

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:158

APPLICANTS: Agent Jenny Bognar
Owner C. & A. Maharaj

SUBJECT PROPERTY: Municipal address **82 Murray St. E., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "D" (Urban Protected Residential - One and Two Family Dwellings, etc.) district

PROPOSAL: To permit repair to the existing 3.18m x 6.39m roofed-over unenclosed one storey front porch at the first storey and construction of new stairs onto this porch onto the existing single family dwelling notwithstanding that:

1. The roofed-over unenclosed one storey front porch at the first storey including its stairs shall be permitted to project entirely into the required front yard so that it is 0.0m from the front lot line instead of the requirement that a roofed over or screened but otherwise unenclosed one storey porch at the first storey level, including eaves and gutters, may project into a required front yard (being 6.0m) to a distance of not more than 3.0m and every such projecting porch shall be distant at least 1.5m from the front lot line.
2. A minimum of 28% of the gross area of the front yard shall be a landscaped area instead of the requirement that not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers, or other similar materials.

NOTE:

- i) As a majority of the parking space is located on the Murray Street East road allowance, it is not considered a parking space.
- ii) A boulevard parking agreement with the Public Works Department is required for the parking space located on the Murray Street East road allowance. Additionally, an Encroachment Agreement with the Public Works Department is required for the portion of the front stairs encroaching onto the Murray Street East road allowance.

This application will be heard by the Committee as shown below:

DATE: Thursday, June 3rd, 2021
TIME: 1:25 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

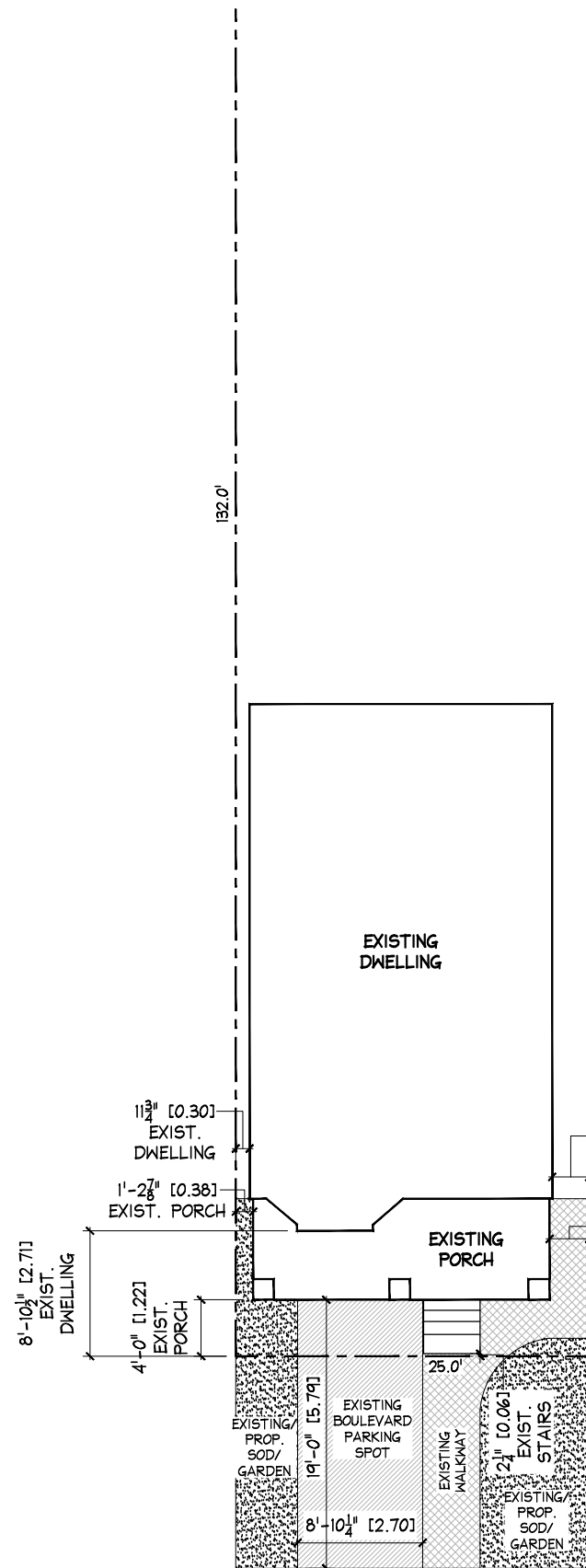
For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: May 18th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

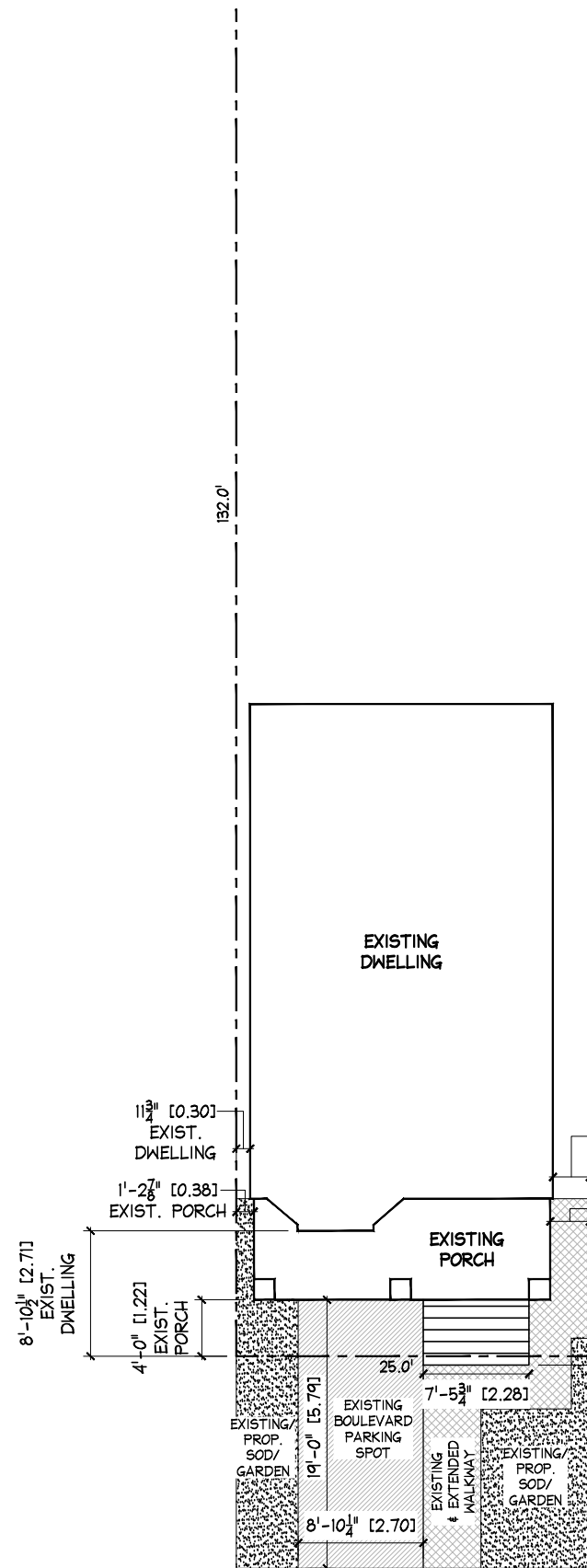
Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



EXISTING FRONT YARD AREA (BAY WINDOW FORWARD MINUS PORCH AND STAIRS IN FRONT YARD): 9.70 SQ. M.
 DRIVEWAY/WALKWAY IN FRONT YARD: 6.96 SQ. M.
 EXISTING LANDSCAPED AREA: 2.74 SQ. M. = 28.25%

SIDEWALK
 EXISTING CURB CUT
 MURRAY STREET EAST

1
 A1 EXISTING SITE PLAN
 1:150



FRONT YARD AREA (BAY WINDOW FORWARD MINUS PORCH AND RENOVATED STAIRS IN FRONT YARD): 8.34 SQ. M.
 DRIVEWAY/WALKWAY IN FRONT YARD: 5.99 SQ. M.
 EXISTING LANDSCAPED AREA: 2.35 SQ. M. = 28.18%

SIDEWALK
 EXISTING CURB CUT
 MURRAY STREET EAST

2
 A1 PROPOSED SITE PLAN
 1:150

THE MAHARAJ
 RESIDENCE
 82 MURRAY STREET EAST
 HAMILTON, ON
 L8L 3G2

**drafting
 + design**
 ■ 193 East 43rd Street ■
 ■ Hamilton, ON ■ L8T 3C3 ■
 ■ jbdraftinganddesign@live.ca ■
 ■ 905.517.6027 ■

PRELIMINARY

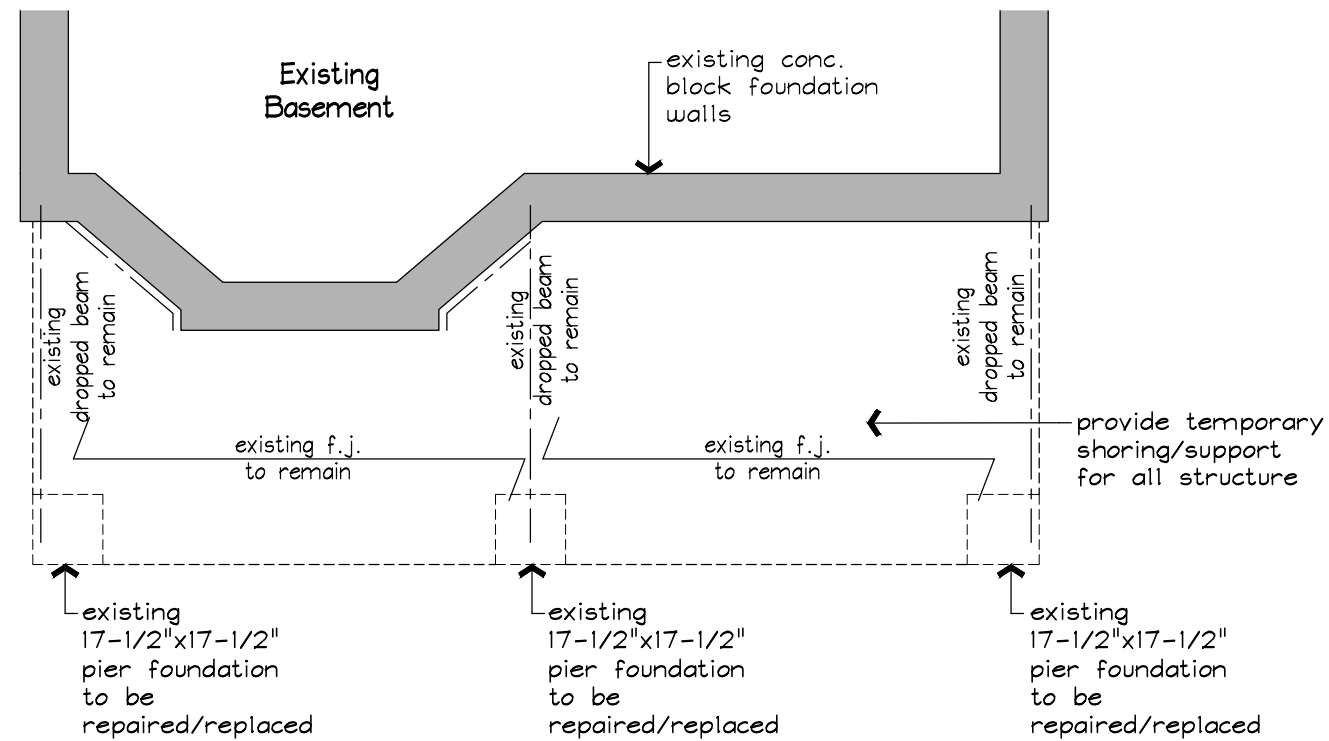
04.15.21 signature required
 Jennifer Bognar reviews and takes responsibility for the design work described in this document
 firm bcin 103416 ■ individual bcin 33001

DATE	ISSUE DESCRIPTION
06.06.20	ISSUED FOR REVIEW
04.15.21	ISSUED FOR C. OF A.

