

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:166

APPLICANTS: Owner Vlad Andriuca

SUBJECT PROPERTY: Municipal address **28 Burris St., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended 77-8 and 83-48

ZONING: "D/S-497a" (Urban Protected Residential - One and Two Family Dwellings etc.) district

PROPOSAL: To permit the conversion of the existing building currently occupied by a Residential Care Facility to a two (2) family dwelling, notwithstanding,

1. A minimum lot width of 11.8 metres and a minimum lot area of 273 square metres shall be provided instead of the minimum required lot width of 18.0 metres and minimum required lot area of 540.0 square metres;

2. No front yard landscaping shall be provided instead of providing a minimum of 50% of the gross area of the front yard as landscaped area;

3. No on-site manoeuvring space shall be provided for the parking space adjacent to the Avalon Place street line instead of providing a minimum manoeuvring space width of 6.0 metres required to be abutting upon and accessory to each required parking space;

4. The parking space adjacent to the southerly lot line shall be permitted to be obstructed by the parking space adjacent to the Avalon Place street line whereas the Zoning By-law requires each and every parking space to be unobstructed and freely and readily accessible without moving any other vehicle on the lot;

5. The required manoeuvring space for the parking space adjacent to the southerly lot line shall be permitted to be obstructed by the parking space adjacent to the Avalon Place street line whereas the Zoning By-law requires all manoeuvring spaces to be maintained free and clear of obstructions.

NOTE:

1. The submitted site plan does not accurately reflect actual site conditions as setbacks are shown to be provided to the limits of the sidewalks and not the actual property lines.

2. The parking space shown to be provided at the front of the existing building is not considered a parking space for zoning purposes as it is located entirely off-site and as such has not been reviewed for zoning compliance.

3. The variances have been written for the use of a two (2) family dwelling only. The submitted floor plans do not clearly identify the limits of the individual dwelling units and are shown to provide laundry facilities on each floor level. Additionally, the submitted cross-section drawings indicate that four (4) kitchens are to be provided. Further approvals will be required should the intent be to establish any use other than a two (2) family dwelling provided in accordance with the defined terms within the Zoning By-law.

4. The requested variance for relief from the minimum required parking space size is not required as the minimum required parking space size of 2.7 metres in width by 6.0 metres in length is shown to be provided.

5. A further variance will be required if the minimum required access driveway width of 2.8 metres is not provided.

6. A further variance will be required should gravel or similar surface or other suitable paving not be provided for the parking spaces and access driveway.

This application will be heard by the Committee as shown below:

DATE:	Thursday, June 3rd, 2021
TIME:	1:40 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	To be streamed at
	www.hamilton.ca/committeeofadjustment
	for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

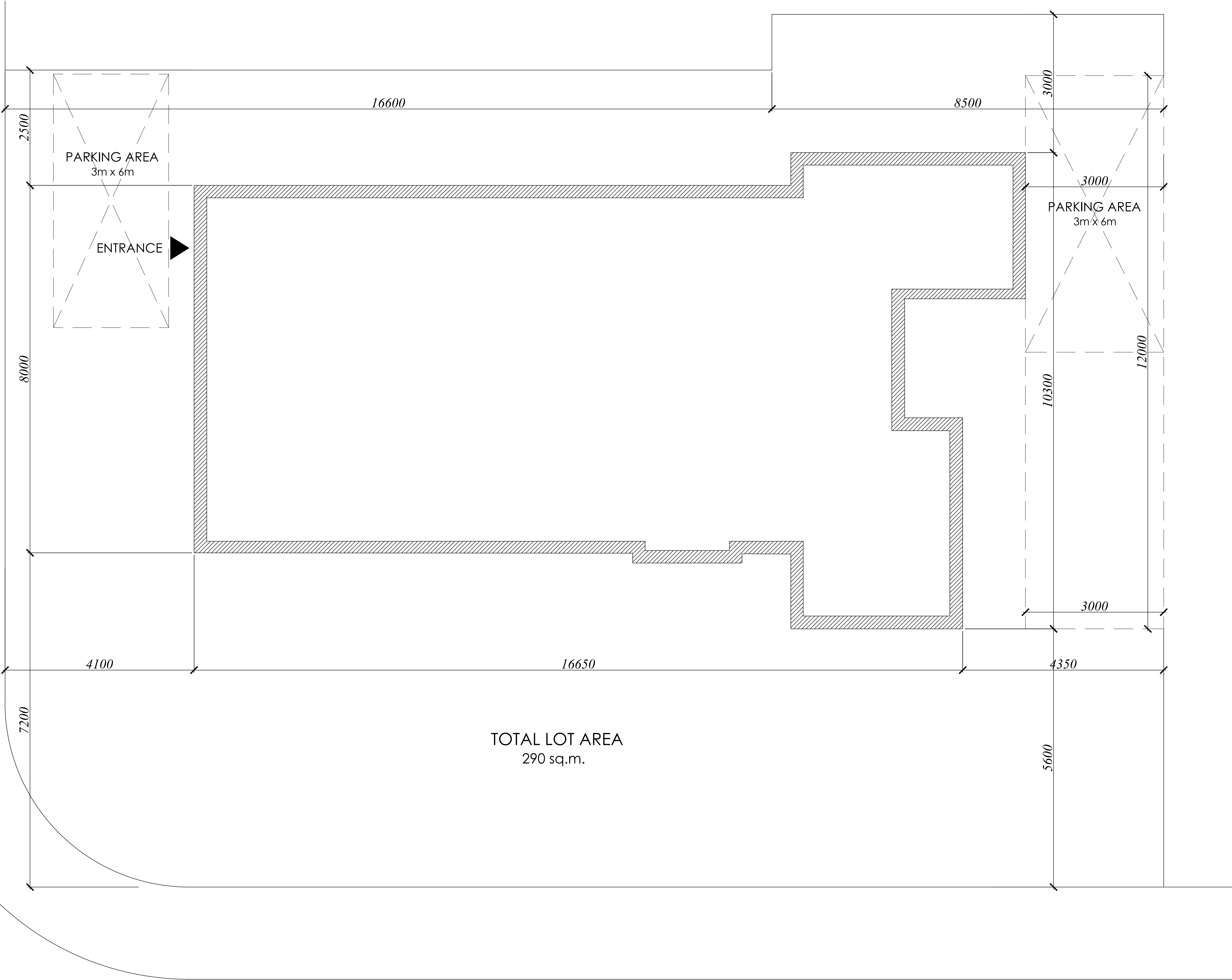
DATED: May 18th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

Burris St.

Cofa at Hamilton.Ca



GENERAL NOTES:

- ALL EXISTING & PROPOSED WORK MUST BE VERIFY ON SITE PRIOR TO ANY CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- CONTRACTORS AND OWNERS ARE RESPONSIBLE FOR ANY MODIFICATIONS TO THIS PLAN DO TO FIELD CONSTRUCTION CONDITIONS AND CONSTRUCTION METHODS.
- SEE ATTACHED FOR ALL GENERAL NOTES, CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ALL CONSTRUCTION MUST BE ADHERE TO ONTARIO BUILDING CODE REQUIREMENTS AND ANY AUTHORITIES HAVING JURISDICTION.
- CONTRACTORS TO REVIEW APPROVED PERMIT DRAWINGS FOR ADDITIONAL NOTES AND RELATED DOCUMENTS.
- ALL PRODUCTS & COLOUR SELECTIONS ARE THE RESPONSIBILITY OF THE CLIENT AND/OR CONTRACTOR UNLESS STATED OTHERWISE IN THESE PLANS.
- ANY MATERIALS SUBSTITUTIONS MUST BE OF EQUAL OR GREATER PERFORMANCE.

DATE: DESCRIPTION:

DRAWN BY: V.H.

DATE: Mar 15, 2021

SCALE: 1:100

PROJECT:

28 Burris St.,
Hamilton,
ON, L8M, 2J3

SHEET TITLE :

PROPOSED
SITE PLAN

SHEET NUMBER :

