

NOTICE OF PUBLIC HEARING

Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.: HM/A-21:149

APPLICANTS: Agent Brent Wybenga
Owners S. & J. Hanson

SUBJECT PROPERTY: Municipal address **14 Tillbury Crt., Hamilton**

ZONING BY-LAW: Zoning By-law 6593, as Amended

ZONING: "C" (Urban Protected Residential, etc.) district

PROPOSAL: To permit the construction of a one storey addition comprising 93.6 square metres for an existing one storey single family dwelling, notwithstanding that:

1. The rear yard for an addition to a single family dwelling shall be a minimum of 4.6 metres instead of the minimum requirement of 7.5 metres.
2. One parking space shall be provided for a single family dwelling instead of the minimum required three (3) parking spaces for a single family dwelling with up to ten (10) habitable rooms.
3. No manoeuvring space shall be required instead of the required one manoeuvring space having a minimum width of 6 metres.
4. The front yard for an existing single family dwelling shall be a minimum of 5.9 metres instead of the minimum 6.0 metres.

NOTES:

1. The variances are written as requested by the applicant. Additional variances have been included to address manoeuvring and the existing front yard which does not meet the requirement for the C District.
2. Variance #2 is required because the proposed attached garage does not provide sufficient depth to accommodate a 6.0m long parking space.
3. The Zoning By-law requires an additional 0.5 parking space for each habitable room above eight habitable rooms for a single family dwelling. The number of habitable rooms was determined to be ten (10) for the expanded single family dwelling which requires the provision of three (3) parking spaces.

This application will be heard by the Committee as shown below:

DATE:	Thursday, June 3rd, 2021
TIME:	3:40 p.m.
PLACE:	Via video link or call in (see attached sheet for details) To be streamed at www.hamilton.ca/committeeofadjustment for viewing purposes only

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

Orally: If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

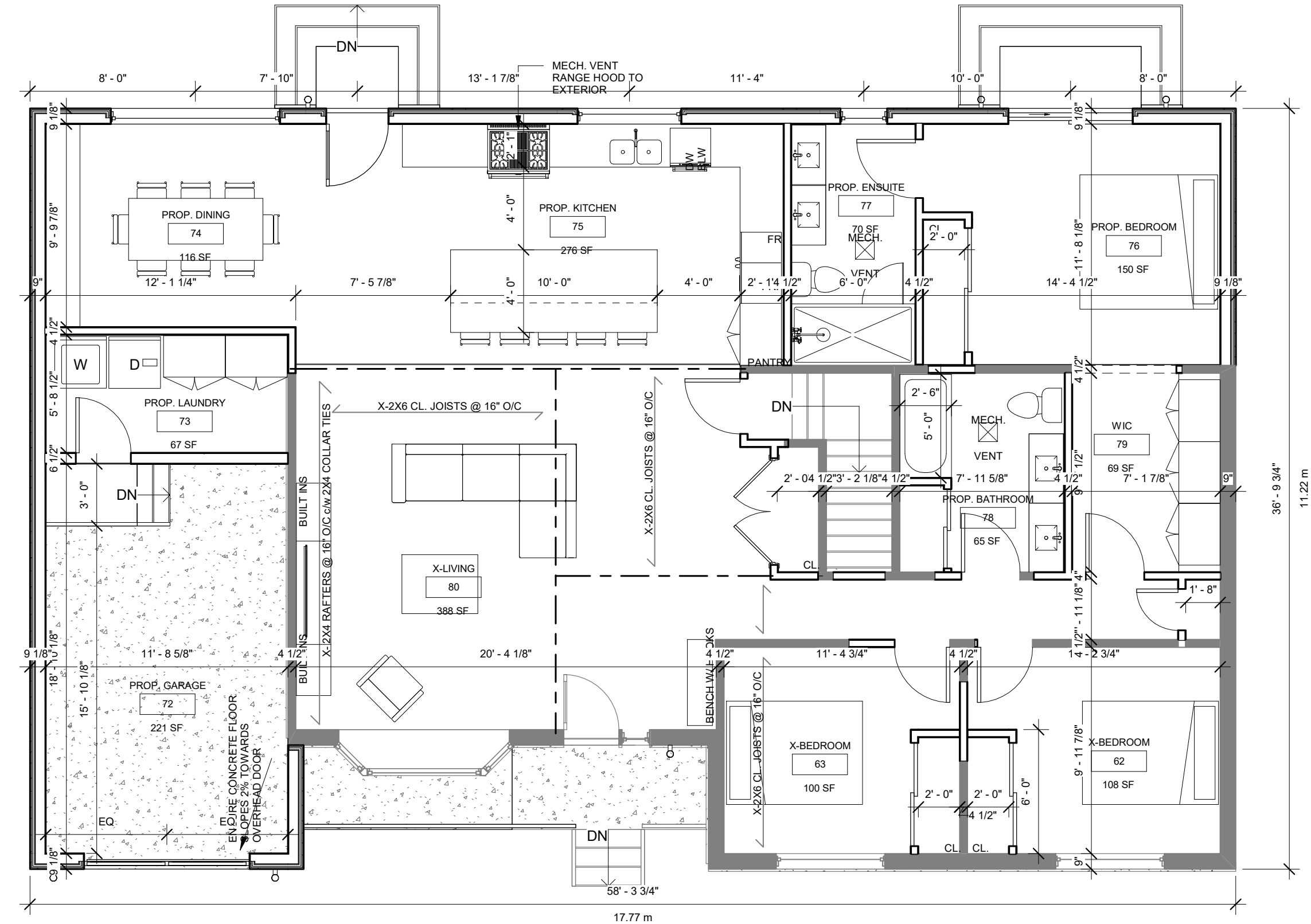
- Visit www.hamilton.ca/committeeofadjustment
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at cofa@hamilton.ca

DATED: May 18th, 2021.

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.