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY. THE DESIGNER IS NOT LIABLE FOR ANY CHANGES MADE BY THE CONTRACTOR WITHOUT THE DESIGNER'S KNOWLEDGE AND PERMISSION.
 FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
 UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF JB DRAFTING AND DESIGN. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

EXISTING & PROPOSED
 SITE PLANS
 1:150

SHEET
A1
 OF 8



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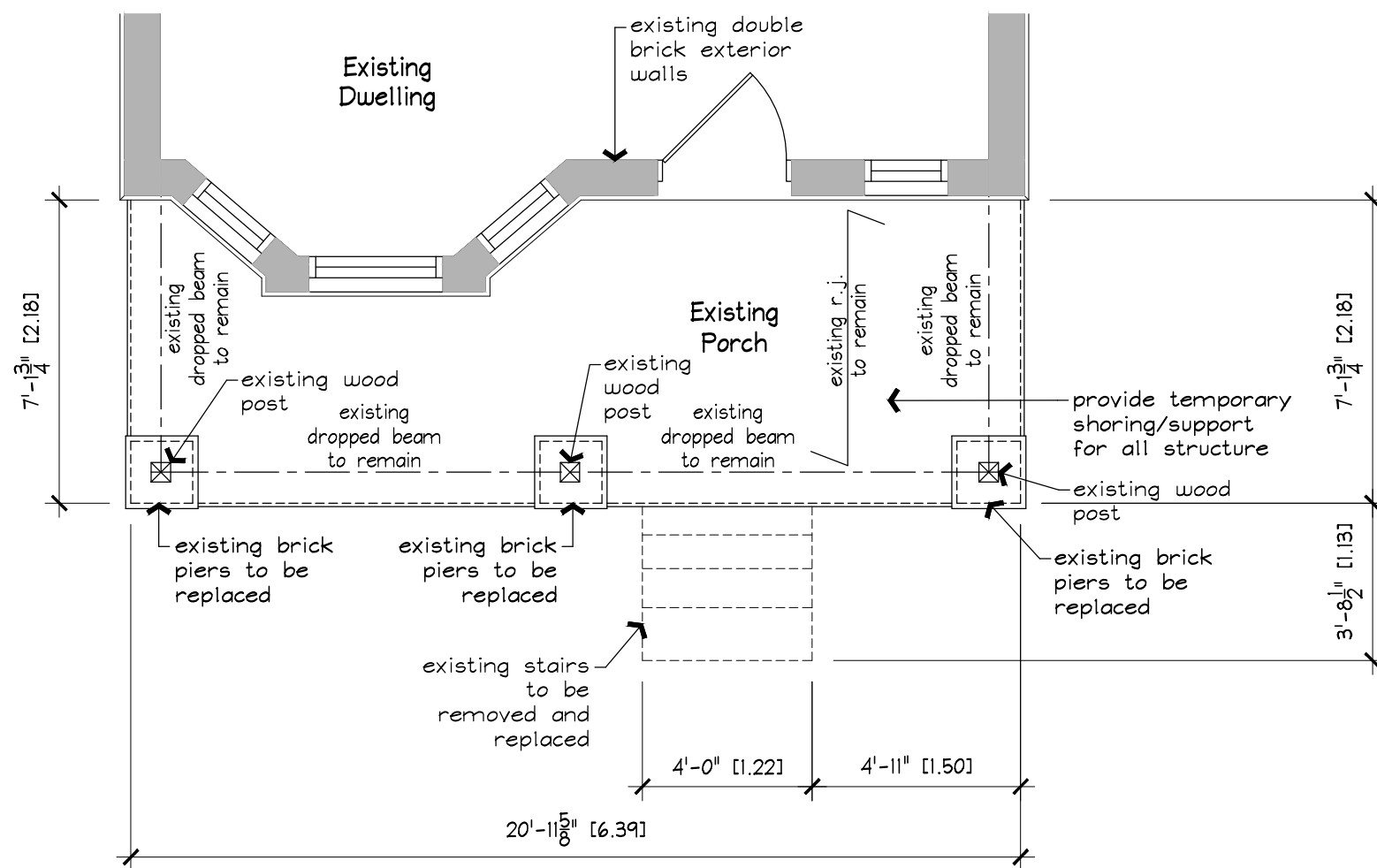
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EXISTING FOUNDATION
PLAN
1/4" = 1'-0"

SHEET

A2

OF 8



THE MAHARAJ
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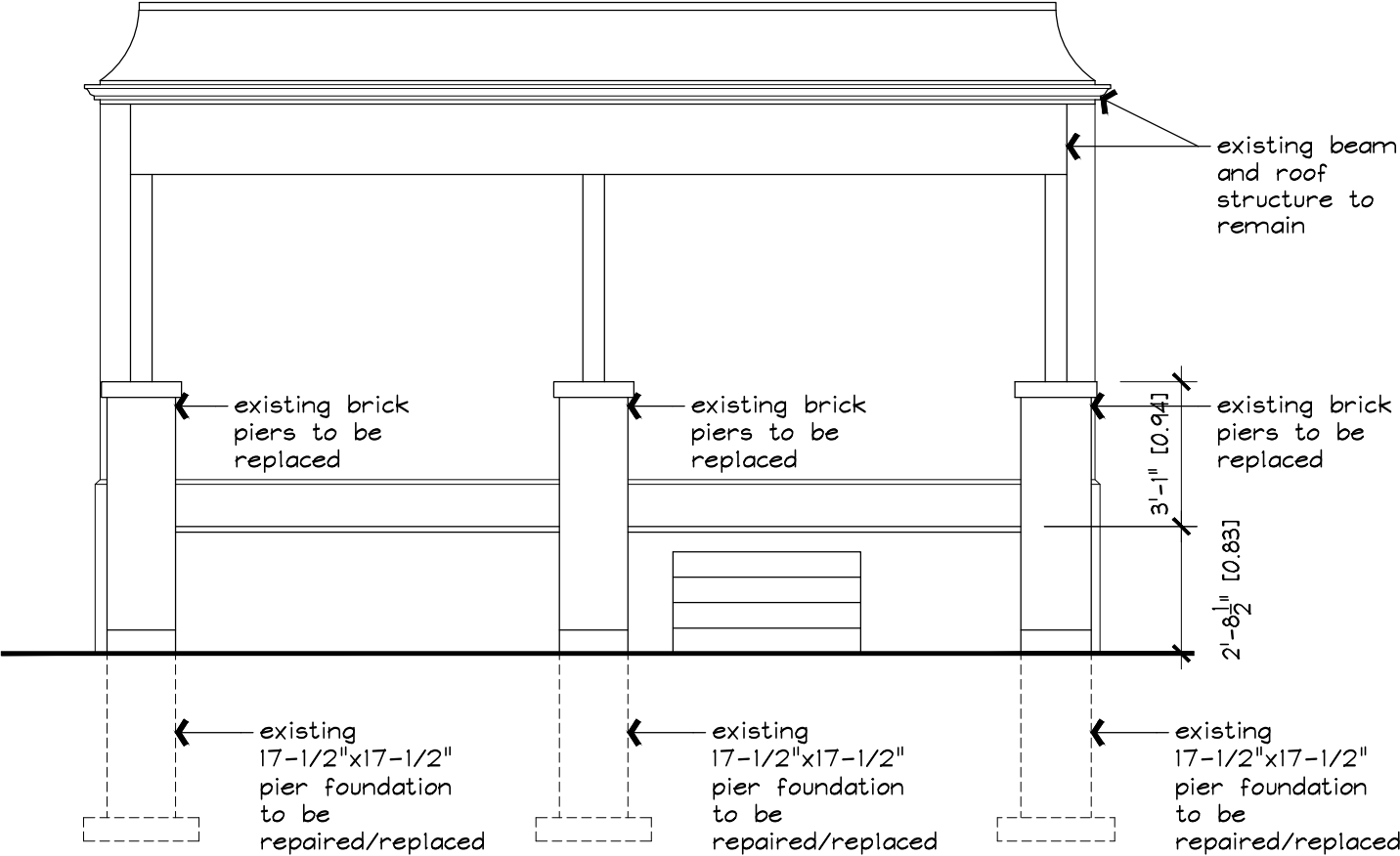
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SHEET

A3

OF 8



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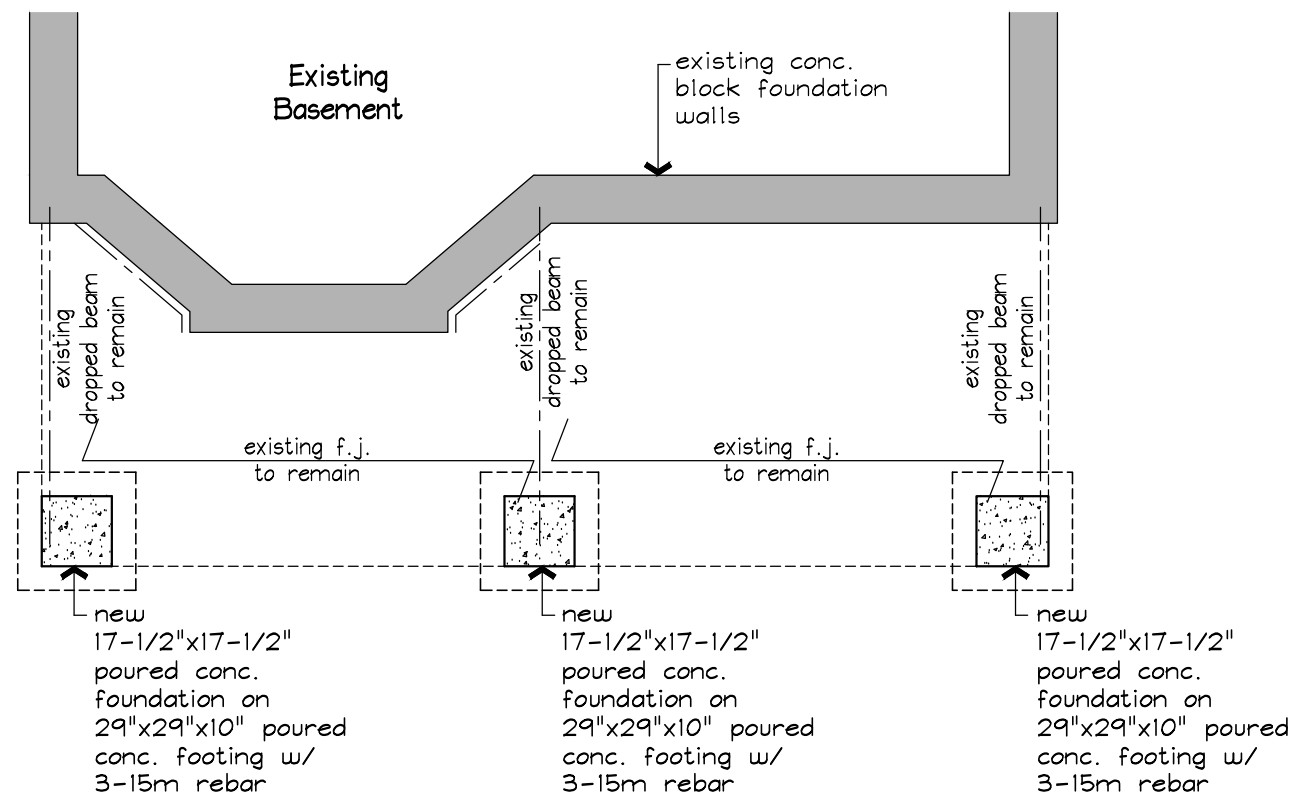
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EXISTING FRONT
ELEVATION
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SHEET

A4
OF 8



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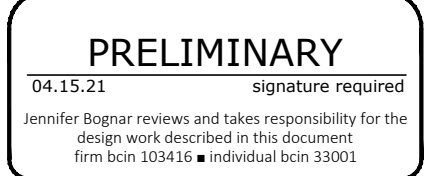
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PROPOSED
FOUNDATION PLAN
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SHEET
A5
OF 8