A0.01

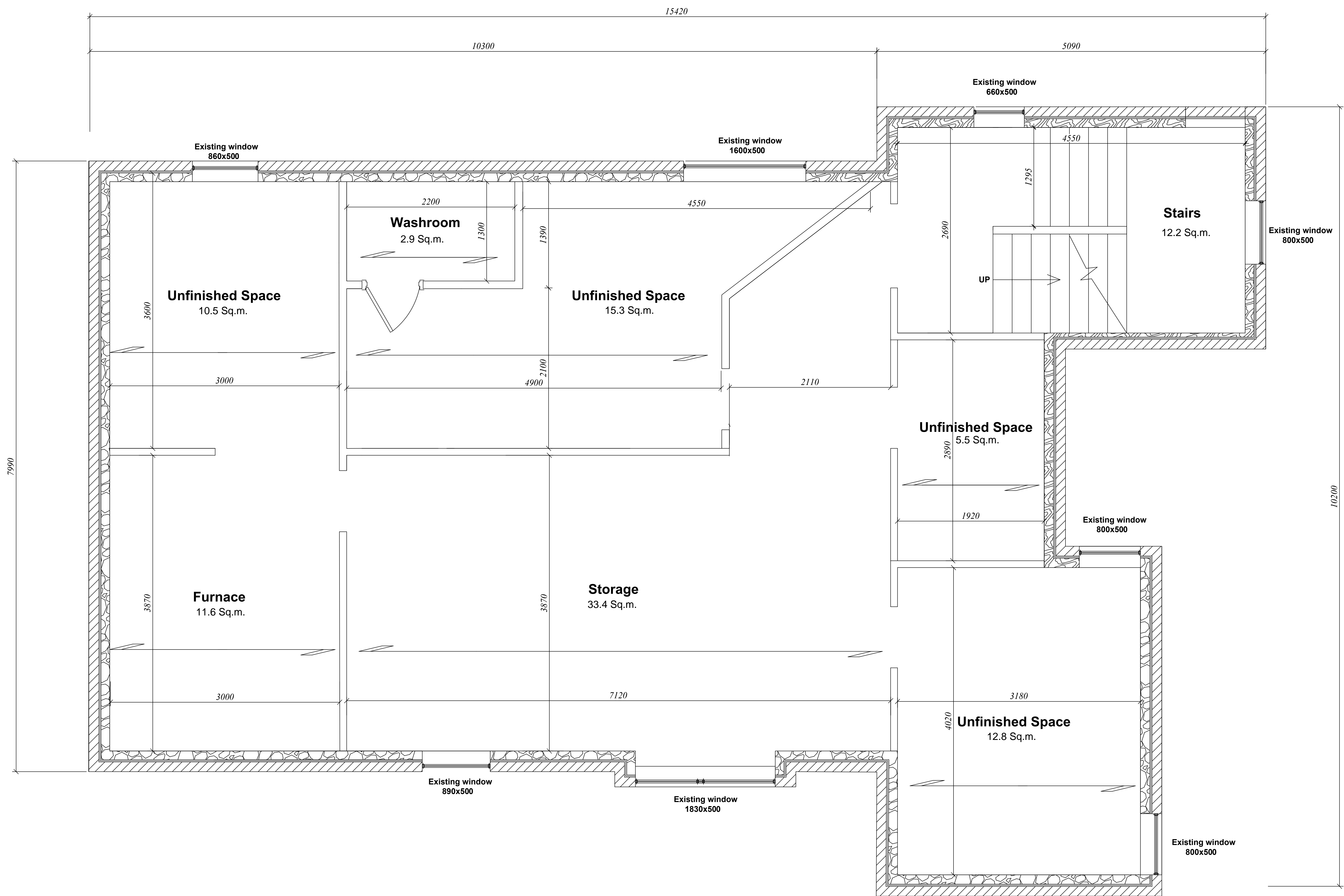


PROPOSED SITE PLAN

SCALE: 1:60m

Avalon St.





EXISTING BASEMENT

SCALE: 1:100m



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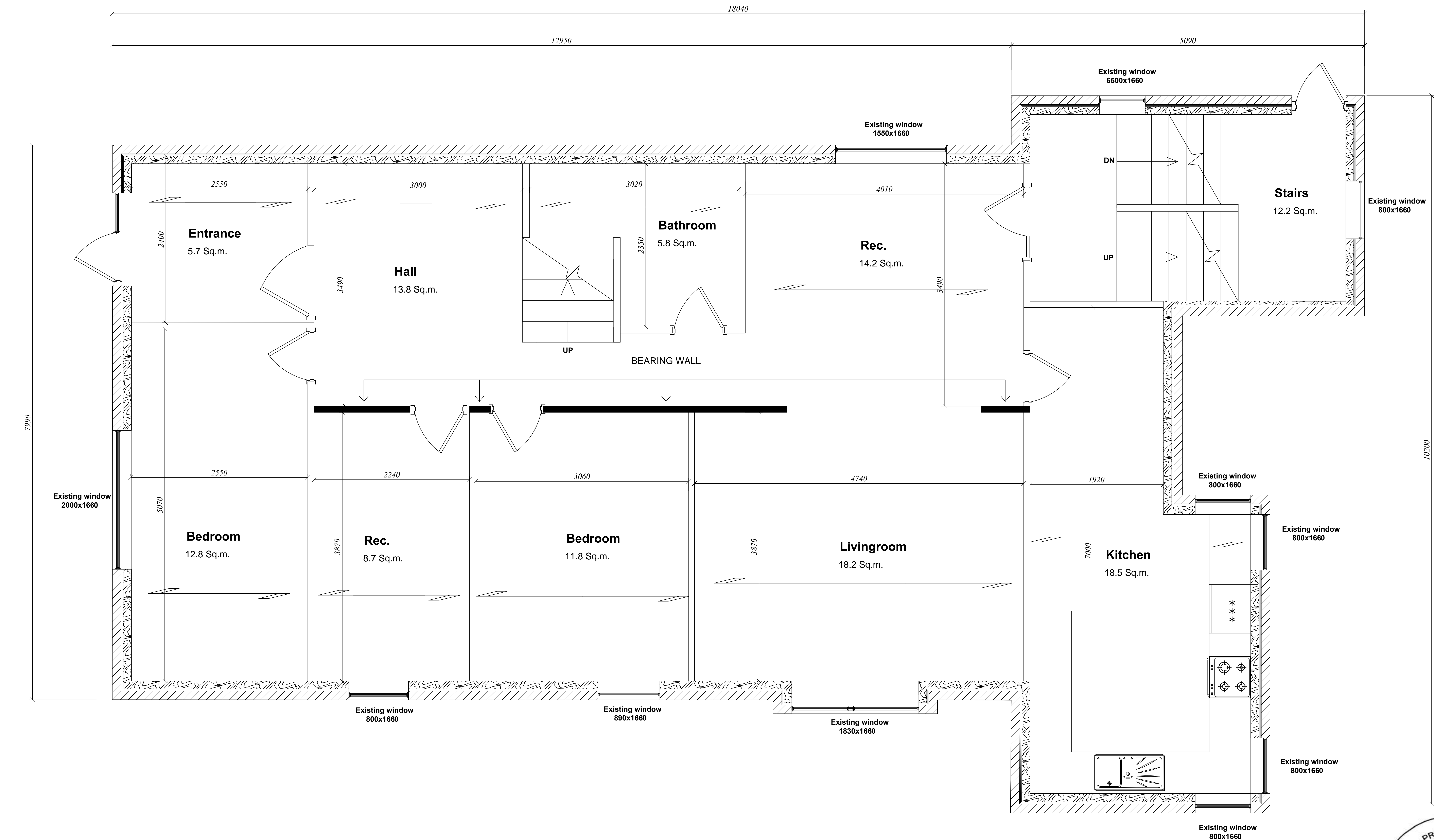
SCALE: 1:100

PROJECT: 28 Burris St.,
Hamilton,
ON, L8M, 2J3

SHEET TITLE :

EXISTING
BASEMENT

SHEET NUMBER :
A1.01



EXISTING FIRST FLOOR
SCALE: 1:100m

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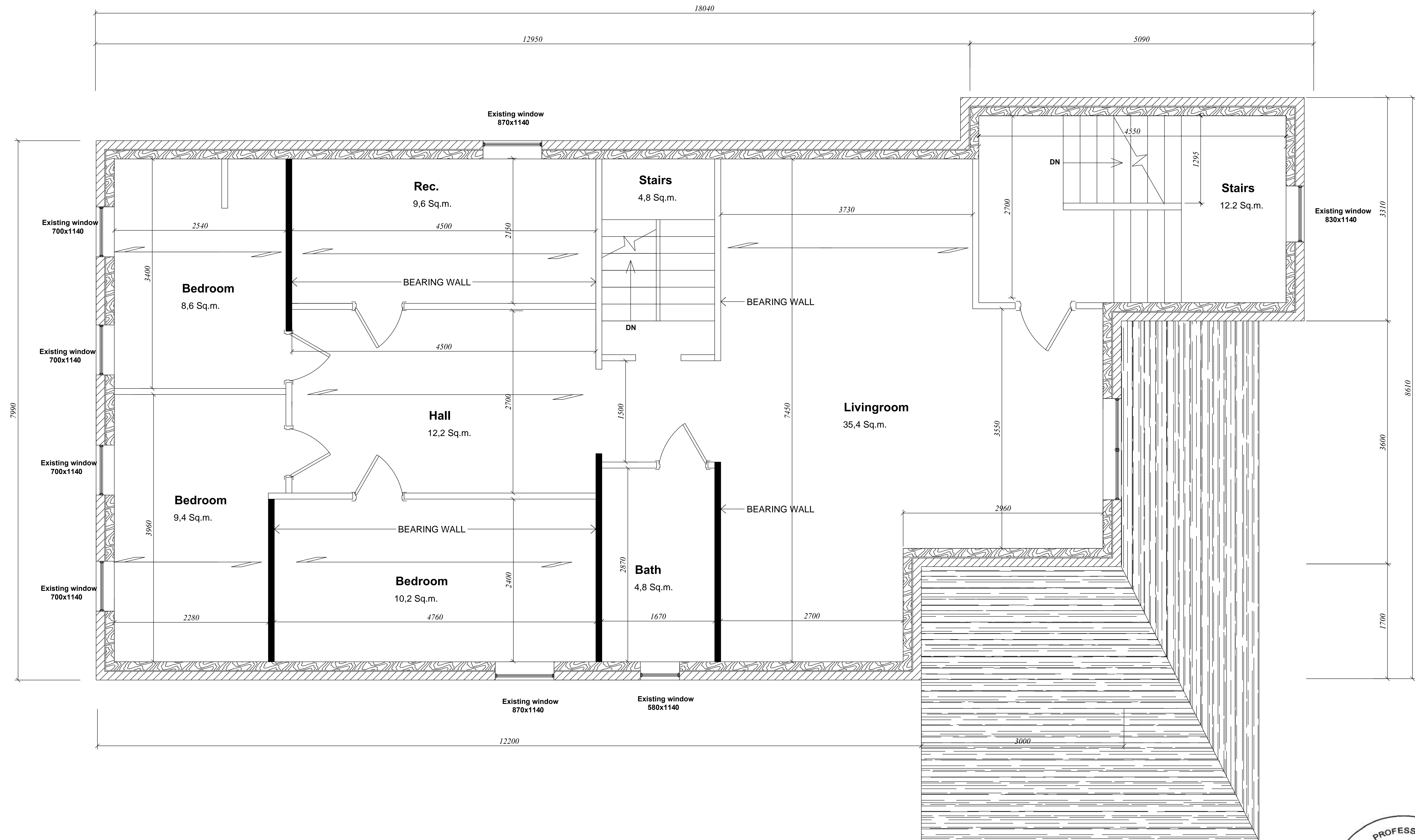
DATE:	DESCRIPTION:
DRAWN BY:	V.H.
DATE:	Mar 15, 2021
SCALE:	1:100
PROJECT:	28 Burris St., Hamilton, ON, L8M, 2J3

