



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	FL/A-23:351	SUBJECT PROPERTY:	2 TAYLOR CRESCENT, FLAMBOROUGH
ZONE:	"S1" (Settlement Residential)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: CLIFFORD SOUSA AND ALYSSA MARZILIANO
Agent: JS BARMİ ARCHİTECT (C/O JAGDİP BARMİ)

The following variances are requested:

1. Accessory buildings shall be permitted to be located within the flankage yard instead of the requirements that accessory buildings shall not be permitted within a front or flankage yard.
2. All accessory buildings shall be permitted to have a maximum height of 5.94 metres instead of the requirement that all accessory buildings shall have a maximum height of 4.5 metres.
3. The aggregate gross floor area of all accessory buildings shall be permitted to be 149.0 square metres or 7.5% total lot coverage, instead of the requirement that the aggregate Gross Floor Area of all accessory buildings shall not exceed 45.0m² or 7.5% total lot coverage, whichever is the lesser.
4. All buildings, structures, required parking areas and storm water management facilities located on a property shall be permitted to be setback a minimum of 10.65 metres from a Provincial Highway Right-of-Way. Instead of the required minimum 14 metre setback.

PURPOSE & EFFECT: To facilitate the construction of a new building (garage) accessory to an existing single detached dwelling.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, April 9, 2024
TIME:	2:00 p.m.
PLACE:	City Hall Council Chambers (71 Main St. W., Hamilton)

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Written comments must be received no later than noon, April 5, 2024 .

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Orally: If you would like to speak to this item at the hearing you may do so by attending in person. Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing, as noted above.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding FL/A-23:351, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: March 21, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF SURVEY SHOWING TOPOGRAPHY OF
LOT 39
REGISTERED PLAN 1014
IN THE
CITY OF HAMILTON

SCALE 1 : 200
 THE INTENDED PLOT SIZE OF THIS PLAN IS 790mm IN WIDTH BY 540mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200 (INCLUDING 15mm BEYOND EACH BORDER)
 MacKAY, MacKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS
 © 2023

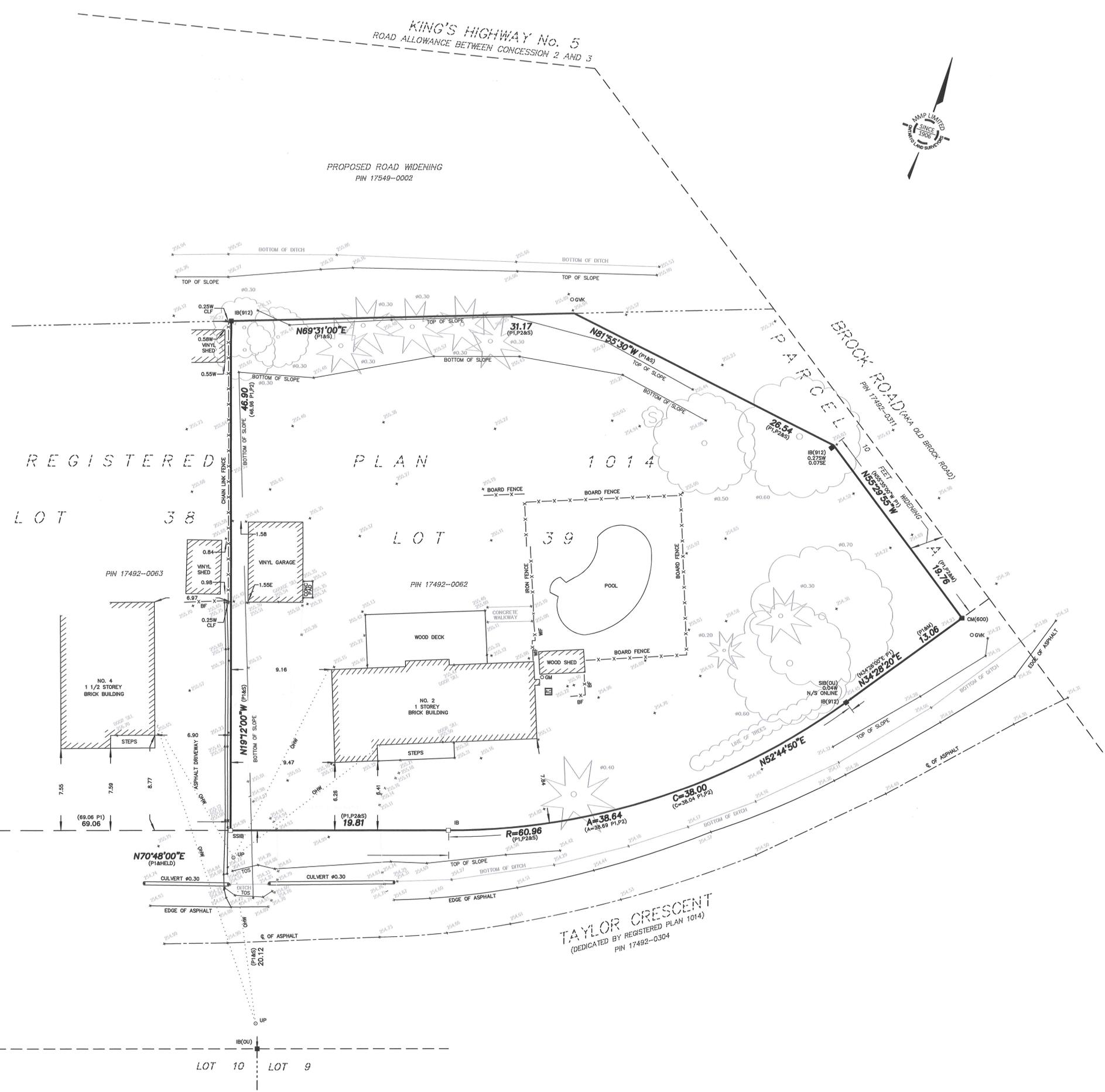
KNOWN AS MUNICIPAL No. 2 TAYLOR CRESCENT
PART 2 - REPORT SUMMARY (TO BE READ IN CONJUNCTION WITH PART 1)
 LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING BOUNDARIES, EASEMENTS AND RIGHT OF WAYS - NOVEMBER 9, 2022
 REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
 - NONE
 ADDITIONAL REMARKS:
 - REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES & UTILITIES

Metric DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 V-45746



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1028, SECTION 28(3)