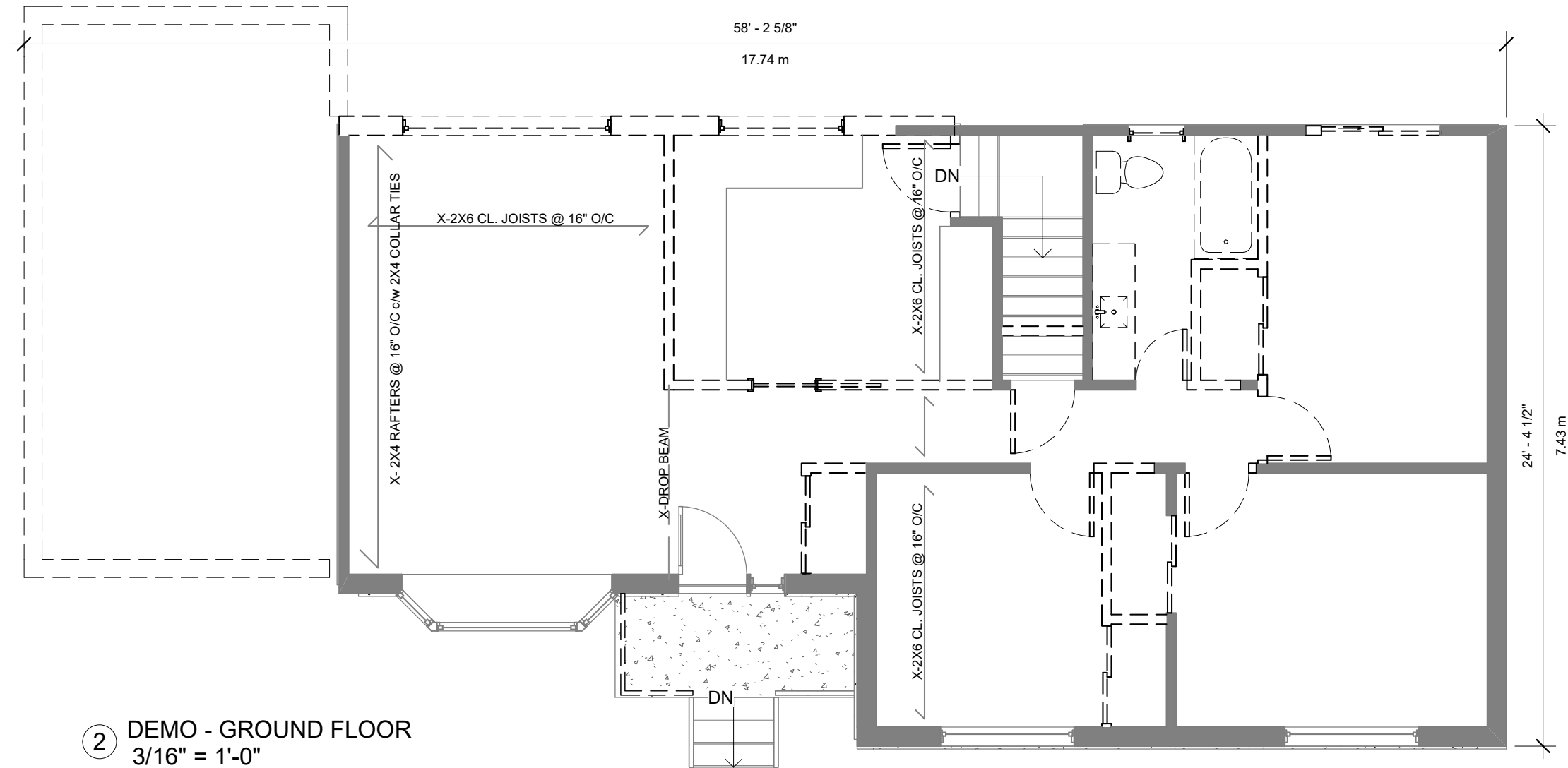


2 PROP. GROUND FLOOR
3/16" = 1'-0"

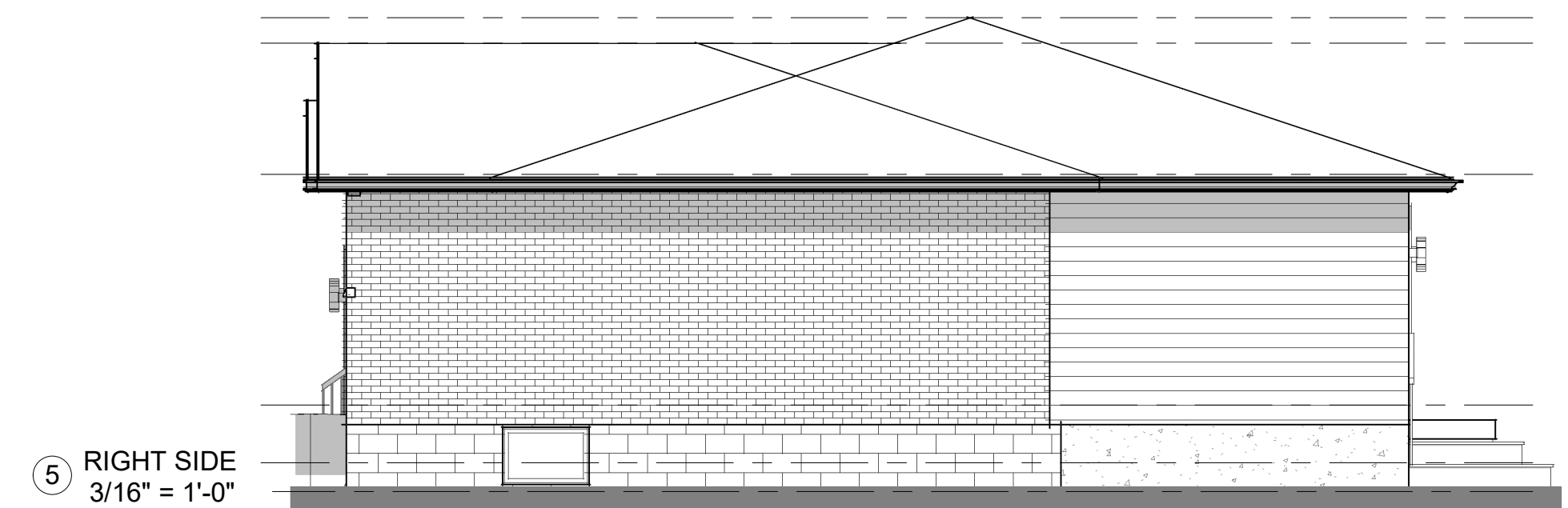
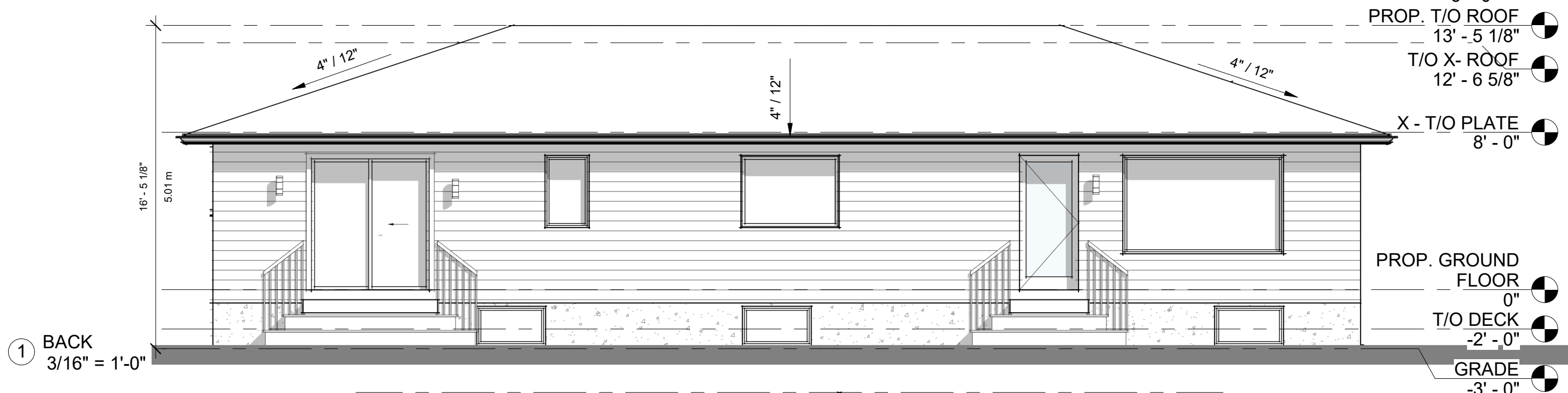
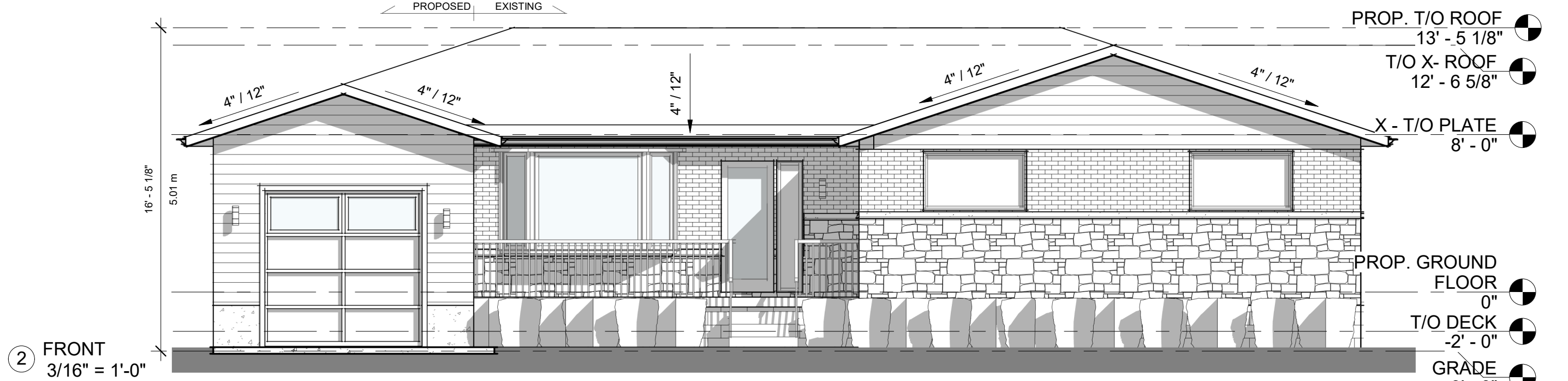
PARK
EIGHT
ENG // ARCH

PROPOSED ADDITION AND INTERIOR
RENOVATIONS
14 TILBURY CT, HAMILTON

Project No. 21025
Revisions
Scale 3/16" = 1'-0"
PROP. GROUND FLOOR
A1.01
Sheet No. ©2021



