

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
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<b>APPLICATION NO.:</b>	<b>SC/A-24:22</b>	<b>SUBJECT PROPERTY:</b>	69 CACTUS CRESCENT, STONEY CREEK
<b>ZONE:</b>	"R4-32" (Single Residential)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Stoney Creek 3692-92, as Amended

**APPLICANTS:** Owner: BRANDON AND KRYSTLE CHERRIERE  
Applicant: TOMASZ GORAL

The following variances are requested:

1. A total lot coverage for all accessory buildings shall not exceed 11.0 percent of the total lot area instead of the maximum permitted 10.0 percent lot coverage for all accessory buildings.

**PURPOSE & EFFECT:** To permit the construction of a new 62.28 square metre accessory building in the rear yard of the existing Single Detached Dwelling.

**Notes:** N/A

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Tuesday, April 9, 2024</b>
<b>TIME:</b>	<b>2:55 p.m.</b>
<b>PLACE:</b>	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Written comments must be received no later than noon, **April 5, 2024**

Comments are available the Friday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

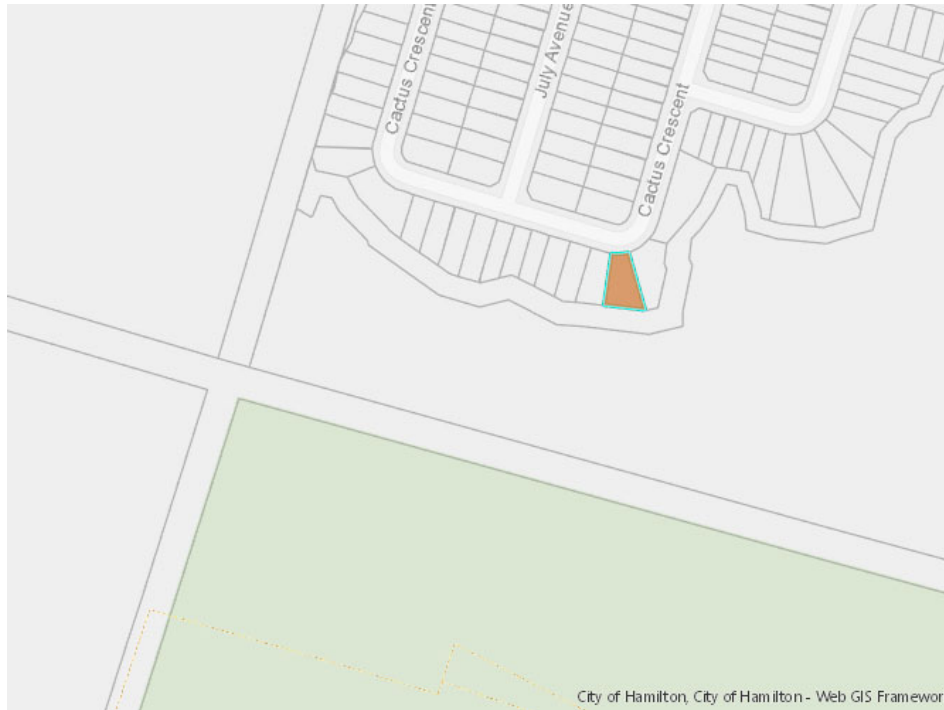
**Orally:** If you would like to speak to this item at the hearing you may do so by attending in person. Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing, as noted above.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## **FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding SC/A-24:22, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



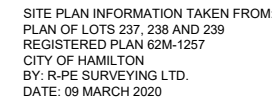
 **Subject Lands**

DATED: March 21, 2024

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



LOT AREA: 610.88m.sq.  
HOUSE FOOTPRINT: 166.21m.sq.  
PROPOSED CABANA: 62.28m.sq.

[illegible]

STRUCTURAL NOTES AND SPECIFICATIONS

THESE NOTES ARE TO BE FULLY READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER INCLUDED DRAWINGS SUBMITTED FOR PERMIT. IT IS THE RESPONSIBILITY OF THE OWNER, OWNERS' CONSULTANT AND CONTRACTOR TO READ AND FULLY UNDERSTAND THE REQUIREMENTS OF THE PROPOSED WORK COMPLETED DURING THE DESIGN STAGE PRIOR TO COMMENCING CONSTRUCTION.

1. GENERAL

1.1

CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING AND/OR TEMPORARY WORKS DURING CONSTRUCTION FOR THE SAFE INSTALLATION OF ALL CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL, DIRECTION AND SUPERVISION OF THE CONSTRUCTION METHODS, MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR ALL SHORING AND/OR TEMPORARY WORKS.

1.2

CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL CONSTRUCTION OF THE WORK AND BE RESPONSIBLE FOR THE CONTROL, DIRECTION AND SUPERVISION OF THE CONSTRUCTION METHODS, MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR ALL CONSTRUCTION OF THE WORK

1.3

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE HEALTH AND CONSTRUCTION SAFETY LEGISLATION AT THE PLACE OF THE WORK.

1.4

PRIOR TO THE COMMENCEMENT OF NEW WORKS, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE EXISTING STRUCTURE IS INTACT AND FREE OF DEFECTS SUCH AS, BUT NOT LIMITED TO, CRACKS, SPALLING, ROT, DEFLECTIONS, DEFORMATIONS AND SETTLEMENTS IT IS THE DUTY OF THE CONTRACTOR TO OPEN AREAS OF EXISTING TO INSPECT THE UNDERLYING STRUCTURE WHERE IT IS NOT FULLY EXPOSED.  
THE CONTRACTOR IS TO COMMUNICATE AREAS OF CONCERN TO THE OWNER AND/OR OWNERS CONTRACTED CONSULTANT.

1.5

WHERE THE CONTRACTOR IS REQUIRED TO VERIFY SITE CONDITIONS, THIS SHALL MEAN THAT THE CONTRACTOR SHALL EXPOSE THE EXISTING CONDITION AND REPORT THEIR FINDING TO THE OWNER AND/OR OWNERS CONTRACTED CONSULTANT.

1.6

THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE BUILDING DEPARTMENT FOR REQUIRED INSPECTION (REFER TO THE BUILDING PERMIT FOR INSPECTION REQUIREMENTS). THE DESIGNER AND/OR ENGINEER WILL NOT BE RESPONSIBLE OR HELD LIABLE, IN PART OR IN WHOLE, FOR DESIGN ERRORS RELATED TO THE WORK IF WE ARE NOT RETAINED TO INSPECT THE WORK DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER OR OWNERS CONTRACTOR / CONSULTANT TO RETAIN AN ENGINEERING CONSULTANT DURING CONSTRUCTION AS MAY BE REQUIRE BY THE CITY INSPECTOR.