- LEGEND**
- DENOTES A SURVEY MONUMENT FOUND
 - DENOTES A SURVEY MONUMENT PLANTED
 - SIB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - CM DENOTES CONCRETE MONUMENT
 - P1 DENOTES REGISTERED PLAN 1014
 - P2 DENOTES PLAN BY A.J. CLARKE DATED NOVEMBER 1, 1967
 - PIN DENOTES PROPERTY IDENTIFICATION NUMBER
 - (OU) DENOTES ORIGIN UNKNOWN
 - BF DENOTES BOARD FENCE
 - CLF DENOTES CHAIN LINK FENCE
 - WIF DENOTES WROUGHT IRON FENCE
 - GM DENOTES GAS METER
 - CONC DENOTES CONCRETE
 - TOS DENOTES TOP OF SLOPE
 - GVK DENOTES GAS VALVE KEY
 - UP DENOTES UTILITY POLE
 - OHW DENOTES OVERHEAD WIRE
 - ⊙ DENOTES CENTRELINE
 - ⊕ DENOTES AIR CONDITIONER
 - DENOTES DECIDUOUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES
 - ⊛ DENOTES CONIFEROUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES
 - ⊙ DENOTES STUMP

ALL BUILDING TIES ARE TO FOUNDATION AND ARE PERPENDICULAR TO PROPERTY LINES UNLESS OTHERWISE NOTED

BENCHMARK NOTE
 CITY OF HAMILTON BENCHMARK No. 0011975U051
 ELEVATION = 251.193 METRES (CGVD28:78 ADJUSTMENT)
 BROCK ROAD STEEL CULVERT, 0.5 KM SOUTHEAST OF INTERSECTION WITH HIGHWAY No. 5
 1.4 METRES SOUTH OF SIDEWALK TO MAIN ENTRANCE OF SPENCER VALLEY SCHOOL
 TABLET IN TOP OF WEST CONCRETE HEADWALL 0.30 METRES FROM SOUTH EDGE OF WALL 1 METRE BELOW ROAD LEVEL

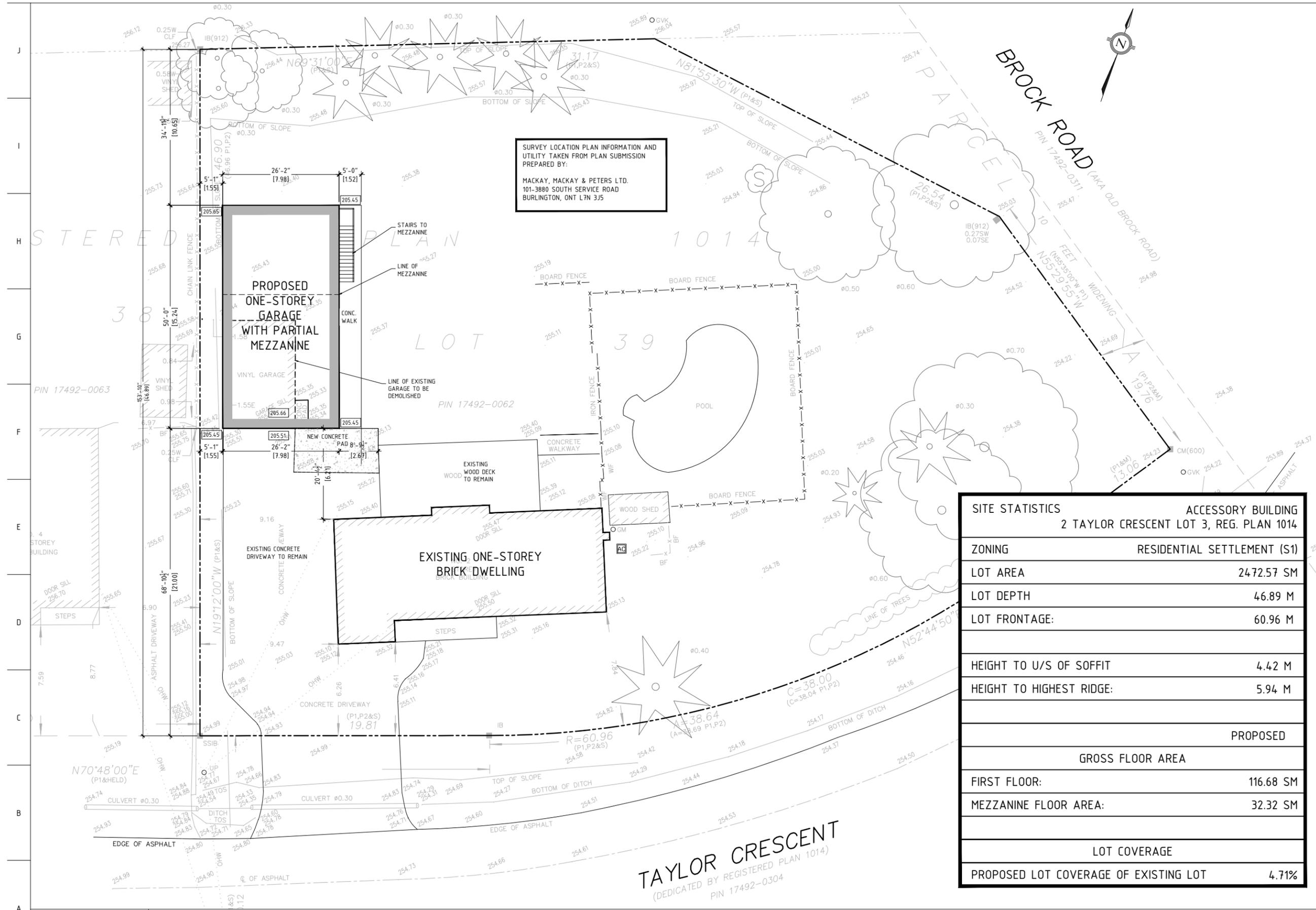
BEARING REFERENCE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF TAYLOR CRESCENT AS SHOWN ON REGISTERED PLAN 1014, HAVING A BEARING OF N70°48'00"E

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 24th DAY OF FEBRUARY, 2023.

