

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: SC/A-21:165

APPLICANTS: Agent John Stirling
Owner June Williams

SUBJECT PROPERTY: Municipal address **10 West Ave., Stoney Creek**

ZONING BY-LAW: Zoning By-law 3692-92, as Amended

ZONING: "R2" (Single Residential "R2") Zone

PROPOSAL: To permit an existing detached garage under construction to be altered to 10.92m x 11.0m together with a 6.0m x 11.5m attached covered porch and to recognize the location of an existing 9.55m² shed accessory to an existing single detached dwelling notwithstanding that:

1. The eaves and gutters for the existing shed may project into the southerly side yard a maximum of 0.3m so that the eaves and gutters are at least 0.2m from the southerly side lot line instead of the requirement that eaves and gutters for accessory buildings may project into any required yard a distance of 0.25m.
2. The eaves and gutters for the detached garage including its attached covered porch may project into the northerly side yard a maximum of 0.3m so that the eaves and gutters are at least 0.20m from the northerly side lot line instead of the requirement that eaves and gutters for accessory buildings may project into any required yard a distance of 0.25m.
3. A maximum height of 5.5m shall be permitted for the detached garage including its attached covered porch instead of the maximum required accessory building height of 4.5m.
4. A total lot coverage of 12.3% shall be permitted for all accessory buildings instead of the requirement that the total lot coverage for all accessory buildings shall not exceed 10% of the total lot area.

NOTE:

- i) The size of the detached garage and configuration on the Layout Plan submitted does not match the size and layout of the detached garage and porch shown on the Site Plan. Further, the building height shown on the Elevation Plan submitted does not match the requested accessory building height requested on Question's 4 and 11 on the Minor Variance Application. The Plans submitted are the plans approved for Building Permit No. 08-262627 which has not yet received a final inspection.

This application will be heard by the Committee as shown below:

DATE: Thursday, June 3rd, 2021
TIME: 2:55 p.m.
PLACE: Via video link or call in (see attached sheet for details)
To be streamed at
www.hamilton.ca/committeeofadjustment
for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

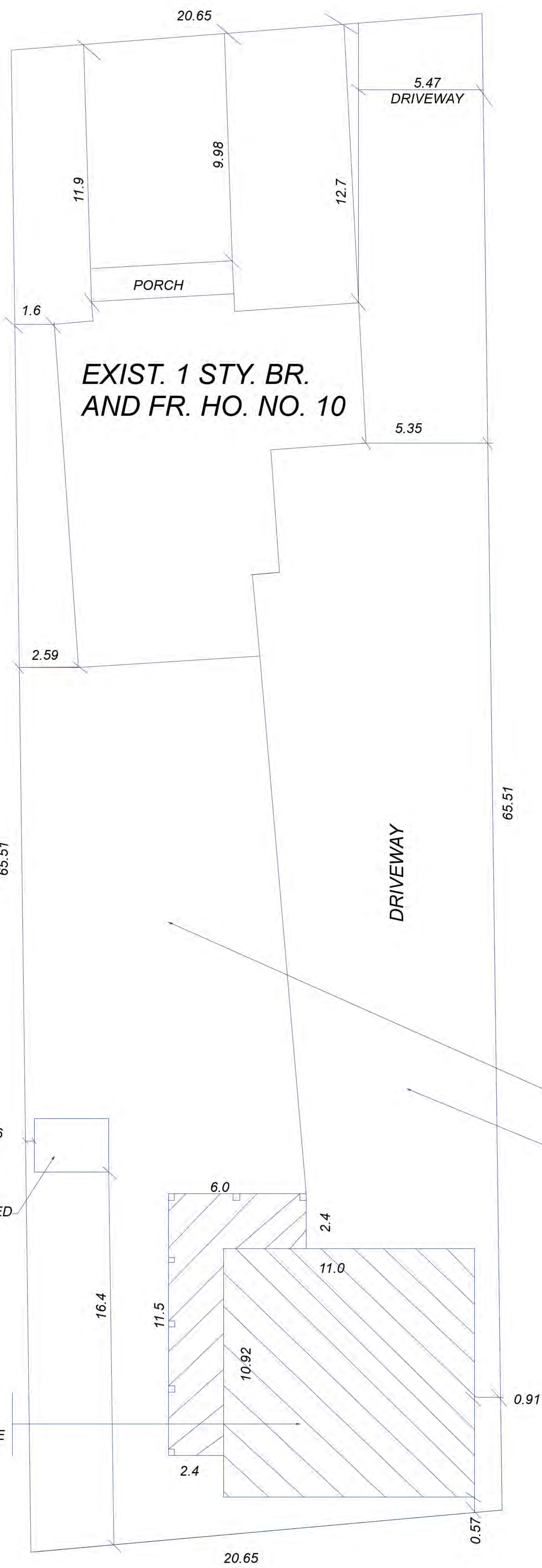
DATED: May 18th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