SHEET TITLE :	EXISTING FIRST FLOOR
SHEET NUMBER :	A1.02





1:100m



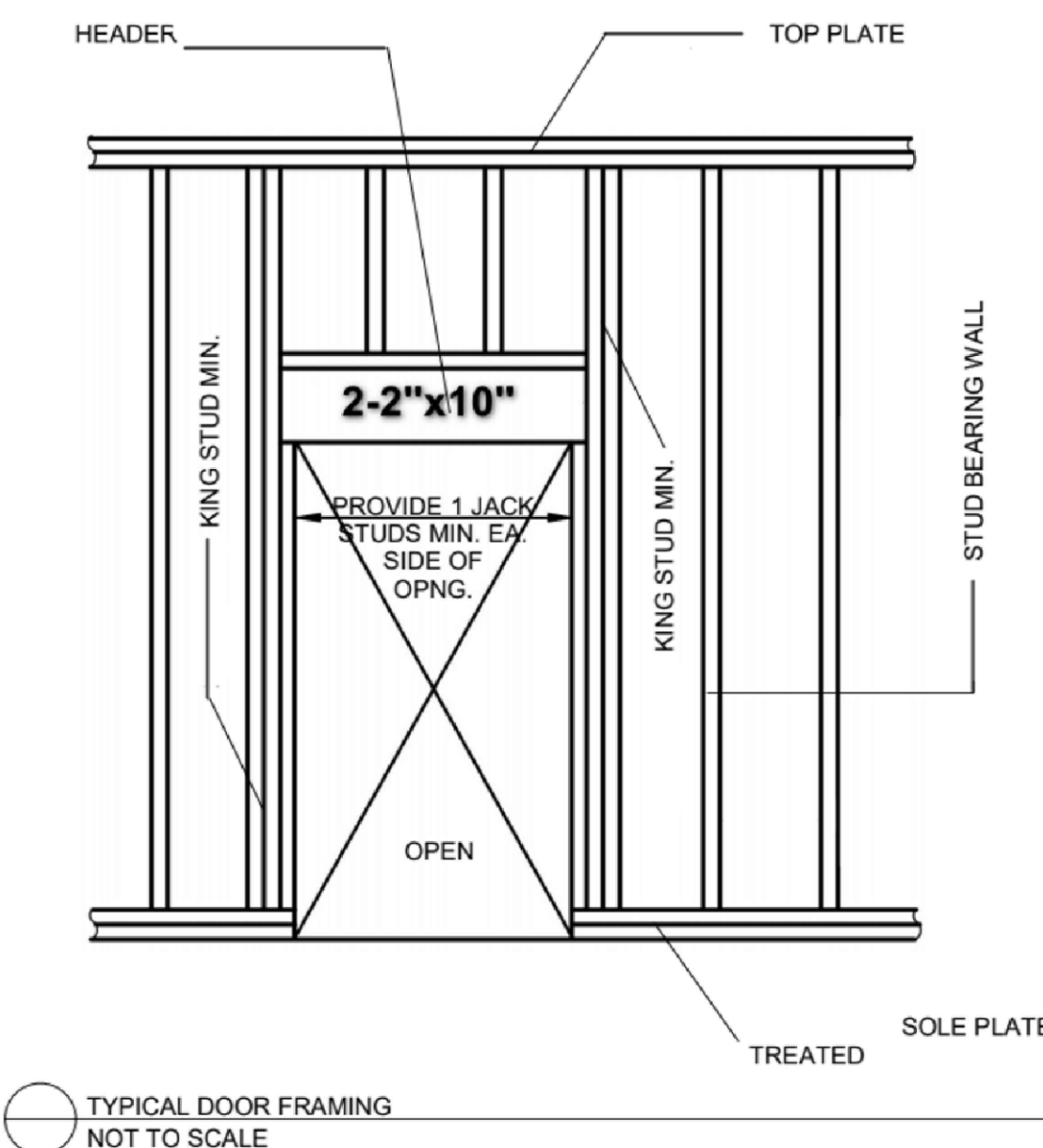
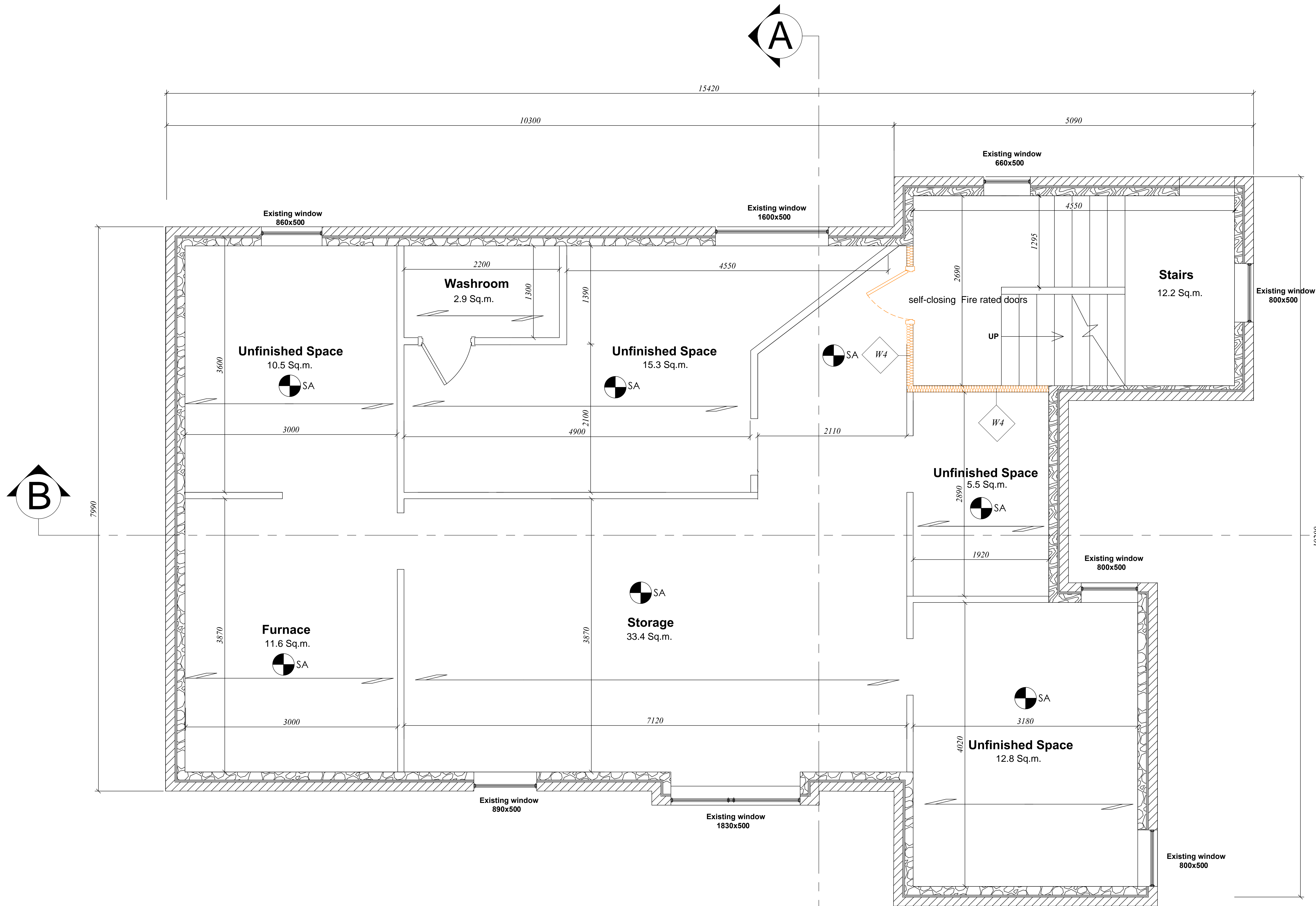
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DATE:	Mar 15, 2021
SCALE:	1:100
PROJECT:	28 Burris St., Hamilton, ON, L8M, 2J3