1.7

THE CONTRACTOR SHALL REVIEW ALL DIMENSIONS SHOWN ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS WITH ALL THE OTHER DISCIPLINE DRAWINGS (ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL) AND REPORT ANY DISCREPANCIES TO THE APPLICABLE DISCIPLINE IMMEDIATELY.

1.8

STRUCTURAL DETAILS SHALL SUPERSEDE THOSE DETAILS SHOWN ON DRAWINGS AND SHALL SUPERSEDE THOSE ON TYPICAL DETAILS. IN THE CASE OF A DISCREPANCY, THE MORE STRINGENT SHALL GOVERN.

1.9

ALL WORK AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE (O.B.C.). IT IS EXPECTED THAT ALL WORK SHALL BE CARRIED OUT BY PERSONS WHO ARE KNOWLEDGEABLE AND COMPETENT WITHIN THEIR TRADES OF SPECIALIZATION TO CARRY OUT THE WORK AS IT PERTAINS TO THIS PROJECT. THE CONTRACTOR, IN AGREEING TO UNDERTAKE THE WORK, SHALL COMPLY WITH ALL THE DETAILED REQUIREMENTS OF THE O.B.C., SPECIFICALLY THOSE REQUIREMENTS SET FORTH IN PART 9.

2. DESIGN INFORMATION

2.1

DESIGN WAS DONE IN ACCORDANCE WITH THE PART 9 OF THE ONTARIO BUILDING CODE.

2.2

PLAIN CONCRETE FOR FOOTINGS WHERE DESIGNED IN ACCORDANCE WITH PART 9 OF THE O.B.C. AND ALL OTHER UNREINFORCED AND REINFORCED CONCRETE WAS DESIGNED TO CSA A23.3

2.3

UNREINFORCED MASONRY FOUNDATION WALLS WHERE DESIGNED IN ACCORDANCE WITH PART 9 OF THE O.B.C. AND ALL OTHER UNREINFORCED AND REINFORCED MASONRY TO CSA S304.1

2.4

STRUCTURAL STEEL DESIGN IS IN ACCORDANCE CAN/CSA S16.1

2.5

ROOF JOISTS AND CEILING JOISTS AND RAFTERS WHERE DESIGNED IN ACCORDANCE WITH PART 9 OF THE O.B.C. AND FLOOR JOISTS AND ALL WOOD MEMBERS ARE DESIGNED TO CSA 086

2.6

UNLESS NOTED OTHERWISE, LOADS ARE SHOWN ON THE DRAWINGS. CONSTRUCTION LOADS SHALL NOT EXCEED THOSE TABULATED IN THE DESIGN NOTES OR THE DRAWINGS.

2.7

CONTRACTOR SHALL MAKE SPECIAL PROVISION FOR THE WORK IF UNDERTAKEN IN COLD WEATHER CONDITIONS AND SHALL COMPLY WITH ALL STANDARDS OF PRACTICE PERTAINING TO COLD WEATHER CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF IT IS THE INTENTION TO PERFORM WORK THROUGH COLD WEATHER CONDITIONS, PRIOR TO BEGINNING OF WORK.

3. GEOTECHNICAL AND EXCAVATION WORKS

3.1

THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE TO RUN OF 7:10.

3.2

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO EXCAVATING (I.E. "CALL BEFORE YOU DIG" ONTARIO ONE CALL).

3.3

THE DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING CAPACITY OF 100kPa . A GEOTECHNICAL REPORT MAY BE REQUIRED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER OR OWNERS CONTRACTED CONTRACTOR/CONSULTANT TO HIRE A GEOTECHNICAL ENGINEER AS NEEDED.

3.4

CONTRACTOR SHALL PLACE FOOTINGS AND PIERS ON NATURALLY UNDISTURBED SOIL. THE EXPOSED SOIL SURFACE SHALL BE FREE FROM ALL DELETERIOUS MATERIALS. IF THE CONTRACTOR IDENTIFIES WET OR WEAK AREAS, THESE AREAS SHOULD BE INVESTIGATED BY A GEOTECHNICAL ENGINEER.

3.5

THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNDERTAKING ALL EXCAVATION WORK AND SHALL PERFORM THE WORKS AS TO PREVENT DAMAGE TO ADJACENT STRUCTURES, PROPERTY, UTILITIES, ROADS, SIDEWALKS DURING ALL STAGES OF CONSTRUCTION.

3.6

THE BASE AND SIDE OF EVERY EXCAVATION AREA SHALL BE FREE FROM ORGANIC MATERIAL.

3.7

IN AREAS WHERE TERMITES ARE KNOWN TO BE PROBLEMATIC, ALL STUMPS, ROOTS, AND OTHER WOOD DEBRIS SHALL BE REMOVED FROM THE SOIL TO A DEPTH NOT LESS THAN 300mm (12") IN UNEXCAVATED AREAS UNDER A BUILDING OR STRUCTURE.

3.8

EXCAVATION SHALL BE FREE FROM STANDING WATER. THIS CONDITION SHALL GIVE RISE TO A FURTHER GEOTECHNICAL INVESTIGATION BY A GEOTECHNICAL ENGINEER TO CONFIRM THE ALLOWABLE BEARING CAPACITY OF THE SOIL.

3.9

IF THE WORK IS TO PROCEED DURING WINTER MONTHS, THE EXCAVATED AREAS SHALL BE KEPT FROM FREEZING THROUGHOUT THE CONSTRUCTION PERIOD.

3.10

ALL FOOTINGS AND FOUNDATIONS SHALL BE FOUNDED AT A DEPTH NOT LESS THAN 1.2M (4FT) BELOW GRADE, EXCEPT WHERE INSULATING MEASURES HAVE BEEN MADE TO REDUCE THE DEPTH OF FROST PENETRATION AND DIRECTION OF THE ICE LENSING.

