEIGHTS (U.N.O.)	
1st STOREY	10'-0"



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IN COLLABORATION WITH:



REV. NO.	DATE	REVISION DETAILS

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PROJECT NAME
SHELLEY ANN ROGERS

PAGE DETAILS
DETACHED ACCESSORY BUILDING
GENERAL NOTES

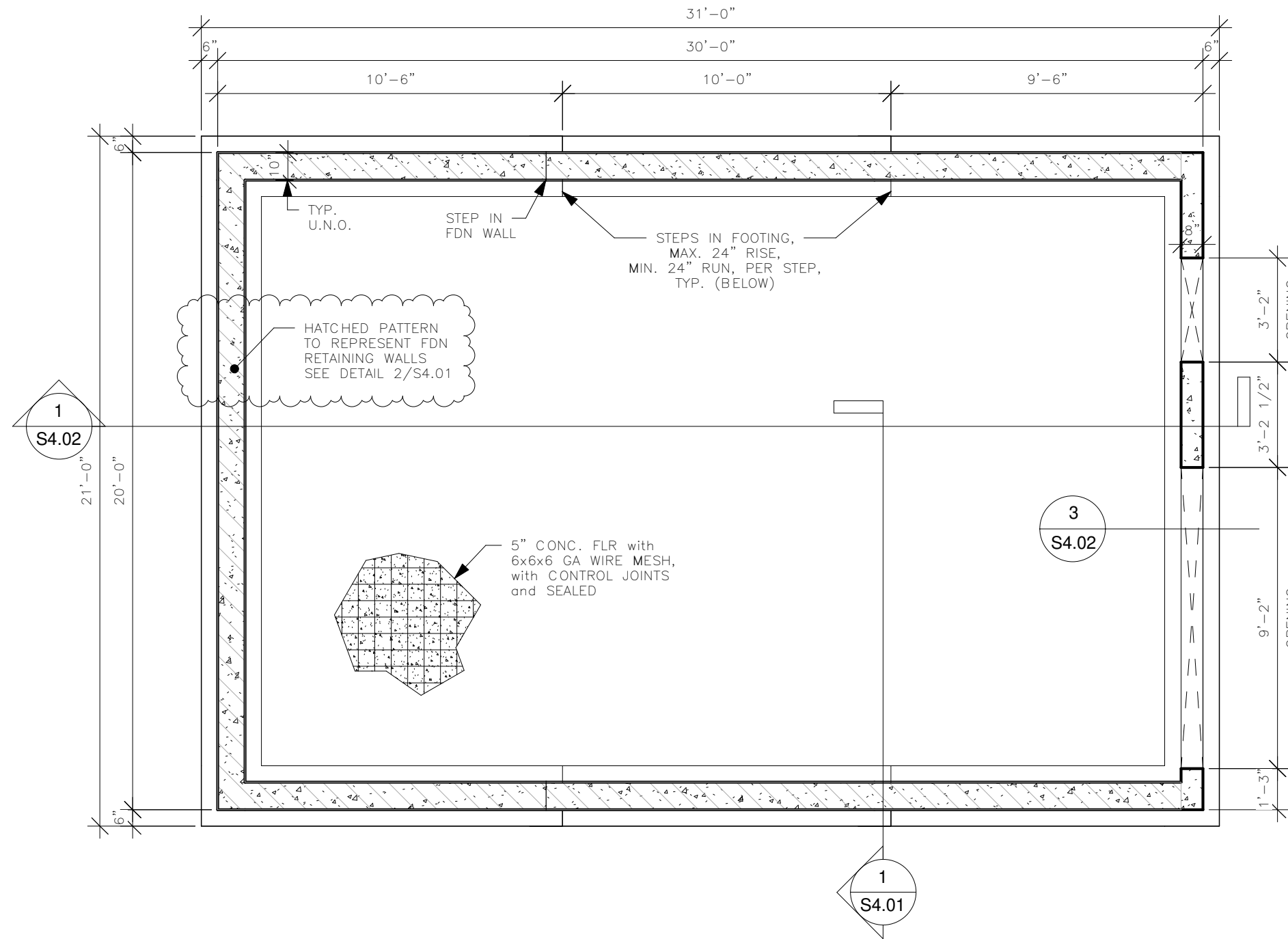
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DESIGN FIRM: NAME: Jac Design Inc. BCIN: 110671

2023-11-30
DATE SIGNATURE

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DRAWN BY: as noted
APPROVED BY: JC
DATE: 2023-10-10
SCALE:
FILE: J231005
SHEET: **A0.02**



1 FOUNDATION PLAN
 F1.01 1/4" = 1'-0"

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 Date: revision 1

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 12/06/2023
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 FDN/FTG PLAN**