SHEET TITLE :
EXISTING ATTIC
SHEET NUMBER :
A1.04





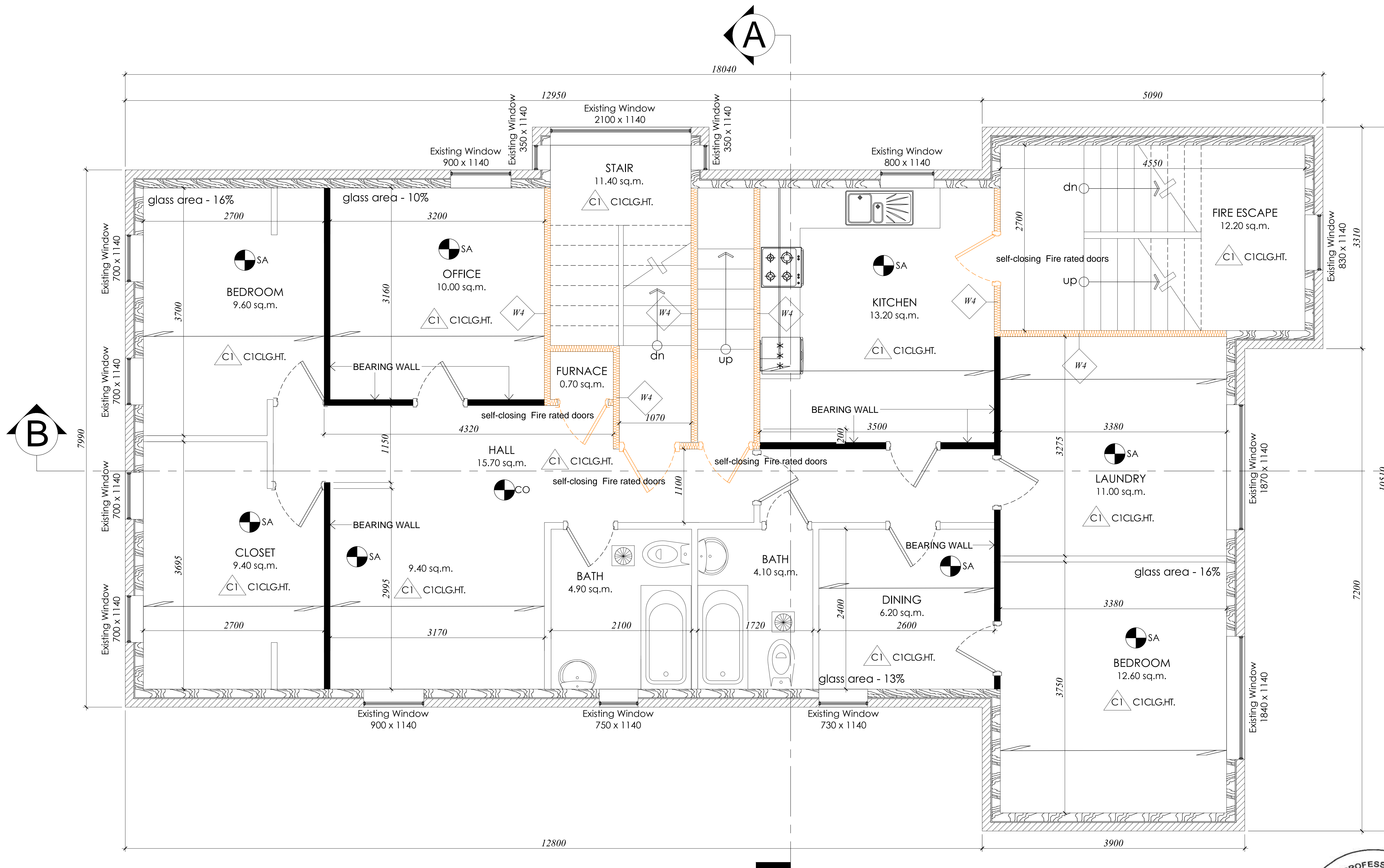
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PROJECT:	
28 Burris St., Hamilton, ON, L8M, 2J3	
SHEET TITLE :	
PROPOSED BASEMENT	
SHEET NUMBER :	
A1.05	





A1.06





PROPOSED SECOND FLOOR
SCALE: 1:100m

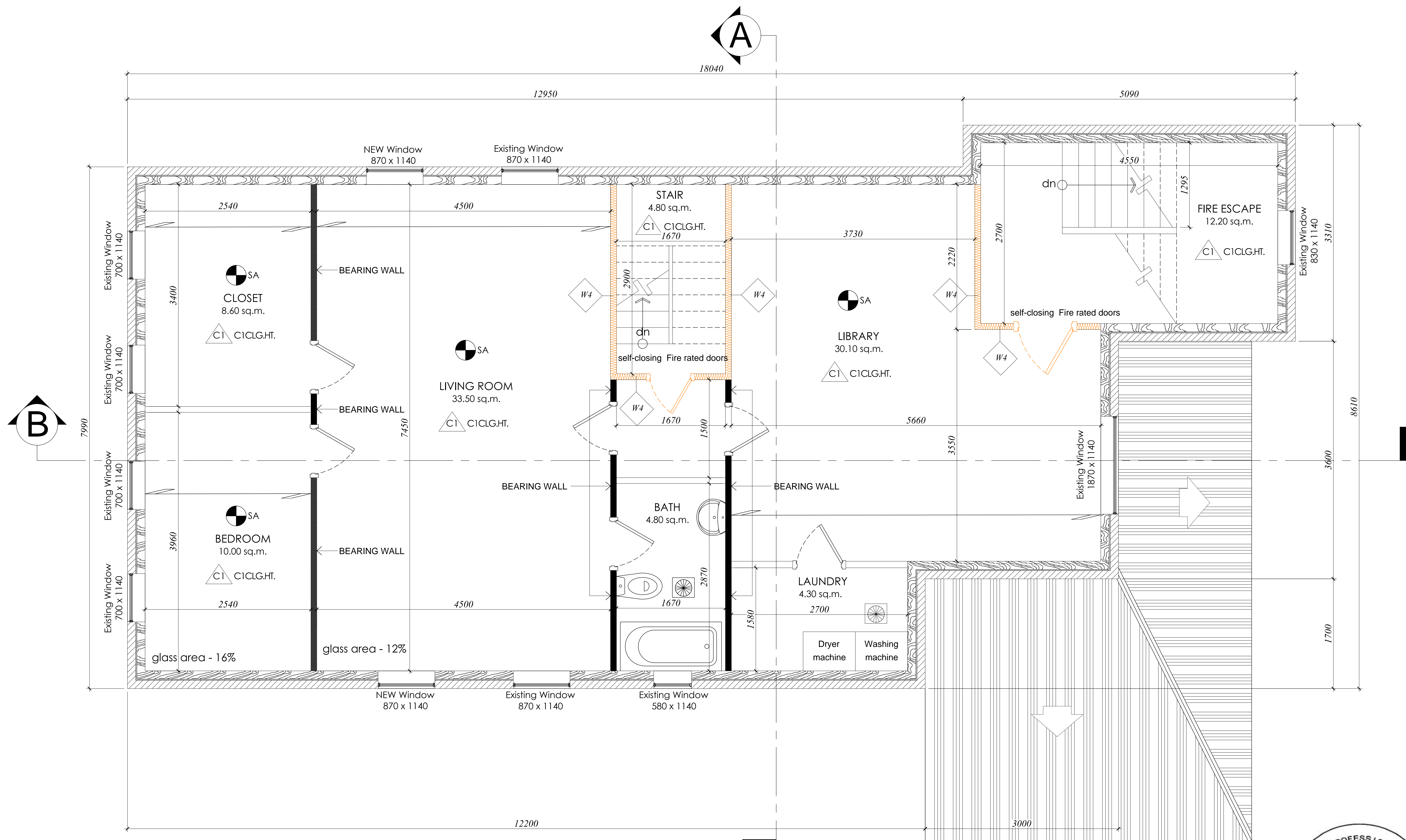


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PROJECT:	28 Burris St., Hamilton, ON, L8M, 2J3

SHEET TITLE :
**PROPOSED
SECOND
FLOOR**

SHEET NUMBER :
A1.07



PROPOSED ATTIC
SCALE: 1:100m



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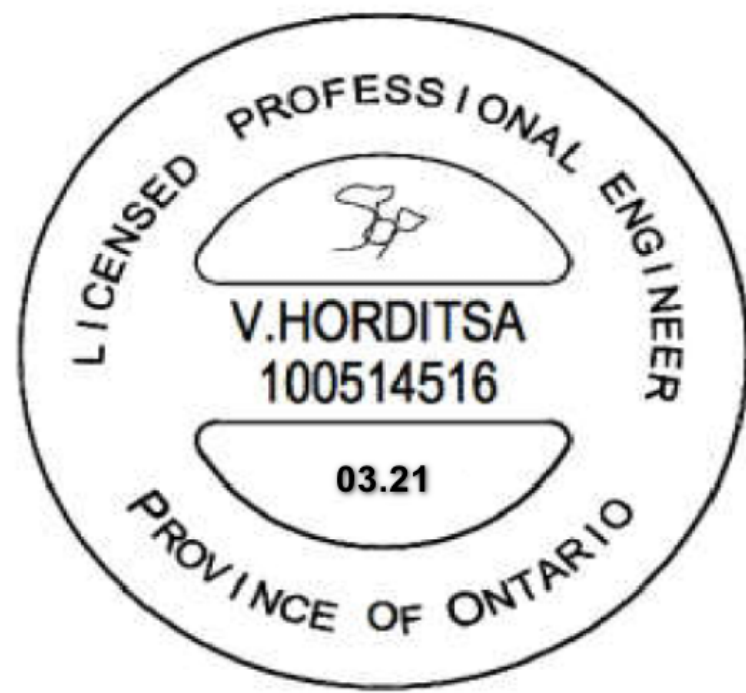
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SCALE:	1:100
PROJECT:	28 Burris St., Hamilton, ON, L8M, 2J3