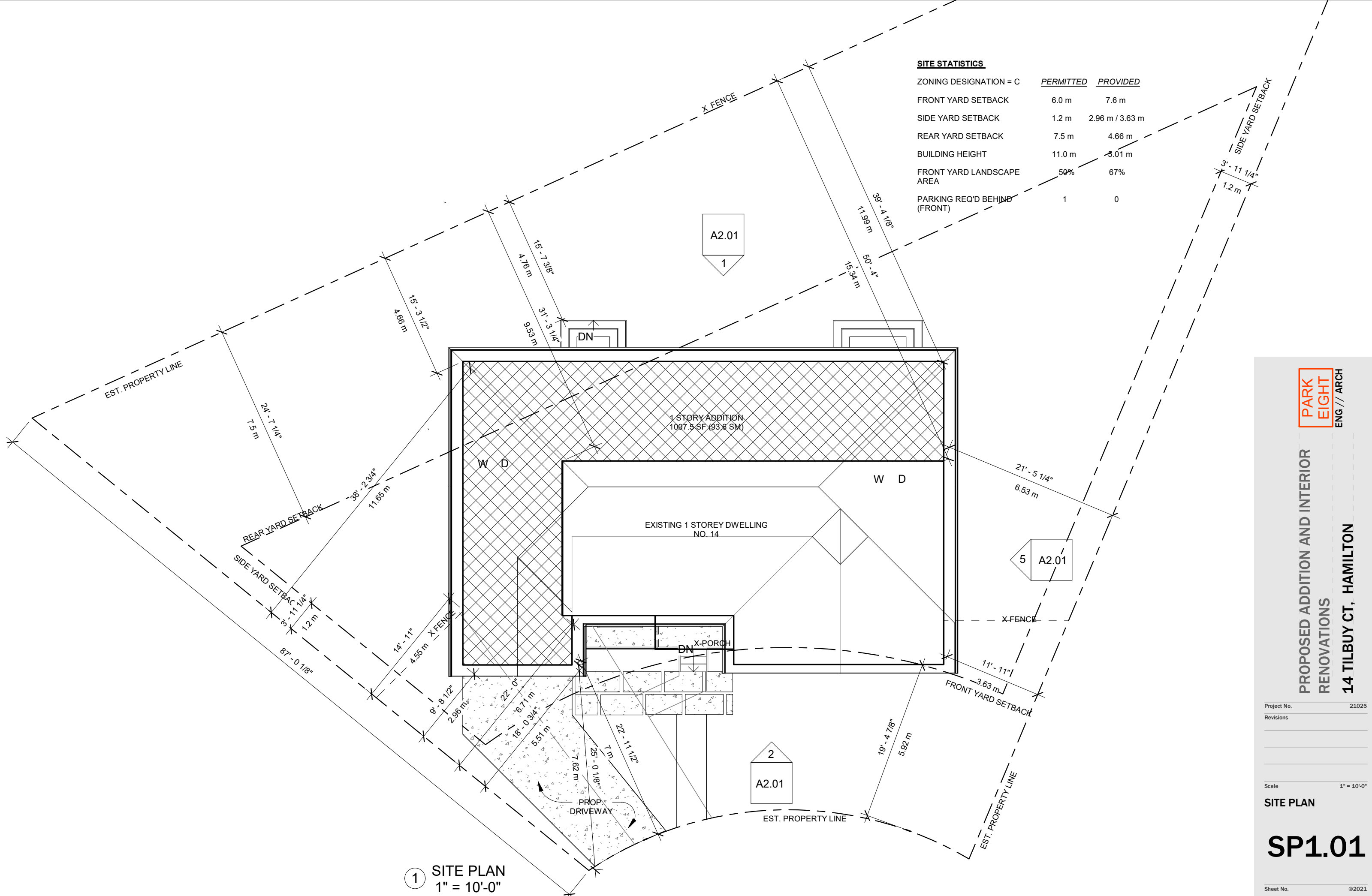
2 DEMO - GROUND FLOOR
3/16" = 1'-0"



PARK
EIGHT
ENG // ARCH

PROPOSED ADDITION AND INTERIOR
RENOVATIONS

14 TILBURY CT, HAMILTON



SITE STATISTICS		
ZONING DESIGNATION = C	PERMITTED	PROVIDED
FRONT YARD SETBACK	6.0 m	7.6 m
SIDE YARD SETBACK	1.2 m	2.96 m / 3.63 m
REAR YARD SETBACK	7.5 m	4.66 m
BUILDING HEIGHT	11.0 m	3.01 m
FRONT YARD LANDSCAPE AREA	50%	67%
PARKING REQ'D BEHIND (FRONT)	1	0

1 SITE PLAN
1" = 10'-0"

PARK
EIGHT
ENG // ARCH

PROPOSED ADDITION AND INTERIOR
RENOVATIONS
14 TILBURY CT, HAMILTON

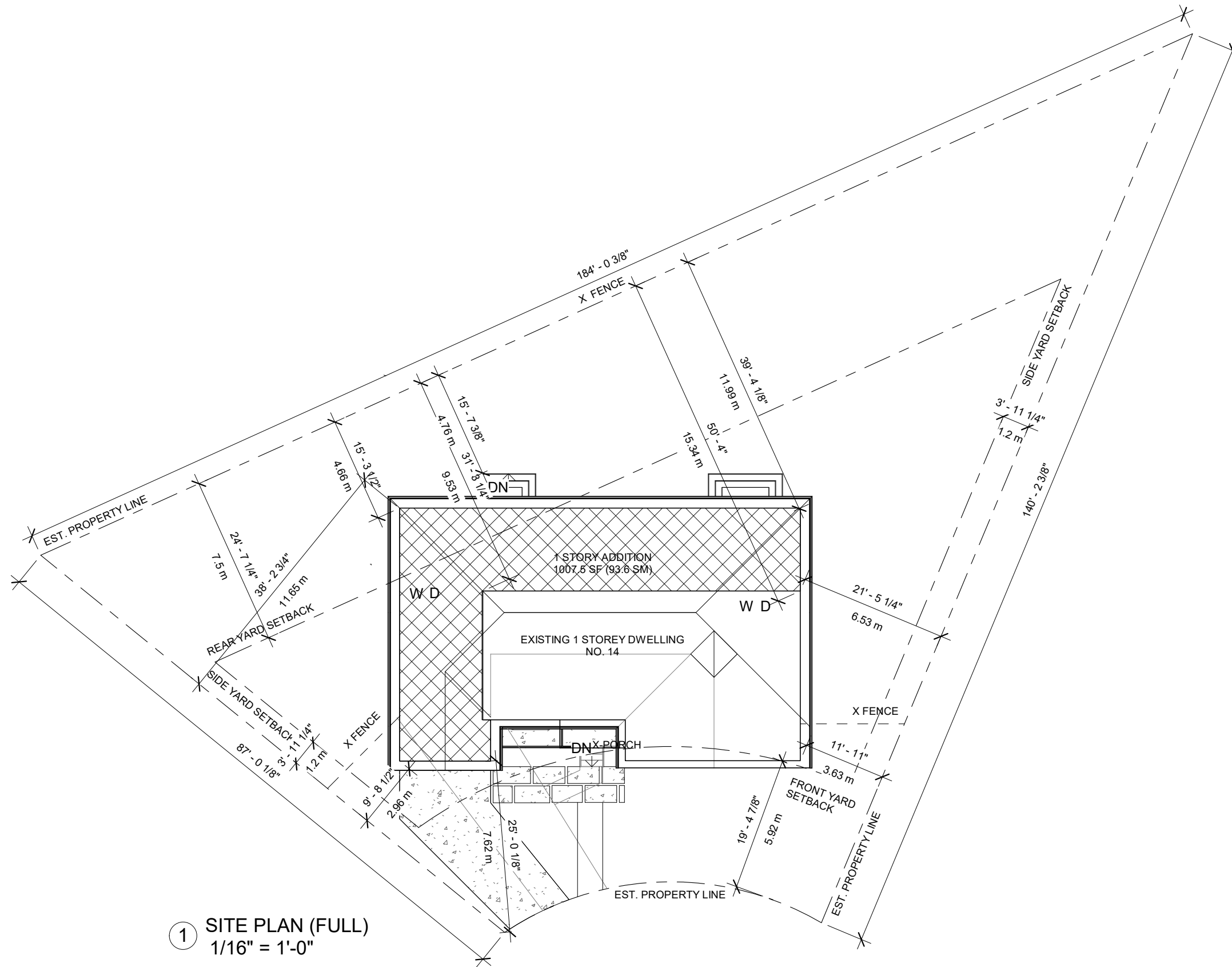
Project No. 21025
Revisions

Scale 1" = 10'-0"