WEST AVE.

N



10 WEST AVE., STONEY CREEK

NOTES ON ACCESSORY BUILDINGS:

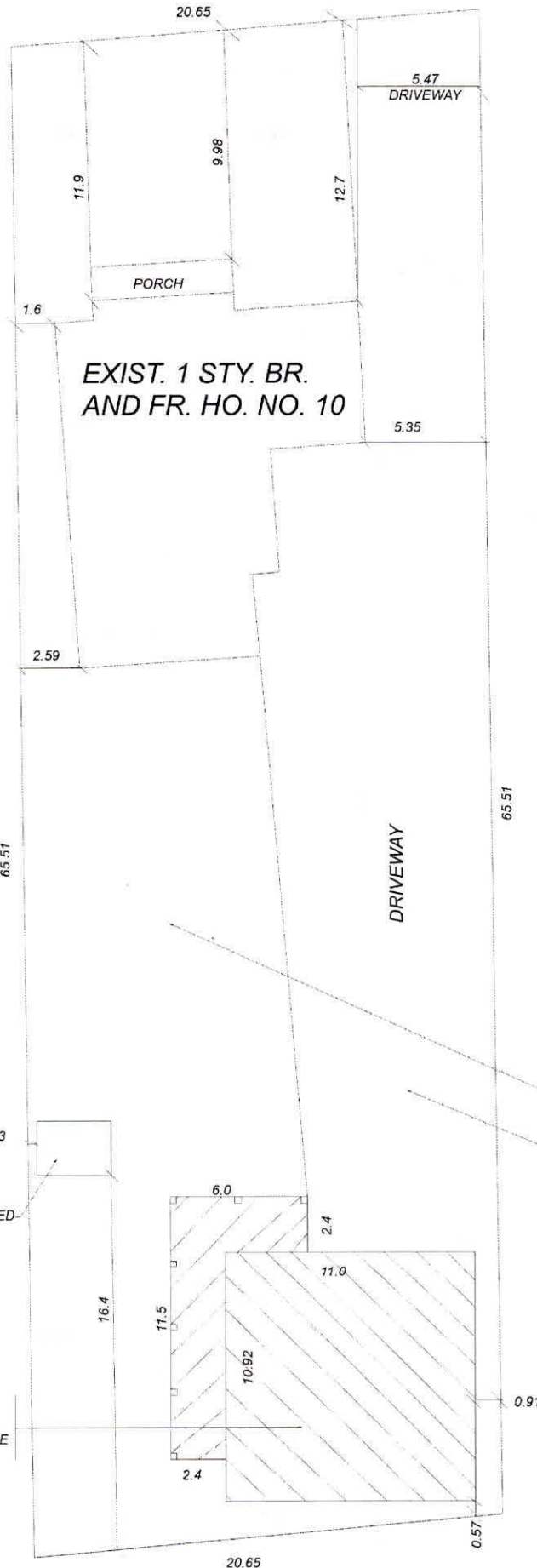
- 1) GARAGE - 120 SQ. M
- 2) COVERED PORCH 36.24 SQ.M
- 3) EXISTING SHED - 9.5 SQ.M
- 4) LOT AREA 1352 SQ. M
- 5) TOTAL AREA OF ACCESSORY BUILDINGS - 165.74
- 6) TOTAL % ALLOWED IS 10% WE HAVE 12.25%
- 7) AREA OF EXIST. HOUSE - 187.66 SQ. M
- 8) AREA OF ALL STRUCTURES ON THE LOT - 354.24 SQ.M
- 9) TOTAL LOT COVERAGE 26.12 %, 40 % ALLOWED

SOFT SURFACE

HARD SURFACE

WEST AVE.