SHEET TITLE :
**PROPOSED
ATTIC**

SHEET NUMBER :
A1.08



2 FRONT ELEVATION
SCALE: 1:150m



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SCALE: 1:150	
PROJECT: 28 Burris St., Hamilton, ON, L8M, 2J3	
SHEET TITLE : FRONT ELEVATION	
SHEET NUMBER : A2.01	



2 LEFT-SIDE ELEVATION
SCALE: 1:150m



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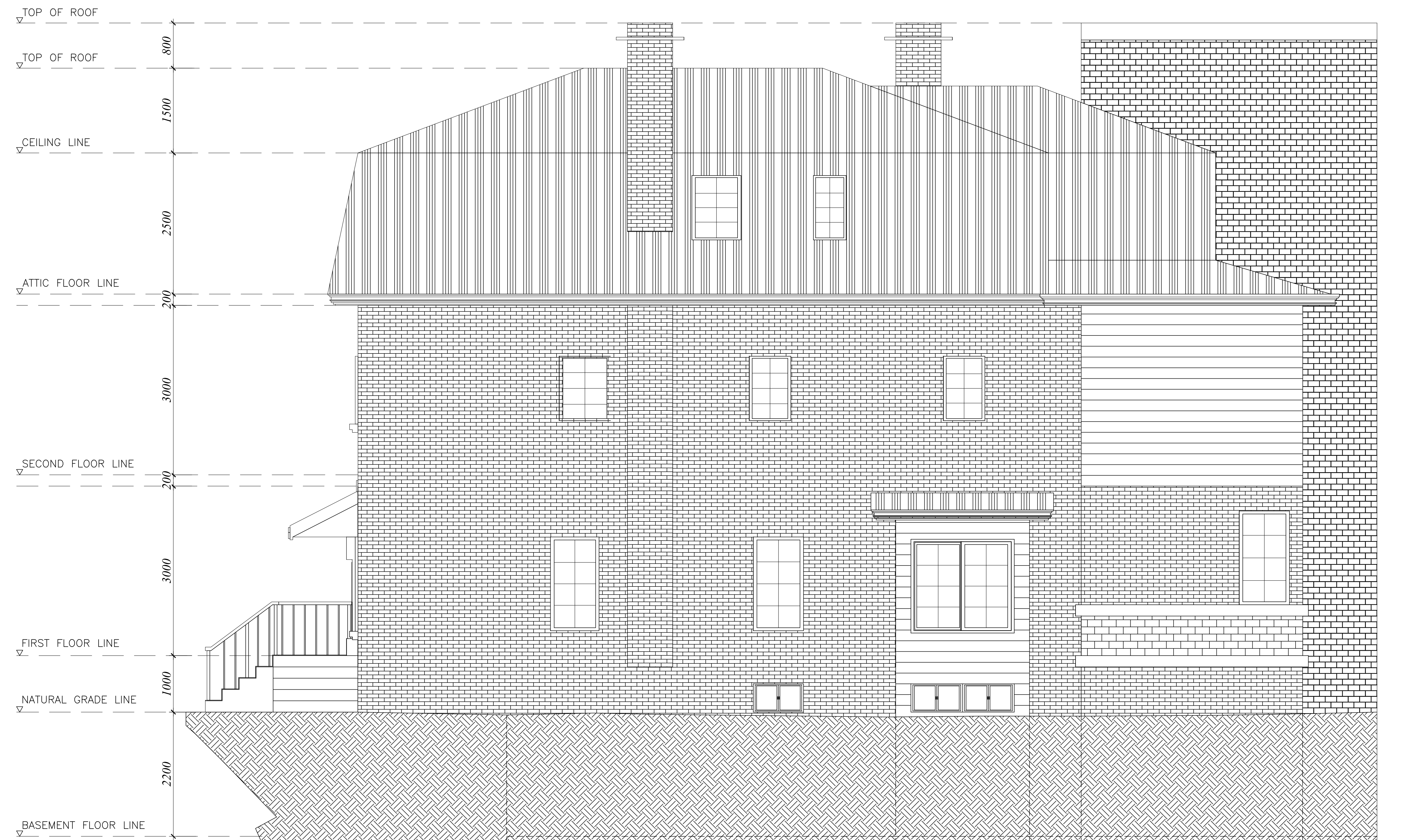
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DATE:	Mar 15, 2021
SCALE:	1:150
PROJECT:	
28 Burris St., Hamilton, ON, L8M, 2J3	
SHEET TITLE :	
LEFT-SIDE ELEVATION	
SHEET NUMBER :	
A2.02	



2 RIGHT-SIDE ELEVATION
SCALE: 1:150m



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PROJECT: 28 Burris St.,
Hamilton,
ON, L8M, 2J3

SHEET TITLE :

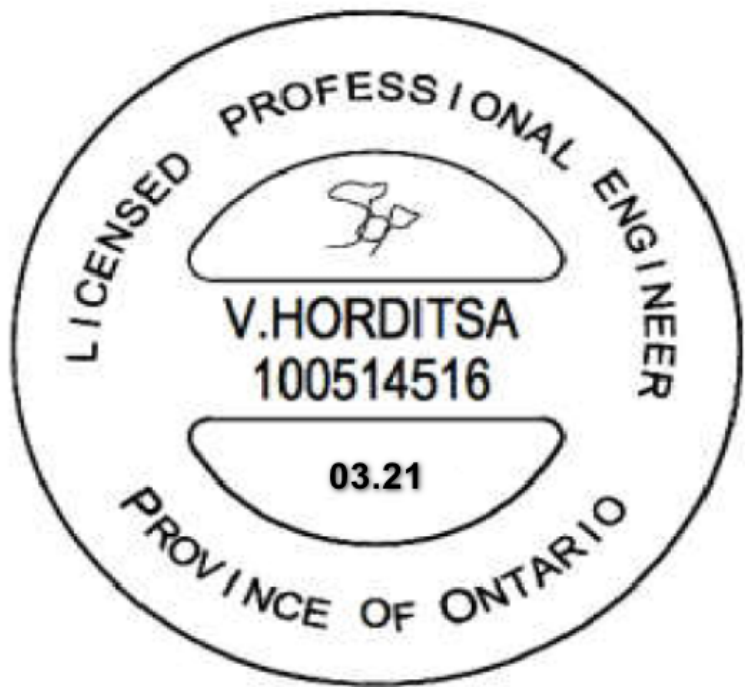
RIGHT-SIDE
ELEVATION

SHEET NUMBER :

A2.03



2 REAR ELEVATION
SCALE: 1:150m



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DATE:	Mar 15, 2021
SCALE:	1:150
PROJECT:	28 Burris St., Hamilton, ON, L8M, 2J3
SHEET TITLE : REAR ELEVATION	
SHEET NUMBER : A2.04	



2 LONGITUDINAL SECTION THRU-B
SCALE: 1:150m



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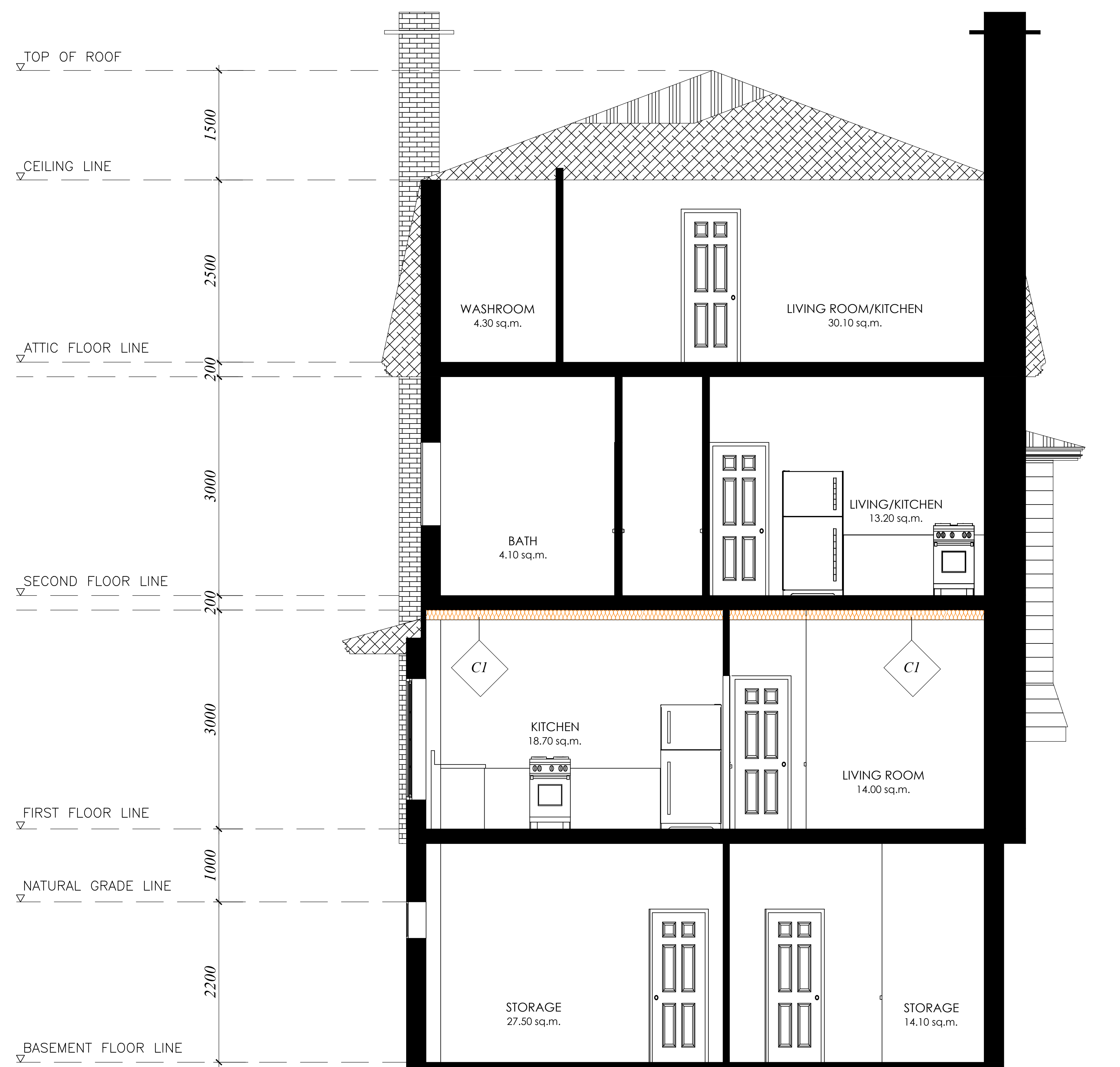
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SHEET TITLE : LONGITUDINAL SECTION THRU-B	
SHEET NUMBER : A3.01	



