



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-24:49	SUBJECT PROPERTY:	61 Norman St., Hamilton
ZONE:	R1a (Low Density Residential – Small Lot)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended by By-law No. 22-197

APPLICANTS: Owner: N. Meller
Agent: H. Zhou

The following variances are requested:

1. A minimum Rear Yard Setback of 6.55 metres shall be permitted instead of the minimum required Rear Yard Setback of 7.5 metres;
2. Eaves and Gutters shall be permitted to project the entirety of the Side Yard instead of the required maximum projection of 0.6 metres into the required yard, or to a maximum of half the distance of the required yard, whichever is the lesser;
3. A maximum encroachment of 1.88 metres into the required Rear Yard shall be permitted for a Fire Escape or Exterior Staircase instead of the required maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser;
4. A maximum encroachment of 1.27 metres into the required Front Yard shall be permitted for a Balcony, including supporting columns, instead of the required maximum of 1.0 metres, except into a required side yard of not more than one-third of its width or 1.0 metres, whichever is the lesser.

PURPOSE & EFFECT: So as to permit a Two Storey Addition containing Three Dwelling units to an existing One and a Half Storey Single Detached Dwelling.

Notes:

- i) Please note, specific variances have not been indicated within the application submitted. As such, variances have been provided based on the review of materials submitted with the application.

HM/A-24:49

Should any variances not be desired, the applicant shall provide further documentation or materials to indicate as such.

- ii) Be advised, the proposed Eaves/ Gutters appear to project beyond the side lot line and may encroach into the adjacent property at 63 Norman Street. An Encroachment Agreement is required to be registered on title for any portion of a building that projects beyond the property line.
- iii) Please note, Insufficient Information has been provided to determine Landscape requirements for the proposed Converted Dwelling. As per Section 4.35, a minimum of 50% Landscaped Area within the Front Yard is required. Based on measurements provided, it appears that 52.87% is provided however it is recommended the applicant confirm the proposed Landscaped Area within the Front Yard conforms as per Section 4.35.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, April 9, 2024
TIME:	1:30 p.m.
PLACE:	City Hall Council Chambers (71 Main St. W., Hamilton)

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Written comments must be received no later than noon **April 5, 2024**

Orally: If you would like to speak to this item at the hearing you may do so by attending in person. Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-24:49, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



61 NORMAN STREET

PROJECT DESCRIPTION

ADDITION : REAR AND SECOND FLOOR
FRONT PORCH EXTENSION
SECONDARY SUITE

BUILDING ADDRESS

61 NORMAN STREET
HAMILTON, ON L8H 4J4

ZONING BY LAW 22-197

R1a

PROJECT STATISTICS

	REQUIRED	EXISTING	PROPOSED
LOT FRONTAGE	9.00 m	6.86 m	6.86 m
LOT DEPTH	N/A	27.43 m	27.43 m
LOT AREA	270.00 m ²	188.13 m ²	188.13 m ²
	ALLOWED	EXISTING	PROPOSED
BUILDING HEIGHT	10.50 m	4.83 m	7.05 m
BUILDING STOREYS	2	2	2
LOT COVERAGE	N/A	48.37% [91.00 m ²]	60.66% [114.11 m ²]

	REQUIRED	EXISTING	PROPOSED
FRONT YARD SETBACK	2.09 m	2.82 m	1.95 m
REAR YARD SETBACK	7.50 m	8.07 m	6.55 m
NORTH SIDE YARD SETBACK	1.20 m	0.27 m	0.27 m
SOUTH SIDE YARD SETBACK	1.20 m	0.57 m	0.57 m

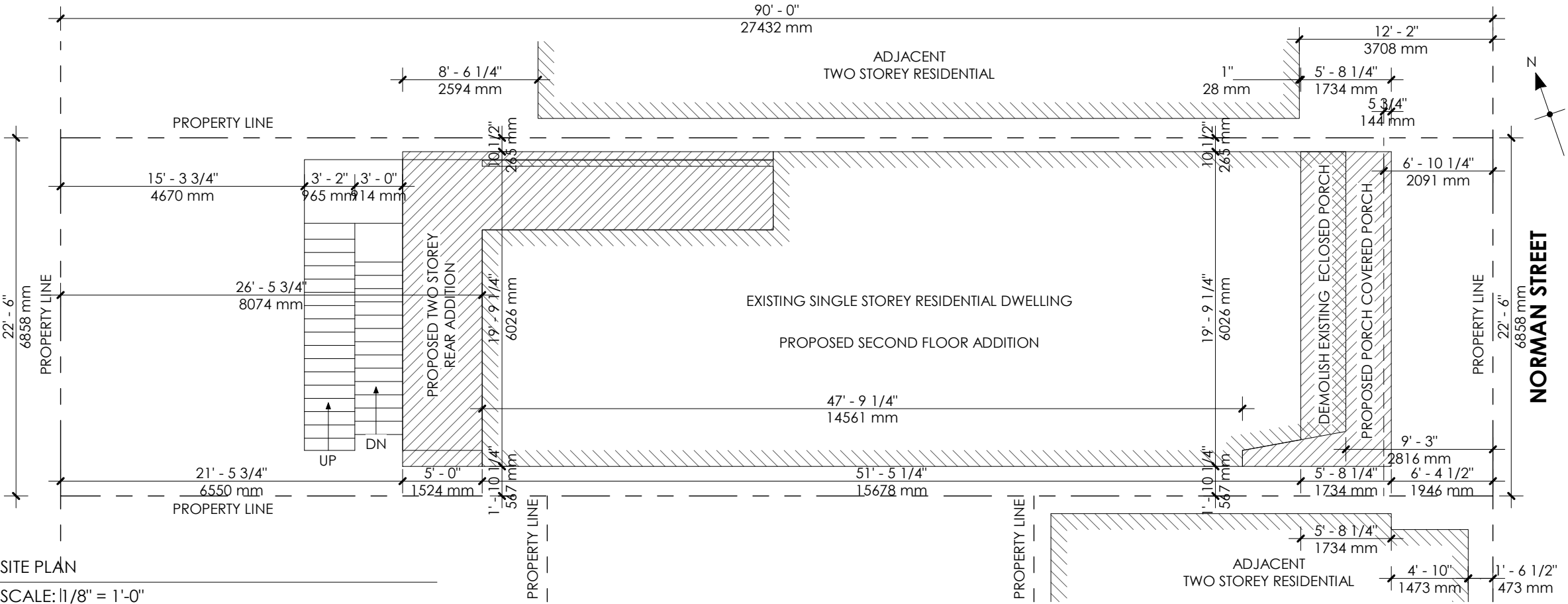
NOTES:
1. IN THE RESIDENTIAL ZONE CATEGORY, IF THE LAWFUL BUILDING SETBACK OF A LAWFULLY EXISTING BUILDING OR STRUCTURE IS LESS THAN THE REQUIRED MINIMUM BUILDING SETBACK FROM...A FRONT LOT LINE, THAT LAWFUL BUILDING SETBACK IS THE MINIMUM FRONT YARD SETBACK FOR THAT LAWFULLY EXISTING BUILDING OR STRUCTURE.