4. CONCRETE NOTES

4.1

DESIGN AND CONSTRUCTION OF CONCRETE SHALL CONFORM TO CSA A23.3

4.2

UNLESS OTHERWISE NOTED, THE CONCRETE SHALL HAVE MINIMUM PROPERTIES.  
- TYPE GU CEMENT, NOMINAL SIZE AGGREGATE OF 20mm  
- GENERAL USE CONCRETE: 25MPa At 28 DAYS, 75mm SLUMP & 0.55 WATER/CEMENT RATIO.

4.3

CONCRETE FOR EXTERIOR USE AND/OR EXPOSED TO FREEZING: 32MPa at 28 DAYS, 75mm SLUMP, 0.45 WATER/ CEMENT RATIO & 5-8% AIR ENTRAINMENT

4.3

REINFORCED CONCRETE SHALL HAVE THE FOLLOWING COVER TO REINFORCEMENT:  
- CONCRETE CAST AGAINST SOIL AND/OR EXPOSED TO FREEZING SHALL HAVE A 75mm (3") COVER  
- CONCRETE NOT EXPOSED TO FREEZING OR CAST AGAINST SOIL SHALL HAVE A 25mm (1") COVER

4.4

ALL ANCHOR RODS SHALL ALL BE THREADED ASTM A193 B7 ROD.

4.5

ALL GROUT SHOWN ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS SHALL BE SikaGrout 212 OR APPROVED EQUAL. GROUT SHALL BE PLACED UNDER ALL COLUMN BASE PLATES TO ENSURE FULL BEARING ON THE CONCRETE.

4.6

THE FINISHED CONCRETE PRODUCT SHALL BE PLACED IN SUCH A MANNER THAT ANY ARCHITECTURALLY EXPOSED OR COMMONLY VISIBLE CONCRETE SURFACE SHALL BE FREE FROM VISIBLE SIGNS OF STREAKING OR HONEYCOMBING.

4.7

ALL REINFORCING STEEL SHALL BE GRADE 400MPa AND CONFORM TO CSA G3018

4.8

REINFORCEMENT SHALL BE SUPPORTED BY WIRE CHAIRS OR APPROVED EQUAL TO MAINTAIN CONCRETE COVER.

4.9

REINFORCING STEEL SHALL BE FREE FROM LOOSE SCALE, RUST, MUD, OIL OR ANY OTHER CONTAMINATE THAT MAY REDUCE THAT BOND BETWEEN THE STEEL REINFORCEMENT AND THE CONCRETE.

4.10

VERTICAL REINFORCEMENT IN FOUNDATION WALLS SHALL BE ONE PIECE AND NOT SPLICED.

4.11

TACK WELDING, HEATING OR CUTTING OF STEEL REINFORCEMENT IS PROHIBITED.

4.12

LOCATION OF FLOOR CONTROL JOINTS SHALL BE SPACED AT A MAXIMUM OF 6m (20FT) AND SHALL BE PROVIDED AROUND ALL COLUMN FOOTINGS.

4.13

CONCRETE SHALL CURE AS PER CSA A23 1/2.

4.14

ALL CONCRETE SHALL BE CONSOLIDATED WITH A MECHANICAL VIBRATOR.

5. STEEL NOTES

5.1

THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH CSA S16 AND THE CISC STANDARD CODE OF PRACTICE.

5.2

ALL STRUCTURAL STEEL SHALL BE GRADE 350W AND CONFORM TO CSA G40.20-13/G40.21-13

5.3

ALL STEEL PLATES OTHER MISCELLANEOUS SHAPES SHALL BE GRADE 300W AND CONFORM G40.20-13/G40.21-13

5.4

WELDING PRACTICES SHALL CONFORM TO CSA W59-13.

5.5

CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTIONS IF WELDING IS TO BE DONE ONSITE AND NEAR COMBUSTIBLE MATERIALS, WHERE CUTTING OR WELDING IS DONE NEAR WALLS, PARTITIONS, CEILING OR ROOF OF COMBUSTIBLE CONSTRUCTION, FIRE-RESISTANT SHIELDS OR GUARDS SHALL BE PROVIDED TO PREVENT IGNITION.

5.6

CONNECTION NOT DETAILED ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS SHALL BE DESIGNED AND DETAILED BY THE FABRICATOR'S ENGINEER.

5.7

USE A MINIMUM OF 2 BOLTS FOR EVERY BOLTED CONNECTION. ALL BOLTED CONNECTIONS SHALL BE DONE USING 'TURN-ON-NUT METHOD', UNLESS NOTED OTHERWISE ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS.

5.8

ALL EXPOSED STEEL MEMBERS AND CONNECTORS SHALL BE HOT DIPPED GALVANIZED.

6. CONCRETE MASONRY (C.M.U.) NOTES

6.1

THE DESIGN AND ERECTION OF MASONRY ELEMENTS SHALL BE IN ACCORDANCE WITH CAN/CSA-A371-04 (R2009) - MASONRY CONSTRUCTION FROM BUILDINGS AND S304.1-04 - DESIGN OF MASONRY STRUCTURE

6.2

CONCRETE SHALL BE TESTED AT A FREQUENCY NO LESS THAN SET OF CYLINDERS/DAY/TYPE OF CONC. OR EVERY 50 CUBIC METERS OF CONCRETE. TEST RESULTS SHALL BE PROVIDED TO THE OWNER OR OWNERS CONTRACTED CONSULTANT.

6.3

CONCRETE BLOCKS SHALL CONFORM TO CSA A165 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 15MPa-H/15/D/M.

6.4

USE ONLY TYPE S MORTAR CONFORMING TO CSA-A179-04

6.5

MASONRY WALLS ARE TO BE RUNNING BOND WITH FULL MORTAR BEDS, UNLESS NOTED OTHERWISE. COURSING HEIGHT SHALL BE 200MM (8") FOR ONE BLOCK AND ONE JOINT.

6.6

ALL MORTAR JOINTS ARE TO BE TOOLED TO A CONCAVE JOINT, BOTH INTERIOR AND EXTERIOR EXPOSURES.

6.7

CONTINUOUS WELDED DOUBLE WIRE WELDED LADDER OR TRUSS TYPE SHALL CONFORM TO CAN/CSA-A370-04 (R2009)-CONNECTORS FOR MASONRY.

6.8

ALL MASONRY USED AS FOUNDATION WALLS SHALL BE PARGED AS PER O.B.C 9.15.6

6.9

ALL REINFORCING STEEL SHALL BE GRADE 400MPa AND CONFIRM TO CSA G30.18

6.10

REINFORCEMENT SHALL BE SUPPORTED BY WIRE CHAIRS OR APPROVED EQUAL TO MAINTAIN CONCRETE COVER.