CROSS SECTION THRU-A



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SHEET TITLE : CROSS SECTION THRU-A	
SHEET NUMBER : A3.02	

GENERAL NOTES:

- DO NOT SCALE DRAWINGS
- REFER TO CONSTRUCTION NOTES FOR ALL SPECIFICATIONS
- OWNERS & CONTRACTORS RESPONSIBLE FOR ALL MEANS & METHODS OF CONSTRUCTION INCLUDING ANY RELATED SAFETY PRECAUTIONS
- ALL DIMENSOINS & AS-BUILT INFORMATION TO BEVERIFIED BY CONTRACTORS • CONTRACTORS ARE RESPONSIBLE FOR ANY MODIFICATIONS TO THE PLAN
- CONTRACTORS TO CARRY LIABILITY INSURANCE FOR PERFORMING THE WORK • CONTRACTORS RESPONSIBLE TO ENSURE PROPER SAFETY PRECAUTIONS ARE IN PLACE THROUGHOUT CONSTRUCTION FOR ALL ITEMS RELATED TO ALL CONSTRUCTION METHODS INCLUDING MATERIAL SUPPLIES

CODE AND REGULATIONS AND INSPECTIONS

- ALL CONSTRUCTION TO ADHERE TO ONTARIO BUILDING CODE REQUIREMENTS AS WELL AS OTHER CODES & AUTHORITIES HAVING JURISDICTION
- ADDITIONAL DESIGN & CALCULATIONS TO BE PROVIDED BY OTHER QUALIFIED DESIGNERS SUCH AS STRUCTURAL, HVAC, TRUSS, GRADING, SURVEY, ETC...
- CONTRACTORS TO ENSURE THAT ALL INSPECTIONS ARE CARRIED OUT AS REQUIRED BY LOCAL BUILDING CODE AUTHORITIES, GENERAL REVIEW COMMITMENTS, AND THIRDPARTY DESIGN SPECIFICATIONS

SITE WORK:

- ENSURE ALL EXCAVATION AVOIDS DAMAGE TO ANY RELATED PROPERTIES, EXISTING STRUCTURES, UTILITIES, ROADS OR SURROUNDING FEATURES.
- CONTRACTOR TO CONFIRM ALL UTILITIES LOCATIONS BEFORE EXCAVATION.
- EXISTING GRADES AND DRAINAGE LOCATIONS TO BE MAINTAINED UNLESS NOTED OTHERWISE STATED OTHERWISE.

PRECATIONS DURING DEMOLITION AND CONSTRUCTION:

- EXISTING STRUCTURE(S) TO BE PROTECTED DURING CONSTRUCTION FROM ANY WEATHER ISSUES, SECURITY OR RELATED DAMAGES.
- VERIFY/REINFORCE EXISTING SUPPORT SYSTEMS, INCLUDING FOUDATIONS THOUGHOUT CONSTRUCTION

PREFABRICATED ITEMS AND ORDERING OF MATERIALS:

- ALL PREFABRICATED ITEMS TO BE SITE VERIFIED PRIOR TO CONSTRUCTION
- SHOP DRAWINGS FOR PREFRABICATION ITEMS TO BE SUPPLIED BY OTHERS.
- REFER TO RELEVANT DOCUMENTS FOR DIMENSIONS AND INSTALLATION REQUIREMENTS

UTILITIES, SERVICES, AND EASEMENTS:

- CONTACT ALL LOCAL AUTHORITIES HAVING JURISDICTION TO GAS, ELECTRICAL, WATER, SANITARY, EASEMENTS, AND OTHER RELATED ITEMS WHERE APPLICABLE

STRUCTURAL (INCL. BEAMS & POSTS):

- REFER TO PLANS FOR ALL BEAMS AND POST SIZES
- ALL MEMBERS SHALL BE FRAMES, ANCHORED, FASTENED, TIED AND BRACED TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY
- ALL STRUCTURAL LOADS TO BE CONTINUOUS & VERTICAL WITH SOLID BEARING THROUGH THE FOUNDATION
- MIN 3 1/2" SOLID BEARING FOR ALL WOOD BEAMS 2-PLY OR LESS
- MIN 5 1/2" SOLID BEARING FOR STEEL & WOOD BEAMS 3-PLY OR GREATER
- ALL STRUCTURAL POSTS TO BE SAME WIDTH AS MEMBER THEY SUPPORT
- PROVIDE SOLID CONCRETE FOR 2 COURSES FOR ALL BEAMS AND POST BEARING ON MASONRY WALLS
- ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE SIGNED AND CERTIFIED BY TRUSS MANUFACTURER.

TREE PROTECTION:

- NO CONSTRUCTION ACTIVITY IS PERMITTED WITH IN TREE PROTECTION ZONES WITHOUT APPROVAL FROM LOCAL FORESTRY DEPARTMENT.

INSPECTION

- CONTRACTORS ARE RESPONSIBLE TO ARRANGE FOR REQUIRED INSPECTIONS BY LOCAL BUILDING AUTHORITIES AND/OR STRUCTURAL ENGINEER WHERE APPLICABLE FOR GENERAL REVIEW COMMITMENT.

OTHER DESIGN DRAWINGS:

- OTHER DESIGN DRAWINGS REQUIRED FOR PERMIT RELATED APPROVALS TO BE PREPARE PRIOR TO ANY WORK. THESE MAY INCLUDE, BUT ARE NOT LIMITED TO HVAC DESIGN, ENGINEER ROOF DESIGN, SOILS REPORTS, ETC...

1 WOOD DECK

- 1"x4" P.T. WOOD DECKING ON DECK JOISTS
- PRESSURE TREATED DECK JOISTS AND BEAMS AS PER PLAN
- P.T. POST ANCHORED TO METAL SHOE WITH ½" BOLTS ON CONCRETE PIER

NOTES

- REFER TO SB-3 OF OBC FOR ALL TYP. SPECIFICATIONS REGARDING RAILINGS, GUARDS AND CONNECTION DETAIL

2 FRAMING AND STRUCTURAL NOTES

FLOORS:

- FLOOR JOISTS TO HAVE MIN 1 1/2" BEARING
- APPROVED STEEL HANGERS WHERE FLUSH MOUTING
- DOUBLE JOISTS OR BLOCKING UNDER PARALLEL NON-LOADBEARING WALLS
- NOTE ABOUT CONCRETE TOPPONG
- UNHEATED BELOW
- PROVIDE SILL PLATES (MIN 2"x4") ANCHORED TO ALL MASONRY AND FOUDATION WALLS WITH APPROVED SILL GASKET

WALLS :

- WALL JOISTS TO HAVE MIN 1 1/2" BEARING
- APPROVED STEEL HANGERS WHERE FLUSH MOUTING
- DOUBLE JOISTS OR BLOCKING UNDER PARALLEL NON-LOADBEARING WALLS
- NOTE ABOUT CONCRETE TOPPONG
- UNHEATED BELOW

PARTITIONS:

- BLOCKING MID HEIGHT FOR ALL UNFINISHED WALLS
- PROVIDE BLOCKING BELOW @48" O.C. (BETWEEN PARALLEL JOISTS UNDER NONLOADBEARING WALLS)
- LUMBER IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE WITH 2MIL POLY. NO 50(45LBS) ROLL ROOFING PAPER, OR OTHER DAMPROOFING MATERIALS, EXCEPT WHERE THE WOOD MEMBER IS MORE THAN 6" ABOVE GROUND

BEAMS/POSTS

- REFER TO PLANS FOR ALL BEAMS AND POSTS SIZES NOTES:
- MIN 3 1/2" SOLID BEARING FOR ALL WOOD BEAM 2-PLY OR LESS
- MIN 5 1/2" SOLID BEARING FOR STEEL BEAM AND WOOD BEAM 3-PLY OR GREATER
- ALL STRUCTURAL POSTS TO BE THE SAME WIDTH AS MEMBER THER SUPPORT
- PROVIDE SOLID CONCRETE FOR TOP 2 COURSES FOR ALL BEAMS AND POSTS BEARING ON MASONRY WALLS
- ALL BEAMS AND POSTS TO HAVE SOLID BEARING WITH LOADS CONTINUOUS THROUGH FOUNDATION
- FIELD WELD FOR ALL STEEL BEAM-BEAM CONNECTION. WELDING OR BOLTED CONNECTIONS ACCEPTABLE FOR STEEL POST-BEAM CONNECTIONS.
- ENGINEER APPROVED JOITS HANGERS AND FASTENERS WHERE REQUIRED FOR JOIST AND BEAM CONNECTIONS
- ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND DESIGNED & CERTIFIED BY BY TRUSS MANUFACTURER.
- ENSURE QUALITY OF EXISTING MASONRY WALLS IS ADEQUATE FOR ALL LOADS WHERE REQUIRED