SITE PLAN

SP1.01

Sheet No. ©2021



1 SITE PLAN (FULL)
1/16" = 1'-0"

GENERAL NOTES

1. UNDER NO CIRCUMSTANCES ARE THESE DRAWINGS TO BE SCALED.
2. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE (OBC)
3. INCLUDING ALL THE LATEST STANDARDS REFERENCED WITHIN.
4. ALL DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.
5. CONTRACTOR/STEEL FABRICATOR IS REQUIRED TO FIELD MEASURE THE STRUCTURE PRIOR TO FABRICATION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
6. CONTRACTOR TO CHECK AND VERIFY ALL STRUCTURAL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.
7. PROVIDE ADEQUATE TEMPORARY SHORING AS REQUIRED DURING DEMOLITION OF STRUCTURAL WALLS AND COMPONENTS. ANY AND ALL RESULTING DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
8. PROVIDE LINTELS OVER ALL OPENINGS, INCLUDING THOSE FROM MECHANICAL AND ELECTRICAL.
9. CARBON MONOXIDE DETECTORS ARE REQUIRED ADJACENT TO EACH SLEEPING AREA, AS PER O.B.C. 9.33.4.
10. SMOKE ALARMS SHALL BE LOCATED AS PER O.B.C. 9.10.19.2. SMOKE ALARMS SHALL BE WIRED SO THAT WHEN THE ALARM SOUNDS, ALL ALARMS SOUND AS PER O.B.C. 9.10.19.4.
11. WHERE DOWNSPOUTS ARE PROVIDED AND NOT CONNECTED TO A SEWER, DOWNSPOUT EXTENSIONS SHALL BE PROVIDED TO CARRY RAINWATER AWAY FROM THE BUILDING IN A MANNER THAT WILL PREVENT SOIL EROSION AS PER O.B.C. 9.26.18.2.
12. THE UNOBSTRUCTED ATTIC VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. O.B.C. 9.26.5.1.

DESIGN LOADS

- | | | |
|----|---|---------------|
| 1. | GROUND SNOW (S _g) / RAIN (S _r): | 1.1 / 0.4 kPa |
| 2. | MAXIMUM ROOF SNOW (S): | 1.28 kPa |
| 3. | ROOF DEAD LOAD (D): | 1.0 kPa |
| 4. | WIND (W50): | 0.46 kPa |
| 5. | GROUND FLOOR LIVE (L): | 1.9 kPa |
| 6. | GROUND STOREY FLOOR DEAD (D): | 1.0 kPa |

STRUCTURAL SCHEDULE

L1	WOOD LINTELS:	
	2 PLY - 2X8	
	3 PLY - 2X8	
	3 PLY - 2X10	
B1	BEAMS:	
	4-PLY 2.0E LVL 1 3/4" x 11 7/8", PROVIDE 2 ROWS OF SDS SCREWS 1/4"x6" LG. @ 12" O.C	
	2-PLY 2X12 (FLUSH W/ CEILING)	
	2-PLY 2.0E LVL 1 3/4" x 9 1/4", PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x3.5" LG. @ 12" O.C	
B3	3-PLY 2.0E LVL 1 3/4" x 9 1/4", PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x3.5" LG. @ 12" O.C	
B4	4-PLY 2.0E LVL 1 3/4" x 11 7/8", PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x6" LG. @ 12" O.C	
B5	5-PLY 2.0E LVL 1 3/4" x 7 1/4", PROVIDE 2 ROWS OF SDS SCREWS ON E/S 1/4"x6" LG. @ 12" O.C	
B6	WBX58 STEEL BEAM - SEE DETAIL	
B7		
R1	RAFTERS / JOISTS:	
	2X8 ROOF RAFTERS @ 16" O/C W/ 2X6 CL. JOISTS @ 16" O/C WHERE REQ'D	
	2X8 FL. JOISTS @ 16" O/C C/W 3/4" T&G SPF PLYWOOD SUBFLOOR (GLUE AND SCREW TO WD FLOOR JOISTS)	
P2	WOOD BUILT-UP POSTS / COLUMNS:	
	2 PLY - 2"x6"	
	3 PLY - 2"x6"	
	4 PLY - 2"x6"	
P3	5 PLY - 2"x6"	
P4		
P5		
COL.1	HSS 4"x4"x1/4" C/W 5.5"x9"x3/8" thk. CAP PLATE & (4) 1/2" DIA. BOLTS W/ 5.5"x9"x3/8" BASEPLATE (SEE TYP. BASEPLATE DETAILS) W/ (2) 5/8" DIA. BOLTS	
FW1	FOUNDATION WALLS:	
	8" CONCRETE FDN. WALL C/W 24" x 6" THK. R/W (2) CONT. 15M BARS	
FTG.1	PAD FOOTINGS:	
	1'-10" X 1'-10" X 8" THK. CONC. FTG.	
	3'-6" X 3'-6" X 10" THK. R/W 15M BARS @ 12" O/C E/W	
FTG.2		
LL1	LOOSE BRICK LINTELS:	
	L4x3.5x5/16" - 5'-0" & UNDER (8" BEARING ON E/S)	
	L5x3.5x3/8" - 5'-0" TO 7'-0" SPAN (8" BEARING ON E/S)	
	L6x4x3/8" - 7'-0 TO 9'-0" SPAN (8" BEARING ON E/S)	
LL2		
LL3		

FOUNDATION NOTES

1. ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 3000 P.S.F.
2. PROVIDE 4'-0" MINIMUM OF FROST COVER FOR ALL EXTERIOR FOOTINGS.
3. ALL REINFORCING STEEL TO BE 400W AND SHALL CONFORM TO CSA-G30.18-M92.
4. ALL PIERS TO BE POURED INTEGRALLY WITH FOUNDATION WALLS.
5. PROVIDE 8" DEEP DOOR BUCKS AT ALL EXTERIOR DOOR LOCATIONS.
6. CONTRACTOR TO NOTIFY ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE FOR:
 - A. VERIFICATION OF SOIL BEARING CAPACITY
 - B. INSPECTION OF REINFORCING

STRUCTURAL STEEL NOTES

1. STRUCTURAL STEEL DESIGN MUST CONFORM TO CSA S16.
2. STRUCTURAL STEEL W SECTIONS AND COLUMNS SHALL CONFORM TO ASTM A992 U.O.N.
3. STRUCTURAL STEEL CHANNELS, WSS, & ANGLES MUST CONFORM TO CSA G40.21, GRADE 350W U.O.N.
4. ALL STRUCTURAL STEEL PLATE SHALL CONFORM TO CSA G40.21, GRADE 300W, CLASS C U.O.N.
5. BOLTED CONNECTIONS SHALL BE MADE OF ASTM A3125 GRADE A325 U.O.N.
6. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 U.O.N.
7. ALL WELDING TO CONFORM TO C.W.B. APPROVED PROCEDURES. ALL WELDING TO BE CARRIED OUT BY WELDERS CERTIFIED BY THE C.W.B., EMPLOYED BY A FIRM CERTIFIED IN DIVISION 1 or 2.
8. ALL STRUCTURAL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH CSA G164 U.O.N.
9. TOUCH UP ALL FIELD WELDS BY APPLYING MIN. OF 2 COATS OF ZINC RICH PAINT.
10. ALL STRUCTURAL STEEL SHALL RECEIVE A MINIMUM OF ONE COAT OF SHOP PRIMER.
11. DO NOT SPICE OR CUT OPENING IN STRUCTURAL STEEL WITHOUT THE ENGINEER'S APPROVAL.

MASONRY (VENEER) NOTES

1. MASONRY SHALL CONFORM TO CSA S304.1
2. MINIMUM BRICK VENEER STRENGTH TO BE 20 MPa (CLAY).
3. THE MINIMUM BRICK LINTEL BEARING DISTANCE ON MASONRY WALLS SHOULD BE 200 mm (8") U.O.N.
4. MASONRY TIES SHALL CONFORM TO CSA-A370. HOT DIPPED GALVANIZED TIES ARE REQUIRED.
5. TIES SHALL BE SPACED AT NO MORE THAN 810mm C/C HORIZONTALLY, AND 610 mm C/C VERTICALLY.
6. TIES CONNECTING TO WOOD STUDS MAY BE FACE OR SIDE MOUNTED.
7. MASONRY VENEER WALLS SHALL HAVE A MAXIMUM HEIGHT OF 11m FROM THE TOP OF FOUNDATION. WALLS EXCEEDING THIS HEIGHT MUST BE PROVIDED WITH SUPPORT AT EACH FLOOR HEIGHT (BUT NOT TO EXCEED 3.6m VERTICALLY).