N



10 WEST AVE., STONEY CREEK

NOTES ON ACCESSORY BUILDINGS:

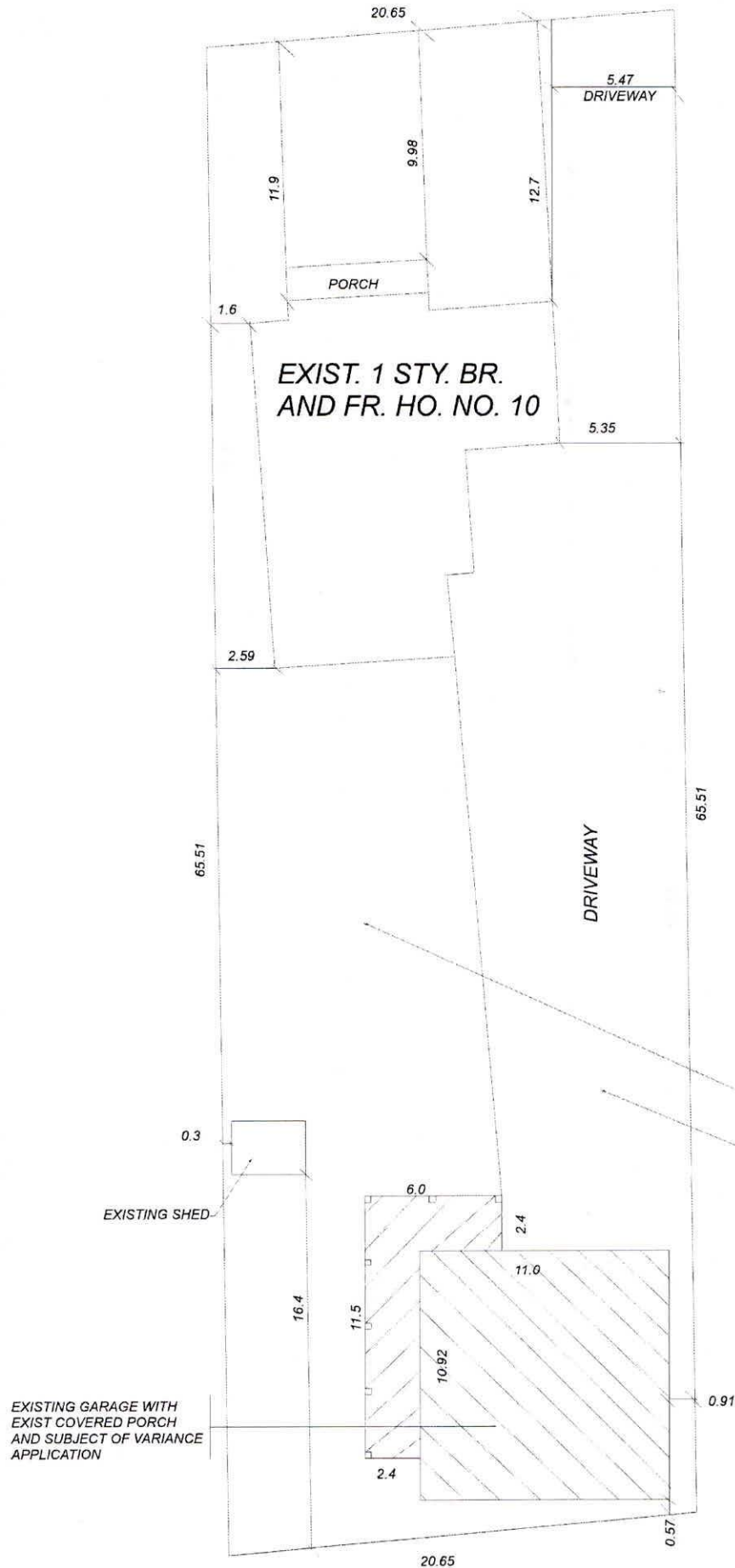
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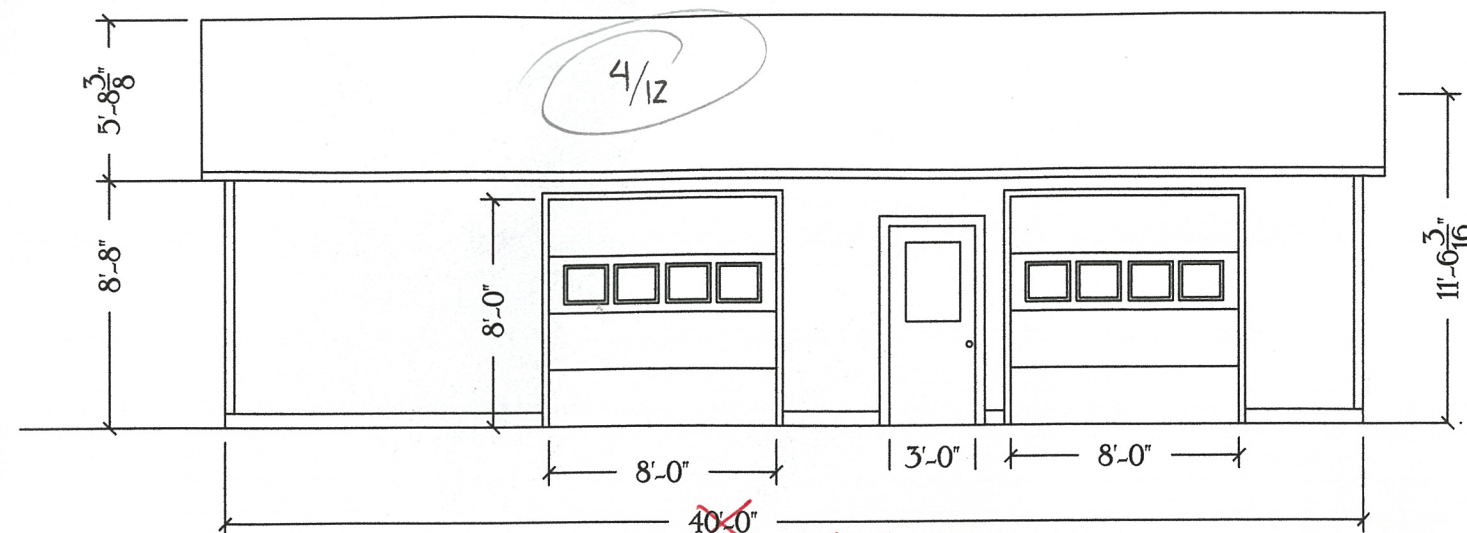
SOFT SURFACE