MASONRY WALLS:

- PROVIDE SOLID MASONRY FILLED TOP COURSE WITH CONTINUOUS 2"x4" SILL PLATE UNDER ALL FRAMING MEMBER
- REPAIR AND/OR PARGE AS NEEDED FOR ALL EXISTING MASONRY WALLS
- FOR REDUCED FOUNDATION WALL THICKNESS TO ALLOW BRICK VENEER (WHILE MARINATING LATERAL SUPPORT)
- MASONRY OVER OPENINGS SHALL BE SUPPORTED WITH SHOP PRIMED STEEL LINTELS (MIN 6" BEARING)

3 FLOOR ASSEMBLY (FRAMED)

FLOOR ASSEMBLY:

- FINISHED FLOORING
- ¾" PLYWOOD FLOORING
- FLOOR JOISTS, TRIMMERS, HEADERS, AND BEAMS AS PER PLAN
- CROSS BRIDGING @ 6'-11" O.C. FROM OTHER BRIDGING OR END SUPPORTS
- ½" TAPED DRYWALL OR 1" X3" STRAPPING

FLOOR EXPOSED TO EXTERIOR

- 6MIL CONTINUOUS POLY
- MIN R31 BATT OR FOAM INSULATION
- R5ei (VAPOUR PERMEABLE) RIGID FOAM INSULATION
- EXTERIOR GRADE PLYWOOD OR ALUMINUM SOFFIT

SILL PLATES

- 2"x4" FASTENED TO TOP OF WALL ANCHOR BOLTS
- FOAM GASKET OR 6MIL POLY TO SEPARATE PLATE FROM WALL
- LEVEL SILL PLATE WITH NON-SHINK GROUT AS REQUIRED

NOTES:

- FLOOR JOISTS TO HAVE MIN 1 ½" BEARING
- VERIFY JOISTS SPECIFICATIONS WHERE CONCRETE TOPPING APPLIES APPROVED STEEL HANGER WHERE FLUSH MOUNTING
- DOUBLE JOISTS OR BLOCKING UNDER PARALLEL NON-LOADBEARING WALLS
- ENSURE ALL BEAMS HAVE MIN SOLID BEARING

WOOD DECK

- 1"x4" P.T. WOOD DECKING ON DECK JOISTS
- PRESSURE TREATED DECK JOISTS AND BEAMS AS PER PLAN
- P.T. POST ANCHORED TO METAL SHOE WITH ½" BOLTS ON CONCRETE PIER NOTES:
- REFER TO SB-7 OF OBC FOR ALL TYP. SPECIFICATIONS REGARDING RAILINGS

4 STAIR / HANDRAILS / GUARDS

STAIR

- MIN HEAD ROOM: 6'-5"
- MIN WIDTH: 2'-10"
- RISER LIMITS: 4 7/8"--7 7/8"
- RUN LIMITS: 8 ¼"--14"
- TREAD LIMITS: 9 ¼"--14"
- ONE SET OF WINDERS BETWEEN EACH FLOOR LEVEL (MAX 30" PER WINDER & MIN 48" BETWEEN SETS OF WINDERS
- LANDINGS REQUIRED FOR ALL DOOR SWINGS OVER STAIR
- RISE AND RUN DIMENSIONS TO BE UNIFORM FOR ALL FLIGHTS

HANDRAILS

- CONTINUOUS HANDRAILS FOR ALL STAIR WITH 3 OR MORE RISERS
- MAXIMUM HEIGHT: 34"--38"

GUARDS:

- GUARDS REQUIRED FOR ALL AREAS WITH 3 OR MORE RISERS OR ADJACENT LEVEL EXCEED 24"
- NO MEMBERS TO FACILITATE CLIMBING BETWEEN 4" & 35 ½"
- MAX 4" SPACING BETWEEN PICKETS
- MIN INTERIOR GUARD HEIGHT TO BE 35 ½" @ LANDINGS & STAIRS

NOTES:

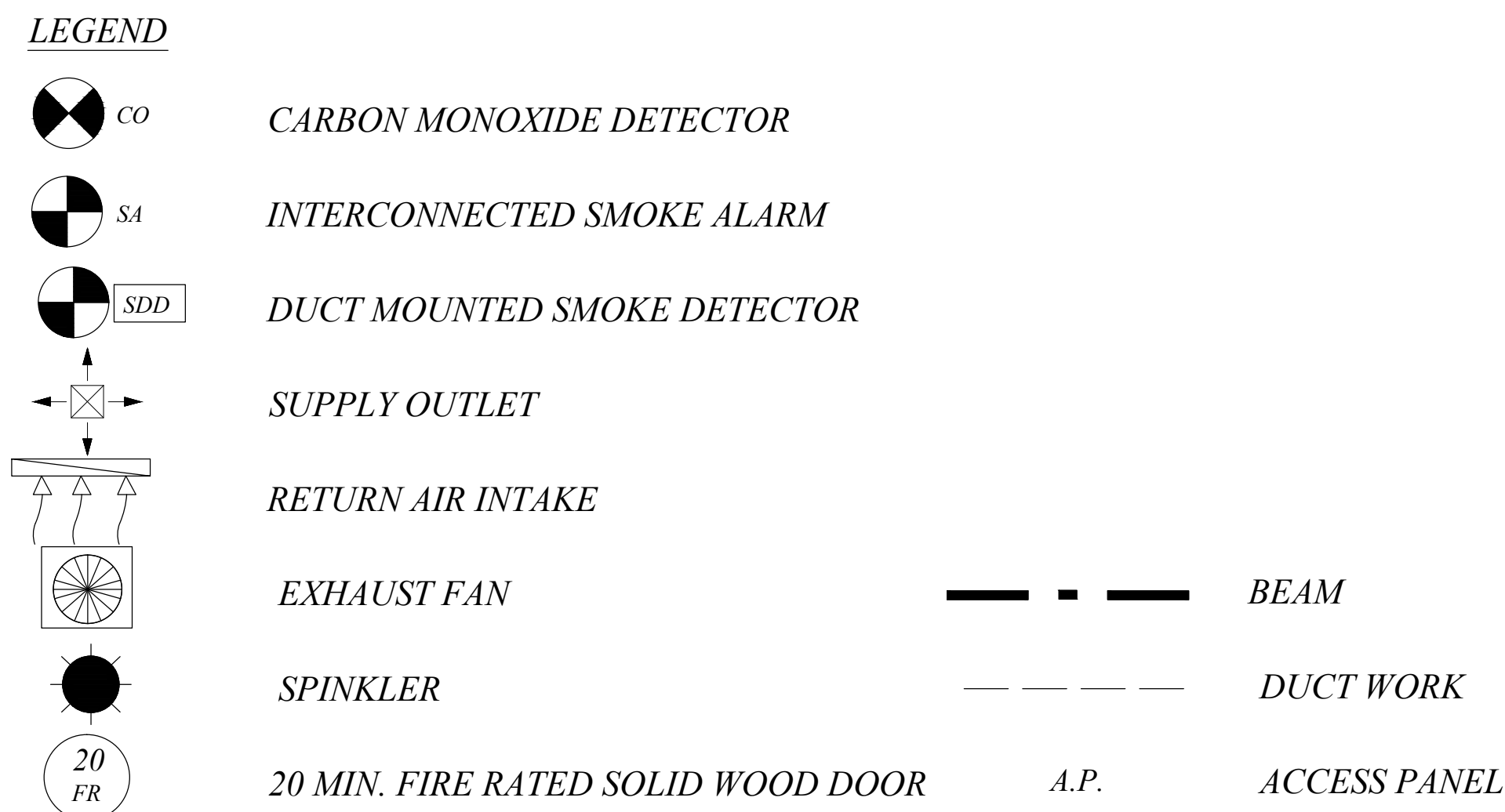
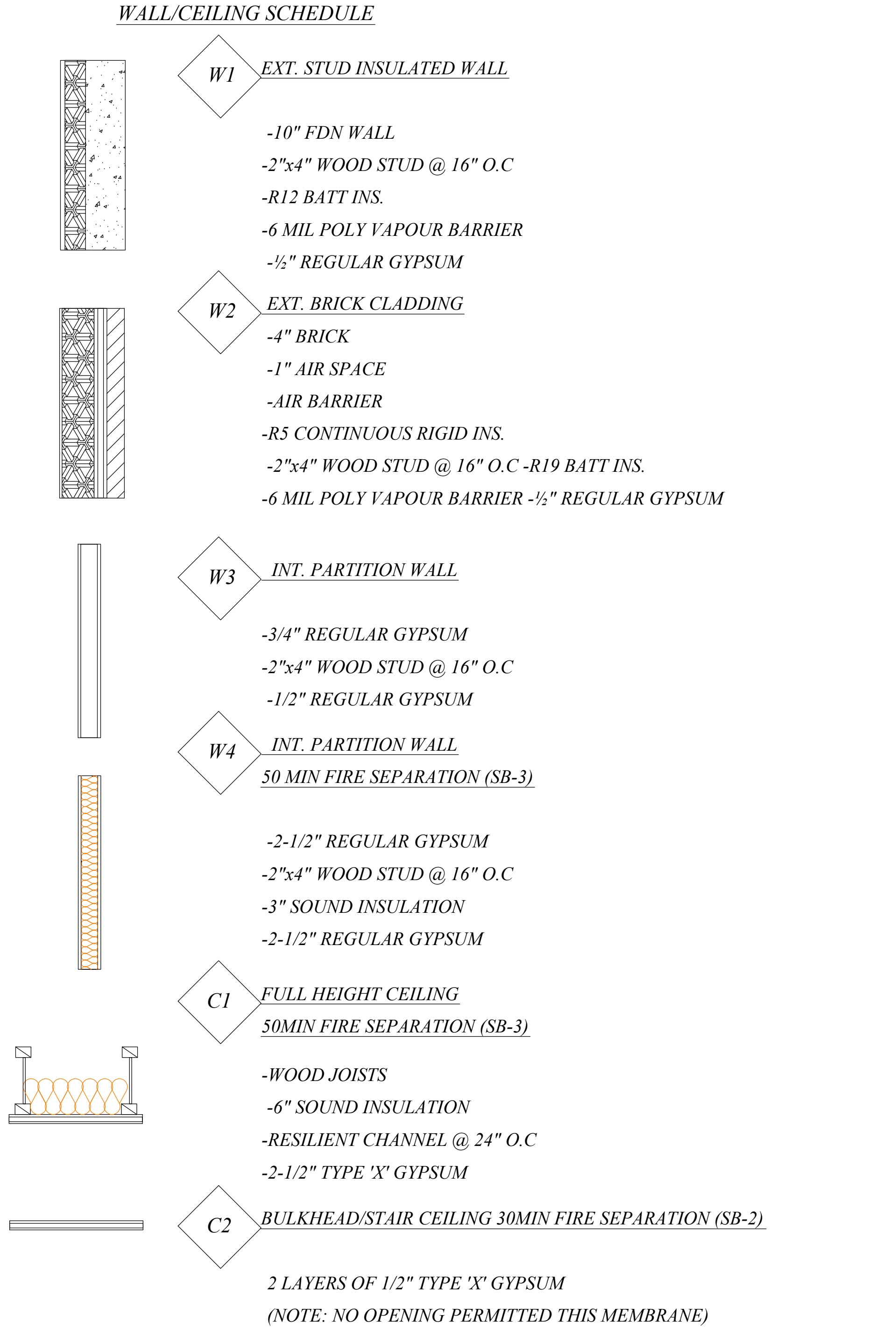
- REFER TO OBC TABLE 9.8.8.2 FOR LOAD SPECIFICATIONS LOADS GUARDS