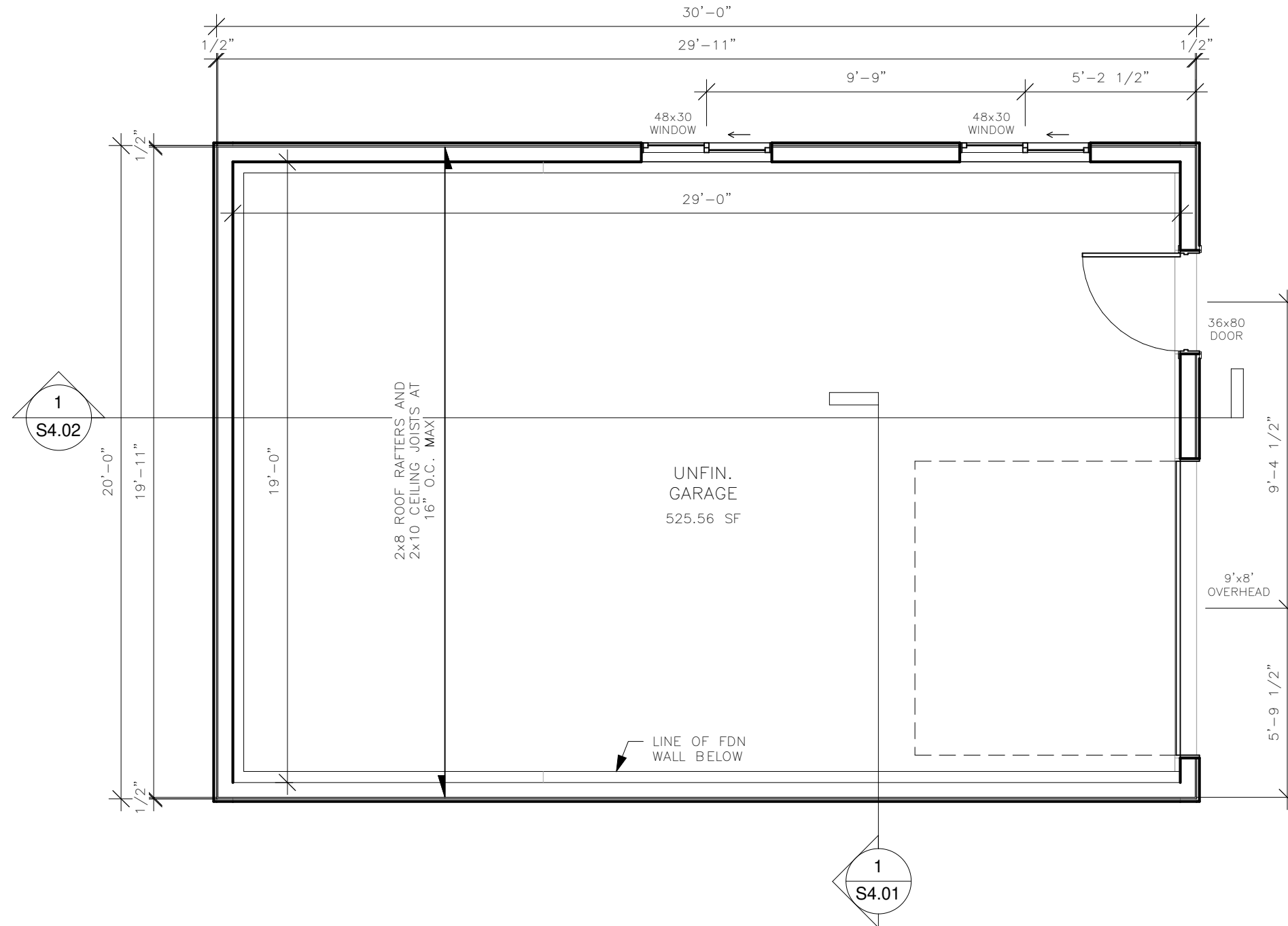
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 APPROVED BY: JC
 DATE: 2023-10-10
 SCALE: 1/4" = 1'-0"
 FILE: J231005
 SHEET: **F1.01**



1 1st STOREY WALLS
 S1.01 1/4" = 1'-0"

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PAGE DETAILS
**DETACHED ACCESSORY BUILDING
 WALL FRAMING PLAN**

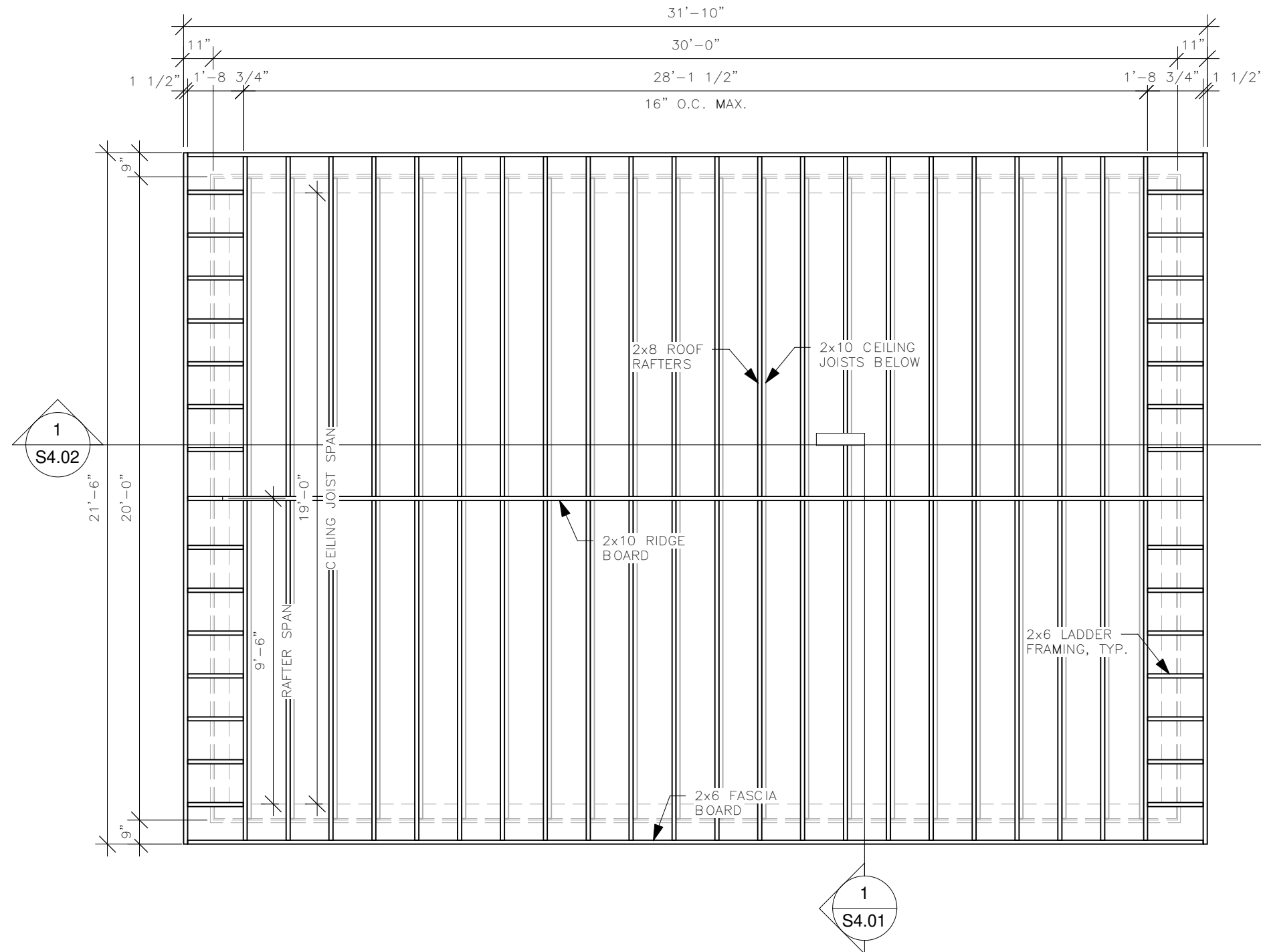
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APPROVED BY:	JC
DATE:	2023-10-10
SCALE:	1/4" = 1'-0"
FILE:	J231005
SHEET:	S1.01