LUMBER NOTES

1. ALL SAWN LUMBER TO BE S.P.F. No. 2 GRADE OR BETTER AND CONFORM TO CSA-D141.
2. ALL ENGINEERED BUILT-UP BEAMS ARE TO BE LVL'S (GRADE 2.0x10F PSI). REPLACEMENT WITH A HIGHER GRADE IS NOT ALWAYS A SUITABLE EQUIVALENT. CONTACT ENGINEER FOR EQUIVALENT.
3. ALL LUMBER EXPOSED TO THE EXTERIOR IS TO BE PRESSURE TREATED U.O.N.
4. CONNECT 2"x6" WOOD PLATE TO TOP OF ALL STEEL BEAMS AS PER THE TYPICAL DETAILS.
5. TRUSS DESIGN TO BE IN ACCORDANCE WITH PART 4 OF THE O.B.C. PROVIDE HOLD DOWN CLIPS AT ALL TRUSSES, WHICH ARE TO BE DESIGNED BY THE ROOF TRUSS ENGINEERS.
6. ROOF SHEATHING TO BE 12 mm (1/2") PLYWOOD (MINIMUM) T&G, NAILED W/ 10D NAILS AT 6" C/C ALONG EDGES.
7. FLOOR SHEATHING TO BE 19 mm (3/4") PLYWOOD (MINIMUM) T&G, GLUED AND SCREWED.
8. WALL SHEATHING TO BE 12 mm (1/2") ORIENTED STRAND BOARD (OSB) (MINIMUM), NAILED W/ 10D NAILS AT 6" C/C ALONG EDGES.
9. PROVIDE SOLID BLOCKING BETWEEN JOISTS BELOW ALL BEARING WALLS WHICH ARE PERPENDICULAR TO THE JOISTS.
10. PROVIDE APPROVED BLOCKING OR BRIDGING AT 2000 mm (7'-0") O/C MAX. FOR FLOOR JOISTS.
11. TYPICAL BEARING WALL IS 2'x6" @ 16" O/C MIN. U.O.N.
12. ALL LUMBER BEAMS ARE TO BE SUPPORTED ON LUMBER POSTS (U.N.O) WITH EQUAL NUMBER OF LAMINATIONS.
13. ALL BUILT-UP POSTS ARE TO BE CONSTRUCTED CONTINUOUSLY TO THE FOUNDATION WITH SOLID TRANSFER BLOCKING AT EACH FLOOR.
14. WOOD IS NOT TO BEAR DIRECTLY ON CONCRETE/MASONRY, PROVIDE PRESSURE TREATED, POLY, OR SILL GASKET BETWEEN CONCRETE/MASONRY AND WOOD SILL PLATE.
15. ALL JOISTS SHOULD HAVE A MINIMUM OF 40 mm (1 1/2") OF BEARING U.O.N. BY MANUFACTURER.
16. ALL LUMBER BEAMS SHOULD HAVE A MINIMUM OF 75 mm (3") BEARING.
17. BUILT UP POSTS SHALL BE NAILED TOGETHER @ 150 mm (6") O/C STAGGERED U.O.N.
18. PROVIDE TIMBER BUILT-UP LINTELS OVER DOOR AND WINDOW OPENINGS IF NOT INDICATED ON DRAWING:
OPENING < 7'-0" - (2-PLY) 2"x10"
OPENING < 10'-0" - (3-PLY) 2"x10"

CONCRETE & REINFORCING NOTES

1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF CSA A23.1, A23.2 & A23.3.
2. REINFORCING SHALL CONFORM TO CSA G30.18, GRADE 400W, FY=400 MPa
3. WELDED WIRE MESH & WELDED WIRE FABRIC SHALL CONFORM TO CSA G30.5, FY=450 MPa & HAVE A MINIMUM LAP OF 150 MM (6") AT JOINTS U.O.N.
4. ALL REINFORCING LAP SPLICES SHALL CONFORM TO THE LATEST CSA STANDARD A23.3 & ALL BARS SPLICES TO BE CLASS 'B' TENSION U.O.N.
5. CRACK CONTROL SHOULD BE PLACED ALONG THE CENTRE OF THE LENGTH AND WIDTH OF AREA AND PLACED NO MORE THAN 14'-0" O/C. PROVIDE JOINT FILLER IN CONTROL JOINTS.
6. ALL CONCRETE COVER SHALL CONFORM TO CSA A23.1 AND THE FOLLOWING BELOW U.O.N.
 - A. CONCRETE CAST AGAINST EARTH: 75 MM (3")
 - B. EXTERIOR BEAMS, SLABS, COLUMNS/PIERS AND WALLS: 40 MM (1.5")
 - C. INTERIOR BEAMS & COLUMNS/PIERS: 30 MM (1.25")
 - D. INTERIOR SLABS: 25 MM (1")
7. CONCRETE PROPERTIES:
 - A. CONCRETE SHALL BE PLACED IN THE APPROPRIATE LOCATION & HAVE THE MIX PROPERTIES AS PER THE TABLE BELOW
 - B. IF NOT IN THE TABLE ALL CONCRETE SHALL BE A MINIMUM OF 25 MPa AT A 28 DAY COMPRESSIVE STRENGTH U.O.N.

CONCRETE REQUIREMENTS

CSA EXPOSURE CLASS	LOCATION	28 DAY COMP. STRENGTH (MPa)	W/C RATIO	AIR CONTENT (%)	SLUMP (mm)	MAXIMUM AGGREGATE SIZE (mm)
C-1	- EXTERIOR SLAB (REINFORCED)	35	0.40	5-8	80 (+/- 30)	20
	- GRADE BEAM					
C-2	- EXTERIOR SLAB (UNREINFORCED)	32	0.45	5-8	80 (+/- 30)	20
	- CURBS & DRIVEWAYS					
F-1	- EXTERIOR SATURATED CONC.	25	0.50	4-7	80 (+/- 30)	20
	- POOLS & CISTERNS					
F-2	- EXTERIOR UNSATURATED CONC.	25	0.55	4-7	80 (+/- 30)	20
	- EXTERIOR FDN. WALLS, COL'S, PIERS, FTG'S					
N-1	- INTERIOR WALLS, SLAB-ON-GRADE, FOOTINGS	25	0.50	0	80 (+/- 30)	20
N	- NON-SHRINK GROUT	35				AS PER MANUFACTURER

CONCRETE MASONRY NOTES

1. MASONRY CONSTRUCTION SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - A. CSA A371: MASONRY CONSTRUCTION FOR BUILDINGS
 - B. CSA A165: CSA STANDARDS FOR CONCRETE MASONRY UNITS
 - C. CSA A179: MORTAR AND GROUT FOR UNIT MASONRY
2. ALL CONCRETE BLOCK SHALL HAVE NET COMPRESSIVE STRENGTH OF 15 MPa
3. MASONRY WALLS SHALL HAVE TYPE 'S' MORTAR
4. GROUT SHALL BE IN ACCORDANCE WITH THE ABOVE NOTED STANDARDS
5. PROVIDE THREE COURSES OF FULLY GROUTED MASONRY UNDER BEARING PLATES FOR STEEL BEAMS (U.O.N.).
6. PROVIDE LATERAL RESTRAINT AT THE TOP OF ALL NON LOAD-BEARING PARTITIONS.
7. INSTALL LADDER TYPE BLOK-LOK EVERY THIRD COURSE IN ALL MASONRY WALLS (U.O.N.).
8. PROVIDE A SINGLE COURSE BOND BEAM AT THE TOP OF ALL NON LOAD-BEARING WALLS, REINFORCED W/ (2) 10M BARS CONTINUOUS.
9. PROVIDE (1) 15M VERTICAL BAR IN EVERY FOURTH CELL IN ALL MASONRY WALLS (U.O.N.).
10. THE MINIMUM BEARING DISTANCE ON MASONRY WALLS ARE:
 - A. OWS: 100mm (4")
 - B. BEAMS: 150mm (6")
 - C. LINTELS: 200mm (8")
 - D. CONC. SLABS: 100mm (4")

NOTE SCHEDULE

ALL INTERIOR AND EXTERIOR FINISHES TO BE SPECIFIED BY OWNER, UNLESS NOTED ON DRAWINGS.

GENERAL:

1. ALL CONSTRUCTION TO CONFORM TO THE MOST CURRENT VERSION OF THE O.B.C..
2. DO NOT SCALE DRAWINGS - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
3. ALL 3D VIEWS ARE SUPPLEMENTAL TO THE REFERRING 2D DOCUMENTS AND ARE PROVIDED FOR INFORMATION ONLY.
4. PROVIDE ADEQUATE TEMPORARY SHORING AS REQ'D DURING CONSTRUCTION AND OR DEMOLITION

STAIR / RAILINGS:

5. STAIRS DIMENSIONS - MAX RISE 7 7/8", MIN. RUN 8 1/4", MIN. TREAD 9 1/4", MIN. HEADROOM 6'9", MIN. WIDTH 3'-0" AS PER O.B.C. 9.8.3
6. HANDRAIL - 31" ABOVE STAIR AND INT. LANDINGS & 36" AT MAIN LANDINGS AS PER O.B.C. 9.8.7
7. GUARDS - REQ'D IF BALCONY / PORCH IS OVER 23 5/8" MIN. HEIGHT IS 36" AFF. GUARDS TO COMPLY W/ O.B.C. 9.8.8 & SB-7. W/ MAX 4" SPACE BETWEEN PICKETS & NO HORIZ. MEMBER BETWEEN 4" AFF. PIERS, FTG'S
8. GLASS GUARD - GLAZING MANUFACTURER TO PROVIDE FASTENERS DESIGNED TO MEET THE LATERAL LOADS REQ'D BY THE O.B.C.