6.11

REINFORCING STEEL BE FREE FROM LOOSE SCALE, RUST, MUD, OIL OR ANY OTHER CONTAMINATE THAT MAY REDUCE THE BOND BETWEEN THE STEEL REINFORCEMENT AND THE CONCRETE.

6.12

VERTICAL REINFORCEMENT IN FOUNDATION WALLS SHALL BE ONE PIECE AND NOT SLICED.

6.13

TACK WELDING, WELDING, HEATING OR CUTTING OF STEEL REINFORCEMENT IS PROHIBITED.

6.14

ERECT ALL MASONRY VENEER PLUMB, SQUARE AND TRUE TO LINES.

6.15

INSTALL METAL CONNECTORS AND PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

7. MASONRY VENEER NOTES

7.1

DESIGN AND CONSTRUCTION OF MASONRY VENEER FOR RESIDENTIAL CONSTRUCTION SHALL CONFORM TO PART 9 OF THE O.B.C.:

7.2

SECTION 9.20.64 - MASONRY VENEER, SECTION 9.20.9.5- TIES FOR MASONRY VENEER.

7.3

MASONRY VENEER SHALL BE SOLID WITH A MINIMUM COMPRESSIVE STRENGTH OF 15MPa

7.4

MASONRY VENEER SHALL BE LAID IN A RUNNING BOND PATTERN.

7.5

MORTAR AND GROUT SHALL CONFORM TO CSA-A173-04. USE ONLY TYPE S MORTAR FOR ALL CONSTRUCTION.

7.6

ALL MORTAR JOINTS ARE TO BE TOOLED TO A CONCAVE JOINT, BOTH INTERIOR AND EXTERIOR EXPOSURES.

7.7

MASONRY VENEER TIES SHALL HAVE A MAXIMUM VERTICAL SPACING OF 400MM (16") AND A MAXIMUM HORIZONTAL SPACING OF 400MM (16"). THE VERTICAL SPACING SHALL MATCH EVERY VERTICAL STUD SPACING.

7.8

TIES SHALL BE CORROSION-RESISTANT METAL TIES NAILED TO THE STUDS AND EMBEDDED IN THE MORTAR JOINTS BETWEEN THE MASONRY TO TIE THE VENEER TO THE FRAMEWORK.

7.9

MASONRY TIES SHALL NOT BE LESS THAN 0.76MM THICK AND 22MM WIDE, CORROSION RESISTANT AND SHAPED TO PROVIDE A KEY WITH THE MORTAR JOINT. MASONRY STRAPS ARE NOT PERMITTED.

7.10

MASONRY VENEER SHALL NOT PROJECT MORE THAN 30MM BEYOND THE FACE OF THE SUPPORTING BASE, PROVIDED THAT THE UNITS ARE AT LEAST 90MM (3 1/2") THICK.

7.11

ALL MASONRY VENEER LINTELS SHALL BE HOT DIPPED GALVANIZED.

7.12

ALL MASONRY VENEER LINTELS SHALL SUPPORT AT LEAST TWO THIRDS OF THE VENEER THICKNESS.

7.13

ERECT ALL MASONRY VENEER PLUMB, SQUARE AND TRUE TO LINES. INSTALL METAL CONNECTORS AND PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

8. WOOD NOTES

8.1

DESIGN AND CONSTRUCTION OF WOOD MEMBERS AND CONNECTORS SHALL CONFORM TO PART 9 OD THE O.B.C., CSA 086, & CWC "ENGINEERING GUIDE FOR WOOD FRAME CONSTRUCTION".

8.2

ALL WOOD EXPOSED TO THE EXTERIOR SHALL BE PRESERVATIVE TREATED. EXTERIOR PLYWOOD SHEATHING SHALL BE STAMPED EXTERIOR GRADE. SHEATHING SHALL CONFORM TO CSA 0151 AND BE GRADE D-FIR PLYWOOD. OSB BOARD IS NOT PERMITTED ON ANY EXTERIOR SURFACE.

8.3

SAWN LUMBER SHALL CONFORM TO CSA 0141 AND BE STAMPED SPF NO. 2 OR GREATER

8.4

IN AREAS WHERE TERMITES ARE KNOWN TO OCCUR, DESIGN AND CONSTRUCTION SHALL CONFORM TO CLAUSE 9.3.2.8 OF THE O.B.C.

8.5

ERECT ALL WOOD FRAMING PLUMB, SQUARE AND TRUE TO LINES.

8.6

COMMON WIRE NAILS SHALL PENETRATE THE WOOD SUBSTRATE PER THE FOLLOWING TABLE

SIZE	DIAMETER	WIRE GAUGE	PENETRATION
8d	3.3mm (0.131")	10.25	38mm (1.5")
10d	3.8mm (0.148 ")	9	41mm (1.625")
16d	4.1mm (0.1625")	8	45mm (1.75")
20d	4.9mm (0.192")	6	54mm (2.125")

NOTE: PENETRATION IS MEASURED INTO THE PIECE OF WOOD RECEIVING THE NAIL. 38mm (1.5") OF PENETRATION IS ACCEPTABLE FOR 10D AND 16D NAILS FOR TOP PLATE SAND 38mmx (2x) MEMBERS.

8.7

STEEL WIRE NAILS OR COMMON SPIRAL NAILS, SPIKES, AND STAPLES SHALL CONFORM TO ASTM F 1667. ALL FASTENERS SHALL BE HOT DIPPED GALVANIZED IF USED FOR EXTERIOR APPLICATIONS.

8.8

HOLES SHALL BE DRILLED TO PREVENT SPLITTING OF WOOD AS REQUIRED.

8.9

INSTALL ENGINEERED LUMBER, METAL CONNECTORS AND PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

8.10

TOP PLATES SHALL BE CONSTRUCTED OF TWO PLATES, SAME SIZE AS STUD, STAGGERED SPLICES MINIMUM OF 1220MM (4'-0"). CENTRE SPLICES OVER STUDS. SPLICES SHALL CONSTRUCTED WITH A MINIMUM OF 1-16D NAILS.

8.11

BUILT -UP WOOD MEMBER SHALL CONFORM TO CSA 086 CLAUSE 5.5.6.4 AND BE NAILED TOGETHER WITH (2)-75MM LONG NAILS EVERY 200MM ON CENTERS AND WITHIN 60MM FROM EACH END. HOT DIPPED GALVANIZED NAILS SHALL BE USED IF EXPOSED TO THE ELEMENTS.