1 ROOF FRAMING
S1.02 1/4" = 1'-0"

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**DETACHED ACCESSORY BUILDING
ROOF FRAMING PLAN**

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2023-11-30
DATE

[Signature]
SIGNATURE

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DRAWN BY: CH

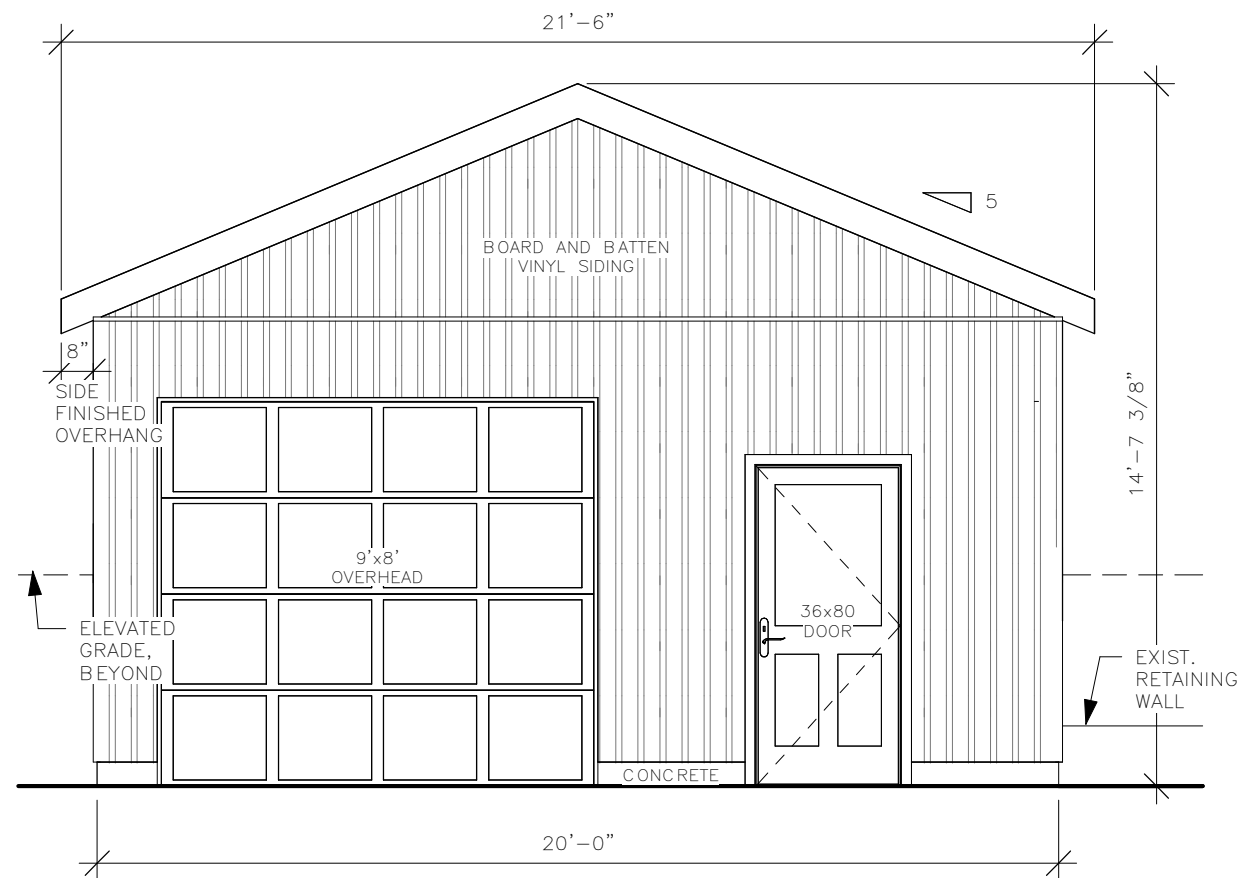
APPROVED BY: JC

DATE: 2023-10-10

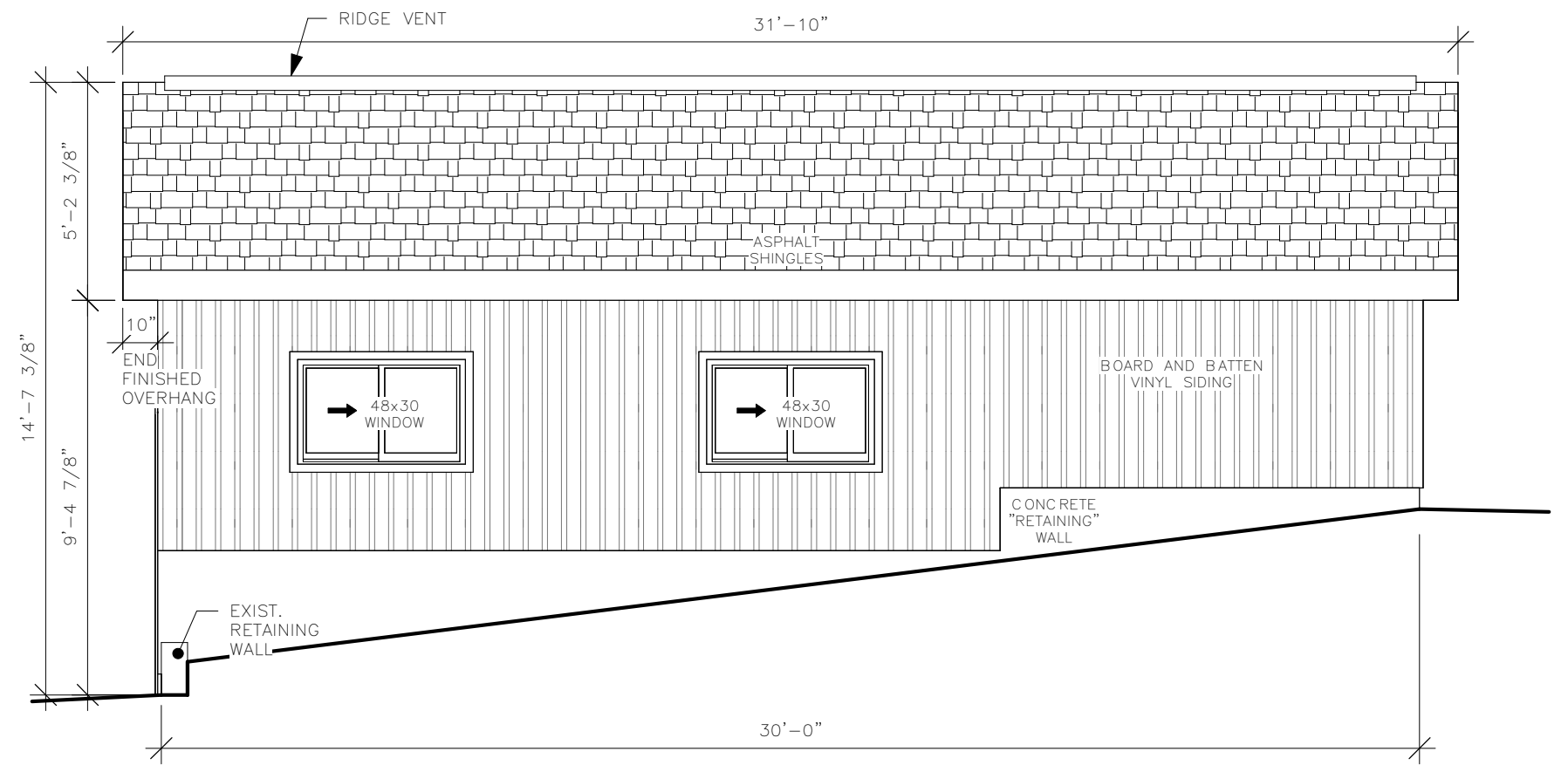
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FILE: J231005