NOTE:
- AVERAGE FRONT YARD SETBACK
- 3708mm + 473mm / 2 = 2,090.5mm

SCOPE OF WORK AREA CALCULATION

BASEMENT AREA: 51.50 SQM
GROUND FLOOR AREA: 98.95 SQM
SECOND FLOOR AREA: 105.74 SQM

TOTAL: 256.19 SQM



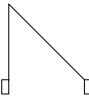
SITE PLAN
SCALE: 1/8" = 1'-0"



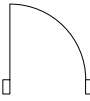
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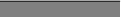
LEGEND




EXISTING DOOR



NEW DOOR



EXISTING WALL TO REMAIN



PROPOSED WALL

GENERAL NOTES:
DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO ENGINEER & DESIGNER BEFORE PROCEEDING WITH THE WORKS.
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Project Name	61 Norman Street
Drawing Name	Project Info & Site Plan
Project No.	23-056
Issue Date:	June 26 2023
Drawn:	CY
Checked:	HZ
Scale	As indicated

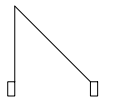


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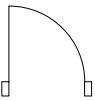
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Project Name

61 Norman Street

Drawing Name

General Notes

Project No.

23-056

Issue Date:

June 26 2023

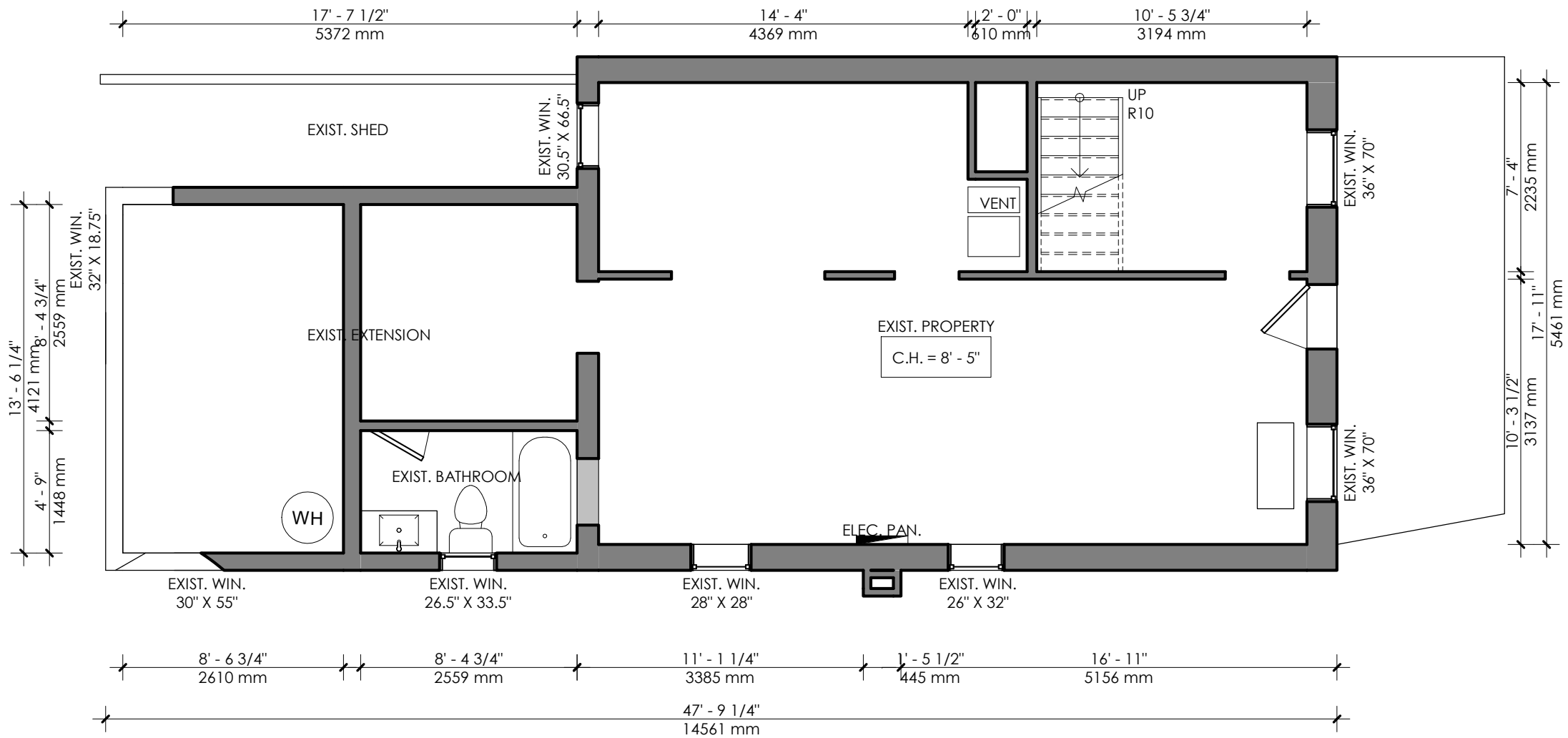
Drawn:

Author

Checked:

Checker

Scale



EXISTING GROUND FLOOR

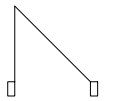
SCALE: 3/16" = 1'-0"



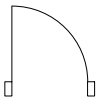
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Project Name

61 Norman Street

Drawing Name

Existing Ground Floor

Project No.