FEBRUARY 24, 2023
 DATE

F.K. RAD
 ONTARIO LAND SURVEYOR
 FOR MACKAY, MACKAY & PETERS LIMITED

 MacKay, MacKay & Peters Limited LAND SURVEYORS & MAPPERS SINCE 1906	3380 South Service Road Unit 101 Burlington, ON L7N 3J5 (905) 639-1375 halton@mmpplimited.com mmpplimited.com	DRAWN BY: SP PARTY CHIEF: N.C. CHECKED BY: FK PROJECT No.: 22-321
	EV:\02\Hamilton-Wentworth\Registered Plans\RP1014\LOT 39\22-321\22-321.dwg	
	3380 South Service Road Unit 101 Burlington, ON L7N 3J5 (905) 639-1375 halton@mmpplimited.com mmpplimited.com	
	DRAWN BY: SP PARTY CHIEF: N.C. CHECKED BY: FK PROJECT No.: 22-321	



SURVEY LOCATION PLAN INFORMATION AND UTILITY TAKEN FROM PLAN SUBMISSION PREPARED BY:
MACKAY, MACKAY & PETERS LTD.
 101-3880 SOUTH SERVICE ROAD
 BURLINGTON, ONT L7N 3J5

SITE STATISTICS		ACCESSORY BUILDING	
		2 TAYLOR CRESCENT LOT 3, REG. PLAN 1014	
ZONING		RESIDENTIAL SETTLEMENT (S1)	
LOT AREA		2472.57 SM	
LOT DEPTH		46.89 M	
LOT FRONTAGE:		60.96 M	
HEIGHT TO U/S OF SOFFIT		4.42 M	
HEIGHT TO HIGHEST RIDGE:		5.94 M	
		PROPOSED	
		GROSS FLOOR AREA	
FIRST FLOOR:		116.68 SM	
MEZZANINE FLOOR AREA:		32.32 SM	
		LOT COVERAGE	
PROPOSED LOT COVERAGE OF EXISTING LOT		4.71%	

GENERAL NOTES/MATERIAL KEYING

DRAWINGS MUST NOT BE SCALED AND TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C.

ALL DRAWINGS AND INFORMATION ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION AND FABRICATION. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON ARCHITECTURAL DRAWINGS, THE ARCHITECT/OR THE ENGINEER MUST BE NOTIFIED.

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04
03
02
01 17 APR 23 CLIENT REVIEW
NO. DATE REASON FOR ISSUE
DRAWN BY: DSM CHECKED BY: JSB



PROJECT TITLE
 ACCESSORY BUILDING
 2 TAYLOR CRESCENT
 HAMILTON, ON L9H 6B3
 PROJECT: 2306-01

JS BARM I ARCHITECT

A001
 SITE PLAN

2586A YONGE STREET
 TORONTO, ON M4P 2J3 CANADA
 T: +1.416.745.0765
 E: INFO@LIVINGBOX.CA
 I: WWW.LIVINGBOX.CA

TAYLOR CRESCENT
 (DEDICATED BY REGISTERED PLAN 1014)
 PIN 17492-0304

A 1 EXISTING SITE PLAN

1250

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1	19 APR 23	ZONING REVIEW
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PROJECT TITLE

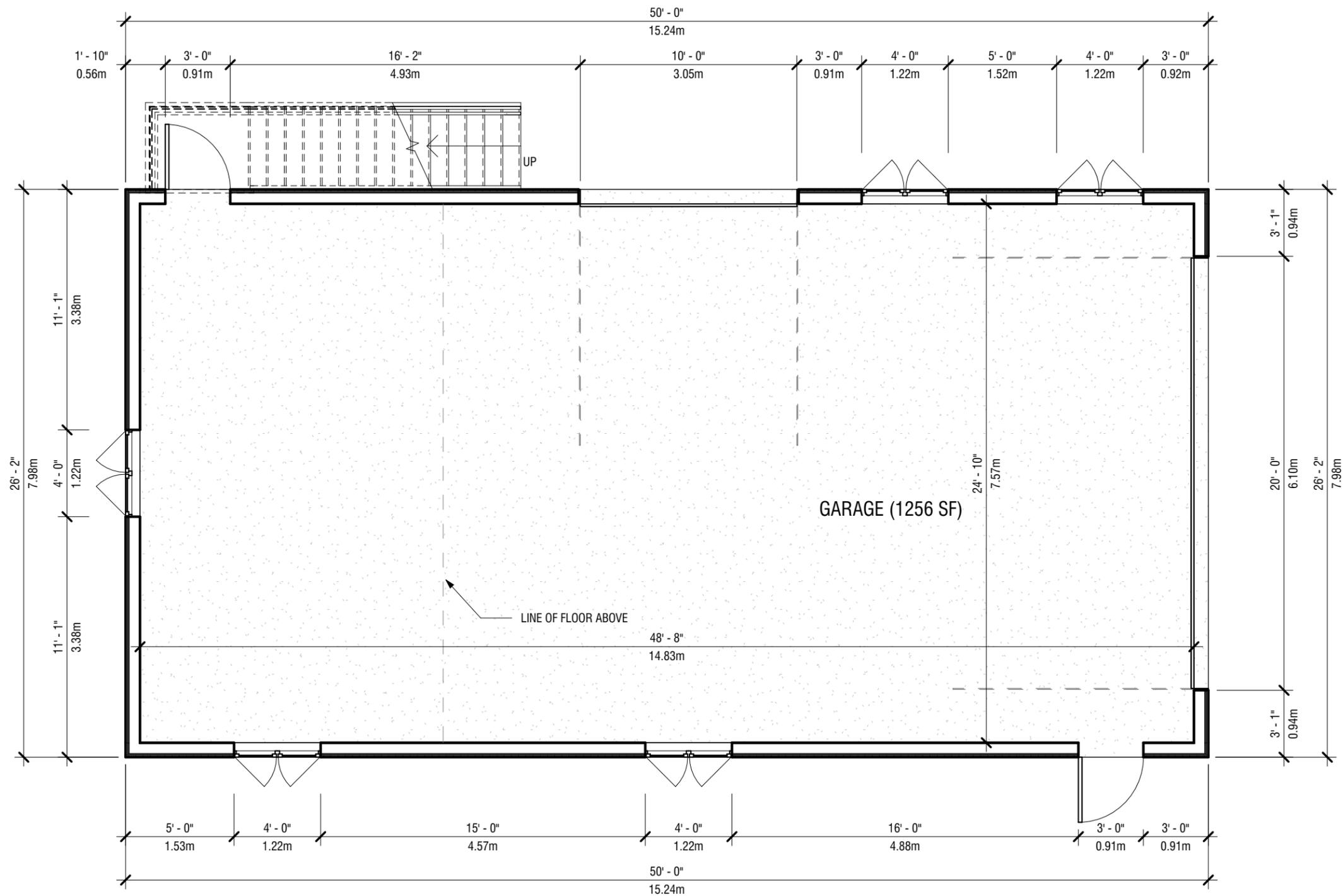
ACCESSORY BUILDING
2 TAYLOR CRESCENT, HAMILTON, ON L9H 6B3
JSBA PROJECT: 2306-01