SHEET: **S1.02**



1 FRONT ELEVATION
S2.01 1/4" = 1'-0"



2 RIGHT ELEVATION
S2.01 1/4" = 1'-0"

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PAGE DETAILS
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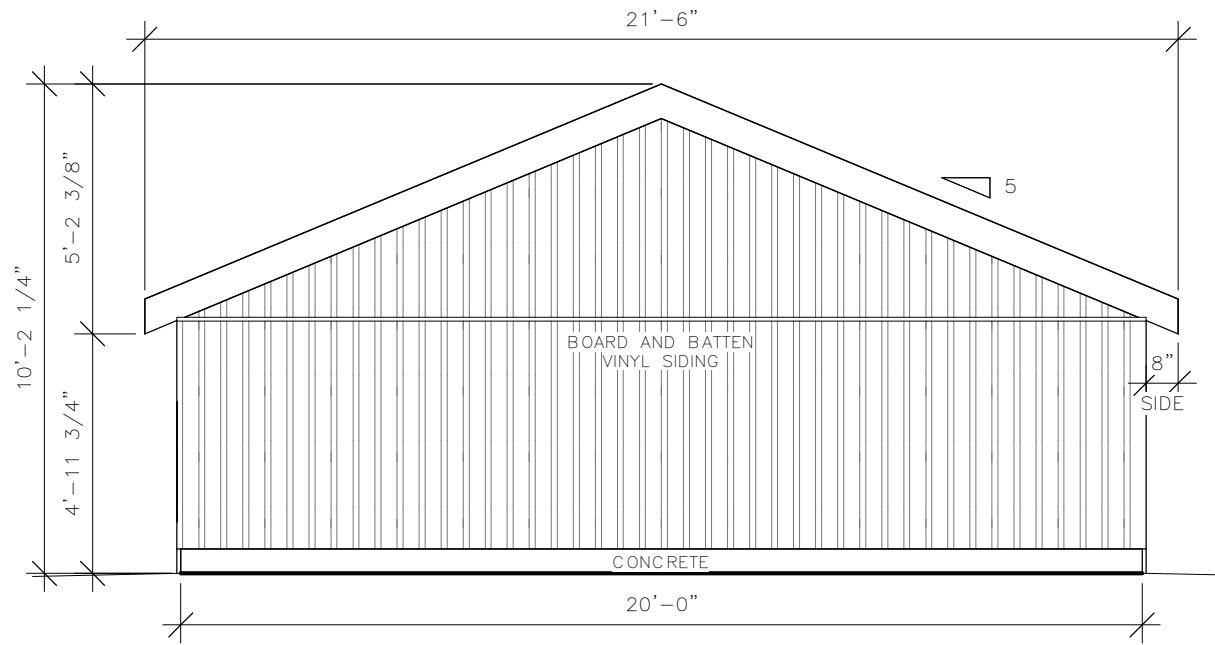
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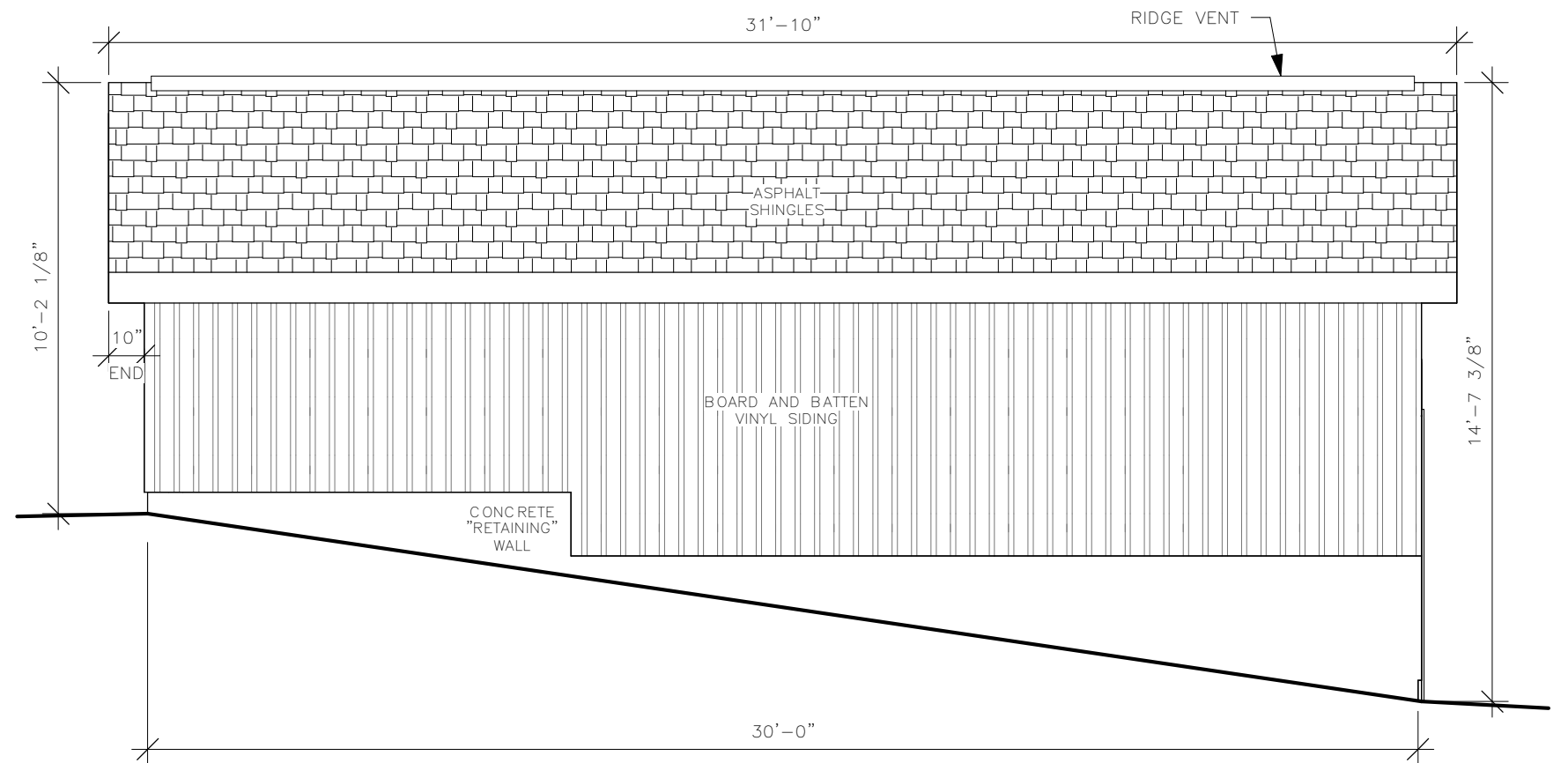
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 SHEET: **S2.01**