23-056

Issue Date:

June 26 2023

Drawn:

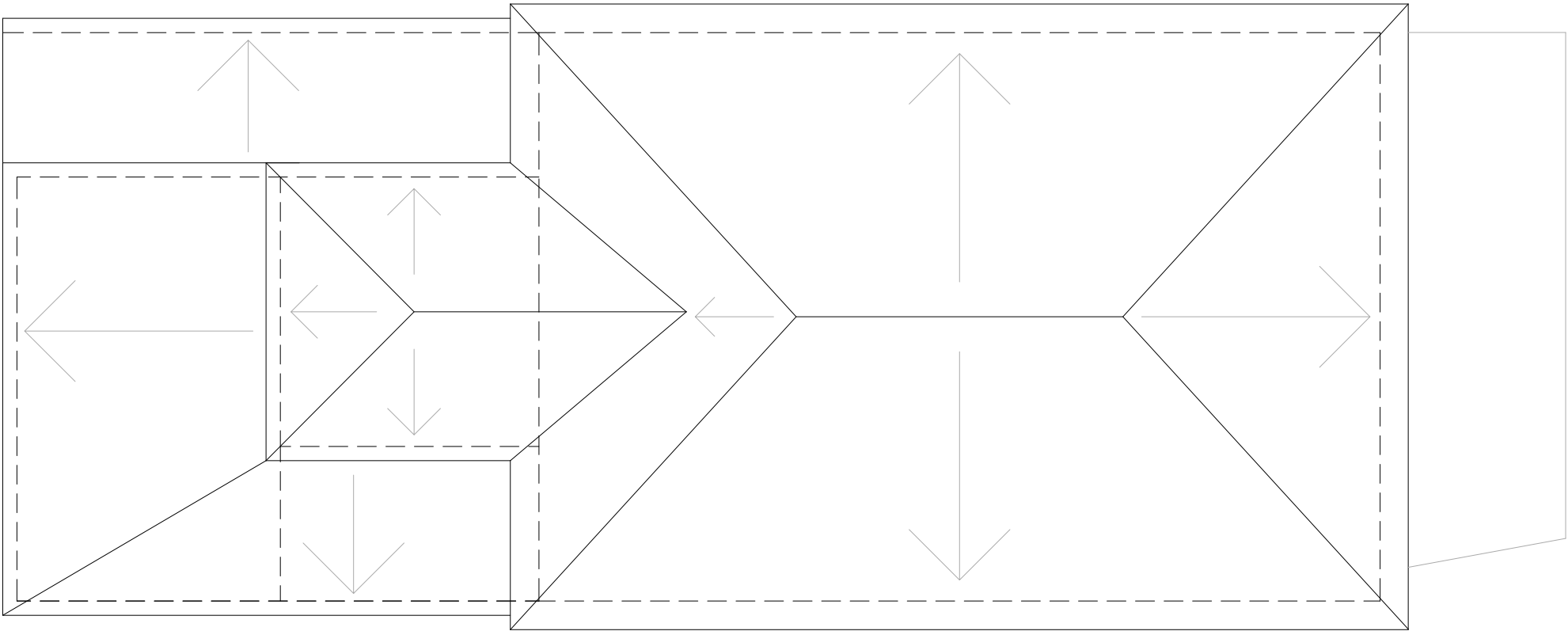
cy

Checked:

HZ

Scale

3/16" = 1'-0"



EXISTING ROOF PLAN

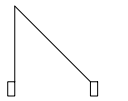
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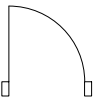
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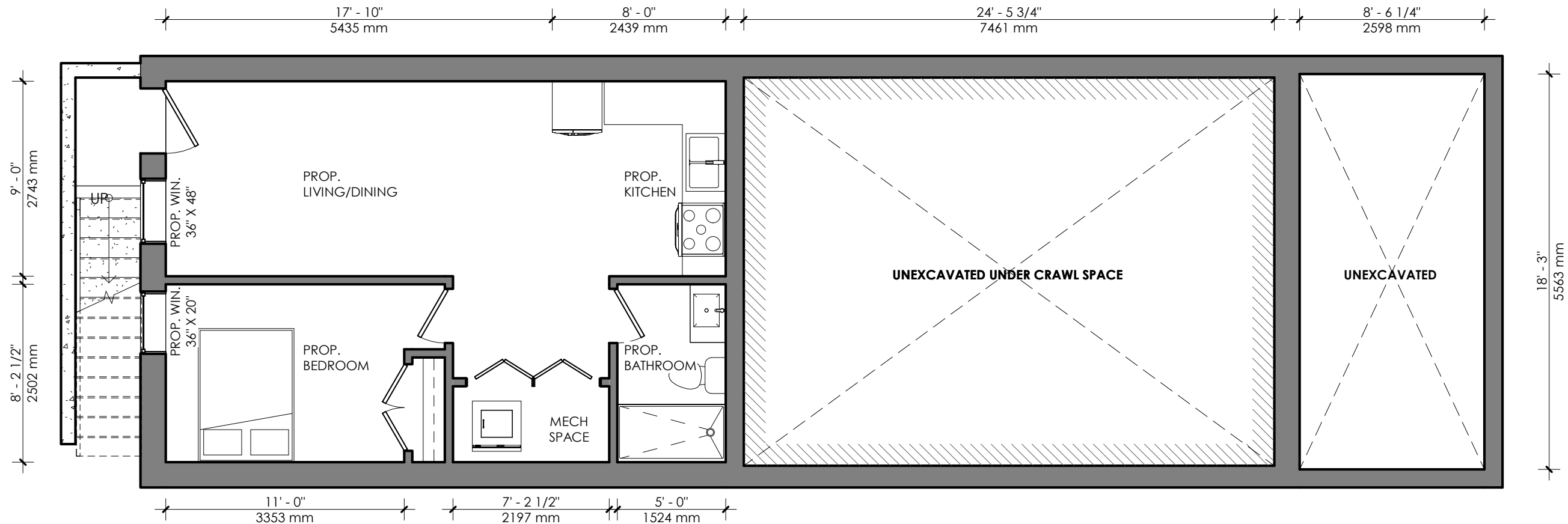
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Project Name	23-056
61 Norman Street	
Drawing Name	
Existing Roof Plan	
Project No.	23-056
Issue Date:	June 26 2023
Drawn:	CY
Checked:	HZ
Scale	3/16" = 1'-0"



PROPOSED BASEMENT PLAN

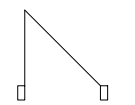
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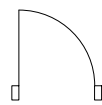
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Project Name

61 Norman Street

Drawing Name

Prop. Basement Plan

Project No.