VENTILATION:

9. MECHANICAL VENTILATION AS PER O.B.C. 9.32.3
10. ROOF VENTILATION AS PER 9.32 OF O.B.C. - INSTALL COLOURED PLASTIC MUSHROOM TYPE VENTS OR EQ. TO PROVIDE A VENT AREA OF 1/200 OF THE INSULATED CEILING AREA, OR 1/150 WHERE ROOF SLOPE IS LESS THAN 1 IN 6. INSTALL 1" CONT. CORE VENT BETWEEN CROWN MOULDING AND EXTERIOR WALL
11. RANGE COOKTOP TO VENT DIRECTLY TO EXTERIOR, U.O.N. PROVIDE 10" DUCT W/ FAN MOUNTED ON EXTERIOR WALL OR ROOF
12. DRYER TO VENT DIRECTLY TO EXTERIOR
13. MECHANICALLY VENTED EXHAUST FANS TO EXTERIOR W/ MIN. 1 AIRCHANGE PER HOUR

GAS PROOFING:

14. PROVIDE 1/2" MIN. DRYWALL W/ MIN. 2 COATS OF COMPOUND ON ALL WALLS ADJACENT TO DWELLING
15. CAULK BETWEEN DRYWALL AND OTHER SURFACES W/ ACOUSTIC SEALANT
16. CAULK ALL PENETRATIONS SUCH AS HOSE BIBS W/ FLEXIBLE CAULKING

DOORS / WINDOWS:

17. WINDOW AND DOOR SIZES ARE APPROX., EXACT ROUGH OPENINGS TO BE DETERMINED BY WINDOW MANUFACTURER SPECIFICATIONS
18. CONTRACTOR OR OWNER TO VERIFY QUANTITY AND IS RESPONSIBLE FOR ORDERING.
19. DOORS BETWEEN GARAGE AND DWELLING SHALL BE TIGHT FITTING, WEATHERSTRIPPED, INSULATED AND PROVIDED w/ SELF CLOSING DEVICE. DOOR MUST NOT OPEN DIRECTLY INTO A ROOM INTENDED FOR SLEEPING
20. GLASS TO BE DOUBLE-GLAZED THERMALLY BROKEN W/ LOW 'E' & ARGON GAS FILLED
21. ALL DOUBLE DOORS SHALL NOT HAVE CENTRE MULLION AND C/W HANDICAP SILLS
22. BASEMENT BEDROOMS MUST HAVE AT LEAST ONE WINDOW WITH AN UNOBSTRUCTED OPENING NOT LESS THEN 3.8 sq.ft WITH NO DIMENSION LESS THEN 15" AND SILL HEIGHT 3'-3" AFF.
23. LANDSCAPE STONE WINDOW WELL (STONE/PAVERS BY OWNER) c/w WEEPING TILE CONNECTED TO PERIMETER DRAINAGE, PROVIDE 3'-0" MIN. IN FRONT OF WINDOWS
24. PROVIDE WINDOW WELLS AS PER O.B.C. 9.7.1.4 & 9.14.6.3. WHERE REQ'D, c/w WEEPING TILE NOT CONNECTED TO PERIMETER DRAINAGE

EXTERIOR FINISH:

25. EXTERIOR INSULATION AND CLADDING - AS PER PLANS / WALL ASSEMBLIES
26. PROVIDE LIGHTING AT ALL ENTRANCES AS PER O.B.C. 9.34.2.1.
27. FLASHING IS REQ'D AT ALL SILLS, OVERHEAD OF WINDOW / DOORS (EXTERIOR), AT ALL ROOF WALL INTERSECTIONS, VALLEYS AND PARAPET WALLS.

CABINETRY / MILLWORK:

28. KITCHEN / BATHROOM CABINETRY AND MILLWORK AS PER MANUFACTURERS AND OWNERS LAYOUT
29. BUILT - IN CABINETRY AS PER INTERIOR DESIGNER, IF NO INTERIOR DESIGNER, CONSULT W/ OWNER FOR REQUIREMENTS

ROOF FINISH:

30. PROVIDE ICE AND WATER SHIELD MEMBRANE OVER PLYWOOD SHEATHING, MEMBRANE TO EXTEND FROM EDGE OF ROOF 0.4' TO 5'-0" BEYOND INSIDE FACE OF INTERIOR WALLS (INSTALL MEMBRANE 1'-6" UP VALLEYS E/W TYP.
31. FLAT ROOF - PROVIDE SLOPE TO SIDE ROOF SCUPPER DRAINS/ DRIP EDGE, W/ MIN. 3/4" T&G PLYWOOD, WRAP MEMBRANE OVER PARAPET WALL AND PROVIDE PREFIN. ALUMINUM CAP
32. ALL EVESTROUGHS AND DOWNSPOUTS TO BE PAINTED (COLOUR AS PER OWNER) AND DIRECTED AWAY FROM HOUSE. PROFILE TO BE APPROVED BY OWNER
33. PROVIDE ROOF CRICKETS WITH POSITIVE SLOPE AWAY FROM ANY OBSTRUCTIONS ON ROOF
34. ROOF OVERHANG TO BE 1'-4" TYP. ALL AROUND w/ 1.5" SHINGLE MOULD ON 1x8" WOOD FASCIA w/ SOFFIT (OWNER TO DECIDE PREFINISHED OR WOOD T&G)

PROPOSED ADDITION AND INTERIOR RENOVATIONS

14 TILBURY COURT
HAMILTON, ONTARIO

CLIENT: **HEARTWOOD RENOVATIONS**

PROJECT NOTES

DRAWING NUMBER:

A0

SHEET: **1 OF 4**

PROJECT NUMBER: **21025**

DRAWN BY: **B.M.W.**

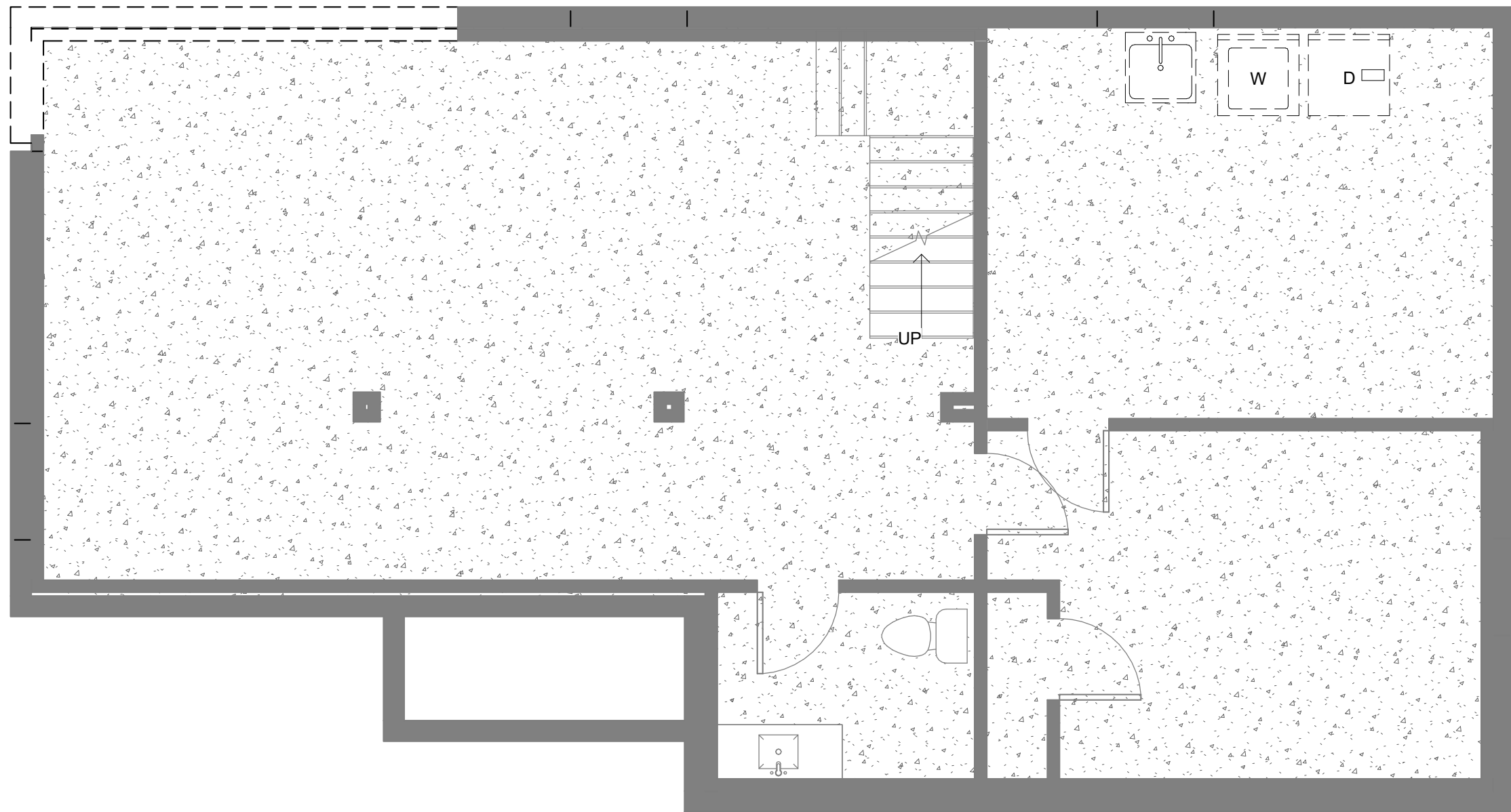
CHECKED: **B.M.W.**

DATE: **21/03/07**

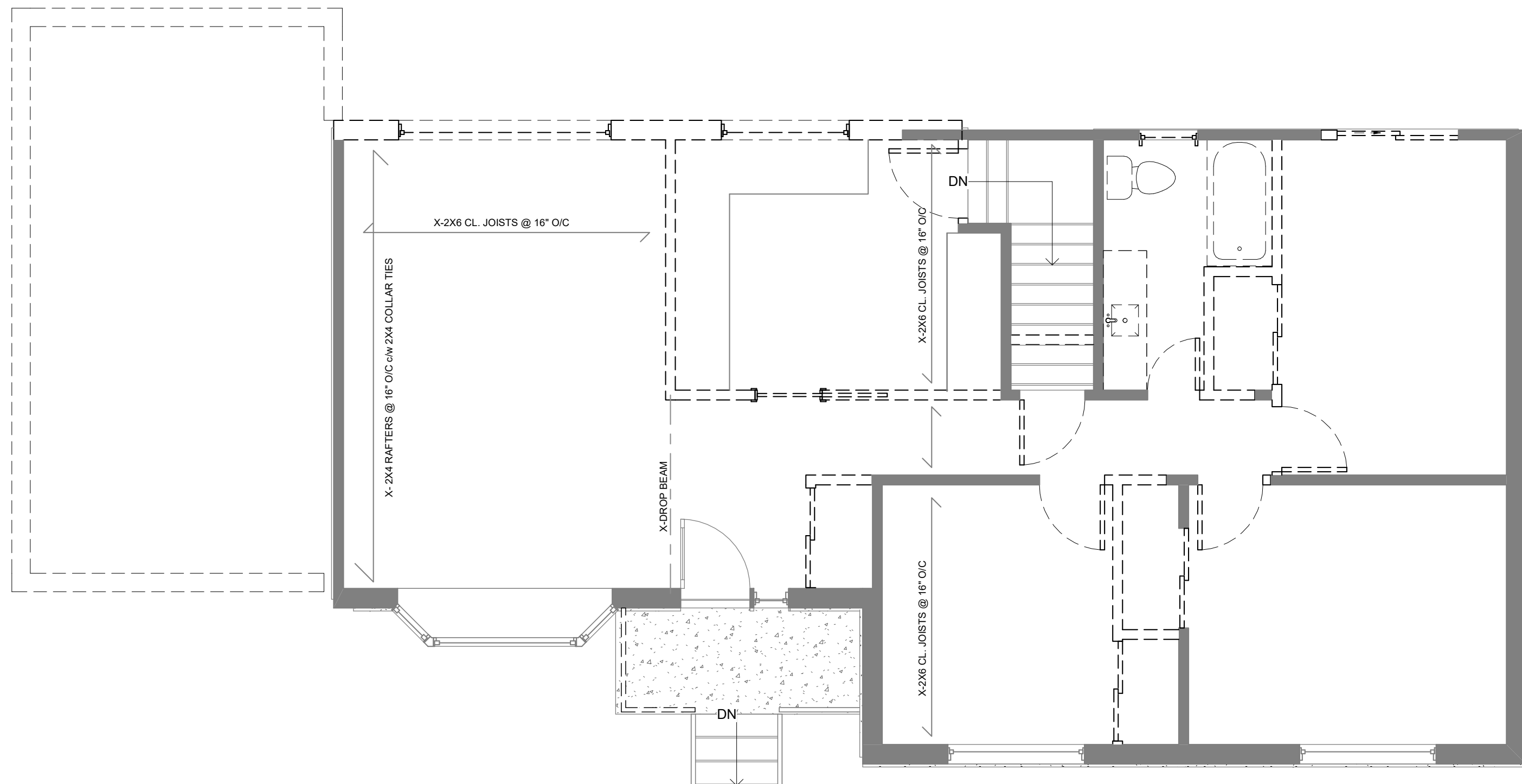
SCALE: **AS SHOWN**

ASSEMBLY LEGEND

3/4" = 1'-0"



1 DEMO - BASEMENT
1/4" = 1'-0"



2 DEMO - GROUND FLOOR
1/4" = 1'-0"

PROPOSED ADDITION AND
INTERIOR RENOVATIONS

14 TILBURY COURT
HAMILTON, ONTARIO

CLIENT: HEARTWOOD RENOVATIONS

DEMO PLANS

DRAWING NUMBER:

A1

SHEET: 2 OF 4

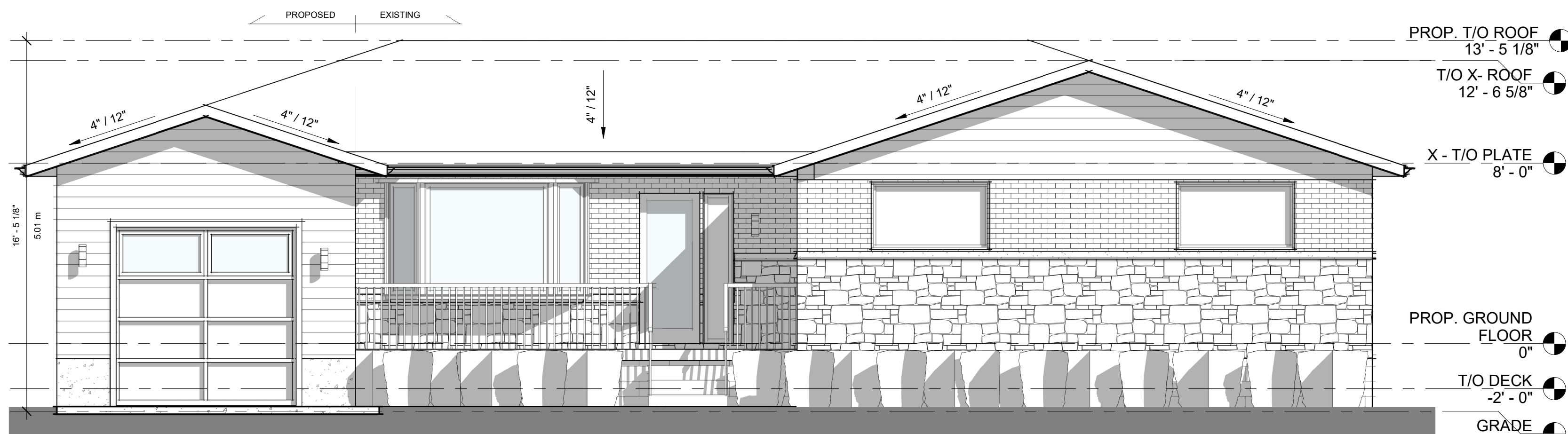
PROJECT NUMBER: 21025

DRAWN BY: B.M.W.