JS BARMİ ARCHITECT

A101

FIRST FLOOR PLAN

2586A YONGE STREET
TORONTO, ONTARIO M4P 2J3
T: 1.416.745.0765
E: INFO@LIVINGBOX.CA
I: WWW.LIVINGBOX.CA



1 **FIRST FLOOR PLAN**
3/16" = 1'-0"

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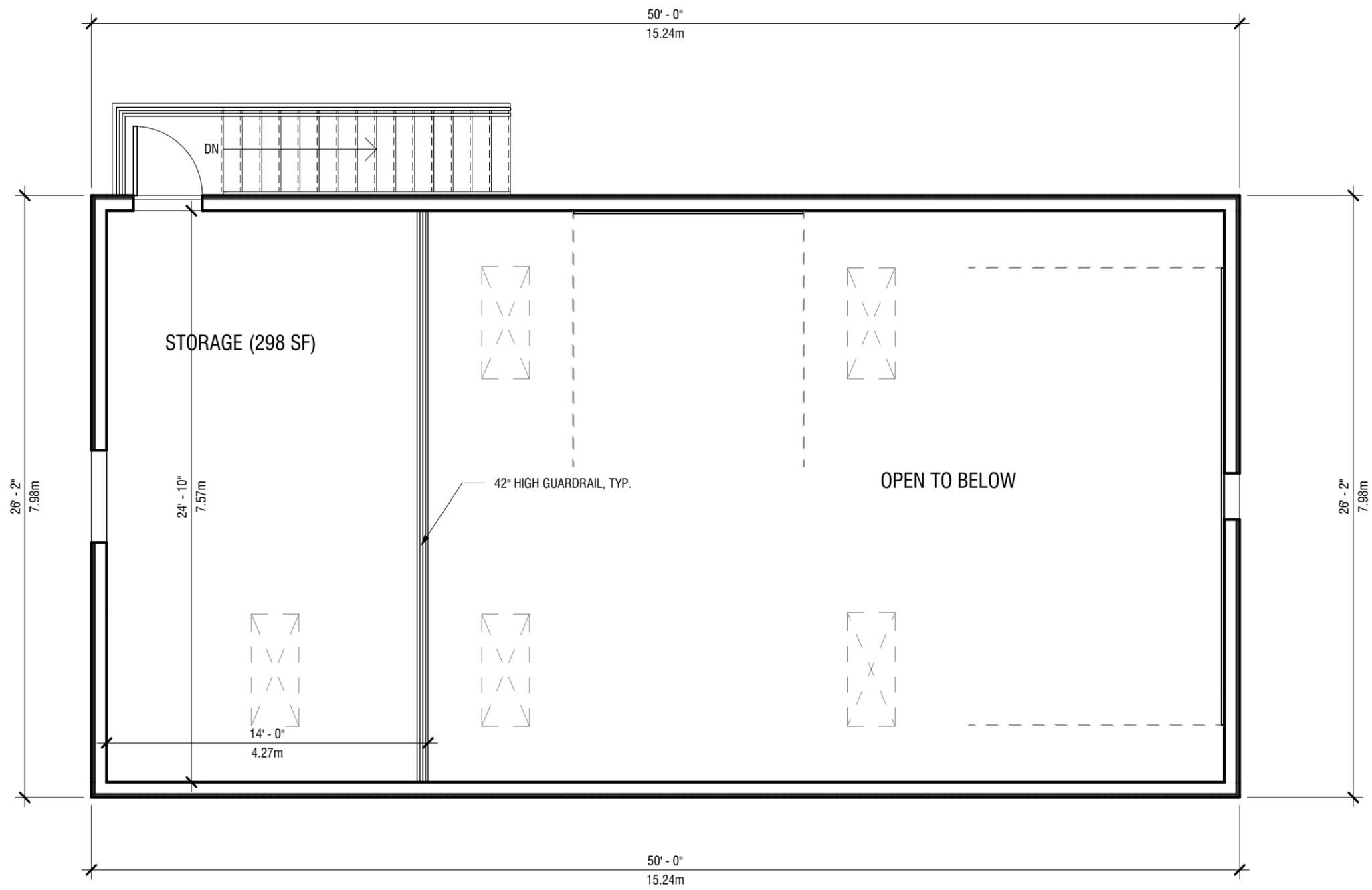
ACCESSORY BUILDING
2 TAYLOR CRESCENT, HAMILTON, ON L9H 6B3
JSBA PROJECT: 2306-01