8.12

SOLID LOCKING OR CROSS BRACING SHALL BE INSTALLED FOR ALL FLOOR JOISTS. BLOCKING/BRACING SHALL BE PROVIDED WITHIN 2.1M (6'-10") FROM EACH SUPPORT AND THE SPACING OF BLOCKING/BRACING SHALL NOT EXCEED 2.1M (6'-10").

8.13

ALL OPENINGS SHALL BE REINFORCED WITH A MINIMUM OF DOUBLE HEADERS AND DOUBLE TRIMMERS, UNLESS NOTED OTHERWISE ON THE STRUCTURAL PLANS.

8.14

NON-LOAD BEARING WALLS SHALL HAVE DOUBLE JOISTS PROVIDED WHEN THE JOISTS RUN PARALLEL WITH THE WALL OR SOLID BLOCKING SHALL BE PROVIDED WHEN THE JOIST ARE PERPENDICULAR TO THE WALL.

8.15

END SUPPORTS OF ALL ROOF AND JOISTS SHALL HAVE THEIR ENDS HELD IN POSITION BY EITHER; SOLID BLOCKING, NAILED BRIDGING, NAILING TO OTHER MEMBERS OR JOISTS HANGERS.

8.16

ALL FLOOR AND ROOF SHEATHING SHALL HAVE A MINIMUM OF THICKNESS OF 19MM (3/4"), T&G, GLUED AND NAILED TO FLOOR JOISTS.

8.17

WALL SHEATHING SHALL HAVE A MINIMUM OF THICKNESS PF 127MM (1/2") AND BE OF A PLYWOOD CONSTRUCTION.

8.18

ALL WALLS OVER 244M (8'-0") HIGH SHALL HAVE BLOCKING PROVIDED AT MID-HEIGHT OF THE STUDS.

8.19

ALL WOODS PRODUCTS SHALL BE KEPT FROM THE GROUND AND SHALL BE PROTECTED FROM THE EXTERIOR ENVIRONMENT.

8.20

THE STRUCTURE SHALL NOT BE FULLY ENCLOSED UNTIL THE WOOD MOISTURE CONTENT HAS BEEN VERIFIED TO BE AT OR BELOW 15% ANY SIGNS OF MOLD OR ROT SHALL BE REMOVED IMMEDIATELY AND REPLACED BY AN ACCEPTABLE WOOD ELEMENT.

8.21

ALL FRAMING HANGERS ARE TO BE INSTALLED AS PER APPROVED MANUFACTURER SPECIFICATIONS.

8.22

NOTCHING OR DRILLING HOLES IN FLOOR JOISTS OR WALL STUDS SHALL TO BE DONE IN ACCORDANCE WITH PART 9 OBC AND/OR APPROVED MANUFACTURER SPECIFICATIONS.

LEGEND:

DB.JST

-

DOUBLE JOIST

PA

-

POINT LOAD ABOVE

SB

-

SOLID LOAD BEARING: (THE WIDTH OF THE STUD POST SHALL NOT BE LESS THAN THE WITH OF THE BEAM IT SUPPORTS)

B.E.W.

-

BOTTOM EACH WAY

SBFA

-

SOLID BEARING FROM ABOVE

SA

-

SMOKE ALARM

CMD

-

CARBON MONOXIDE DETECTOR

FD

-

FLOOR DRAIN

R.O.

-

ROUGH OPENING

C.O.

-

CONCRETE OPENING

P.T.

-

PRESSURE TREATED WOOD

CANT.

-

CANTILEVERED

NOTE: CONTRACTOR TO VERIFY ALL EXISTING STRUCTURAL CONDITIONS FOR DISCREPANCIES PRIOR AND DURING CONSTRUCTION. IF DISCREPANCIES ARE FOUND THEN A REDESIGN MAY BE REQUIRED.

NOTE: THE CONTRACTOR SHALL PROVIDE AND IS RESPONSIBLE FOR ALL TEMPORARY SUPPORT, SHORING, OR BRACING AS REQUIRED TO COMPLETE THE WORK

NOTE: TONED WALL REPRESENT EXISTING WALLS TO REMAIN (TYP.)

STEEL LINTEL:

LINTEL	SIZE
L1	3-1/2" x 3-1/2" x 1/4" (90mm x 90mm x 6mm)
L2	3-1/2" x 3-1/2" x 5/16" (90mm x 90mm x 8mm)
L3	4" x 3-1/2" x 5/16" (100mm x 90mm x 8mm)
L4	5" x 3-1/2" x 5/16" (125mm x 90mm x 8mm)
L5	5" x 3-1/2" x 3/8" (125mm x 90mm x 10mm)
L6	6" x 4" x 3/8" (150mm x 100mm x 10mm)
L7	6" x 4" x 1/2" (150mm x 100mm x 13mm)

NOTE: MIN. 6" BEARING FOR ALL STEEL LINTELS

WOOD LINTELS AND BUILT-UP WOOD BEAMS:

LINTEL	SIZE	SPAN
W2-6	2-2"x6" (2-38mm x 150mm)	SPR.#2
W3-6	3-2"x6" (3-38mm x 150mm)	SPR.#2
W2-8	2-2"x8" (2-38mm x 184mm)	SPR.#2
W3-8	3-2"x8" (3-38mm x 184mm)	SPR.#2
W4-8	4-2"x8" (4-38mm x 184mm)	SPR.#2
W2-10	2-2"x10" (2-38mm x 235mm)	SPR.#2
W3-10	3-2"x10" (3-38mm x 235mm)	SPR.#2
W4-10	4-2"x10" (4-38mm x 235mm)	SPR.#2
W2-12	2-2"x12" (2-38mm x 286mm)	SPR.#2
W3-12	3-2"x12" (3-38mm x 286mm)	SPR.#2
W4-12	4-2"x12" (4-38mm x 286mm)	SPR.#2

LAMINATED VENEER LUMBER (LVL) BEAMS:

LINTEL	SIZE
LVL2-8	2.0E 2-1-3/4"x7-1/4" (2-45mm x 184mm)
LVL3-8	2.0E 3-1-3/4"x7-1/4" (3-45mm x 184mm)
LVL4-8	2.0E 4-1-3/4"x7-1/4" (4-45mm x 184mm)
LVL5-8	2.0E 5-1-3/4"x7-1/4" (5-45mm x 184mm)
LVL2-10	2.0E 2-1-3/4"x9-1/2" (2-45mm x 240mm)
LVL3-10	2.0E 3-1-3/4"x9-1/2" (3-45mm x 240mm)
LVL4-10	2.0E 4-1-3/4"x9-1/2" (4-45mm x 240mm)
LVL5-10	2.0E 5-1-3/4"x9-1/2" (5-45mm x 240mm)
LVL1-12	2.0E 1-1-3/4"x11-7/8" (1-45mm x 300mm)
LVL2-12	2.0E 2-1-3/4"x11-7/8" (2-45mm x 300mm)
LVL3-12	2.0E 3-1-3/4"x11-7/8" (3-45mm x 300mm)
LVL4-12	2.0E 4-1-3/4"x11-7/8" (4-45mm x 300mm)
LVL5-12	2.0E 5-1-3/4"x11-7/8" (5-45mm x 300mm)
LVL2-14	2.0E 2-1-3/4"x14" (2-45mm x 356mm)
LVL3-14	2.0E 3-1-3/4"x14" (2-45mm x 356mm)

SOLID BEARING

SB2	2 MEMBER BUILT-UP STUD
SB3	3 MEMBER BUILT-UP STUD

NOTE: SOLID LOAD BEARING (THE WIDTH OF THE STUD POST SHALL NOT BE LESS THAN THE WITH OF THE BEAM IT SUPPORTS)  
ALL SOLID LOAD BEARING POINTS MUST BE CONTINUOUS AND CARRIED DOWN TO BEAMS, FOUNDATION WALLS OR FOOTINGS. PROVIDE BLOCKING AS REQUIRED.

NOTES:

1.

PROVIDE THE FOLLOWING BEARING LENGTH.

-

1-3/4" FOR ENGINEERING JOISTS

-

3-3/4" FOR LVL AND WOOD BEAMS

-

6" FOR STEEL LINTELS AND STEEL BEAMS

2.

BACK-TO-BACK STEEL LINTELS SHALL BE BOLTED TOGETHER W/ 1/2" DIA. A307 BOLTS (W/ NUTS AND WASHERS) @ 12" o.c. OR WELDED W/ 1/2" FILLET WELDS (3"-12")

3.

FOLLOW MANUFACTURES SPECIFICATIONS FOR ALL ENGINEERING PRODUCTS.

4.

MINIMUM 2 ROWS OF 10d x 3" LONG NAILS AT 12" o.c. EACH SIDE OF LVL BEAMS

5.

MINIMUM OF 24 - 10d x 3" LONG NAILS PER SIDE AND EACH SIDE AT POINT LOADS OF LVL BEAMS

DRAWING TITLE

TYPICAL NOTES AND SCHEDULES

DRAWING BY

TC

CHECKED BY

FS

DATE

09 NOV 2023

PROJECT NUMBER

2401

SCALE

60 CACTUS CRESCENT, HAMILTON, ONT. L8K 5R9

CACTUS CRESCENT RESIDENCE

ISSUED FOR PERMIT

13.DEC.2023

REVISION/SUBMISSION


No.

DATE

GORAL DESIGN

T: 647.505.9632

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**SONO 1**  
16"Ø SONO TUBE CONC. PIER, TO BEAR  
ON UNDISTURBED NATIVE SOIL  
CAPABLE OF SUSTAINING A BEARING  
PRESSURE OF 150 KPa AND EXTEND A  
MIN OF 4'-0" BELOW FINISH GRADE.  
EXTEND CONC. 6" ABOVE THE FINISH  
GRADE, (TYP.)  
- REFER TO ANCHOR PLATE SECTION  
DETAIL DRAWING A-01 THE ELITE  
ENGINEERING GROUP INC.

SCALE	1/4" = 1'-0"	DRAWN BY	CHECKED BY
		TG	FS
DATE	DRAWING NUMBER		
09 NOV 2023	<div style="display: flex; align-items: center; justify-content: center;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg);">PROJECT NUMBER</div> <div style="font-size: 48pt; font-weight: bold; margin: 0 20px;">A-3.1</div> <div style="writing-mode: vertical-rl; transform: rotate(180deg);">2401</div> </div>		

DRAWING TITLE

FOOTINGS PLAN

**CACTUS CRESCENT  
RESIDENCE**

69 CACTUS CRESCENT, HAMILTON, ONT., L8K 5R9

[illegible]