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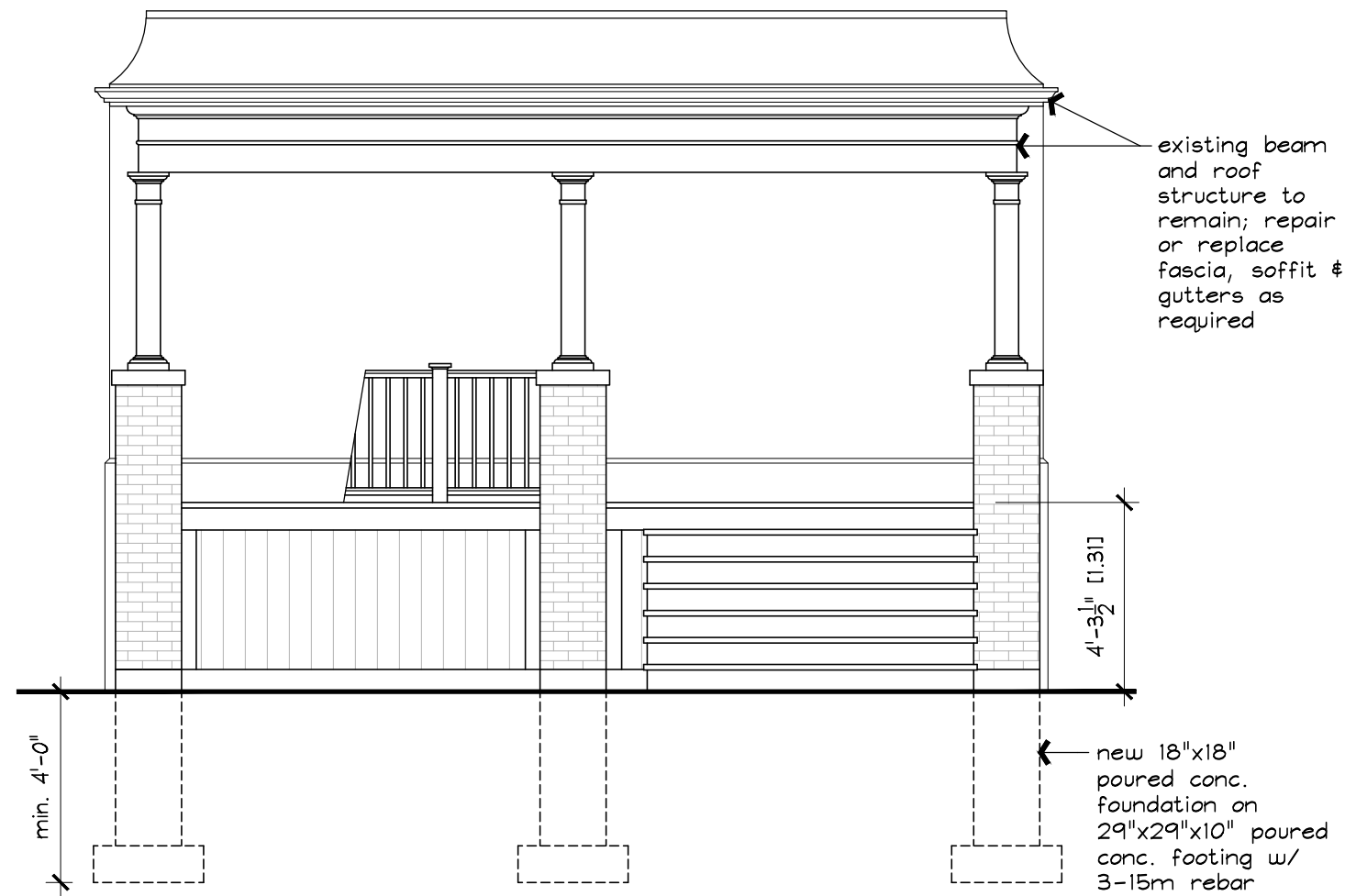
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PROPOSED FIRST
FLOOR PLAN
1/4" = 1'-0"

SHEET

A6

OF 8



THE MAHARAJ
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HAMILTON, ON
L8L 3G2

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PROPOSED FRONT
ELEVATION
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SHEET
A7
OF 8

GENERAL

1. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, 2012 EDITION, INCLUDING ALL CURRENT REVISIONS, WITH ALL OTHER APPLICABLE REGULATIONS, AND WITH GOOD CONSTRUCTION PRACTICE.
2. CHECK ALL DIMENSIONS SHOWN ON STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND REPORT ANY INCONSISTENCIES TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
3. DESIGN LIVE LOADS FOR EACH PORTION OF THE STRUCTURE ARE INDICATED ON THE DRAWINGS. DO NOT EXCEED THESE LOADS DURING CONSTRUCTION.
4. STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS.
5. STRUCTURES SHALL CONFORM TO O.B.C. PART 9 UNLESS OTHERWISE NOTED.

FOUNDATIONS AND FORMED CONCRETE

1. ALL CONCRETE CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD A23.1-04.
2. CONCRETE COMPRESSION STRENGTH AT 28 DAYS SHALL BE AS NOTED BELOW:
FOOTINGS - 20 MPa
PIERS AND WALLS - 25 MPa
INTERIOR SLABS - 25 MPa
DEICING SALTS EXPOSURE CONCRETE - 32 MPa C-2 EXP. CLASS
3. CONCRETE EXPOSED TO WEATHERING SHALL HAVE 5% TO 7% ENTRAINED AIR.
4. CONCRETE COVER TO REINFORCING STEEL SHALL BE
3" - FOR CONCRETE PLACED AGAINST EARTH
2" - FOR CONCRETE EXPOSED TO EARTH AND WEATHER
(AND AS OTHERWISE NOTED IN A23.1-D4)
5. PROVIDE DEFORMED REINFORCING STEEL CONFORMING TO CSA STANDARD G30.18M, USE GRADE 300R BARS FOR STIRRUPS AND TIES, AND GRADE 400R BARS FOR ALL OTHER REINFORCING.
6. ALL FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUPPORTING:
2000 PSF (SLS)
3000 PSF (ULS)
- CONTRACTOR IS TO VERIFY THIS PRIOR TO PLACING CONCRETE
7. FILL DIRECTLY UNDER FLOOR SLAB SHALL BE MECHANICALLY COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DENSITY.
8. DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS, FOR STEPPED FOOTINGS, 10% OF THE MAXIMUM EXPOSED ELEVATION, IN HEIGHT.
9. PROVIDE A MINIMUM 4" OF EARTH COVER TO THE UNDERSIDE OF ALL CONCRETE WALLS AND FOOTINGS FOR FROST PROTECTION. PROTECT SOIL FROM FREEZING TO AND BELOW ALL FOOTINGS.
10. FOOTING ELEVATIONS CONFORMING TO NOTES 6, 8 AND 9 ABOVE AND BASED ON THE INFORMATION AVAILABLE AT THE TIME OF TENDER HAVE BEEN SHOWN ON THE DRAWINGS. IF UPON EXCAVATION THE LEVELS SHOWN, THESE CONDITIONS ARE NOT FULLY MET, THE CONTRACTOR SHALL INDICATE THE FOOTINGS MAY BE RAISED OR LOWERED, BUT ONLY WITH THE PERMISSION OF THE ENGINEER.
11. PROVIDE 3" SKINCOAT UNDER ALL FOOTINGS BELOW THE WATER TABLE.
12. DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (OTHER THAN CANTILEVERED WALLS) UNTIL THE FLOORS CONSTRUCTED AT THE TOP AND BOTTOM OF WALL ARE IN PLACE AND HAVE ATTAINED THEIR DESIGN STRENGTH.
13. BACKFILL AGAINST FOUNDATION WALLS IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 1'-6" DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL, EXCEPT WHERE TEMPORARY SUPPORT IS PROVIDED.

UNIT MASONRY

1. ALL MASONRY CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD A371-04. ALL MASONRY REINFORCING AND TYING SHALL BE IN ACCORDANCE WITH CSA STANDARDS A370-04. AND 5304.1-04. ALL MASONRY AND GROUT SHALL BE IN ACCORDANCE WITH CSA STANDARDS A179-04.
2. CONCRETE MASONRY UNITS SHALL BE TYPE H/15 A/M NORMAL WEIGHT BLOCKS UNLESS OTHERWISE NOTED.
3. MORTAR FOR EXTERIOR MASONRY SHALL BE:
TYPE S - LOAD BEARING BELOW GRADE, AND
TYPE S - LOAD BEARING ABOVE GRADE.
MORTAR FOR INTERIOR MASONRY SHALL BE:
TYPE S - LOAD BEARING, AND
TYPE N - NON-LOAD BEARING.
4. CONCRETE GROUT FOR REINFORCED MASONRY SHALL CONSIST OF ONE PART PORTLAND CEMENT AND THREE PARTS SAND WITH WATER TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH OF 10 MPa @ 28 DAYS. MAXIMUM AGGREGATE SIZE SHALL BE 3/8", SLUMP FOR THE GROUT SHALL BE 8" TO 10".
5. CONSTRUCT MASONRY EVENLY IN MAXIMUM LIFTS OF 4' PER WORKING DAY. RAKE BACK ENDS OF UNFINISHED WALLS; DO NOT TOOTH AND BOND NEW MASONRY.
6. WHERE BEAMS, JOISTS, OR LINTELS ARE SUPPORTED ON MASONRY WALLS, BUILD SOLID MASONRY TIGHT AROUND MEMBERS AT THEIR POINT OF BEARING. INSTALL STEEL BEARING PLATES COMPLETE WITH ANCHORS INTO THE MASONRY WALL THE SPECIFIED ELEVATION. FILL VOIDS IN MASONRY UNITS BELOW THE PADS WITH CONCRETE GROUT AND 1-15M BAR IN EACH CELL (MIN. 2 CELLS) TO FULL HEIGHT OF THE WALL BELOW THE BEARING LEVEL.
7. VERTICAL CONTROL JOINTS SHALL BE LOCATED AT MAXIMUM SPACING OF 16' TO 20' OR AS LOCATED ON THE DRAWINGS.
8. OVER ALL OPENINGS OR RECESSES IN THE MASONRY WALLS, INCLUDING THOSE REQUIRED FOR MECHANICAL OR ELECTRICAL EQUIPMENT, PROVIDE AND INSTALL STEEL LINTELS AS ON TYPICAL DETAILS, EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS. FOR OPENINGS LESS THAN 18", PROVIDE 1/4" THICK MILD STEEL PLATE LINTEL.
9. TRIM ALL OPENINGS IN MASONRY WALLS WITH 2-15M BARS GROUTED VERTICALLY TO THE BLOCK VOIDS. TYPICAL UNLESS OTHERWISE NOTED.
10. PROVIDE VERTICAL AND HORIZONTAL REINFORCING AS FOLLOWS UNLESS OTHERWISE SHOWN ON THE DRAWINGS:
8" CONCRETE BLOCK
VERTICAL REINFORCING - 15M @ 32" O.C.
HORIZONTAL REINFORCING - HEAVY DUTY TRUSS TYPE
EVERY SECOND BLOCK COURSE
10"
VERTICAL REINFORCING - 20M @ 24" O.C.
HORIZONTAL REINFORCING - HEAVY DUTY TRUSS TYPE
EVERY SECOND BLOCK COURSE

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL WORK, INCLUDING DESIGN OF ALL COMPONENTS, SHALL BE CARRIED OUT IN ACCORDANCE WITH CAN/CSA-S16-01 EXCEPT WHERE OTHERWISE NOTED.
2. PROVIDE NEW STRUCTURAL STEEL COMFORMING WITH CSA STANDARD G40.21-04. PROVIDE GRADE 50N FOR ROLLED SHAPES AND PLATES, AND GRADE 50N FOR HOLLOW STRUCTURAL SECTIONS. ALL STRUCTURAL STEEL SHALL BE COATED TO CONFORMING WITH CAN/CSA STANDARD 1-73g.
3. ALL BOLTS SHALL BE ASTM A325 OR BETTER HIGH STRENGTH BOLTS. ANCHOR BOLTS MAY BE ASTM A307.
4. ALL BEAM-TO-BEAM AND BEAM-TO-COLUMN CONNECTIONS SHALL BE DOUBLE ANGLE UNLESS OTHERWISE NOTED.
5. WELD ALL JOISTS AND BEAMS TO BEARING PLATES OR SUPPORTING MEMBERS UNLESS OTHERWISE NOTED.
6. ALL WELDING SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD W47.1. THE FACTORING SHALL BE FULLY APPROVED BY THE CANADIAN WELDING BUREAU IN CONFORMANCE WITH THE CSA STANDARD W47.1-03.
7. HOT DIP GALVANIZE ALL STEEL LINTELS AND SHELF ANGLES IN EXTERIOR WALLS AND ALL STEEL EXPOSED TO WEATHER.
8. ALL BASE PLATES TO BE $\frac{1}{2}$ " THICK, UNLESS OTHERWISE NOTED.