NOTES FOR ALL EXTERIOR STAIRS:

- CONCRETE STAIRS WITH 3 OR MORE RISERS REQUIRED FOUNDATIO
- WOOD STAIR SHALL NOT BE IN DIRECT CONTACT WITH GROUND UNLESS TREATED TO PREVENT DECAY OR RESTING ON CONCRETE PAD

GUARDS:

- REFER TO OBC SB-3 DETAILS FOR ALL SPECIFICATIONS FOR EXTERIOR GUARDS AND HANDRAILS CONNECTION



STRUCTURAL ELEMENTS		
WOOD LINTELS		
	METRIC	IMPERIAL
WL1	2 -38 x 140	2 -2" x 6"
WL2	2 -38 x 184	2 -2" x 8"
WL3	2 -38 x 235	2 -2" x 10"
WL4	2 -38 x 286	2 -2" x 12"

FOOTING BELL		
	METRIC	IMPERIAL
FB1	305	12" Ø
FB2	457	18" Ø
FB3	610	24" Ø

WOOD POSTS		
	METRIC	IMPERIAL
P1	3 -38 x 89	3 -2 x 4
P2	4 -38 x 89	4 -2 x 4
P3	140 x 140	6 x 6
P4	4 -38 x 14	4 -2 x 6

STEEL LINTELS		
	METRIC	IMPERIAL
L1	90 x 90 x 6	3 ½" x 3 ½" x ¾"
L2	100 x 90 x 6	4" x 3 ½" x ¾"
L3	125 x 90 x 10	4 7/8" x 3 ½" x 3/8"
L4	150 x 90 x 10	5 7/8" x 3 ½" x 3/8"
L5	150 x 100 x 13	5 7/8" x 4" x ½"
L6	180 x 100 x 13	7 1/8" x 4" x ½"

CALCULATIONS FOR ACTUAL GLAZED AREAS FOR ALL ROOMS/SPACES				
LOCATION	MINIMUM UNOBSCTRUCTED GLASS AREA WITH ELECTRIC LIGHTING, %	ROOM AREA m²	GLASS AREA m²	REAL RATIO %
FIRST FLOOR				
BEDROOM	5.0	9.9	3.32	33.5
LIVING ROOM	10.0	20.9	2.28	10.1
DINING ROOM	10.0	18.7	1.48	7.9
BEDROOM	5.0	15.5	5.31	34.3
SECOND FLOOR				
CLOSET	5.0	9.4	1.596	17.0
HALL	5.0	9.4	1.03	11.0
DINING ROOM	10.0	6.2	0.83	13.4
BEDROOM	5.0	12.6	2.098	16.7
OFFICE	5.0	10.0	1.03	10.3
BEDROOM	5.0	9.6	1.596	16.6
ATTIC				
BEDROOM	5.0	10.0	1.596	15.96
LIBRARY	5.0	30.1	2.13	7.1
LIVING ROOM	10.0	33.5	1.98	5.9
CLOSET	5.0	8.6	1.596	16.6



DESIGN LOADS:	
IMPORTANCE FACTOR, IE:	1
ROOF DEAD LOAD:	1.0KPa
SNOW LOAD:	1.28KPa
MAX. WIND LOAD:	0.46KPa
S.FLOOR DEAD LOAD:	1.0KPa
S.FLOOR LIVE LOAD:	1.9KPa
EARTH QUAKE:	
LOCATION:	HAMILTON, ONTARIO
Sa(0.2):	0.26
Sa(0.5):	0.128
Sa(1.0):	0.061
Sa(2.0):	0.028
PGA:	0.168
SITE CLASS:	D
IMPORTANCE FACTOR, IE:	1

GENERAL NOTES:

- ALL EXISTING & PROPOSED WORK MUST BE VERIFY ON SITE PRIOR TO ANY CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- CONTRACTORS AND OWNERS ARE RESPONSIBLE FOR ANY MODIFICATIONS TO THIS PLAN DO TO FIELD CONSTRUCTION CONDITIONS AND CONSTRUCTION METHODS.
- SEE ATTACHED FOR ALL GENERAL NOTES, CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ALL CONSTRUCTION MUST BE ADHERE TO ONTARIO BUILDING CODE REQUIREMENTS AND ANY AUTHORITIES HAVING JURISDICTION.
- CONTRACTORS TO REVIEW APPROVED PERMIT DRAWINGS FOR ADDITIONAL NOTES AND RELATED DOCUMENTS.
- ALL PRODUCTS & COLOUR SELECTIONS ARE THE RESPONSIBILITY OF THE CLIENT AND/OR CONTRACTOR UNLESS STATED OTHERWISE IN THESE PLANS.
- ANY MATERIALS SUBSTITUTIONS MUST BE OF EQUAL OR GREATER PERFORMANCE.

Date : Description :

DRAWN BY:

V.H.

DATE:

Mar 15, 2021

SCALE:

1:100

Project :

28 Burris St.,
Hamilton,
ON, L8M, 2J3

SHEET TITLE :

GENERAL
NOTES

Sheet Number :

A0.00



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS	
Registered Owners(s)	IZVOARE PROPERTIES INC.		
Applicant(s)*	Vlad Andriuca Alexandru Andriuca		
Agent or Solicitor			
			E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
second parking spot doesn't meet city requirements
5. Why it is not possible to comply with the provisions of the By-law?
parking spot is only 2,7m not 3,0m as By-Law require even if physically the car fits in
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, street and street number):
28 Burris st, Hamilton, ON L8M2J3
LT 7, PL 578 ; PT LT 6, PL 578 ; PT LT 8, PL 578 , AS IN VM143350 ; HAMILTON
ARN : 251803023153920
7. PREVIOUS USE OF PROPERTY
- | | | | | | |
|--------------|-------------------------------------|------------|--------------------------|------------|--------------------------|
| Residential | <input checked="" type="checkbox"/> | Industrial | <input type="checkbox"/> | Commercial | <input type="checkbox"/> |
| Agricultural | <input type="checkbox"/> | Vacant | <input type="checkbox"/> | | |
- Other rooming house
- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?
checked the history of the property

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.


Is the previous use inventory attached? Yes ☐ No ☐

9. **ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

April 15, 2021

Date


Signature Property Owner

Alexandru Andriuca

Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>38.91 ft</u>
Depth	<u>73.75 ft</u>
Area	<u>2,981.60 ft²</u>
Width of street	<u></u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:

2 1/2 stories, 8m wide, 17m long, 3900sqft

Proposed

no changes

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing:

5,6m from the side, 4,0m from the front, 3m at the back

Proposed:

no changes

13. Date of acquisition of subject lands:
Jun 22, 2020
-
14. Date of construction of all buildings and structures on subject lands:
n/a
-
15. Existing uses of the subject property:
rooming house
16. Existing uses of abutting properties:
17. Length of time the existing uses of the subject property have continued:
n/a
18. Municipal services available: (check the appropriate space or spaces)
Water ☒ _____ Connected _____
Sanitary Sewer ☒ _____ Connected _____
Storm Sewers ☒ _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
D/ S497a
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.