23-056

Issue Date:

June 26 2023

Drawn:

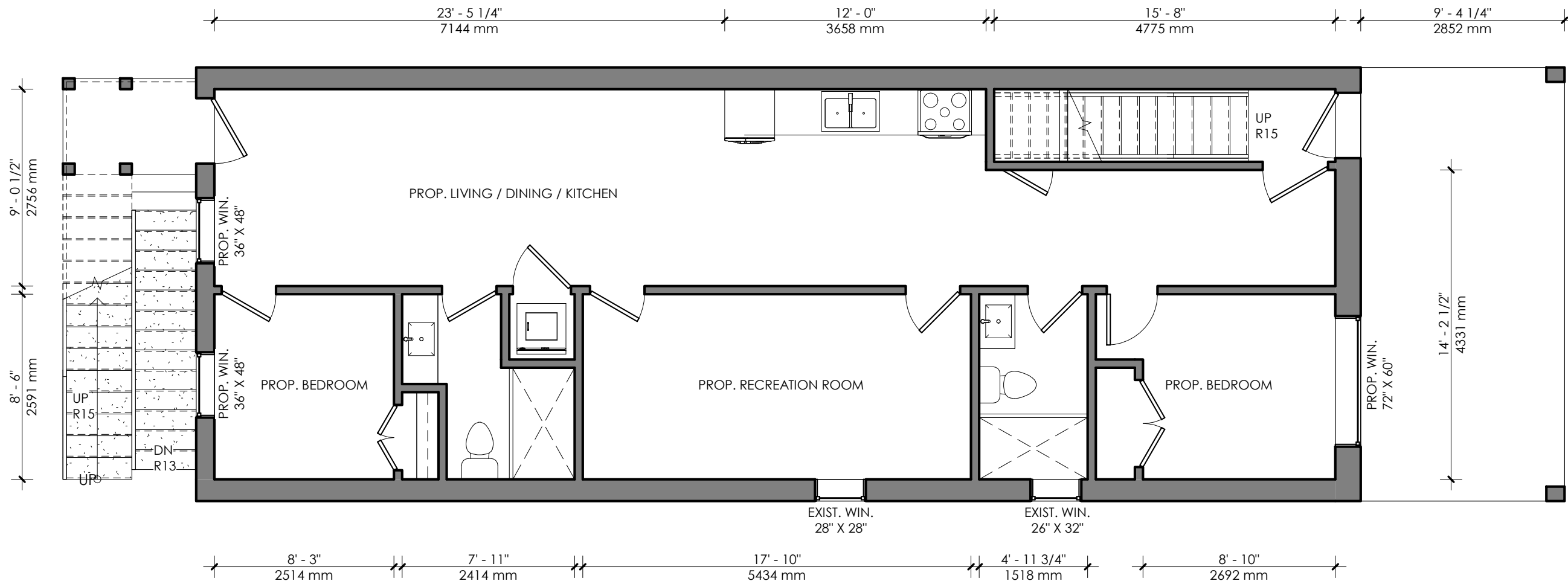
CY

Checked:

HZ

Scale

3/16" = 1'-0"



PROPOSED GROUND FLOOR

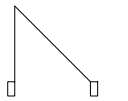
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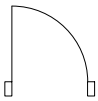
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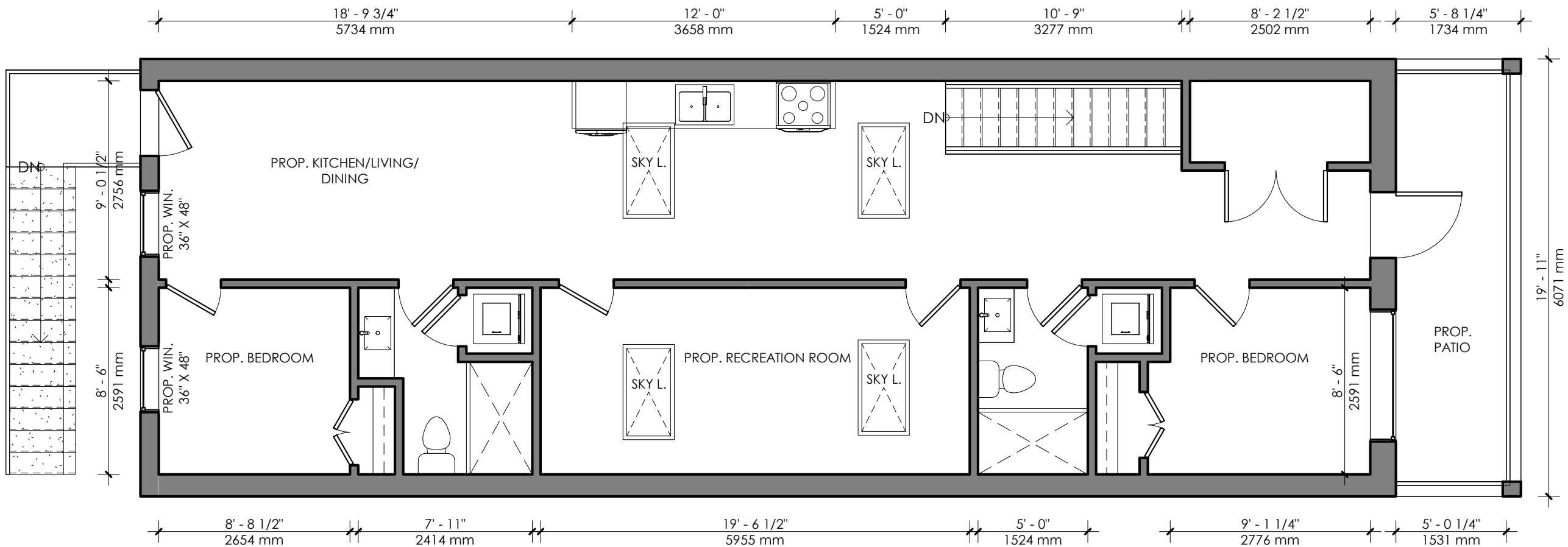
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Project Name	
61 Norman Street	
Drawing Name	
Prop. Ground Floor Plan	
Project No.	23-056
Issue Date:	June 26 2023
Drawn:	CY
Checked:	HZ
Scale	3/16" = 1'-0"