WOOD FRAMING

1. WOOD STRUCTURAL ELEMENTS SHALL COMPLY WITH CSA STANDARD 086-01.
2. WOOD SHALL BE GRADE MARKED TO CONFORM TO CSA STANDARD 041-01. SPAN LAMBER SHALL BE SP. 12, AND NO. 2 IN THE RATIO OF 67% (MINIMUM) AND 33% (MAXIMUM) RESPECTIVELY.
3. ENGINEERED WOOD BEAM MEMBERS SHALL BE 1/7E GRADE LSL BY TRUSS JOIST OR APPROVED EQUAL OR BETTER. MULTI-PLY MEMBERS SHALL BE INTERCONNECTED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS. SIDE LOADED (FLUSH) MULTI-PLY BEAMS SHALL BE INTERCONNECTED WITH 2 ROWS OF 1/2" DIAMETER THRU-BOLTS AT 12" O.C.
4. ALL BOLTS SHALL BE A307 GRADE OR BETTER.
5. ENGINEERED WOOD JOIST MEMBERS SHALL BE TJI JOISTS BY TRUSS JOIST OR APPROVED EQUAL OR BETTER.
6. PROVIDE 2-2"x4" OR 2-2"x6" (TO MATCH THICKNESS OF STUDS) SOLID SUPPORT POST UNDER EACH END OF ALL TIMBER BEAMS, UNLESS OTHERWISE NOTED.

DESIGN LOADING (SERVICE LOADS)

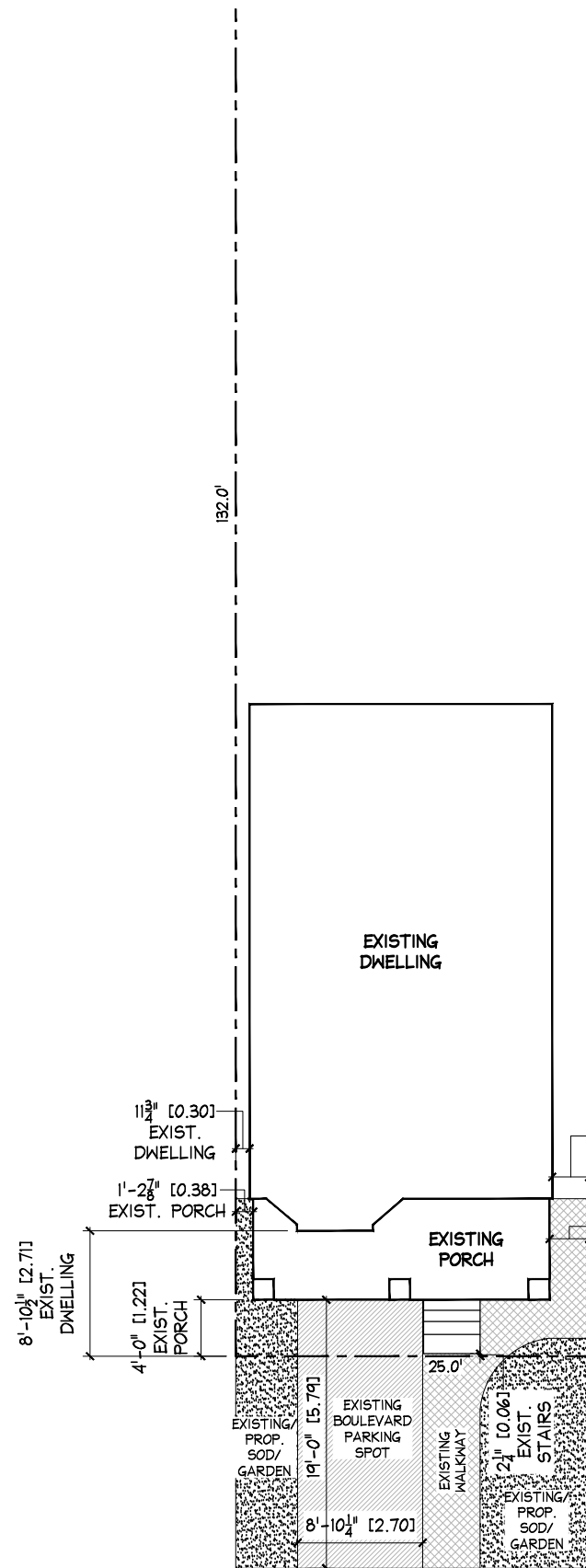
1. ROOF STRUCTURE
DEAD LOAD = 18.0 PSF
LIVE LOAD = 24.0 PSF
2. FLOOR STRUCTURE
DEAD LOAD = 25.0 PSF
LIVE LOAD = 40.0 PSF

1. ALL CONSTRUCTION TO MEET OR EXCEED THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
2. CONTRACTOR TO INSPECT SITE PRIOR TO BID SUBMISSION AND REPORT ANY DISCREPANCIES TO WILLIAMS RESIDENTIAL DESIGN.
3. ENSURE THAT ALL CONSTRUCTION MATERIALS, METHODS OR CONSTRUCTION AND TEMPORARY BRACING COMPLY WITH REQUIREMENTS OF JURISDICTIONAL AUTHORITY.
4. MADE GOOD ALL AREAS OF WORK AND SURFACES DISTURBED BY CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT.
5. CONTRACTOR SHALL COORDINATE STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK IN ORDER TO ENSURE THAT THE PARTS OF THE WORK COME TOGETHER PROPERLY.
6. SITE VERIFY ALL DIMENSIONS AND MAKE MODIFICATIONS TO SUIT EXISTING CONDITIONS AT THE DIRECTION OF WILLIAMS RESIDENTIAL DESIGN.
7. CABINET FABRICATOR TO WORK WITH OWNER AND SUPPLY SHOP DRAWINGS FOR ALL RELATED WORK.
8. WINDOW SUPPLIER TO WORK WITH OWNER AND SUPPLY SHOP DRAWINGS FOR ALL PROPOSED WINDOWS AND DOORS TO BE INSTALLED.
9. OWNER WILL PAY THE COST OF BUILDING PERMITS, THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, AND FEES REQUIRED FOR CONSTRUCTION AND INSTALLATION OF SERVICES, EQUIPMENT, SIGNAGE, TEMPORARY HYDRO, AND OCCUPANCY.
10. PLANS SHOWN HERE DO NOT REPRESENT THE FULL LIMIT OF THE SCOPE OF THE WORK. PROVIDE BLOCKING CUTTING, PATCHING AND ALL REMEDIAL WORK IN ORDER TO ENSURE ALL PARTS OF THE WORK PERFORMED INTERFACE PROPERLY AND CONFORM TO CODE.
11. SITE VISITS SHALL BE REQUIRED IN ALL AREAS DAMAGED BY NEW OR RENOVATED CONSTRUCTION TO MATCH EXISTING OR PROVIDE RECOMMENDATIONS TO OWNER AND WILLIAMS RESIDENTIAL DESIGN FOR APPROVAL PRIOR TO COMMENCEMENT OR WORK.
12. ELECTRICAL CONTRACTOR TO ASSESS EXISTING INCOMING SERVICE AND MAKE RECOMMENDATION TO OWNER.
13. ELECTRICAL AND GENERAL CONTRACTOR TO CONDUCT WALK THROUGH WITH OWNER AFTER CONSTRUCTION IS COMPLETE TO DETERMINE EXACT LOCATION OF ALL ELECTRICAL OUTLETS ON SITE.
14. ALL EXISTING STRUCTURE HAS BEEN ASSUMED TO BE ADEQUATE TO CARRY ALL LOADING SHOWN ON THE DRAWINGS. IF HOWEVER, SINCE CERTAIN STRUCTURAL MEMBERS CANNOT BE INSPECTED PRIOR TO EXPOSURE OF THE SUBSTRATE, IT IS FOUND THAT EXISTING STRUCTURAL MEMBERS ARE NOT ADEQUATE TO CARRY THE LOADING OR O.B.C. REQUIREMENTS THEN THE CONTRACTOR SHALL NOTIFY WILLIAMS RESIDENTIAL DESIGN IMMEDIATELY FOR AN ENGINEERING EXAMINATION, REDESIGN OF OR REMEDIAL ACTION TO BRING THE INADEQUATE STRUCTURE UP TO CODE BEFORE PROCEEDING WITH FURTHER WORK ON THE AREA IN QUESTION.

1. INTERIOR AND EXTERIOR STAIRS SHALL BE CONSTRUCTED AS FOLLOWS
MAX RISE = $7\frac{3}{4}"$
MIN. RUN = $8\frac{1}{2}"$
MIN. TREAD = $9\frac{1}{2}"$
MIN. HEADROOM INTERIOR = $6'-5"$
MIN. HEADROOM EXTERIOR = $6'-4"$
HANDRAIL HEIGHT AT STAIRS = $32"$
HANDRAIL HEIGHT AT INTERMEDIATE LANDINGS = $32"$
HANDRAIL HEIGHT AT MAIN LANDINGS = $36"$
MIN. STAIR WIDTH = $2'-10"$ C/W LANDING THE SAME WIDTH AS THE STAIR
2. GUARDS REQUIRED ON EXTERIOR BALCONIES AND PORCHES IF OVER $2'-0"$ ABOVE FINISHED GRADE; MIN. GUARD HEIGHT = $36"$
3. GUARDS REQUIRED ON EXTERIOR BALCONIES AND PORCHES IF OVER $5'-11"$ ABOVE FINISHED GRADE; MIN. GUARD HEIGHT = $42"$
4. EXTERIOR WOOD STAIRS MUST BE SUPPORTED ON CONCRETE BASE OR APRON MIN. $1"$ ABOVE GRADE, FOUNDATIONS REQUIRED IF EXTERIOR STAIRS HAVE MORE THAN 2 TREADS AND 2 RISERS
5. ALL INTERIOR AND EXTERIOR GUARDS SHALL CONFORM TO SUPPLEMENTARY GUIDELINES TO THE ONTARIO BUILDING CODE SB-7 GUARDS FOR HOUSING AND S.I.A.L. BUILDINGS.
6. HANDRAILS ARE REQUIRED AT THE MAIN ENTRANCE. A LANDING IS REQUIRED AT ANY SECONDARY ENTRANCE WHEN MORE THAN 3 RISERS AND INSTALLED BETWEEN 800mm ($2'-7"$) AND 920mm ($3'-0"$).