HARD SURFACE

CITY OF HAMILTON
BUILDING SERVICES DIVISION
Planning & Development Department

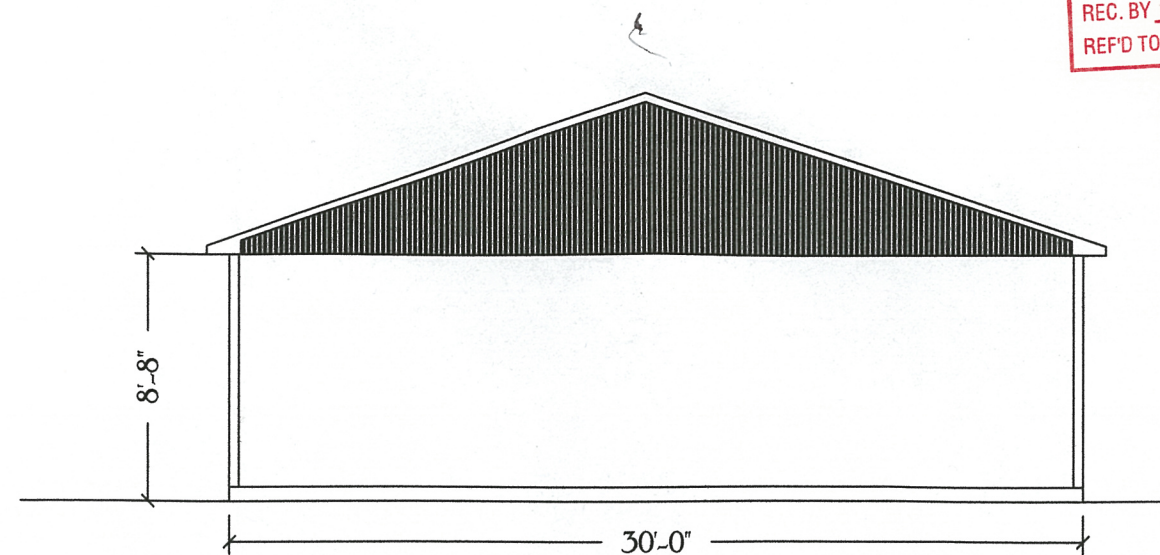
MAY 08 2008

REC. BY _____ DATE _____
REF'D TO _____ DATE _____



Front Elevation

~~40'-0"~~ 35'-0" MAXIMUM



Right Elevation