JS BARMİ ARCHİTECT

A102

MEZZANINE PLAN

2586A YONGE STREET
TORONTO, ONTARIO M4P 2J3
T: 1.416.745.0765
E: INFO@LIVINGBOX.CA
I: WWW.LIVINGBOX.CA



1 MEZZANINE PLAN
3/16" = 1'-0"

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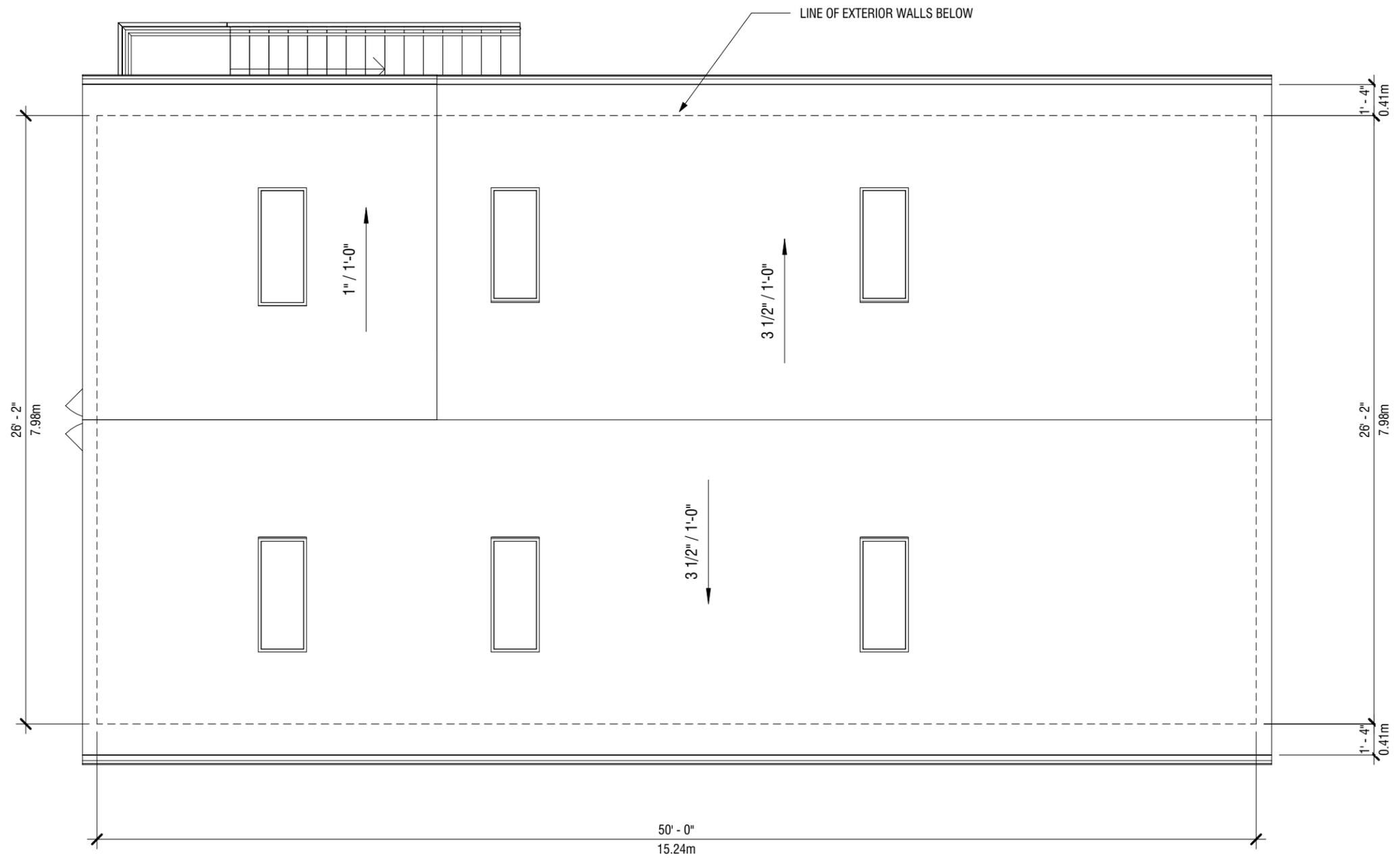
ACCESSORY BUILDING
2 TAYLOR CRESCENT, HAMILTON, ON L9H 6B3
JSBA PROJECT: 2306-01

JS BARMİ ARCHİTECT

A103

ROOF PLAN

2586A YONGE STREET
TORONTO, ONTARIO M4P 2J3
T: 1.416.745.0765
E: INFO@LIVINGBOX.CA
I: WWW.LIVINGBOX.CA



1 ROOF PLAN
3/16" = 1'-0"

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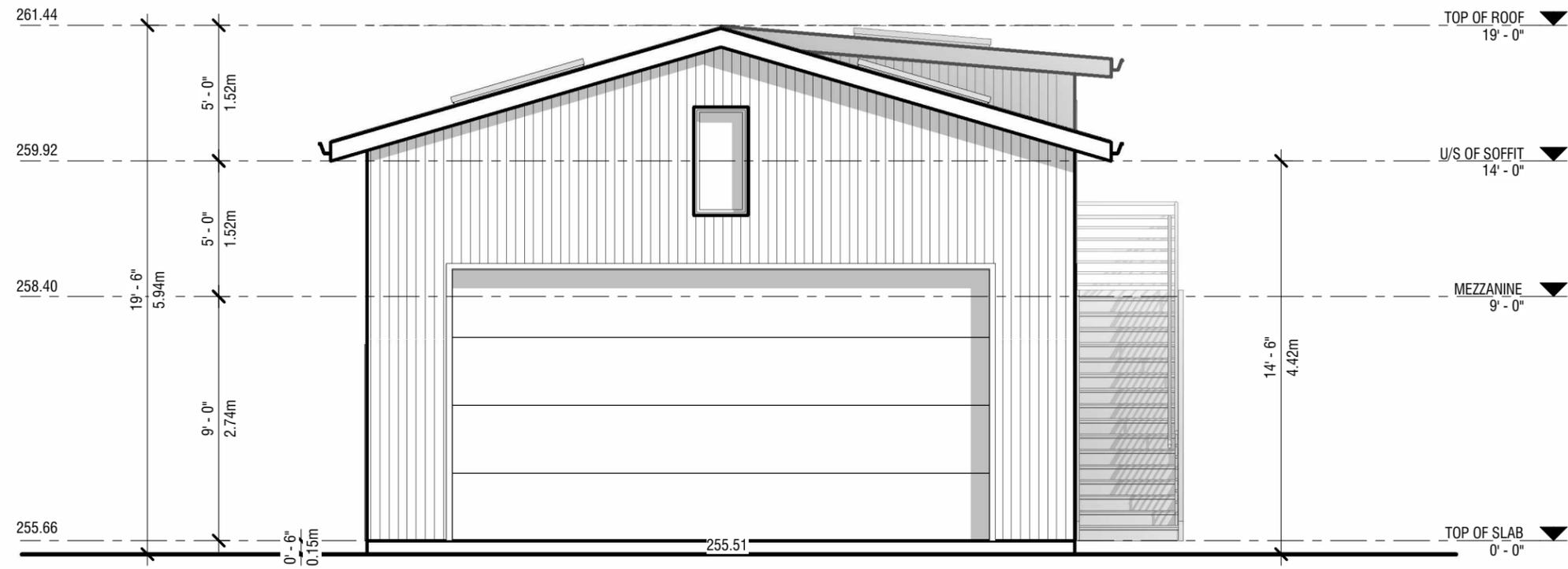
ACCESSORY BUILDING
2 TAYLOR CRESCENT, HAMILTON, ON L9H 6B3
JSBA PROJECT: 2306-01

JS BARMİ ARCHİTECT

A200

FRONT ELEVATION

2586A YONGE STREET
TORONTO, ONTARIO M4P 2J3
T: 1.416.745.0765
E: INFO@LIVINGBOX.CA
I: WWW.LIVINGBOX.CA



1 FRONT ELEVATION
3/16" = 1'-0"

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DRAWN BY: Author CHECKED BY: Checker