PROPOSED SECOND FLOOR

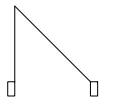
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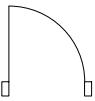
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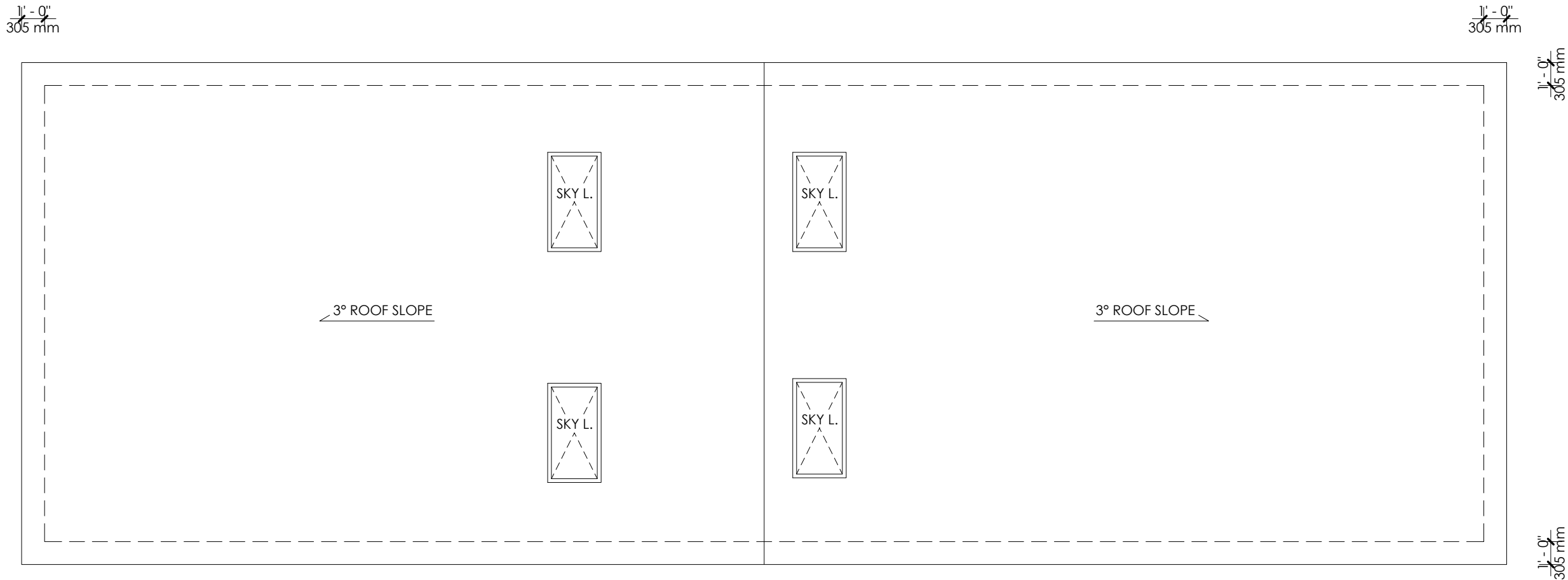
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Project Name	61 Norman Street
Drawing Name	Prop. Second Floor Plan
Project No.	23-056
Issue Date:	June 26 2023
Drawn:	CY
Checked:	HZ
Scale	3/16" = 1'-0"



PROPOSED ROOF PLAN

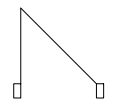
SCALE: 3/16" = 1'-0"



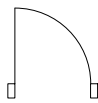
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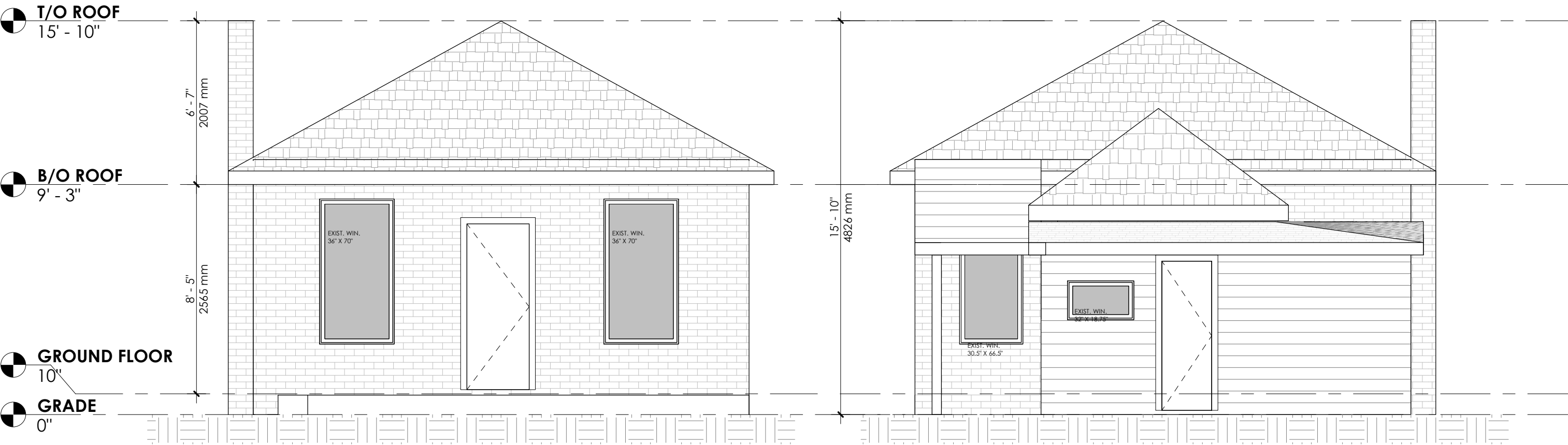
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Project Name
61 Norman Street
Drawing Name
Prop. Roof Plan

Project No. 23-056
Issue Date: June 26 2023
Drawn: HZ
Checked: HZ
Scale 3/16" = 1'-0"

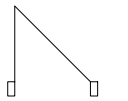
A1.6



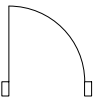
1 FRONT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

2 REAR ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

LEGEND



EXISTING DOOR



NEW DOOR



EXISTING WALL TO REMAIN



PROPOSED WALL

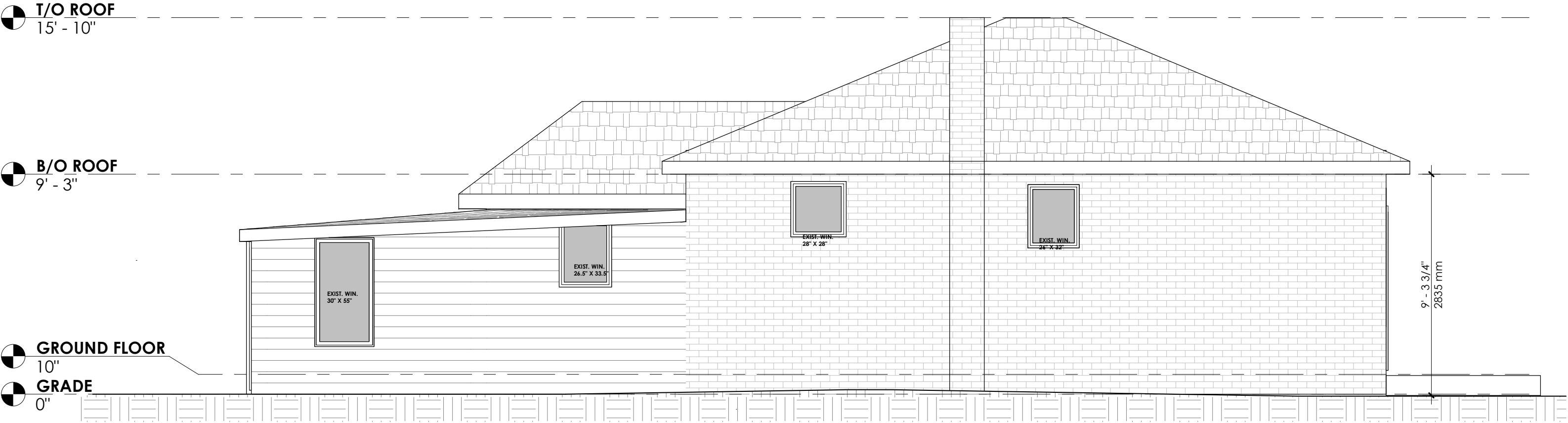
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Project Name	61 Norman Street
Drawing Name	Exist East & West Elevations
Project No.	23-056
Issue Date:	June 26 2023
Drawn:	HZ
Checked:	HZ
Scale	1/4" = 1'-0"