SHEET

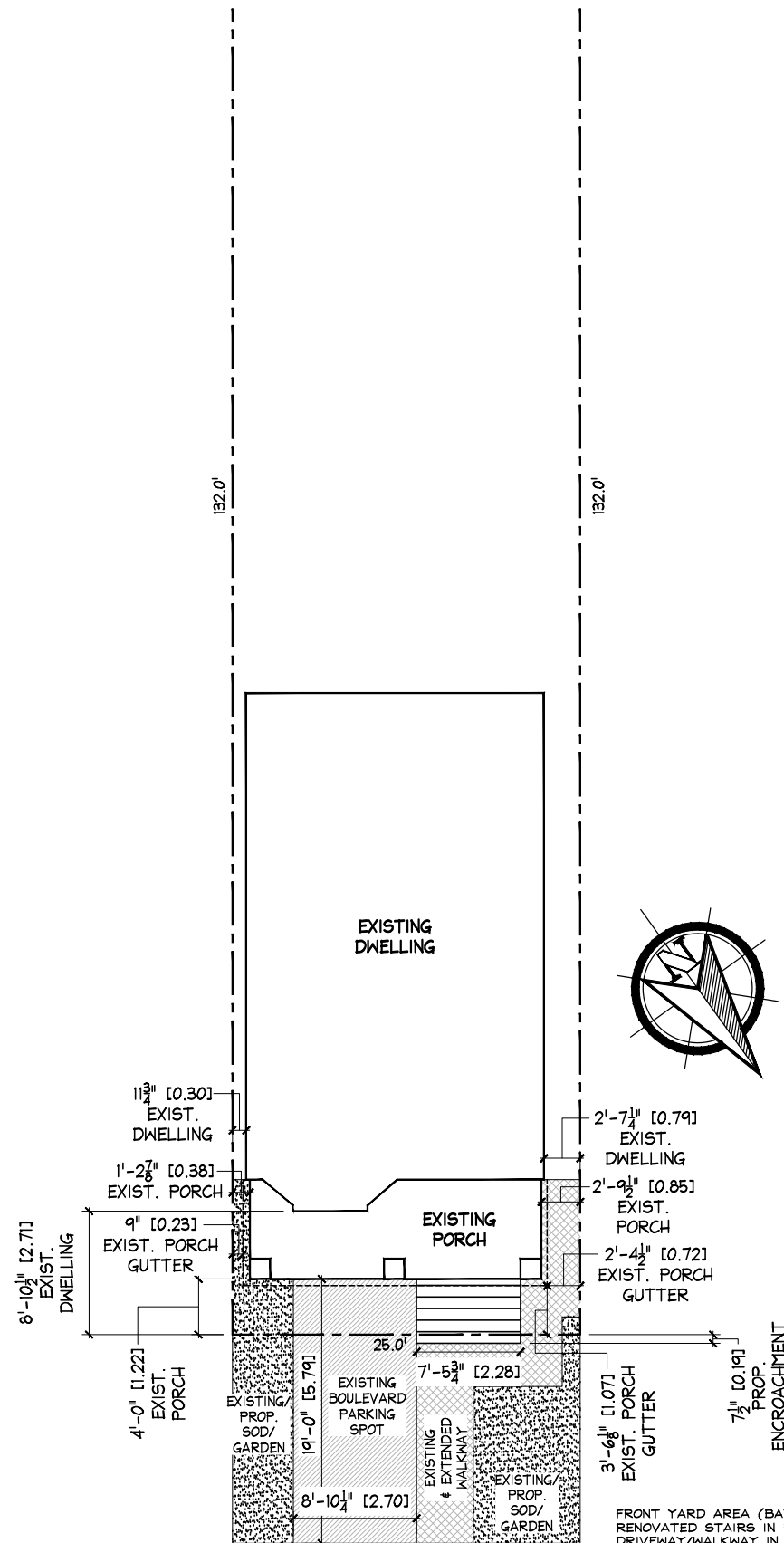
OF 8



EXISTING FRONT YARD AREA (BAY WINDOW FORWARD MINUS PORCH AND STAIRS IN FRONT YARD): 9.70 SQ. M.
DRIVEWAY/WALKWAY IN FRONT YARD: 6.96 SQ. M.
EXISTING LANDSCAPED AREA: 2.74 SQ. M. = 28.25%

SIDEWALK
EXISTING CURB CUT
MURRAY STREET EAST

1
A1
EXISTING SITE PLAN
1:150



FRONT YARD AREA (BAY WINDOW FORWARD MINUS PORCH AND RENOVATED STAIRS IN FRONT YARD): 8.34 SQ. M.
DRIVEWAY/WALKWAY IN FRONT YARD: 5.99 SQ. M.
EXISTING LANDSCAPED AREA: 2.35 SQ. M. = 28.18%

SIDEWALK
EXISTING CURB CUT
MURRAY STREET EAST

2
A1
PROPOSED SITE PLAN
1:150

THE MAHARAJ RESIDENCE
82 MURRAY STREET EAST
HAMILTON, ON
L8L 3G2

drafting + design

■ 193 East 43rd Street ■
■ Hamilton, ON ■ L8T 3C3 ■
■ jbdraftinganddesign@live.ca ■
■ 905.517.6027 ■

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04.15.21	ISSUED FOR C.O.F.A.

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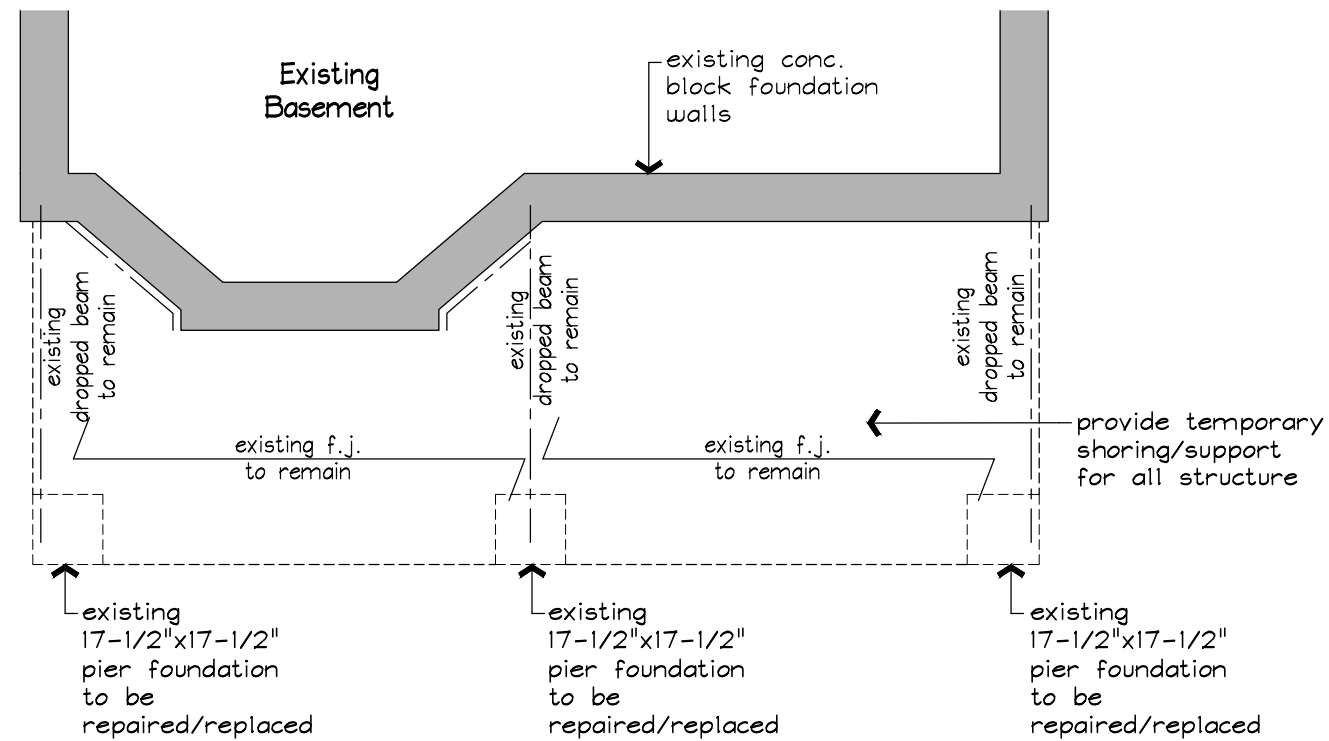
EXISTING & PROPOSED SITE PLANS

1:150

SHEET

A1

OF 8



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RESIDENCE
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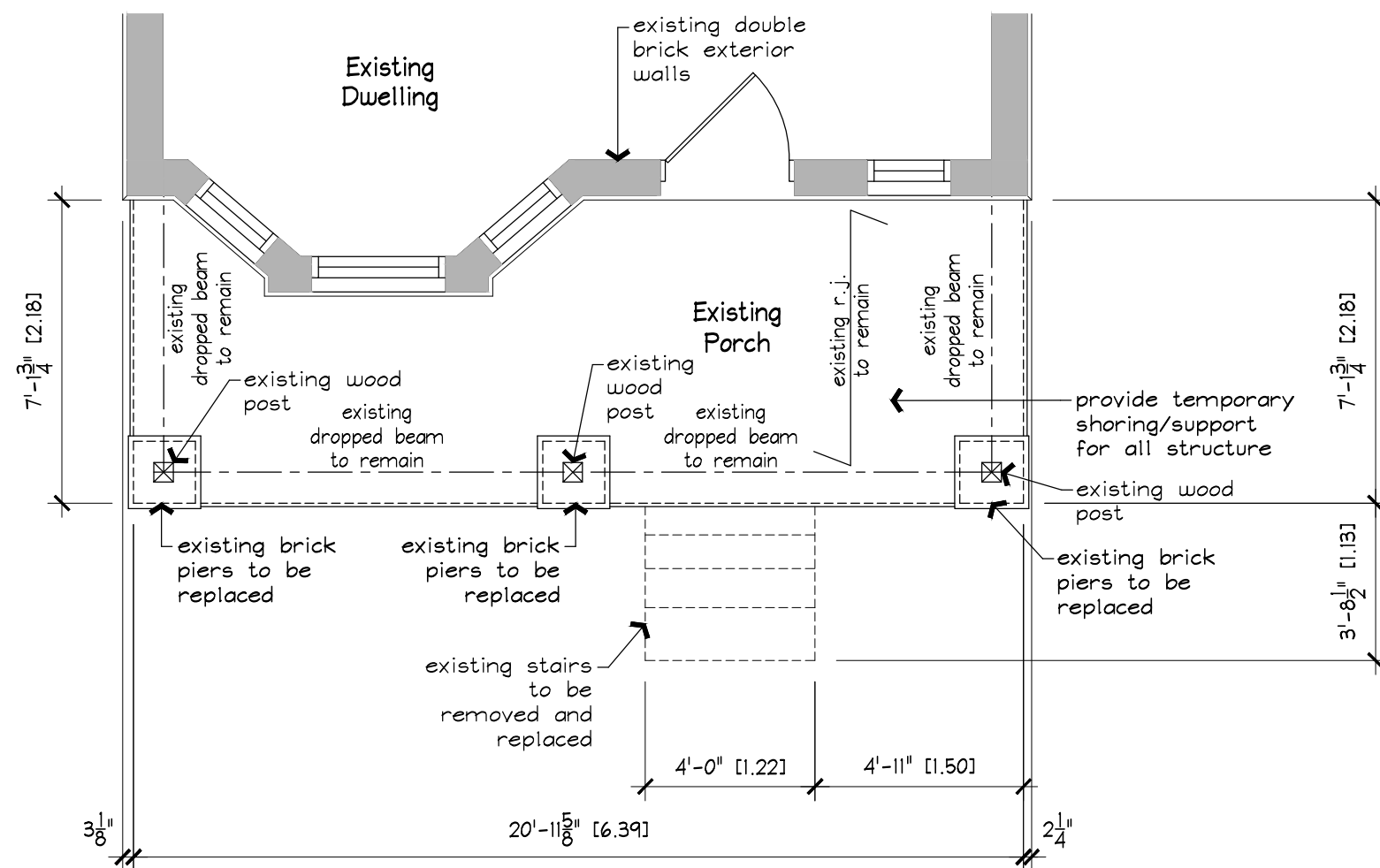
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EXISTING FOUNDATION
PLAN
1/4" = 1'-0"