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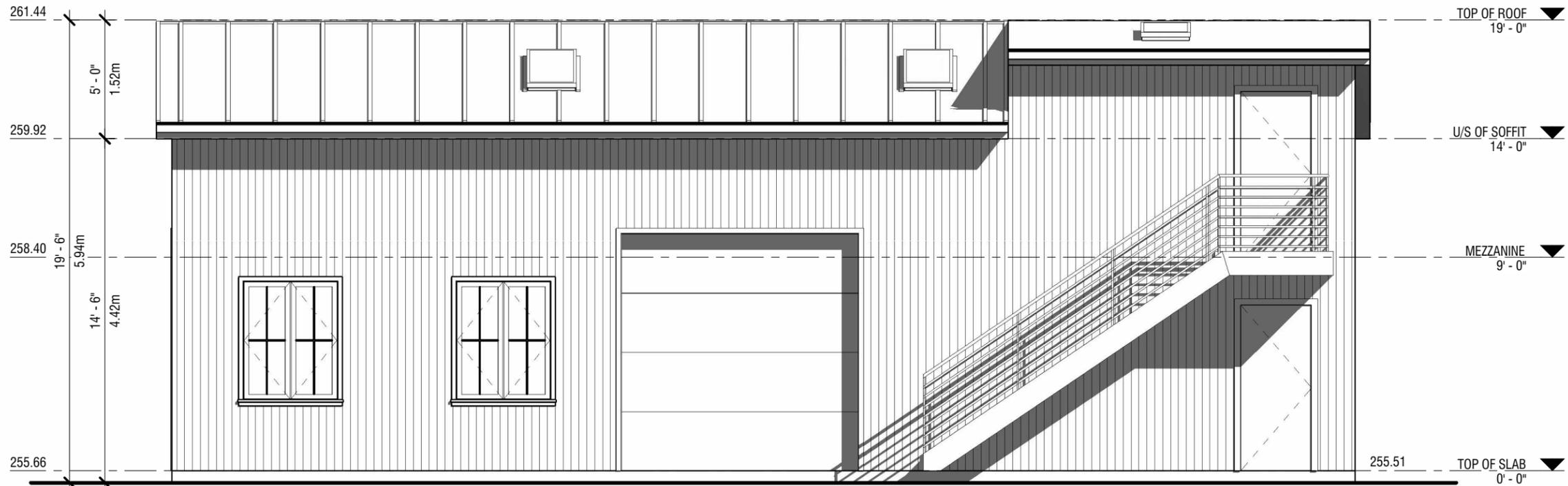
PROJECT TITLE
 ACCESSORY BUILDING
 2 TAYLOR CRESCENT, HAMILTON, ON L9H 6B3
 JSBA PROJECT: 2306-01

JS BARMİ ARCHITECT

A201

EAST ELEVATION

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 TORONTO, ONTARIO M4P 2J3
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 E: INFO@LIVINGBOX.CA
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1 EAST ELEVATION
 3/16" = 1'-0"

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GENERAL NOTES/ MATERIAL KEYING

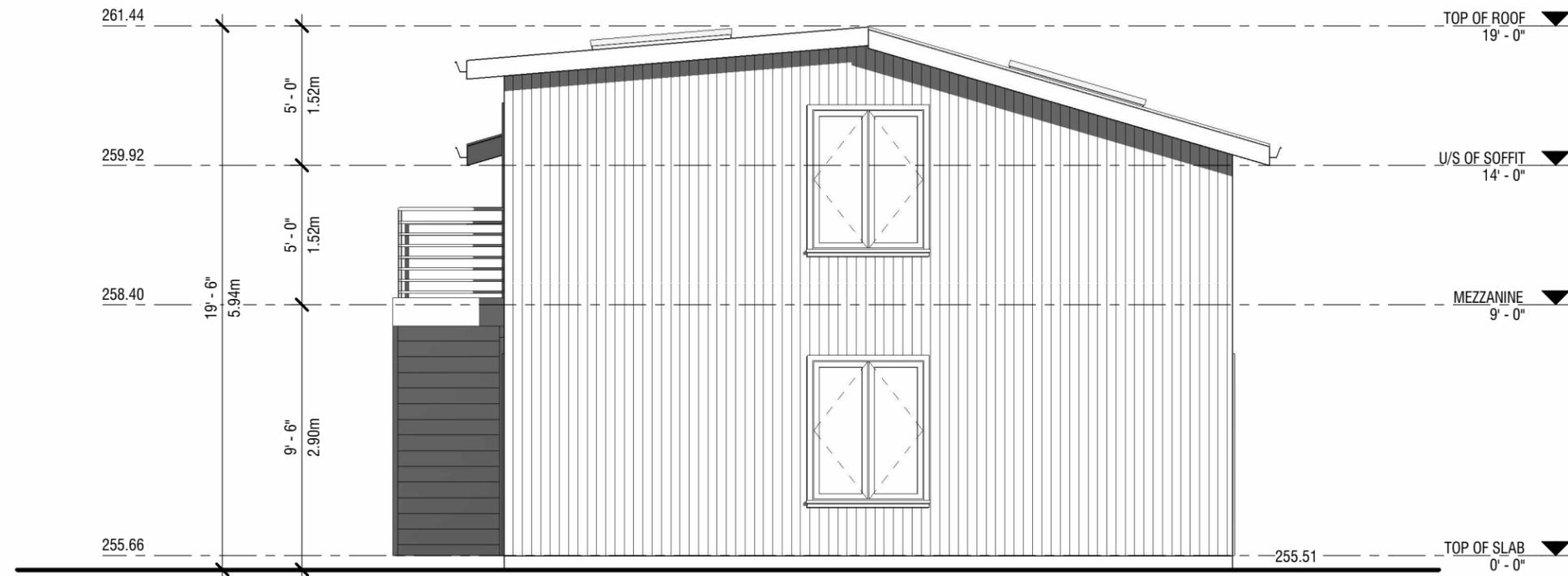
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1 REAR ELEVATION
3/16" = 1'-0"

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DRAWN BY: DSM CHECKED BY: JSB