1 REAR ELEVATION
S2.02 1/4" = 1'-0"



2 LEFT ELEVATION
S2.02 1/4" = 1'-0"

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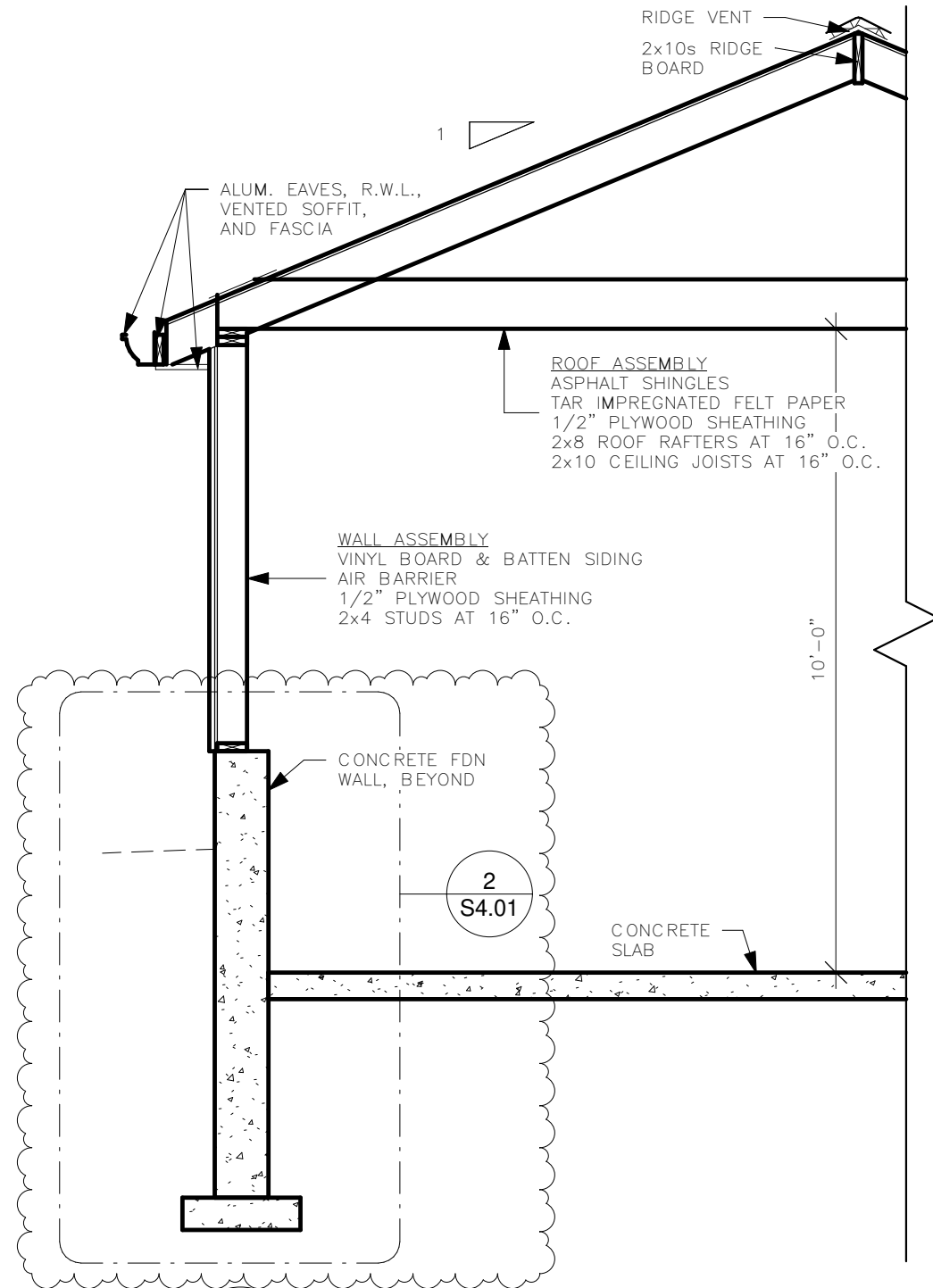
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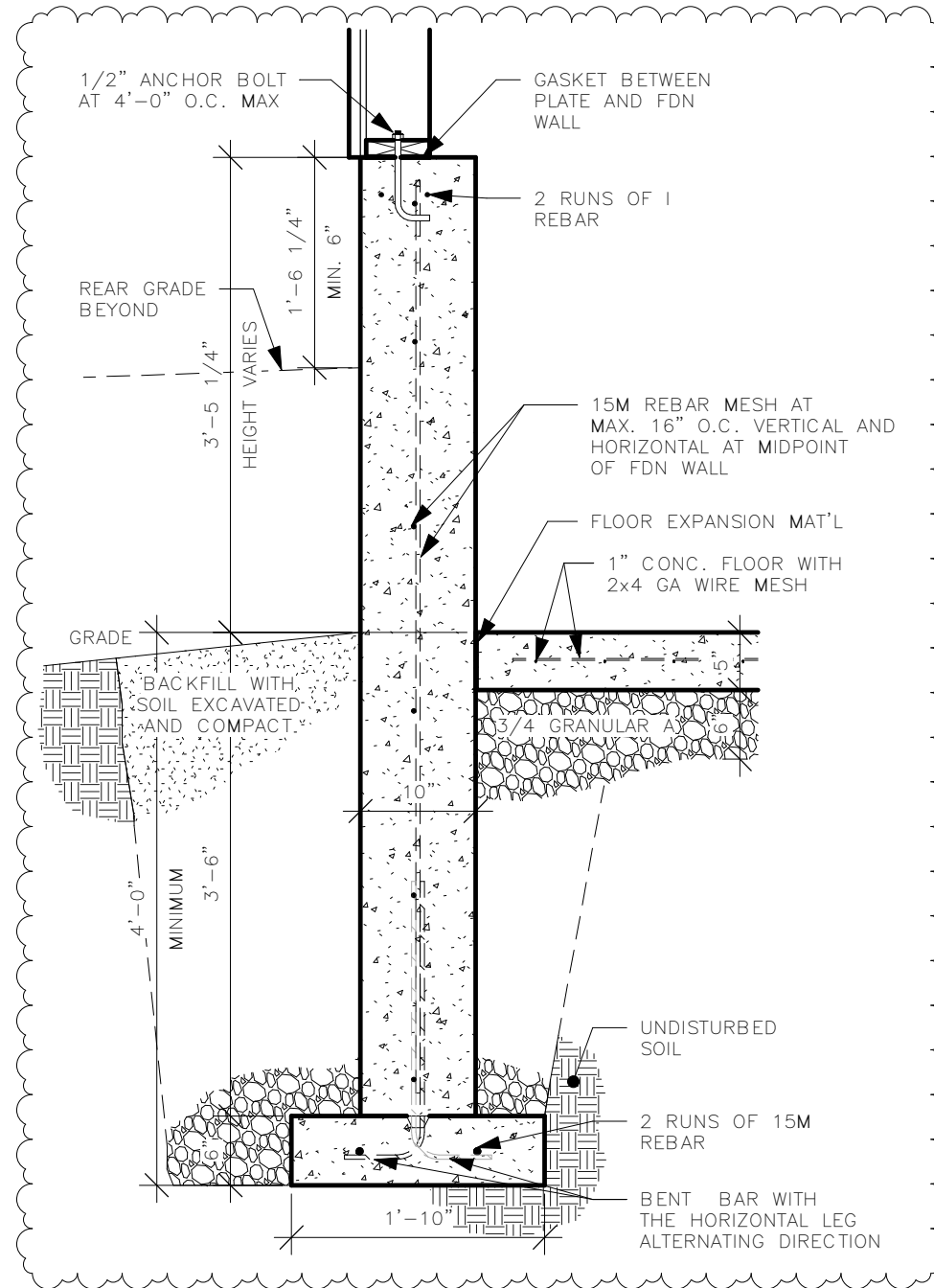
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 SCALE: 1/4" = 1'-0"
 FILE: J231005
 SHEET: **S2.02**