CITY OF HAMILTON
Building Services Division

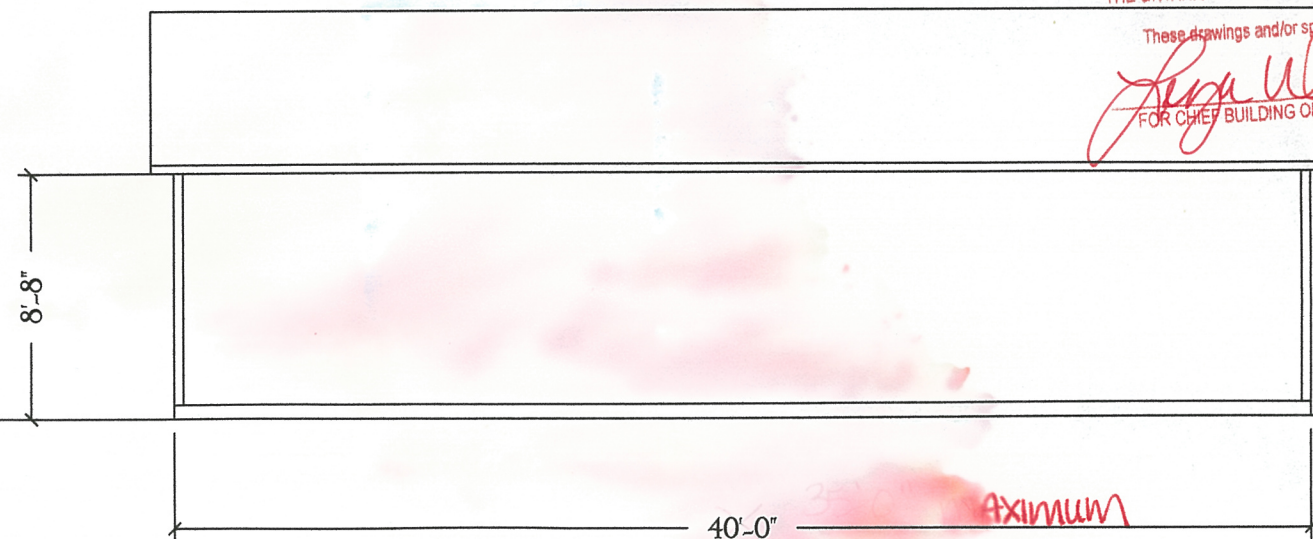
Permit No. 08-262627

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

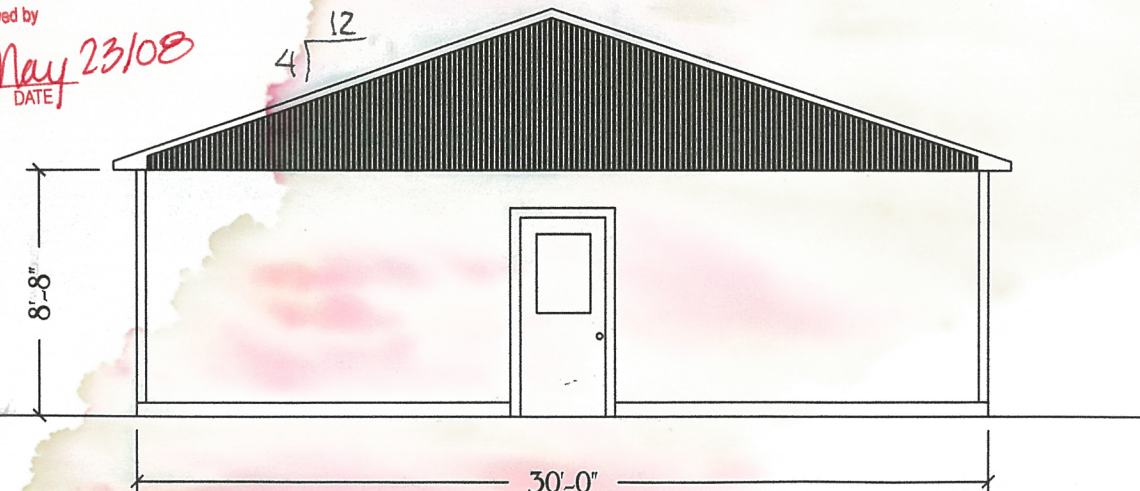
These drawings and/or specifications have been reviewed by