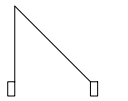
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



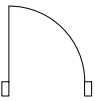
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PROPOSED WALL

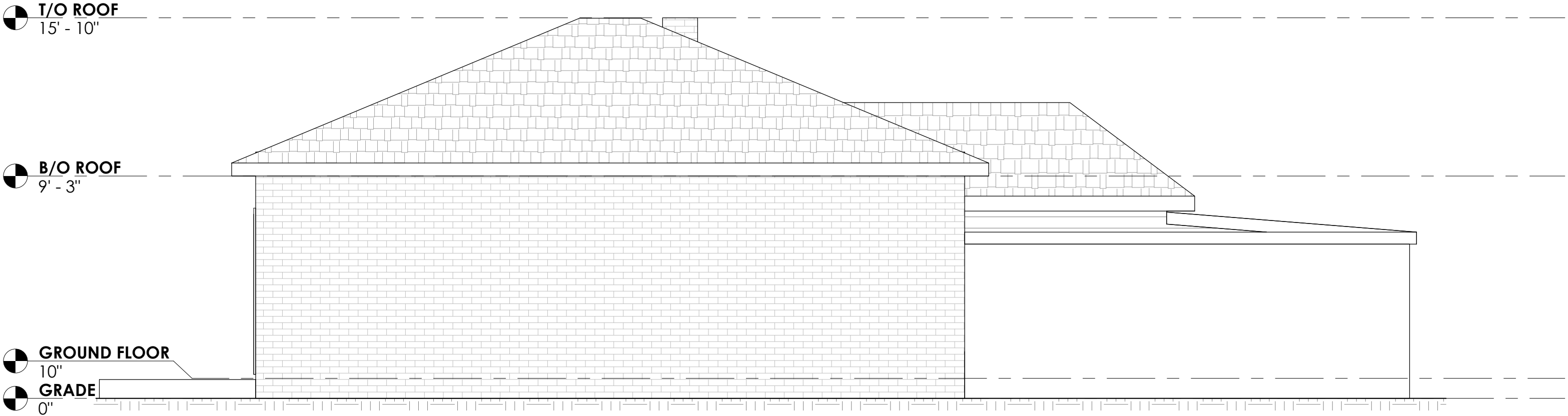
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Project Name	61 Norman Street
Drawing Name	Exist South Elevation
Project No.	23-056
Issue Date:	June 26 2023
Drawn:	CY
Checked:	HZ
Scale	1/4" = 1'-0"



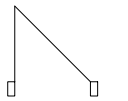
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



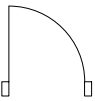
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ALL DRAWINGS, SPECIFICATIONS AND DETAILS REMAIN THE PROPERTY OF THE 7K DESIGN LTD. AND MUST BE RETURNED AT THE COMPLETION OF ALL WORK.


Project Name	61 Norman Street
Drawing Name	Exist North Elevation
Project No.	23-056
Issue Date:	June 26 2023
Drawn:	HZ
Checked:	HZ
Scale	1/4" = 1'-0"