1 TYP. DETAILS
S4.01 3/8" = 1'-0"



2 TYP. FDN WALL
S4.01 3/4" = 1'-0"

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PAGE DETAILS
DETACHED ACCESSORY BUILDING SECTIONS

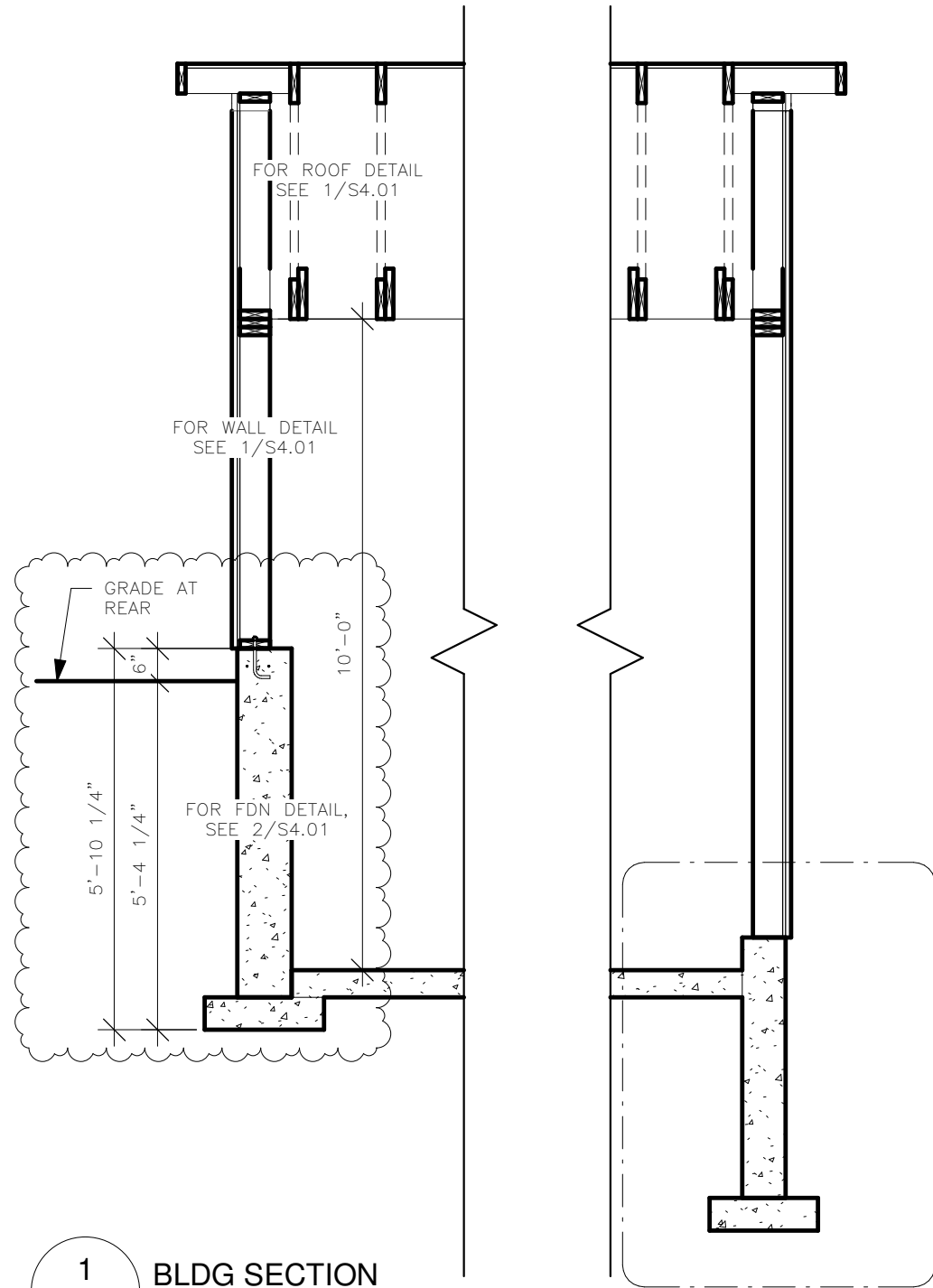
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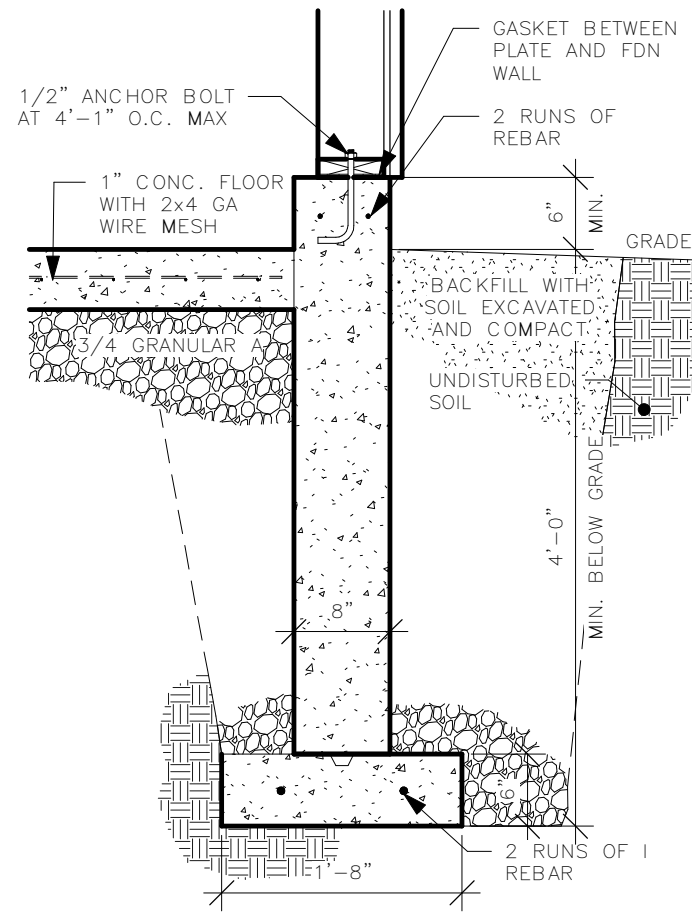
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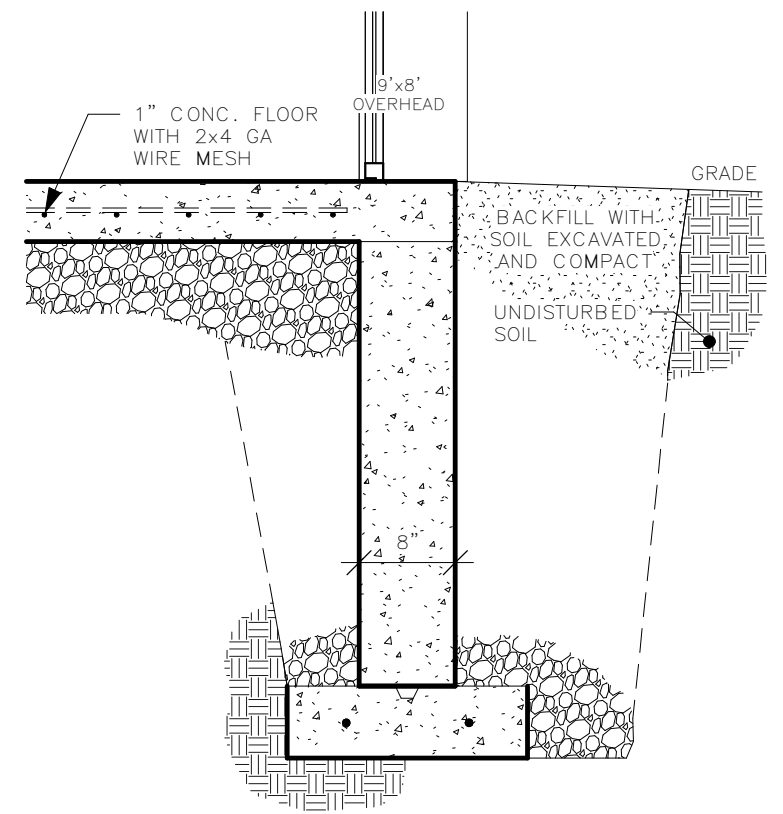
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1
S4.02 BLDG SECTION
3/8" = 1'-0"



2
S4.02 8" FDN WALL
3/4" = 1'-0"



3
S4.02 FDN AT OPENING
3/4" = 1'-0"

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E. QUIST
PROVINCE OF ONTARIO

FOR STRUCTURE OF CLOUDED AREAS ONLY.

REV. NO.	DATE	REVISION DETAILS

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PROJECT NAME
SHELLEY ANN ROGERS

PAGE DETAILS
DETACHED ACCESSORY BUILDING SECTIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS AS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER AND APART OF THE REGISTERED DESIGN FIRM.

DESIGNER: NAME: Julia Cangemi BCIN: 104087
DESIGN FIRM: NAME: Jac Design Inc. BCIN: 110671