John W. Smith May 23/08
FOR CHIEF BUILDING OFFICIAL DATE



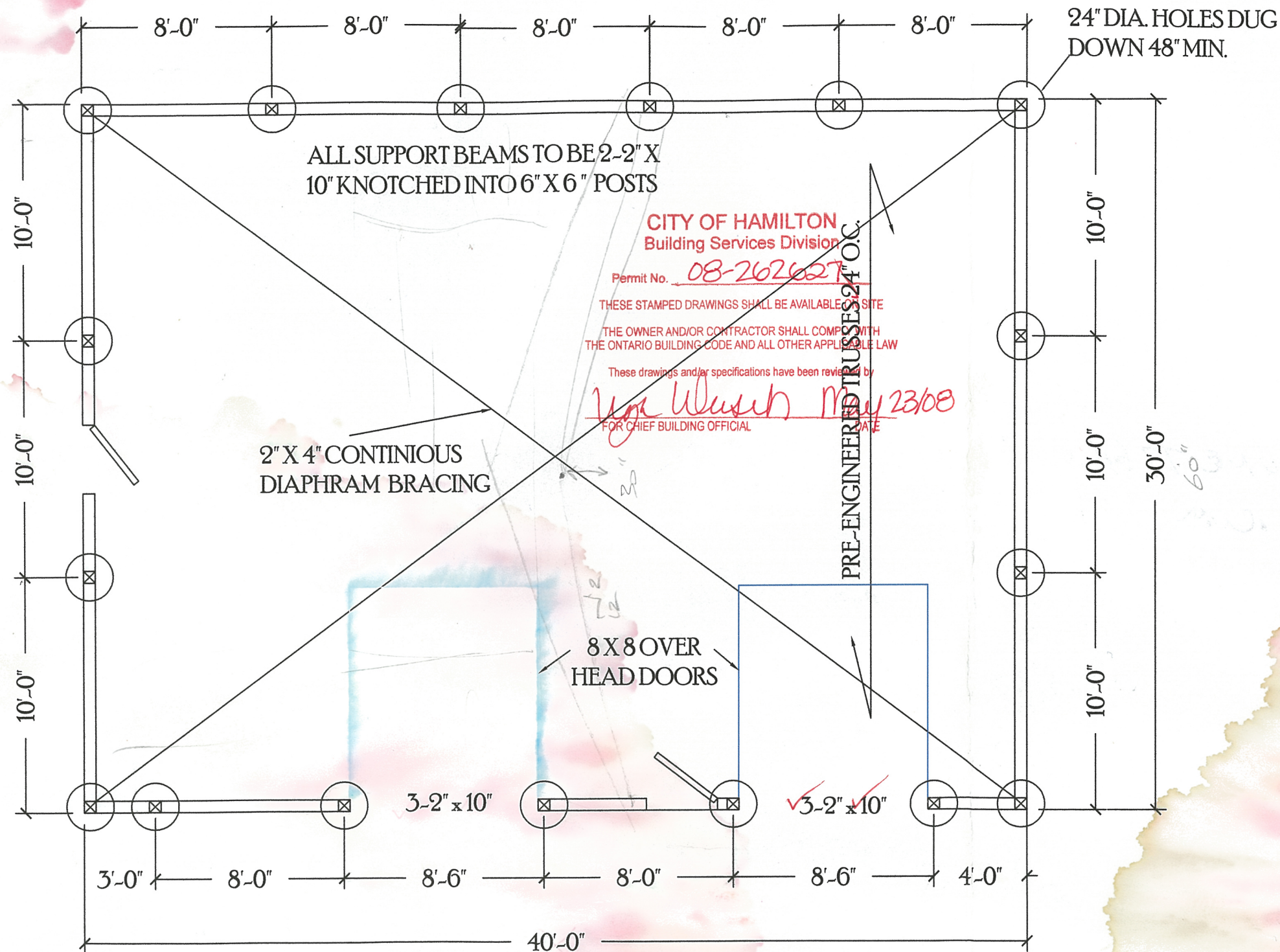
Rear Elevation

40'-0" MAXIMUM



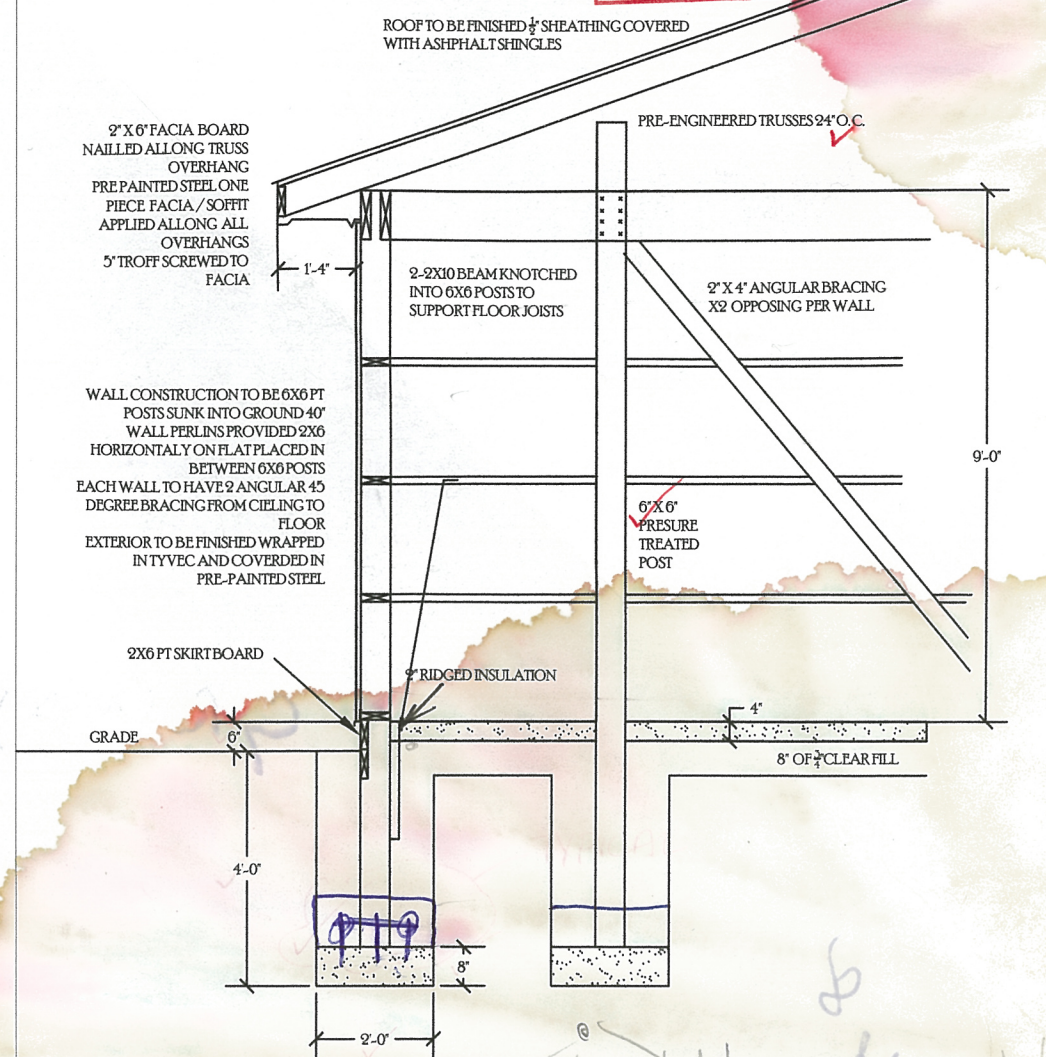
Left Elevation

LAYOUT PLAN



CITY OF HAMILTON
Building Services Division
Permit No. 08-262627
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
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FOR CHIEF BUILDING OFFICIAL

CROSS SECTION





Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

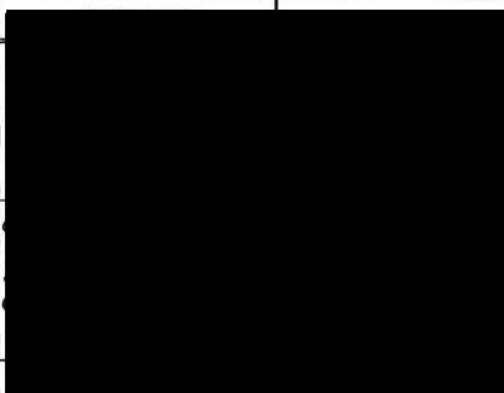
APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	
Registered Owners(s)	JUNE WILLIAMS	
Applicant(s)*	JOHN STERLING	
Agent or Solicitor	APPLICANT	
		E-mail:

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

TO ALLOW A LARGER ACCESSORY BUILDING AREA.
A HEIGHT OF 18'-0" OR 5.48 M.
ERECTING SHED ONLY 12" OR 0.3 M FROM SIDE
LOT LINE.

5. Why it is not possible to comply with the provisions of the By-law?

AFTER THE FACT.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