STAMP



PROJECT TITLE

ACCESSORY BUILDING
2 TAYLOR CRESCENT, HAMILTON, ON L9H 6B3
JSBA PROJECT: 2306-01

JS BARMİ ARCHİTECT

A202

REAR ELEVATION

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STAMP



PROJECT TITLE

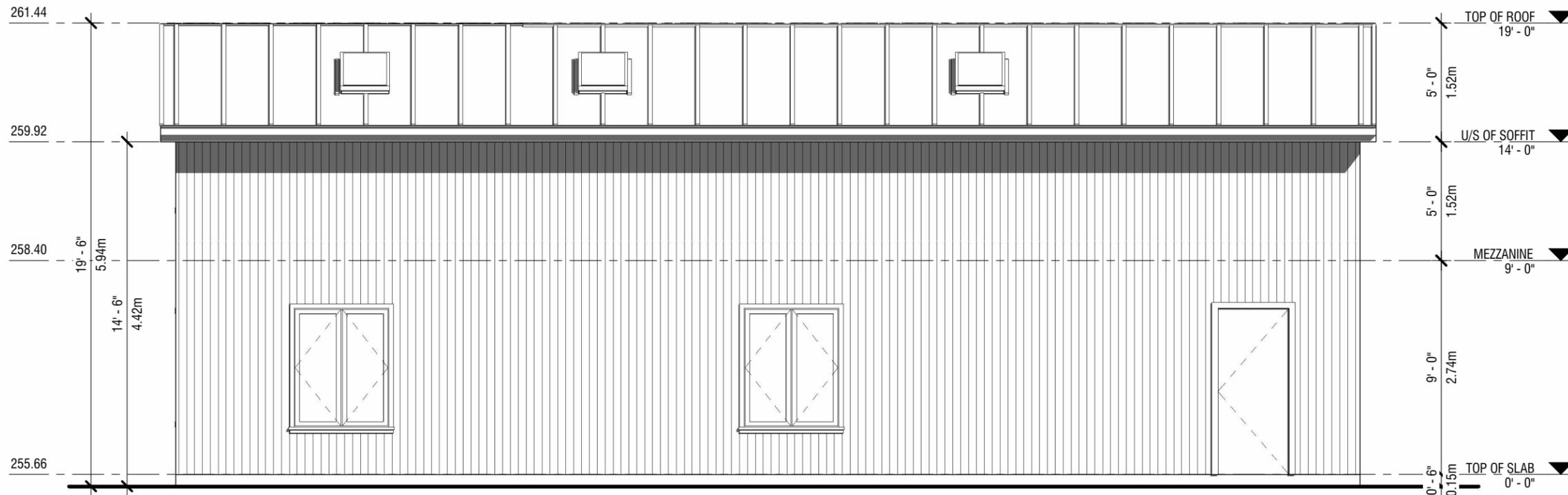
ACCESSORY BUILDING
2 TAYLOR CRESCENT, HAMILTON, ON L9H 6B3
JSBA PROJECT: 2306-01

JS BARMİ ARCHITECT

A203

WEST ELEVATION

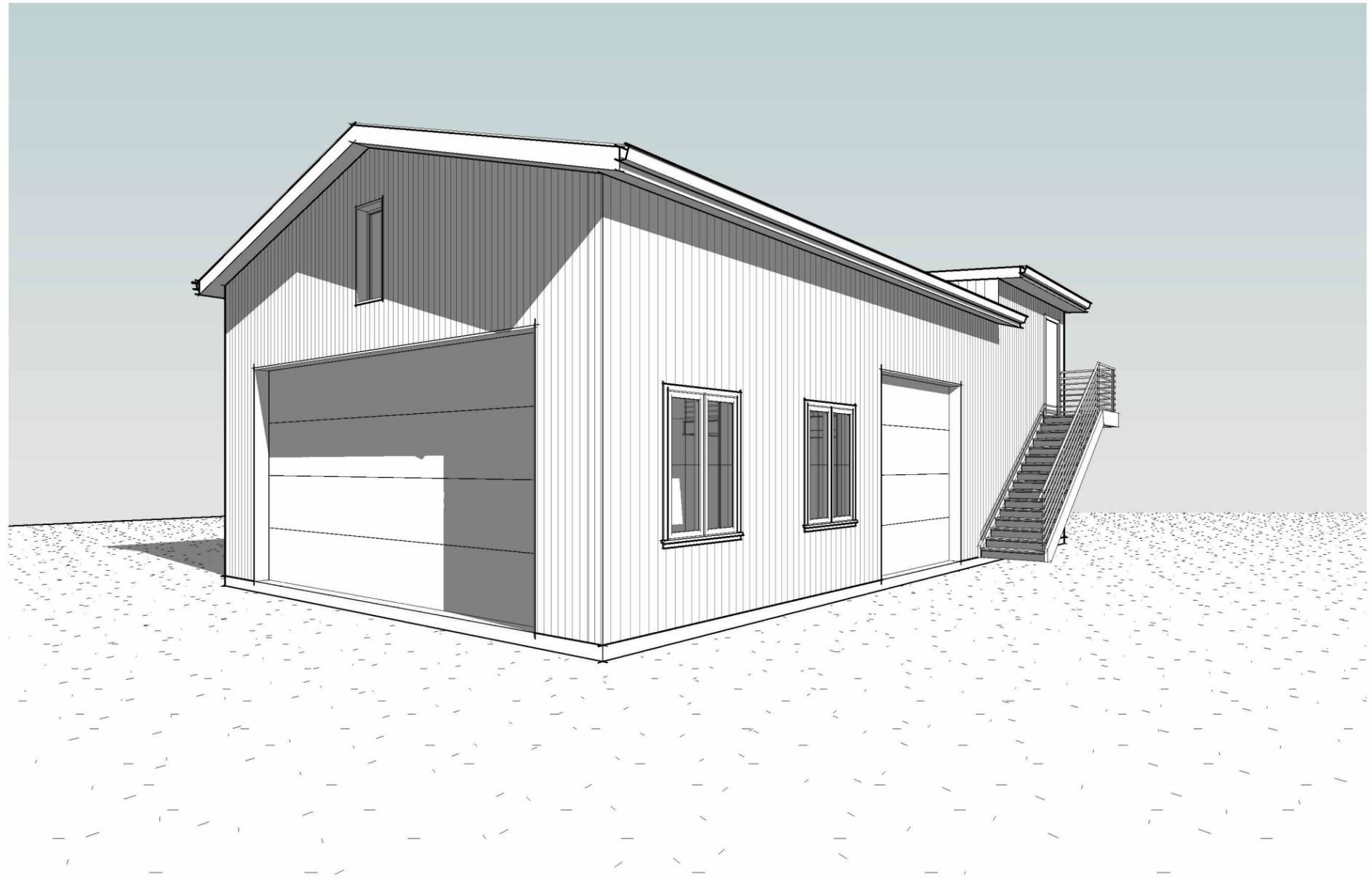
2586A YONGE STREET
TORONTO, ONTARIO M4P 2J3
T: 1.416.745.0765
E: INFO@LIVINGBOX.CA
I: WWW.LIVINGBOX.CA



1 WEST ELEVATION
3/16" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11

J
I
H
G
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E
D
C
B
A



1 SCHEMATIC VIEW

GENERAL NOTES/ MATERIAL KEYING

DRAWINGS MUST NOT BE SCALED AND TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND O.B.C.

ALL DRAWINGS AND INFORMATION ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION AND FABRICATION. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON ARCHITECTURAL DRAWINGS, THE ARCHITECT/OR THE ENGINEER MUST BE NOTIFIED.

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ALL DIMENSIONS ARE GIVEN IN IMPERIAL UNITS UNLESS OTHERWISE INDICATED.