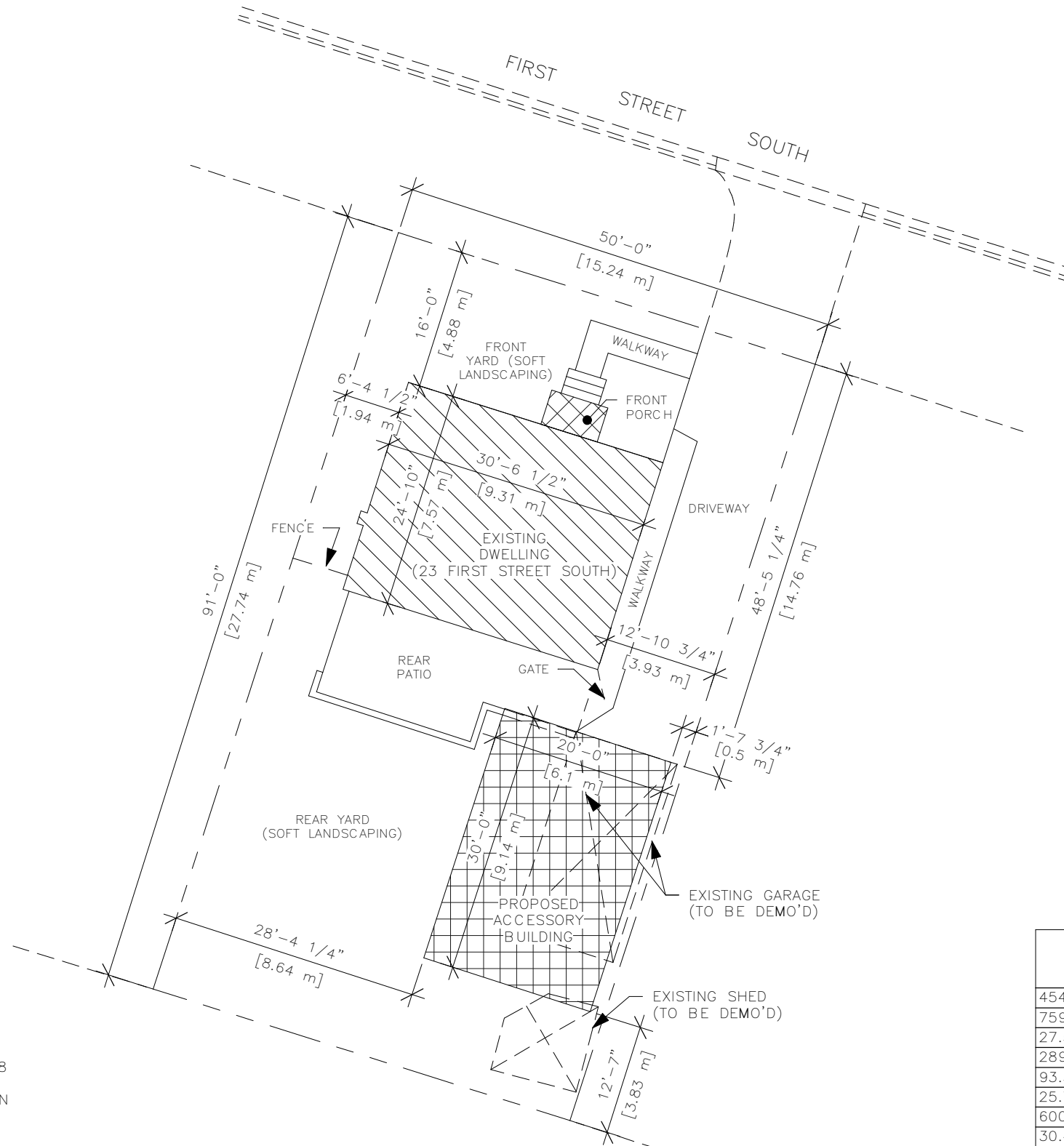
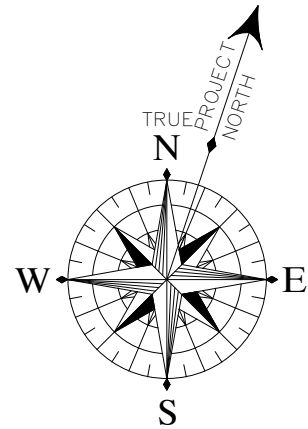
2023-11-30
DATE SIGNATURE

NOT VALID UNLESS DATED and SIGNED

DRAWN BY: CH
APPROVED BY: JC
DATE: 2023-10-10
SCALE: As indicated
FILE: J231005
SHEET: **S4.02**

SITE PLAN NOTE

THIS IS NOT A LEGAL SURVEY AND SHALL NOT BE USED FOR MORTGAGE OR TRANSFERENCE PURPOSES. PROPERTY LIMITS HAVE BEEN COMPILED FROM LAND REGISTRY OFFICE RECORDS



1 SITE PLAN
SP1.01 1/16" = 1'-0"

ADDRESS: 23 1st STREET SOUTH, STONEY CREEK, ON., L8G 1P8
 PIN: 17303-0046
 DESCRIPTION: LT 35, PL 715; STONEY CREEK CITY OF HAMILTON

NOTE: ALL IS EXISTING UNLESS NOTED OTHERWISE.

PROPERTY and BUILDING AREAS	
4549.86 SF [422.70 m]	TOTAL PROPERTY SIZE
759.85 SF [70.57 m]	EXISTING DWELLING
27.56 SF [2.56 m]	EXISTING FRONT PORCH
289.97 SF [26.94 m]	EXISTING DETACHED GARAGE (TO BE DEMO'D)
93.34 SF [93.34 m]	EXISTING SHED (TO BE DEMO'D)
25.72 %	EXISTING LOT COVERAGE
600.00 SF [55.74 m]	PROPOSED DETACHED ACCESSORY BUILDING
30.49%	PROPOSED LOT COVERAGE

692 Centre Road
 Flamborough, Ontario
 Canada, L8N 2Z7
 (416) 993-1509
 jacdesigninc@gmail.com

IN COLLABORATION WITH:

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DETACHED ACCESSORY BUILDING
SITE PLAN

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date _____
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DRAWN BY: CH
 APPROVED BY: JC
 DATE: 2023-10-10
 SCALE: 1/16" = 1'-0"
 FILE: J231005
 SHEET: **SP1.01**



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	
Registered Owners(s)	Shelley XXXX Rogers	
Applicant(s)	Shelley XXXX Rogers Tyler Koepke	
Agent or Solicitor		
		Phone:
		E-mail:

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	23 First street South, Stoney Creek, ON, L8G 1P8		
Assessment Roll Number	00349042400		
Former Municipality	Stoney Creek		
Lot	LT 35	Concession	
Registered Plan Number	PL 715	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Proposed 55.7m² accessory structure exceeds the total lot coverage allowance of 42.2m².

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

More storage space required.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
15.24m	27.74m	422.7m	20.12m

4.2 Location of all buildings and structures on or proposed for the subject lands:
 (Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
House	4.88m	15.29m	1.94m, 3.93m	01/01/1952
Garage	14.71m	5.71m	11.26m, 0.27m	
Shed	23.65m	0.86m	11.96m, 0.27m	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Garage	14.76m	3.83m	8.64m, 0.5m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
House	70.57m ²	178.67m ²	1.5	7.16m
Garage	26.94m ²	26.94m ²	1	3.25m
Shed	8.76m ²	8.76m ²	1	3.3m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Garage	55.74m ²	55.74m ²	1	4.45m

4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

lake or other water body
 other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Single detached dwelling (unchanged from existing use)

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Single detached dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
November 23 2012

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:
72 years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): R1

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable)

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land?

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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