SHEET

A2

OF 8



THE MAHARAJ
RESIDENCE
82 MURRAY STREET EAST
HAMILTON, ON
L8L 3G2

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+ design**

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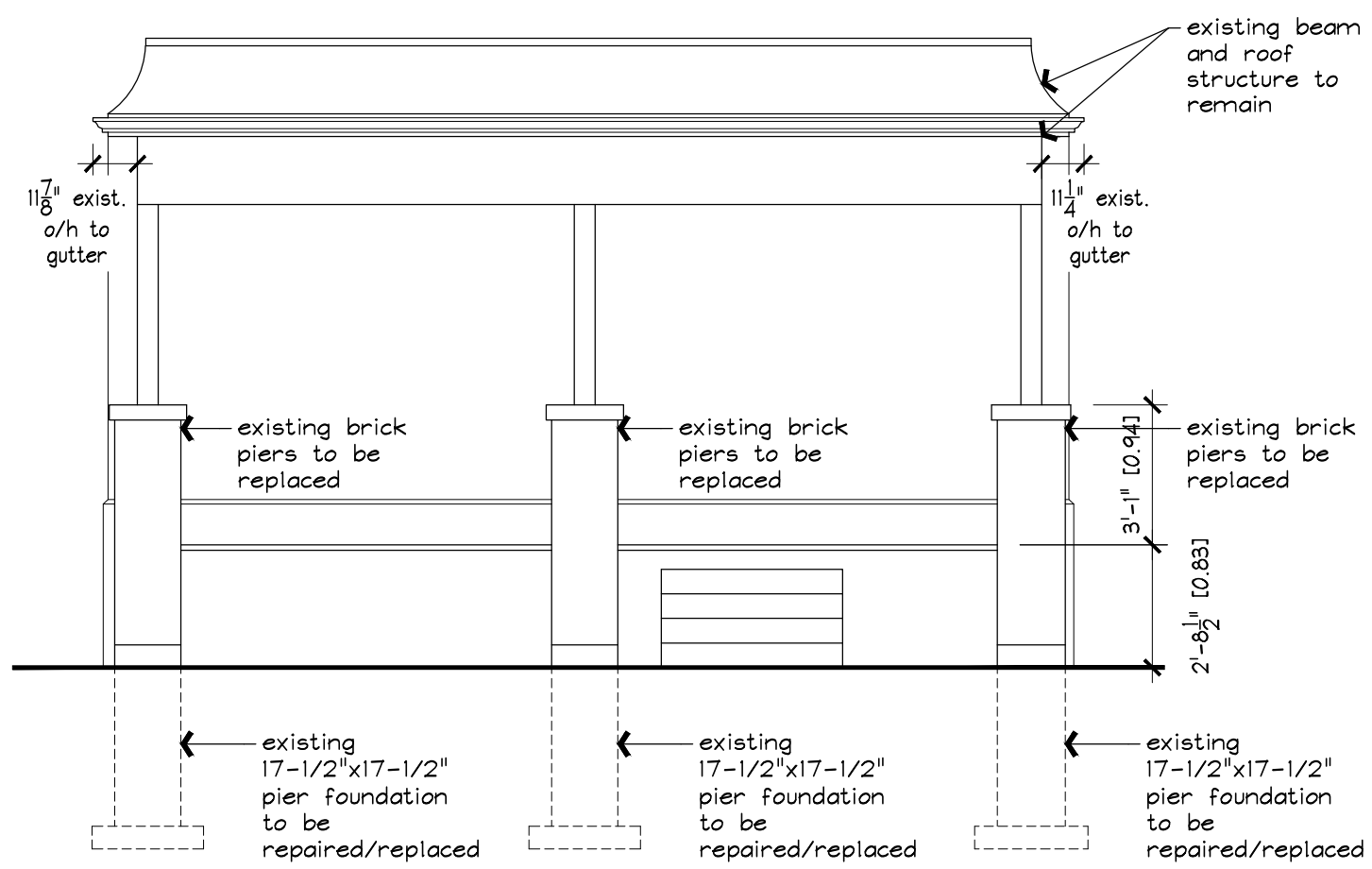
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EXISTING FIRST
FLOOR PLAN
1/4" = 1'-0"

SHEET

A3

OF 8



THE MAHARAJ
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HAMILTON, ON
L8L 3G2

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+ design**

■ 193 East 43rd Street ■
■ Hamilton, ON ■ L8T 3C3 ■
■ jbdraftinganddesign@live.ca ■
■ 905.517.6027 ■

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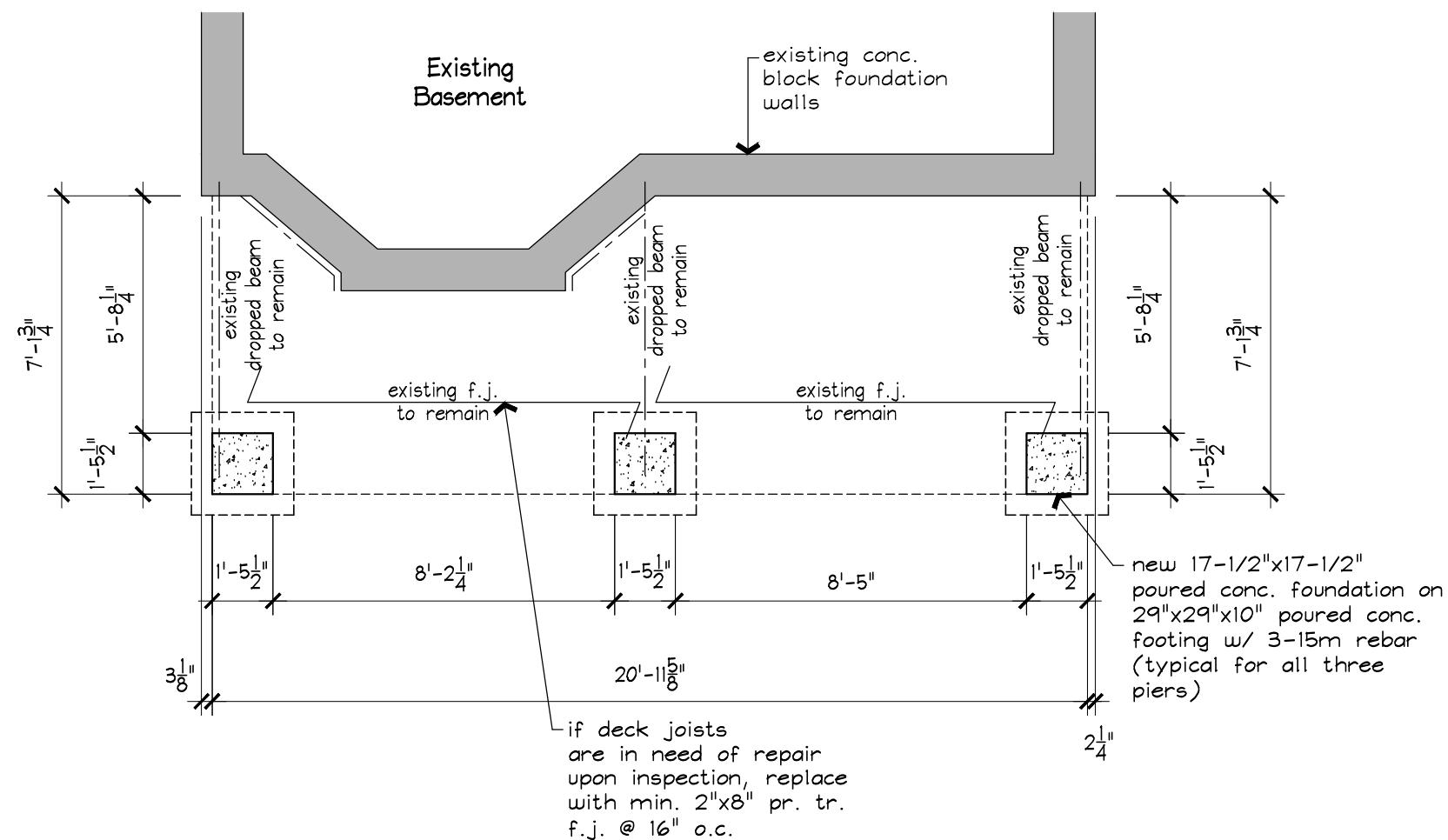
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EXISTING FRONT
ELEVATION
1/4" = 1'-0"

SHEET

A4

OF 8



THE MAHARAJ
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82 MURRAY STREET EAST
HAMILTON, ON
L8L 3G2

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+ design**

193 East 43rd Street
Hamilton, ON L8T 3C3
jbdraftinganddesign@live.ca
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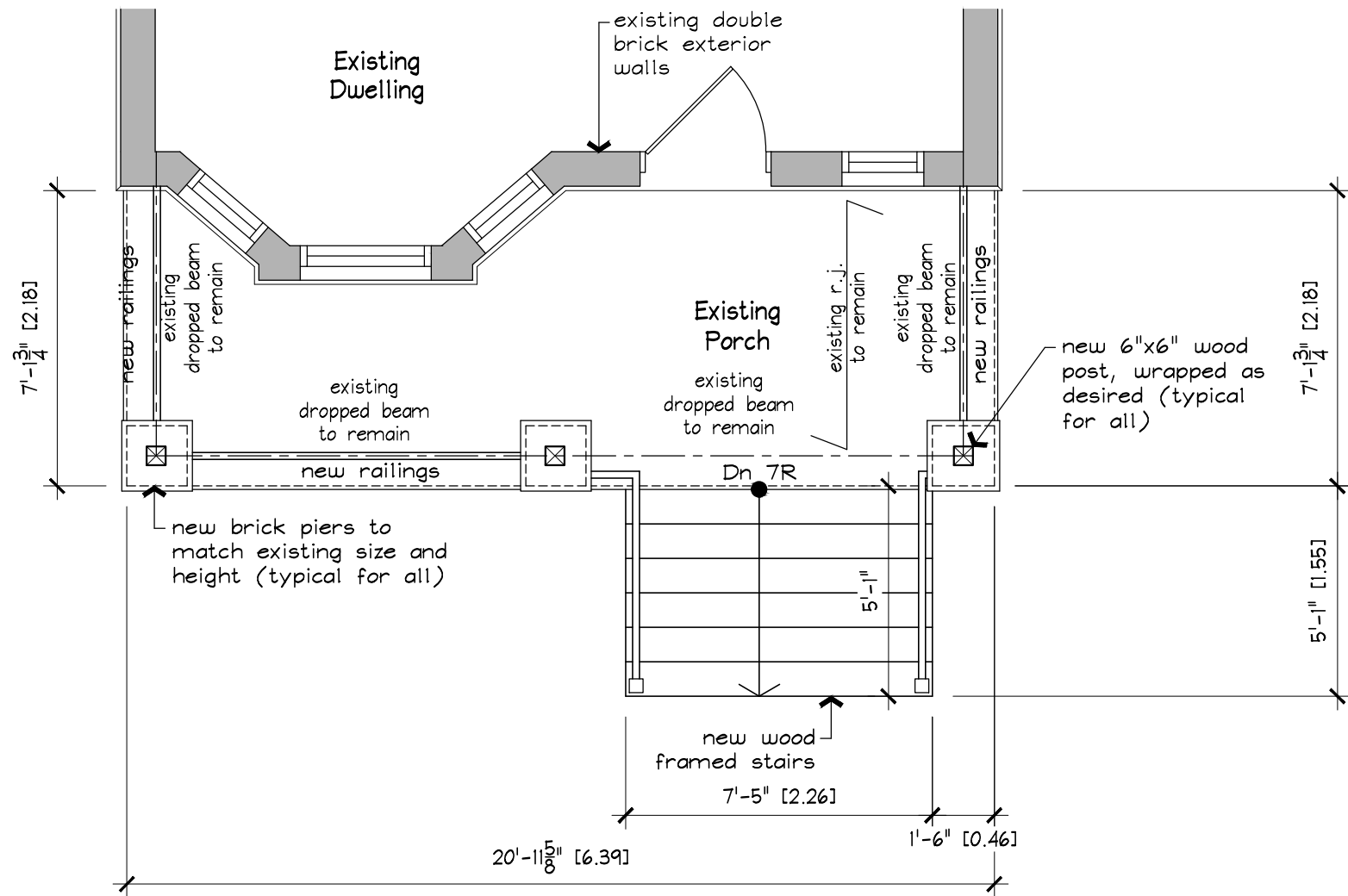
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PROPOSED
FOUNDATION PLAN
1/4" = 1'-0"