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No.	DATE	REASON FOR ISSUE
1	19 APR 23	ZONING REVIEW

DRAWN BY: DSM CHECKED BY: JSB

STAMP



PROJECT TITLE
 ACCESSORY BUILDING
 2 TAYLOR CRESCENT, HAMILTON, ON L9H 6B3
 JSBA PROJECT: 2306-01

JS BARMİ ARCHİTECT

A300
 SCHEMATIC VIEW

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 TORONTO, ONTARIO M4P 2J3
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Hamilton

MAY 15, 2023

FILE: ALR
 FOLDER: 23-116979-00 ALR
 ATTENTION OF: Matthew Stavroff
 TELEPHONE NO: (905) 546-2424
 EXTENSION: 5716

JAGDIP S. BARMİ
 2586A YONGE STREET
 TORONTO, ONTARIO
 M4P 2J3

Attention:

RE: APPLICABLE LAW REVIEW – ZONING BYLAW COMPLIANCE REVIEW
PRESENT ZONING: S1
ADDRESS: 2 TAYLOR CRESCENT, FLAMBOROUGH

An Applicable Law Review respecting zoning bylaw compliance has been completed and the following comments are provided.

COMMENTS:

1. The applicant is proposing to replace an existing accessory building with a new 7.98m x 15.24m accessory building with a 32.32 square metre mezzanine level above.
2. This property is currently zoned 'S1' of Hamilton Zoning By-law 05-200.
3. The use of a single detached dwelling is permitted in the current 'S1' zone. The proposed detached garage is permitted as an accessory use to the principal dwelling.
4. Based on the definition of Front Lot Line, the easterly lot line measuring 19.76m along Old Brock Road is considered the Front lot line. As such, the westerly lot line measuring 46.90m is deemed the rear lot line and all other lot lines are considered Flankage (side) lot lines.
5. The proposed development has been reviewed and compared to the standards of the Accessory Building regulations of Hamilton Zoning By-law 05-200, as indicated in the following chart:

	Required By By-Law	Provided	Conforming/ Non-Conforming
Section 4.8 – Accessory Building Requirements			
[Section 4.8 of Hamilton Zoning By-law 05-200]	A) Accessory Buildings shall not be used as a dwelling unit.	The proposed accessory building is intended as a garage and storage area.	Conforms

	Required By By-Law	Provided	Conforming/ Non-Conforming
	b) Accessory Buildings shall not be permitted within a front or flankage yard.	The proposed accessory building is located within a Flankage yard.	Non-Conforming
	g) All Accessory Buildings shall have a maximum height of 4.5m	5.94m	Non-Conforming
	h) An eave or gutter of any Accessory Building may encroach into any required yard to a maximum of 0.45m	Eaves and gutters project 0.41m	Conforms
	i) Rooftop amenity area shall be prohibited on all Accessory Buildings.	No rooftop amenity area is intended.	Conforms
Building Accessory to Residential Uses [Section 4.8.1.1 of Hamilton Zoning By-law 05-200]	a) The aggregate Gross Floor Area of all Accessory Buildings shall not exceed 45.0m ² or 7.5% total lot coverage, whichever is the lesser.	4.71% lot coverage and Gross Floor Area of 149.0m ²	Non-Conforming
	d) <i>All accessory buildings with a Gross Floor Area greater than or equal to 18.0m² shall conform to the following regulations.</i> <u>Building Setback from a Rear Lot Line:</u> 1.2m	1.5m	Conforms
	<u>Building Setback from a Side lot Line:</u> 1.2m	All side lot lines are Flankage lot lines and therefore are subject to the provisions directly below.	Not Applicable
	<u>Building Setback from a Flankage Lot Line:</u> 1. Except as required in subsection 4.8.1.1(e), Accessory Buildings shall conform to the regulations for the principal use. 2. Notwithstanding Subsection 4.8.1.1(d)(iii), where a zone does not contain a Flankage Lot Line requirements, the minimum building setback shall be 1.2m.	10.65m from the northerly flankage side lot line.	Conforms
	e) Where a vehicular entrance to an Accessory Building faces a Street line, the vehicular entrance shall be setback a minimum of 6.0m from the street line.	The proposed garage is setback 21.0m from the southerly side yard (along Taylor Cres.)	Conforms
Special Setbacks – Section 4.23			

	Required By By-Law	Provided	Conforming/ Non-Conforming
[Section 4.23(a) of Hamilton Zoning By-law 05-200]	<u>Setback from a Provincial Highway Right-of-way:</u> All buildings, structures, required parking areas and storm water management facilities located on a property shall be setback a minimum of 14.0m from a Provincial Highway Right-of-way.	10.65m (northerly) setback from the property line abutting Highway No. 5 West.	Non-Conforming

6. All new signs proposed for this development must comply with the regulations contained within the Sign By-law 10-197.
7. All new fences proposed for this development must comply with the regulation contained within the Fence By-law 10-142.
8. A building permit will be required in the normal manner to permit the proposed construction. Furthermore, please be advised that a demolition permit may be required to facilitate the removal of the existing accessory building.
9. This review is based on the plans submitted with the application.

Yours truly



for the Manager of Zoning and Committee of Adjustment



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME		
Registered Owners(s)	CLIFFORD D SOUSA/ ALYSSA CESARIA MARZILIANO		
Applicant(s)			
Agent or Solicitor			Phone:
			E-mail:

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner AgentSolicitor

1.4 Request for digital copy of sign Yes* No
If YES, provide email address where sign is to be sent 

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	2 TAYLOR CRES., HAMILTON, ON L9H 6B3		
Assessment Roll Number			
Former Municipality			
Lot	3	Concession	
Registered Plan Number	1014	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

TO DEMOLISH AN EXISTING GARAGE AND CONSTRUCT A NEW ACCESSORY BUILDING WITH MEZZANINE

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
46.89	60.96	2472.57 SM	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
GARAGE	21	18.52	1.55	01/01/1960

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
GARAGE	21	10.65	1.55	07/15/2024

4.3 Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
GARAGE	36.80	12 SM	1	4

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
ACCESSORY	36.80		1.5 (PART)	5.94

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
ACCESSORY BUILDING WITH MEZZANINE STORAGE

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
RESIDENTIAL

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2018

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

RESIDENTIAL

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

RESIDENTIAL

7.4 Length of time the existing uses of the subject property have continued:

60+/- YEARS

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): RURAL SETTLEMENT AREA

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? S1

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

Yes No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

EXISTING SINGLE FAMILY DETACHED DWELLING TO REMAIN. EXISTING TWO-CAR GARAGE TO BE DEMOLISHED AND ONE STOREY ACCESSORY BUILDING WITH PARTIAL MEZZANINE IS PROPOSED.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study

ZONING COMPLIANCE REVIEW