GORAL DESIGN  
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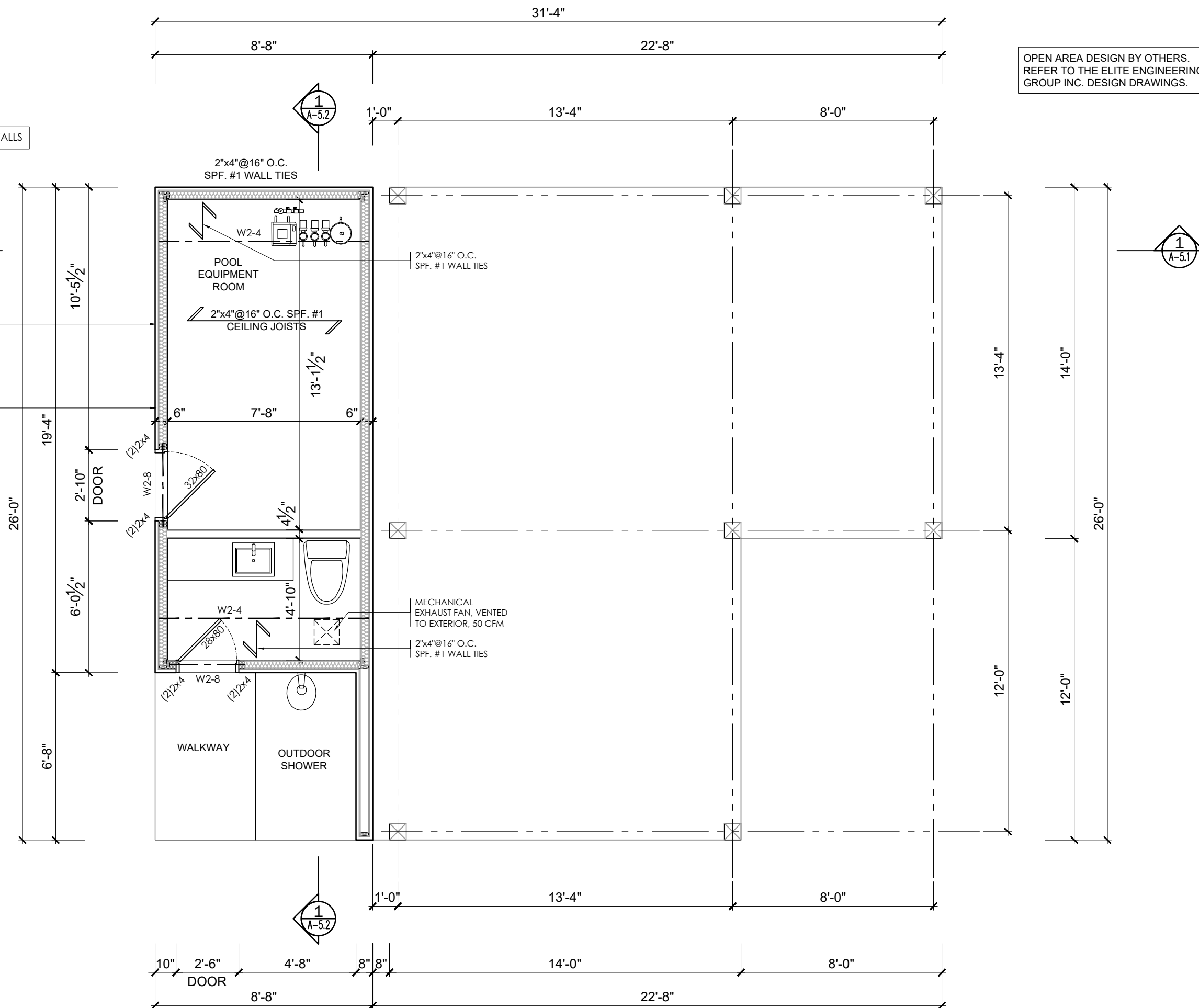
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**BOARD AND BATTEN SIDING WALL CONSTRUCTION: 2"x4":**  
BOARD AND BATTEN SIDING CONFORMING TO O.B.C.  
REQUIREMENTS AND APPLIED PER MANUFACTURES SPECIFICATIONS

- APPROVED SHEATHING PAPER
- 1/2" (12.7mm) EXTERIOR TYPE SHEATHING
- 2"x4" (38mm x 140mm) SPRUCE STUDS @ 16" (400mm) O.C.
- 1/2" (12.7mm) GYPSUM WALLBOARD INTERIOR FINISH.

(1/2" TYPE 'X' REQUIRED ON WALLS WHERE BUILDING WITHIN 1.2m FROM PROPERTY LINE)

2"x4" SILL PLATE, TIED TO TOP OF FOUNDATION WALL WITH 8" LONG x 1/2"Ø ANCHOR BOLTS C/W NUT AND WASHER WITH 2-1/2" HOOK. ANCHOR BOLTS TO BE SPACED NOT MORE THAN 4'-0" o.c. AND EMBEDDED NOT LESS THAN 4" INTO CONC. PROVIDE SILL GASKET BETWEEN PLATE AND FOUNDATION WALL. PROVIDE NON-SHRINK GROUT TO LEVEL PLATE.



OPEN AREA DESIGN BY OTHERS.  
REFER TO THE ELITE ENGINEERING  
GROUP INC. DESIGN DRAWINGS.

SCALE	1/4" = 1'-0"	DRAWN BY	CHECKED BY
DATE	09 NOV 2023	TG	FS
		DRAWING NUMBER	
PROJECT NUMBER		A-3.2	
		2401	

DRAWING TITLE

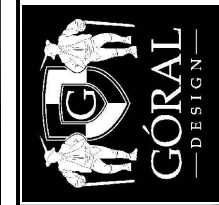
FLOOR PLAN

**CACTUS CRESCENT  
RESIDENCE**

68 CACTUS CRESCENT, HAMILTON, ONT. L 8K 6P8

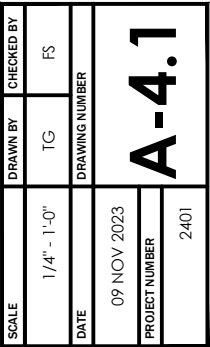
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[illegible]



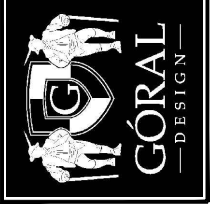





DRAWING TITLE	ELEVATION
CACTUS CRESCENT RESIDENCE	
69 CACTUS CRESCENT, HAMILTON, ONT. L8K 5R9	

[illegible]

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[illegible]

[illegible]



The first two studies were conducted in the United States, and the third was conducted in the United Kingdom. The first study was a cross-sectional survey of 1,000 U.S. adults, and the second was a longitudinal survey of 1,000 U.S. adults. The third study was a cross-sectional survey of 1,000 U.K. adults. The first two studies found that the majority of respondents (approximately 70%) reported that they had used a mobile phone to access the Internet at least once in the past month. The third study found that the majority of respondents (approximately 60%) reported that they had used a mobile phone to access the Internet at least once in the past month. The first two studies also found that the majority of respondents (approximately 70%) reported that they had used a mobile phone to access the Internet at least once in the past month. The third study found that the majority of respondents (approximately 60%) reported that they had used a mobile phone to access the Internet at least once in the past month.