SHEET
A5
OF 8



THE MAHARAJ
RESIDENCE
82 MURRAY STREET EAST
HAMILTON, ON
L8L 3G2

**drafting
+ design**

193 East 43rd Street
Hamilton, ON L8T 3C3
jbdraftinganddesign@live.ca
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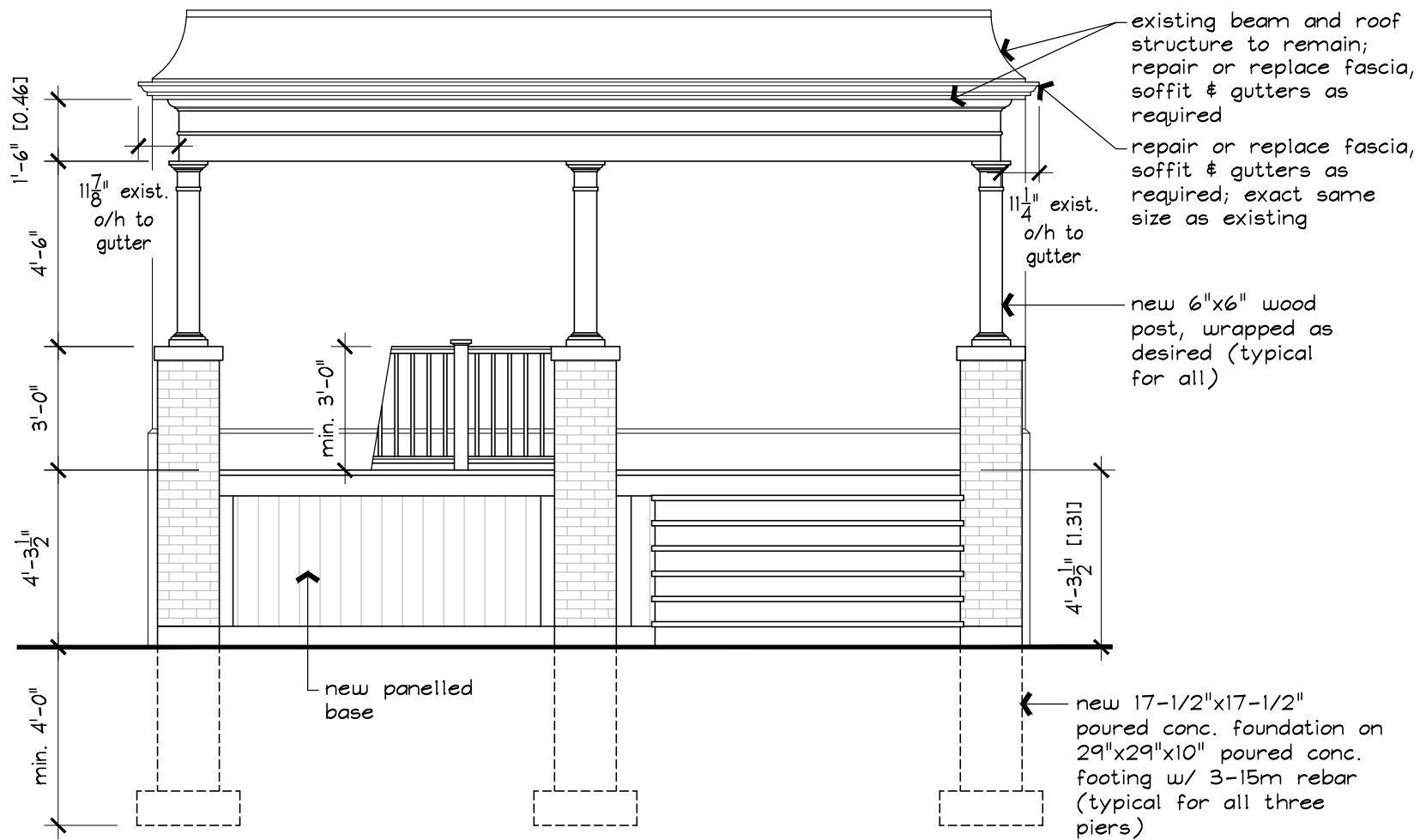
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PROPOSED FIRST
FLOOR PLAN
1/4" = 1'-0"

SHEET

A6

OF 8



**THE MAHARAJ
RESIDENCE**
82 MURRAY STREET EAST
HAMILTON, ON
L8L 3G2

**drafting
+ design**
■ 193 East 43rd Street ■
■ Hamilton, ON ■ L8T 3C3 ■
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**PROPOSED FRONT
ELEVATION**
1/4" = 1'-0"

SHEET

A7

OF 8

GENERAL

1. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, 2012 EDITION, INCLUDING ALL CURRENT REVISIONS, WITH ALL OTHER APPLICABLE REGULATIONS, AND WITH GOOD CONSTRUCTION PRACTICE.
2. CHECK ALL DIMENSIONS SHOWN ON STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND REPORT ANY INCONSISTENCIES TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
3. DESIGN LIVE LOADS FOR EACH PORTION OF THE STRUCTURE ARE INDICATED ON THE DRAWINGS. DO NOT EXCEED THESE LOADS DURING CONSTRUCTION.
4. STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS.
5. STRUCTURES SHALL CONFORM TO O.B.C. PART 9 UNLESS OTHERWISE NOTED.

FOUNDATIONS AND FORMED CONCRETE

1. ALL CONCRETE CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD A23.1-04.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS NOTED BELOW:
FOOTINGS - 20 MPa
PIERS AND WALLS - 25 MPa
INTERIOR SLABS - 25 MPa
DEICING SALTS EXPOSURE CONCRETE - 32 MPa C-2 EXP. CLASS
3. CONCRETE EXPOSED TO WEATHERING SHALL HAVE 5% TO 7% ENTRAINED AIR.
4. CONCRETE COVER TO REINFORCING STEEL SHALL BE:
3" - FOR CONCRETE PLACED AGAINST EARTH
2" - FOR CONCRETE EXPOSED TO EARTH AND WEATHER
AND AS OTHERWISE NOTED IN A23.1-04
5. PROVIDE DEFORMED REINFORCING STEEL CONFORMING TO CSA STANDARD G30.18M, USE GRADE 300C BARS FOR STIRRUPS AND TIES, AND GRADE 400R BARS FOR ALL OTHER REINFORCING.
6. ALL FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUPPORTING:
2000 PSF (95k)
3000 PSF (145k)
- CONTRACTOR IS TO VERIFY THIS PRIOR TO PLACING CONCRETE
7. FILL DIRECTLY UNDER FLOOR SLAB SHALL BE MECHANICALLY COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DENSITY.
8. DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS, FOR STEPPED FOOTINGS, USE STEPPED COVER EXCEEDING 2'-0" IN HEIGHT.
9. PROVIDE MINIMUM 4'-0" EARTH COVER TO THE UNDERSIDE OF ALL CONCRETE WALLS AND FOOTINGS FOR FROST PROTECTION. PROTECT SOIL FROM FREEZING TO AND BELOW ALL FOOTINGS.
10. FOOTING ELEVATIONS CONFORMING TO NOTES 6, 8 AND 9 ABOVE AND BASED ON THE INFORMATION AVAILABLE AT THE TIME OF TENDER HAVE BEEN SHOWN ON THE DRAWINGS. IF UPON EXCAVATION TO THE LEVELS SHOWN, THESE CONDITIONS ARE NOT FULLY MET, THE CONTRACTOR SHALL INDICATE, FOOTINGS MAY BE RAISED OR LOWERED, BUT ONLY WITH THE PERMISSION OF THE ENGINEER.
11. PROVIDE 3" SKINCOAT UNDER ALL FOOTINGS BELOW THE WATER TABLE.
12. DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (OTHER THAN CANTILEVERED WALLS) UNTIL THE FLOORS CONSTRUCTED AT THE TOP AND BOTTOM OF WALL ARE IN PLACE AND HAVE ATTAINED THEIR DESIGN STRENGTH.
13. BACKFILL AGAINST FOUNDATION WALLS IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 1'-6" DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL, EXCEPT WHERE TEMPORARY SUPPORT IS PROVIDED.

UNIT MASONRY

1. ALL MASONRY CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD A371-04. ALL MASONRY REINFORCING AND TYING SHALL BE IN ACCORDANCE WITH CSA STANDARDS A370-04. AND 5304.1-04. ALL MASONRY AND GROUT SHALL BE IN ACCORDANCE WITH CSA STANDARDS A179-04.
2. CONCRETE MASONRY SHALL BE TYPE 1/15 A/M NORMAL HEIGHT BLOCKS UNLESS OTHERWISE NOTED.
3. MORTAR FOR EXTERIOR MASONRY SHALL BE:
TYPE S - LOAD BEARING BELOW GRADE, AND
TYPE S - LOAD BEARING ABOVE GRADE.
MORTAR FOR INTERIOR MASONRY SHALL BE:
TYPE S - LOAD BEARING, AND
TYPE N - NON-LOAD BEARING.
4. CONCRETE GROUT FOR REINFORCED MASONRY SHALL CONSIST OF ONE PART PORTLAND CEMENT AND THREE PARTS SAND WITH WATER TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH OF 10 MPa at 28 DAYS. MAXIMUM AGGREGATE SIZE SHALL BE 3/8", SLUMP FOR THE GROUT SHALL BE 8" TO 10".
5. CONSTRUCT MASONRY EVENLY IN MAXIMUM LIFTS OF 4' PER WORKING DAY. RAKE BACK ENDS OF UNFINISHED WALLS; DO NOT TOOTH AND BOND NEW MASONRY.
6. WHERE BEAMS, JOISTS, OR LINTELS ARE SUPPORTED ON MASONRY WALLS, BUILD SOLID MASONRY TIGHT AROUND MEMBERS AT THEIR POINT OF BEARING. INSTALL STEEL BEARING PLATES COMPLETE WITH ANCHORS INTO THE MASONRY WALL THE SPECIFIED ELEVATION. FILL VOIDS IN MASONRY UNITS BELOW THE PADS WITH CONCRETE GROUT AND 1-15M BAR IN EACH CELL (MIN. 2 CELLS) TO FULL HEIGHT OF THE WALL BELOW THE BEARING LEVEL.
7. ALL VERTICAL JOINTS AND JOINTS SHALL BE LOCATED AT MAXIMUM SPACING OF 16' TO 20' OR AS LOCATED ON THE DRAWINGS.
8. OVER ALL OPENINGS OR RECESSES IN THE MASONRY WALLS, INCLUDING THOSE REQUIRED FOR MECHANICAL OR ELECTRICAL EQUIPMENT, PROVIDE AND INSTALL STEEL LINTELS AS ON TYPICAL DETAILS, EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS. FOR OPENINGS LESS THAN 18", PROVIDE 1/4" THICK MILD STEEL PLATE LINTEL.
9. TRIM ALL OPENINGS IN MASONRY WALLS WITH 2-15M BARS GROUTED VERTICALLY INTO THE WALL VOIDS. TYPICAL UNLESS OTHERWISE NOTED.
10. PROVIDE VERTICAL AND HORIZONTAL REINFORCING AS FOLLOWS UNLESS OTHERWISE SHOWN ON THE DRAWINGS:
8" CONCRETE BLOCK
VERTICAL REINFORCING - 15M @ 32" O.C.
HORIZONTAL REINFORCING - HEAVY DUTY TRUSS TYPE
EVERY SECOND BLOCK COURSE
10" CONCRETE BLOCK
VERTICAL REINFORCING - 20M @ 24" O.C.
HORIZONTAL REINFORCING - HEAVY DUTY TRUSS TYPE
EVERY SECOND BLOCK COURSE

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL WORK, INCLUDING DESIGN OF ALL COMPONENTS, SHALL BE CARRIED OUT IN ACCORDANCE WITH CAN/CSA-S16-01 EXCEPT WHERE OTHERWISE NOTED.
2. PROVIDE NEW STRUCTURAL STEEL COMFORMING WITH CSA STANDARD G40.21-04. PROVIDE GRADE 50N FOR ROLLED SHAPES AND PLATES, AND GRADE 50N FOR HOLLOW STRUCTURAL SECTIONS. ALL STRUCTURAL STEEL SHALL BE COATED TO CONFORMING WITH CAN/CSA STANDARD 1-73g.
3. ALL BOLTS SHALL BE ASTM A325 OR BETTER HIGH STRENGTH BOLTS. ANCHOR BOLTS MAY BE ASTM A307.
4. ALL BEAM-TO-BEAM AND BEAM-TO-COLUMN CONNECTIONS SHALL BE DOUBLE ANGLE UNLESS OTHERWISE NOTED.
5. WELD ALL JOISTS AND BEAMS TO BEARING PLATES OR SUPPORTING MEMBERS UNLESS OTHERWISE NOTED.
6. ALL WELDING SHALL BE CARRIED OUT IN ACCORDANCE WITH CSA STANDARD W59-01. THE FACTORING SHALL BE FULLY APPROVED BY THE CANADIAN WELDING BUREAU IN CONFORMANCE WITH THE CSA STANDARD W47.1-03.
7. HOT DIP GALVANIZE ALL STEEL LINTELS AND SHELF ANGLES IN EXTERIOR WALLS AND ALL STEEL EXPOSED TO WEATHER.
8. ALL BASE PLATES TO BE $\frac{1}{2}$ " THICK, UNLESS OTHERWISE NOTED.