10 WEST AVE. STONEY CREEK.
LOT 9, REGISTERED PLAN 113
TOWNSHIP OF SALT FLEET.

7. PREVIOUS USE OF PROPERTY

Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☒ Vacant ☐

Other _____

- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☐ Unknown ☒
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ☒ Unknown ☐

- 8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

- 8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

CITY DIRECTORIES

- 8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application

April 6, 2021
Date


Signature Property Owner

June Williams
Print Name of Owner

10. Dimensions of lands affected:

Frontage 67.75 feet - 20.65m
Depth 214.96 feet - 65.52m
Area 14564.9 sq ft. - 1352.9 m²
Width of street 30 ft. - 9.14m

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: 1 STORY HO 48' WIDE 54' LONG 26' HIGH
GROUND FLOOR AREA 2020 sq ft OR 187.60 m²
1-SHED 12'-4" x 8'-4" 11' HIGH - 3.17m x 2.5m = 7.9 m²
1-GARAGE 1 STORY 18' HIGH FLOOR AREA 120.12 m²
Proposed: W/COVERED PORCH 36.24 m²
SAME

12. Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

Existing: HOUSE FRONT YARD 39.15' SIDE 5.25' AND 17.55'
SHED. 1'-0" SIDE YARD.
GARAGE 3'-0" SIDE YARD. - 0.91m
1-10 1/2' REAR YARD. 0.57m
Proposed:
SAME

13. Date of acquisition of subject lands:
1991
14. Date of construction of all buildings and structures on subject lands:
HOUSE 1950'S Garage 2008
15. Existing uses of the subject property:
SINGLE FAMILY DWELLING
16. Existing uses of abutting properties:
SINGLE FAMILY DWELLING
17. Length of time the existing uses of the subject property have continued:
70 YEARS
18. Municipal services available: (check the appropriate space or spaces)
 Water ✓ Connected ✓
 Sanitary Sewer ✓ Connected ✓
 Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:
RESIDENTIAL
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
R2
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.