No.	DATE	REVISION/ SUBMISSION	ISSUED BY
1.	13 DEC 2023	ISSUED FOR PERMIT	IG

DRAWING TITLE

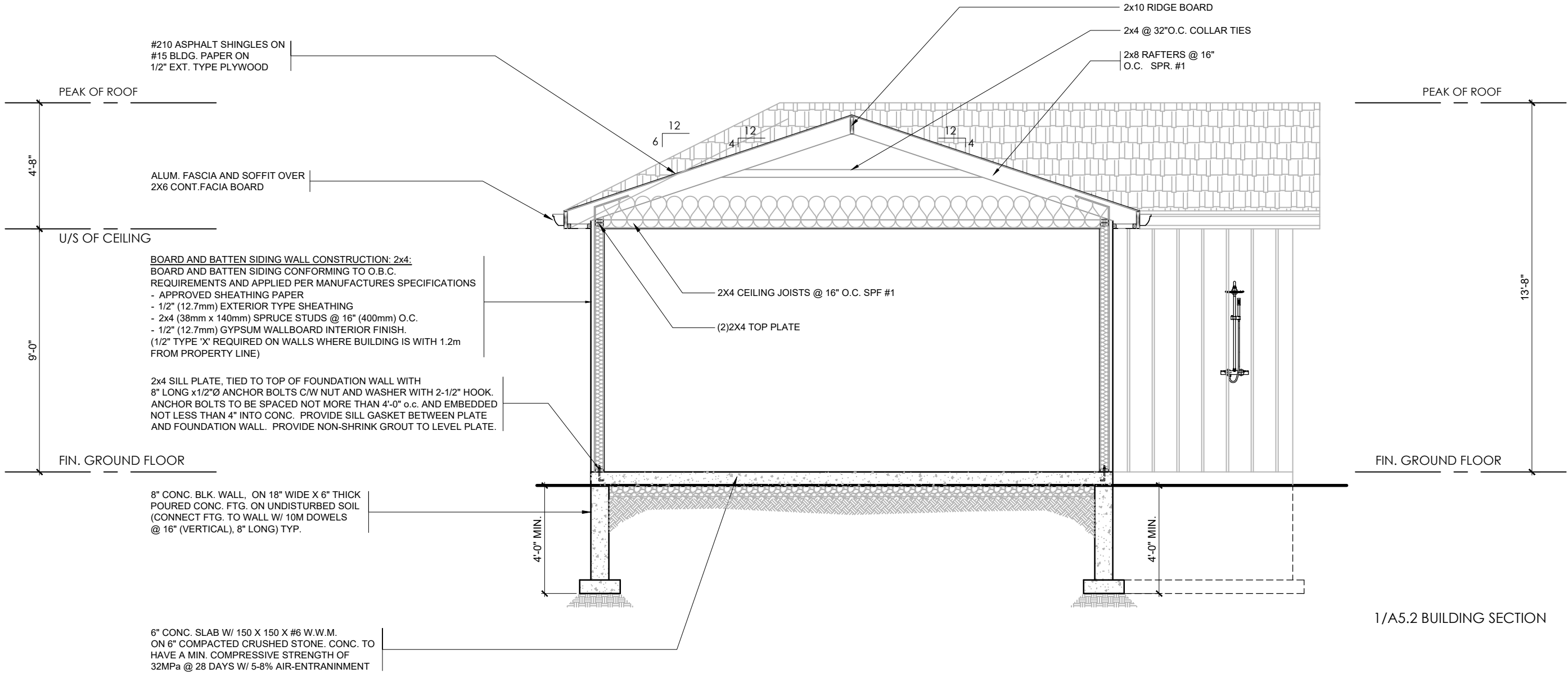
ELEVATION

**CACTUS CRESCENT  
RESIDENCE**

69 CACTUS CRESCENT, HAMILTON, ONT., L8K 5R9

SCALE	1/4" = 1'-0"	DRAWN BY	FG	CHECKED BY	FG
DATE		DRAWING NUMBER			
09 NOV 2023					
PROJECT NUMBER					
2401					

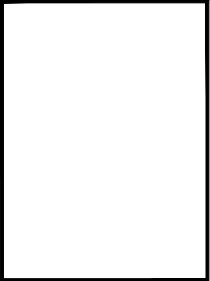
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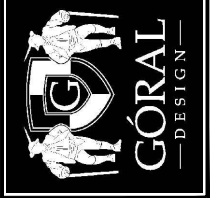
SCALE	DRAWN BY	CHECKED BY
1/4" = 1'-0"	TG	FS
DATE	DRAWING NUMBER	
09 NOV 2023		
PROJECT NUMBER		
	2401	

DRAWING TITLE	BUILDING SECTION
CACTUS CRESCENT RESIDENCE	69 CACTUS CRESCENT, HAMILTON, ONT. L8K 5R9

No.	DATE	REVISION/SUBMISSION	ISSUED BY
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Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME
Registered Owners(s)	Brandon & Krystle Cherriere
Applicant(s)	Tomasz Goral
Agent or Solicitor	

**1.2 Primary contact**

☒ Applicant

☐ Owner

☐ Agent/Solicitor

**1.3 Sign should be sent to**

☐ Applicant

☒ Owner

☐ Agent/Solicitor

**1.4 Request for digital copy of sign**

☒ Yes\*

☐ No

If YES, provide email address where sign is to be sent

**1.5 All correspondence may be sent by email**

☒ Yes\*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**1.6 Payment type**

☐ In person

☒ Credit over phone\*

☐ Cheque

\*Must provide number above

## 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	69 CACTUS CRESCENT		
Assessment Roll Number	003510852380000		
Former Municipality	Hamilton		
Lot	237, 238 and 239	Concession	
Registered Plan Number	62M-1257	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

## 3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Area of cabana (3692 - 92 STONEY CREEK ZONING MAX LOT COVERAGE  
FOR ACCESSORY STRUCTURES IS 10% 61.088m<sup>2</sup>)  
ASKING FOR (62.28m.sq.)

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Want a bit larger cabana

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

## 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
10.92	32.24	610.88	



4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
house	6.13m	11.67m	1.24m	01/04/2020

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
cabana	24.99m	0.91m	0.76m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
house	166.21 m.sq.	265 m.sq.	2	

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
cabana	62.28 m.sq.		1	4.32 m

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- \_\_\_\_\_

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
- \_\_\_\_\_



4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage  
☐ system privately owned and operated individual  
☐ septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- ☐ provincial highway  
☐ municipal road, seasonally maintained  
☒ municipal road, maintained all year  
☐ right of way  
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
SFD

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
SFD

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

September 3, 2020

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
LAND

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
SFD

7.4 Length of time the existing uses of the subject property have continued:  
January 4, 2020

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): URBAN AREA

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) \_\_\_\_\_

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R4-32

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

- ☐ Yes ☒ No

If yes, please provide the file number: \_\_\_\_\_

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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: \_\_\_\_\_

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: \_\_\_\_\_

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- ☐ Application Fee
- ☐ Site Sketch
- ☐ Complete Application form
- ☐ Signatures Sheet

### 11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
  - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
  - ☐ Hydrogeological Assessment
  - ☐ Septic Assessment
  - ☐ Archeological Assessment
  - ☐ Noise Study
  - ☐ Parking Study
- \_\_\_\_\_
- \_\_\_\_\_