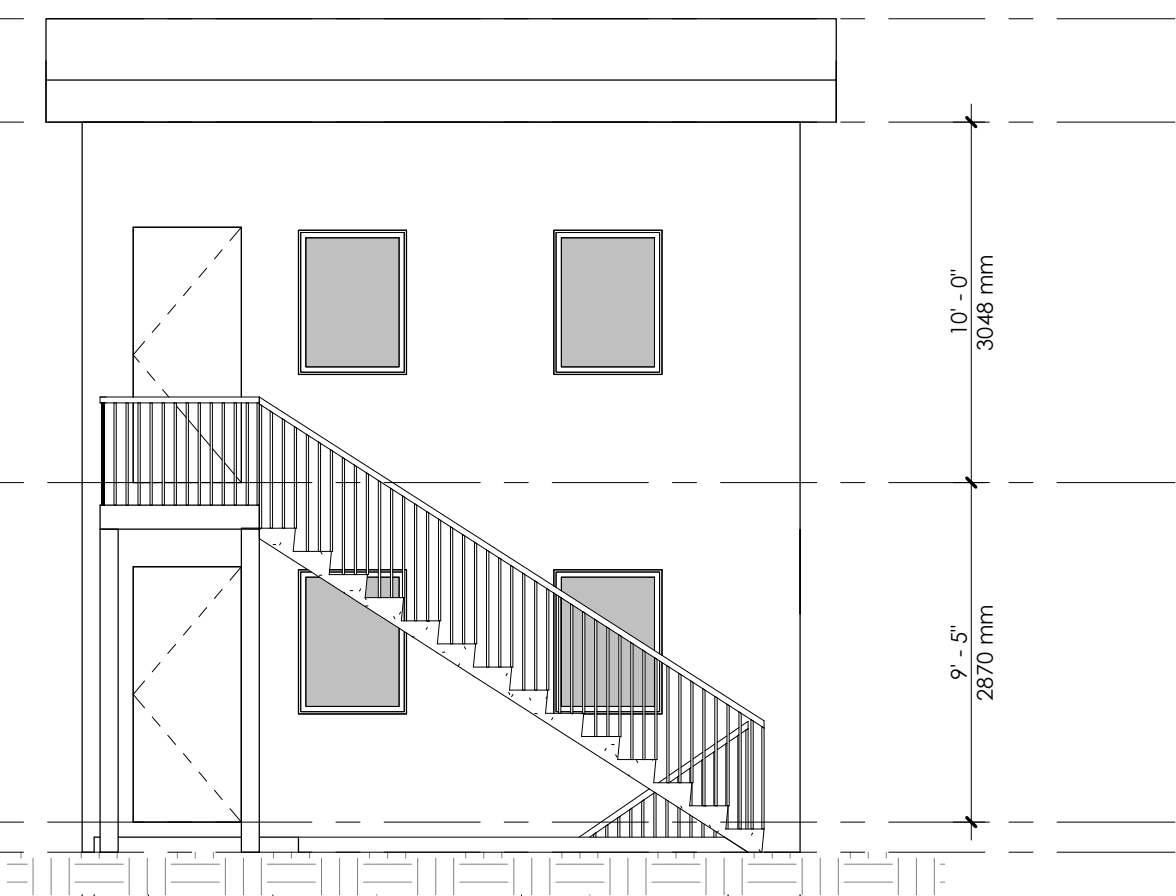
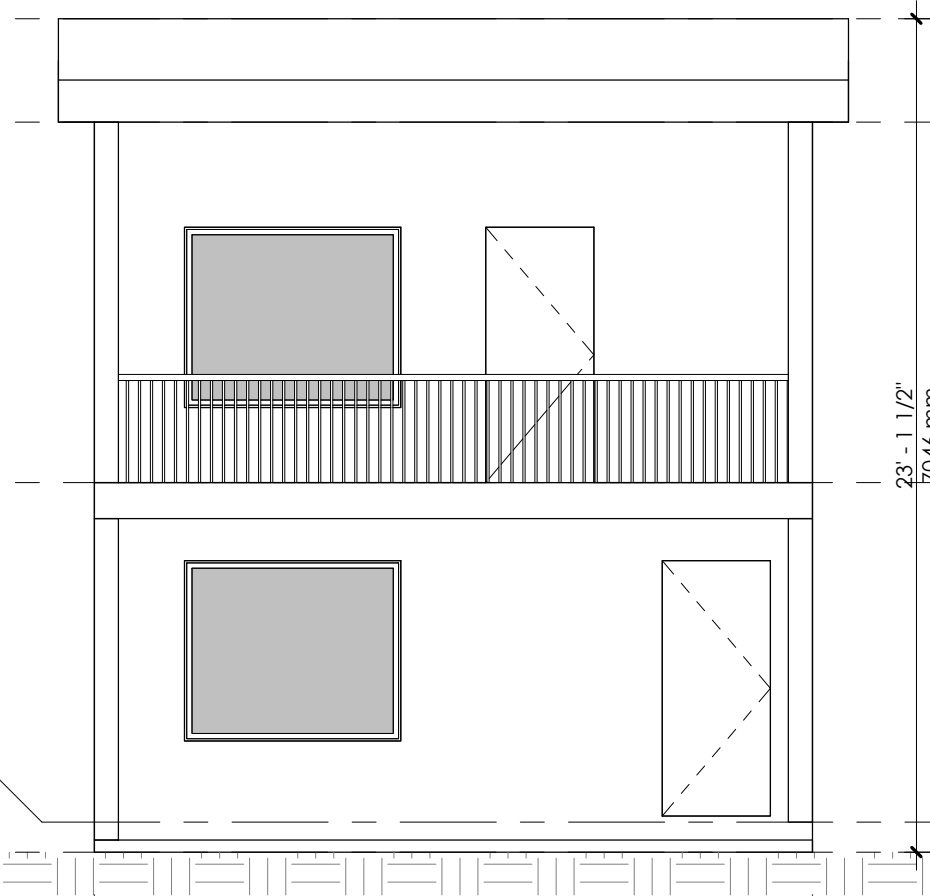
 **T/O ROOF PROP**
23' - 1 1/2"

 **B/O ROOF PROP**
20' - 3"

 **SECOND FLOOR**
10' - 3"

 **GROUND FLOOR**
10"

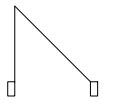
 **GRADE**
0"



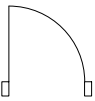
① PROP FRONT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

② PROP REAR ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

LEGEND



EXISTING DOOR



NEW DOOR



EXISTING WALL TO REMAIN



PROPOSED WALL

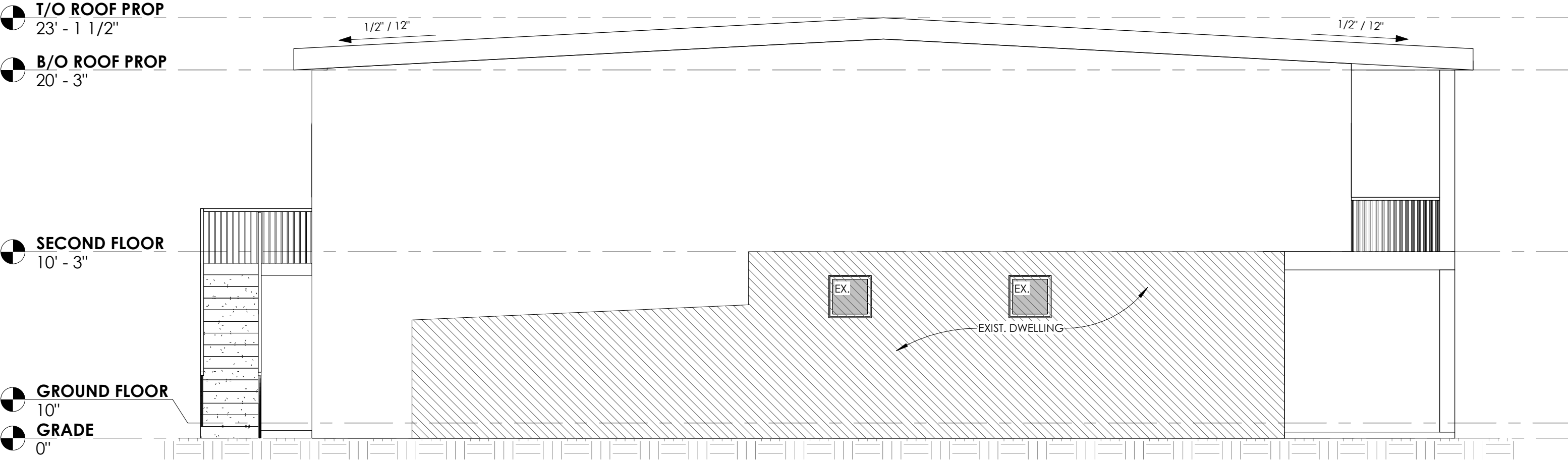
GENERAL NOTES:

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Project Name	61 Norman Street
Drawing Name	Prop East & West Elevation
Project No.	23-056
Issue Date:	June 26 2023
Drawn:	HZ
Checked:	HZ
Scale	3/16" = 1'-0"



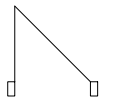
SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



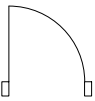
SEVEN K DESIGN
40 Vogell Road | Unit# 5
Richmond Hill ON Canada
Info@sevenkdesign.com
sevenkdesign.com
+ 1 647.969.3918

REVIEW ONLY
NOT FOR CONSTRUCTION

LEGEND



EXISTING DOOR



NEW DOOR



EXISTING WALL TO REMAIN



PROPOSED WALL

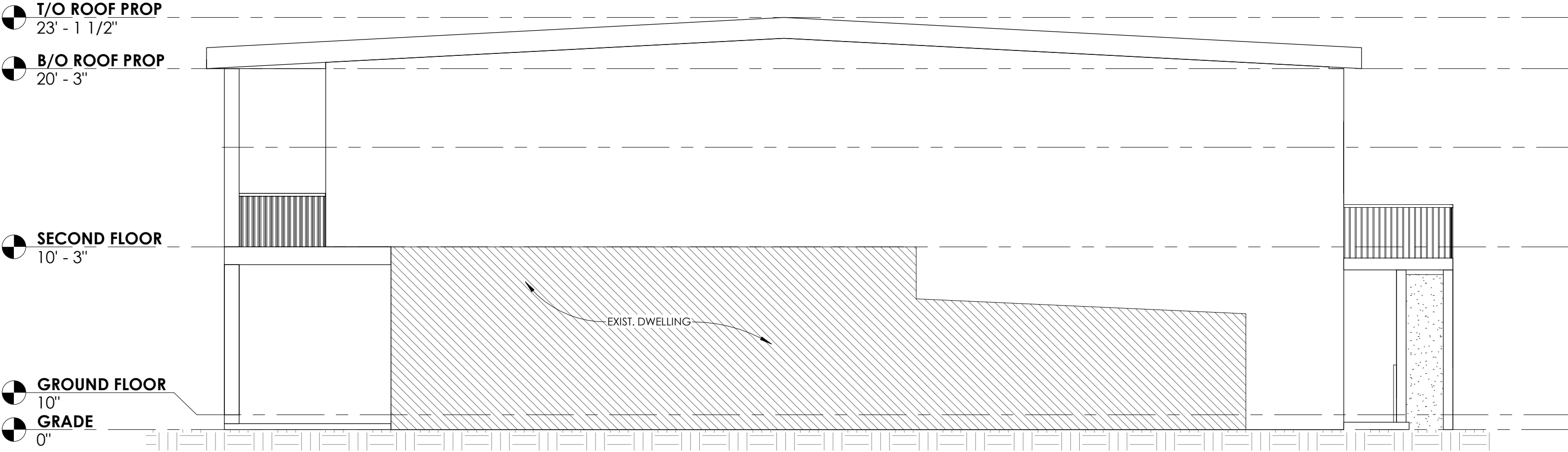
GENERAL NOTES:

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Project Name	23-056
61 Norman Street	
Drawing Name	
Prop South Elevation	
Project No.	23-056
Issue Date:	June 26 2023
Drawn:	HZ
Checked:	HZ
Scale	3/16" = 1'-0"



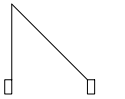
NORTH ELEVATION
SCALE: 3/16" = 1'-0"



SEVEN K DESIGN
40 Vogell Road | Unit# 5
Richmond Hill ON Canada
Info@sevenkdesign.com
sevenkdesign.com
+ 1 647.969.3918

REVIEW ONLY
NOT FOR CONSTRUCTION

LEGEND



EXISTING DOOR



NEW DOOR



EXISTING WALL TO REMAIN



PROPOSED WALL

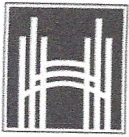
GENERAL NOTES:

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Project Name	61 Norman Street
Drawing Name	Prop North Elevation
Project No.	23-056
Issue Date:	June 26 2023
Drawn:	HZ
Checked:	HZ
Scale	3/16" = 1'-0"




Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	NOAM MELLER	
Applicant(s)	HAN ZHOU	
Agent or Solicitor		

1.2 All correspondence should be sent to ☐ Purchaser ☒ Owner
☒ Applicant ☐ Agent/Solicitor

1.3 Sign should be sent to ☐ Purchaser ☒ Owner
☒ Applicant ☐ Agent/Solicitor

1.4 Request for digital copy of sign ☒ Yes* ☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email ☒ Yes* ☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	61 NORMAN STREET		
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

TWO STOREY ADDITION TO INCORPORATE A TRIPLEX W/ REAR ADDITION
FRONT YARD SECOND FLOOR W/ BALCONY EXTENSION

☒ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

MATCHING ADJACENT PROPERTY DIMENSIONS
PROVIDE ADAQUATE LIVING SPACE FOR TRIPLEX UNITS

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
6.86m	27.43 m	188.13 sm	7.13 m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
1 1/2 STOREY BRICK DWELLING	2.82 M	8.07 M	0.27M & 0.57 M	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
2 STOREY DWELLING	1.95 M	6.55 M	0.27M & 0.57 M	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
BRICK DWELLING	79.93 sm	79.93 sm	1 1/2 STOREY	4.83 m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
BRICK DWELLING	98.95	204.69 sm	2 STOREY	7.05 m

4.4 Type of water supply: (check appropriate box)

- ☒ publicly owned and operated piped water system
☐ privately owned and operated individual well

- ☐ lake or other water body
☐ other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- ☒ publicly owned and operated storm sewers
☐ swales

- ☐ ditches
☐ other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage
☐ system privately owned and operated individual
☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☐ municipal road, seasonally maintained
☒ municipal road, maintained all year
- ☐ right of way
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
DETACHED TRIPLEX DWELLING

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
DETACHED DWELLINGS

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
2022/10/05

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
SINGLE DETACHED DWELLING

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
SINGLE DETACHED DWELLING

7.4 Length of time the existing uses of the subject property have continued:
N/A

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) **Neighbourhoods**

Please provide an explanation of how the application conforms with the Official Plan.

A range of housing types, including affordable housing and housing with supports, shall be encouraged

7.6 What is the existing zoning of the subject land? **R1a**

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

☐ Yes ☒ No

If yes, please provide the file number: **R1a**

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☐ Yes

☒ No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 3

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
 - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
 - ☐ Hydrogeological Assessment
 - ☐ Septic Assessment
 - ☐ Archeological Assessment
 - ☐ Noise Study
 - ☐ Parking Study
-
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