WOOD FRAMING

1. WOOD STRUCTURAL ELEMENTS SHALL COMPLY WITH CSA STANDARD 086-01.
2. WOOD SHALL BE GRADE MARKED TO CONFORM TO CSA STANDARD 041-05. SAWN LUMBER SHALL BE SPF NO. 1 AND NO. 2 IN THE RATIO 1:1 (MINIMUM) TO 3:1 (MAXIMUM) RESPECTIVELY.
3. ENGINEERED WOOD BEAM MEMBERS SHALL BE 1.7E GRADE LSL BY TRUSS JOIST OR APPROVED EQUAL OR BETTER. MULTI-PLY MEMBERS SHALL BE INTERCONNECTED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS. SIDE LOADED (FLUSH) MULTI-PLY BEAMS SHALL BE INTERCONNECTED WITH 2 ROWS OF 1/2" DIAMETER THRU-BOLTS AT 12" O.C.
4. ALL BOLTS SHALL BE A307 GRADE OR BETTER.
5. ENGINEERED WOOD JOIST MEMBERS SHALL BE TJI JOISTS BY TRUSS JOIST OR APPROVED EQUAL OR BETTER.
6. PROVIDE 2-2"x4" OR 2-2"x6" (TO MATCH THICKNESS OF STUDS) SOLID SUPPORT POST UNDER EACH END OF ALL TIMBER BEAMS, UNLESS OTHERWISE NOTED.

DESIGN LOADING (SERVICE LOADS)

1. ROOF STRUCTURE
DEAD LOAD = 18.0 PSF
LIVE LOAD = 24.0 PSF
2. FLOOR STRUCTURE
DEAD LOAD = 25.0 PSF
LIVE LOAD = 40.0 PSF

1. ALL CONSTRUCTION TO MEET OR EXCEED THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
2. CONTRACTOR TO INSPECT SITE PRIOR TO BID SUBMISSION AND REPORT ANY DISCREPANCIES TO WILLIAMS RESIDENTIAL DESIGN.
3. ENSURE THAT ALL CONSTRUCTION MATERIALS, METHODS OR CONSTRUCTION AND TEMPORARY BRACING COMPLY WITH REQUIREMENTS OF JURISDICTIONAL AUTHORITY.
4. MADE GOOD ALL AREAS OF WORK AND SURFACES DISTURBED BY CONSTRUCTION WHETHER SHOWN ON THE DRAWINGS OR NOT.
5. CONTRACTOR SHALL COORDINATE STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK IN ORDER TO ENSURE THAT THE PARTS OF THE WORK COME TOGETHER PROPERLY.
6. SITE VERIFY ALL DIMENSIONS AND MAKE MODIFICATIONS TO SUIT EXISTING CONDITIONS AT THE DIRECTION OF WILLIAMS RESIDENTIAL DESIGN.
7. CABINET FABRICATOR TO WORK WITH OWNER AND SUPPLY SHOP DRAWINGS FOR ALL RELATED WORK.
8. WINDOW SUPPLIER TO WORK WITH OWNER AND SUPPLY SHOP DRAWINGS FOR ALL PROPOSED WINDOWS AND DOORS TO BE INSTALLED.
9. OWNER WILL PAY THE COST OF BUILDING PERMITS, THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, AND FEES REQUIRED FOR CONSTRUCTION AND INSTALLATION OF SERVICES, EQUIPMENT, SIGNAGE, TEMPORARY HYDRO, AND OCCUPANCY.
10. PLANS SHOWN HERE DO NOT REPRESENT THE FULL LIMIT OF THE SCOPE OF THE WORK. PROVIDE BLOCKING CUTTING, PATCHING AND ALL REMEDIAL WORK IN ORDER TO ENSURE ALL PARTS OF THE WORK PERFORMED INTERFACE PROPERLY AND CONFORM TO CODE.
11. SITE VISITS SHALL BE REQUIRED IN ALL AREAS DAMAGED BY NEW OR RENOVATED CONSTRUCTION TO MATCH EXISTING OR PROVIDE RECOMMENDATIONS TO OWNER AND WILLIAMS RESIDENTIAL DESIGN FOR APPROVAL PRIOR TO COMMENCEMENT OR WORK.
12. ELECTRICAL CONTRACTOR TO ASSESS EXISTING INCOMING SERVICE AND MAKE RECOMMENDATION TO OWNER.
13. ELECTRICAL AND GENERAL CONTRACTOR TO CONDUCT WALK THROUGH WITH OWNER AFTER CONSTRUCTION IS COMPLETE TO DETERMINE EXACT LOCATION OF ALL ELECTRICAL OUTLETS ON SITE.
14. ALL EXISTING STRUCTURE HAS BEEN ASSUMED TO BE ADEQUATE TO CARRY ALL LOADING SHOWN ON THE DRAWINGS. IF HOWEVER, SINCE CERTAIN STRUCTURAL MEMBERS CANNOT BE INSPECTED PRIOR TO EXPOSURE OF THE SUBSTRATE, IT IS FOUND THAT EXISTING STRUCTURAL MEMBERS ARE NOT ADEQUATE TO CARRY THE LOADING OR O.B.C. REQUIREMENTS THEN THE CONTRACTOR SHALL NOTIFY WILLIAMS RESIDENTIAL DESIGN IMMEDIATELY FOR AN ENGINEERING EXAMINATION, REDESIGN OF OR REMEDIAL ACTION TO BRING THE INADEQUATE STRUCTURE UP TO CODE BEFORE PROCEEDING WITH FURTHER WORK ON THE AREA IN QUESTION.

1. INTERIOR AND EXTERIOR STAIRS SHALL BE CONSTRUCTED AS FOLLOWS
MAX RISE = $7\frac{1}{2}"$
MIN. RUN = $8\frac{1}{2}"$
MIN. TREAD = $9\frac{1}{4}"$
MIN. HEADROOM INTERIOR = $6' - 5"$
MIN. HEADROOM EXTERIOR = $6' - 4"$
HANDRAIL HEIGHT AT STAIRS = $32"$
HANDRAIL HEIGHT AT INTERMEDIATE LANDINGS = $32"$
HANDRAIL HEIGHT AT MAIN LANDINGS = $36"$
MIN. STAIR WIDTH = $2' - 10"$ C/W LANDING THE SAME WIDTH AS THE STAIR
2. GUARDS REQUIRED ON EXTERIOR BALCONIES AND PORCHES IF OVER $2' - 0"$ ABOVE FINISHED GRADE; MIN. GUARD HEIGHT = $36"$
3. GUARDS REQUIRED ON EXTERIOR BALCONIES AND PORCHES IF OVER $5' - 11"$ ABOVE FINISHED GRADE; MIN. GUARD HEIGHT = $42"$
4. EXTERIOR STAIRS MUST BE SUPPORTED ON CONCRETE BASE OR APRON MIN. $1'$ ABOVE GRADE; FOUNDATIONS REQUIRED IF EXTERIOR STAIRS HAVE MORE THAN 2 TREADS AND 2 RISERS
5. ALL INTERIOR AND EXTERIOR GUARDS SHALL CONFORM TO SUPPLEMENTARY GUIDELINES TO THE ONTARIO BUILDING CODE SB-7 GUARDS FOR HOUSING AND SMALL BUILDINGS.
6. HANDRAILS ARE REQUIRED AT THE MAIN ENTRANCE. A LANDING IS REQUIRED AT ANY SECONDARY ENTRANCE WHEN MORE THAN 3 RISERS AND INSTALLED BETWEEN 800mm ($2' - 7\frac{1}{2}"$) AND 920mm ($3' - 0"$).

A8 OF 8



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

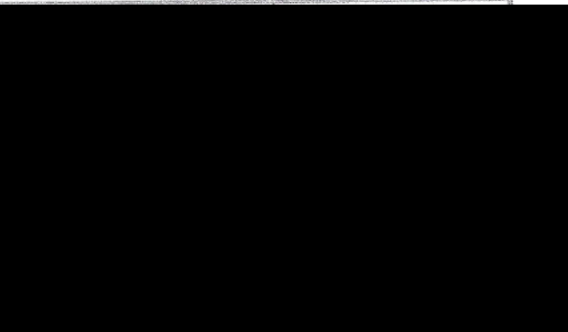
PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	Claire & Anand Maharaaj		
Applicant(s)*	Jenny Bognar		
Agent or Solicitor	Same as applicant		Phone: E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

COMPUTERSHARE TRUST COMPANY OF CANADA
c/o FIRST NATIONAL FINANCIAL LP.
NORTH TOWER, 100 UNIVERSITY AVE SUITE 300,
TORONTO, ON M5J 1N6

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
 #1. 0.0m. setback to new front porch stairs instead of required 1.5m. setback from front lot line
 #2. Reduced front yard landscaping of 28.18% instead of the required 50% (down from existing of 28.25%)
5. Why it is not possible to comply with the provisions of the By-law?
 The placement of the existing dwelling and and height of the front porch makes it virtually impossible to have stairs from the porch without overhanging the front lot line. Current stairs are in need of repair and widening to make them better useable.
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
 82 Murray Street East
7. PREVIOUS USE OF PROPERTY
 Residential ☒ Industrial ☐ Commercial ☐
 Agricultural ☐ Vacant ☐
 Other _____
- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
 Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
 Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
 Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
 Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
 Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
 Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
 Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
 Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐

No ☒

Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
Knowledge of history of area

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes

☐

No

☐

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

14/04/2021
Date

Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>7.62 m.</u>
Depth	<u>40.23 m.</u>
Area	<u>306.58 sq. m.</u>
Width of street	<u>20.0 m.</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:___

Ground floor area = 71.13 sq. m., 2.5 stories, 6.53m wide x 11.36 m. length

Proposed

All existing to remain

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

Existing front yard setback = 1.91 m., Existing right and left yard setbacks = 0.5 m.,
Existing front yard setback to porch = 0.42 m., Existing right yard to porch = 0.60 m.,
Existing left yard setback to porch = 0.62 m., Existing stairs 0.0m.

Proposed:

All existing to remain

13. Date of acquisition of subject lands:
APRIL 27, 2018
14. Date of construction of all buildings and structures on subject lands:
APPROX 100+ YEARS
15. Existing uses of the subject property:
Residential
16. Existing uses of abutting properties:
Residential
17. Length of time the existing uses of the subject property have continued:
Always
18. Municipal services available: (check the appropriate space or spaces)
Water X Connected X
Sanitary Sewer X Connected X
Storm Sewers X
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
6593 Former Hamilton Zone D
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.