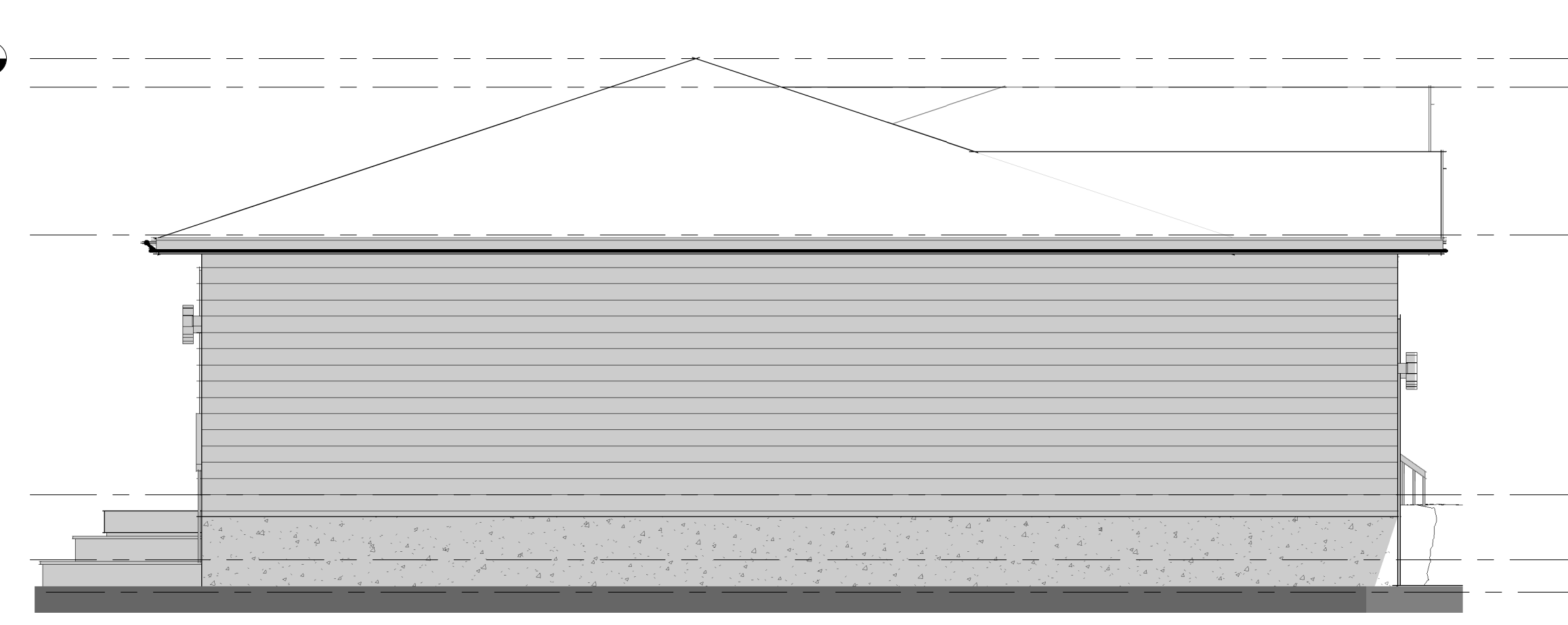
CHECKED: B.M.W.

DATE: 09/07/20

SCALE: AS SHOWN



2 FRONT
1/4" = 1'-0"

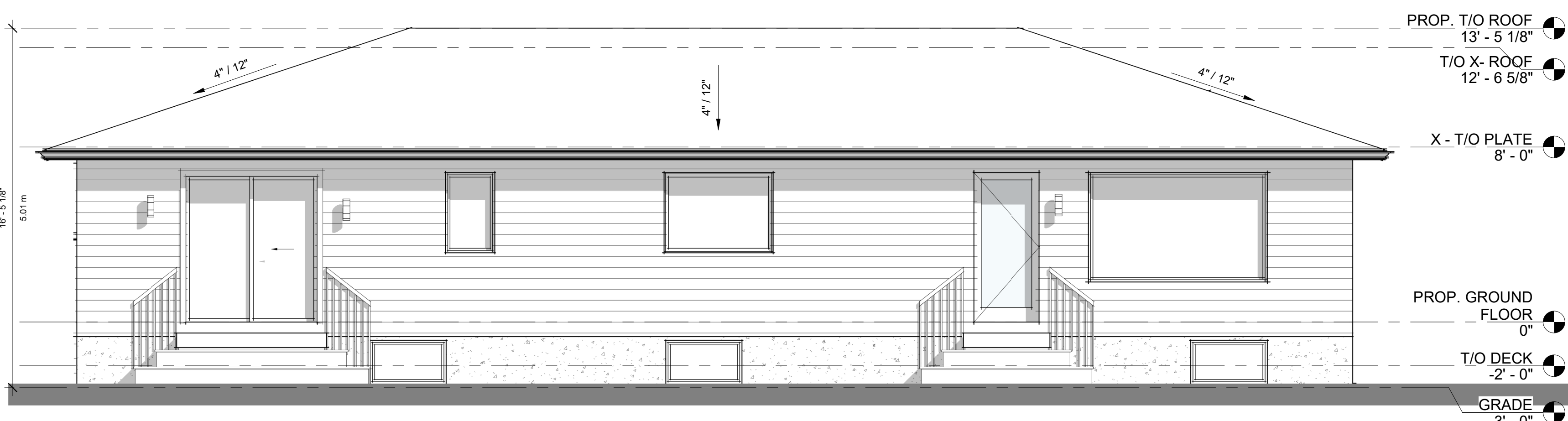


4 LEFT SIDE
1/4" = 1'-0"

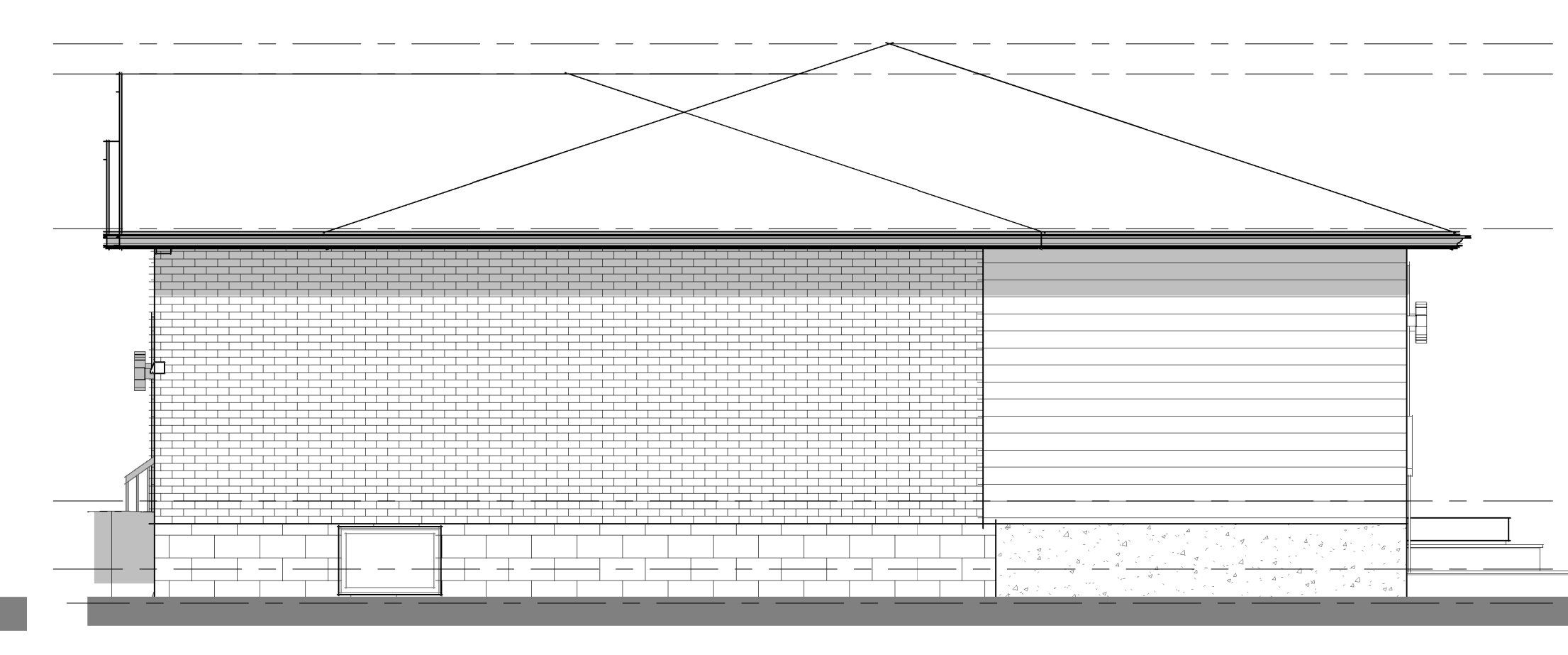


Spatial Separation - Construction of Exterior Walls							3.2.3.		9.10.14.	
Wall	Area of EBF (m²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (hours)	Listed Design or Description	Comb. Const.	Comb. Constr. Nonc. Cladding	Non-comb. Constr.
FRONT	41.3	7.8	N/A	27	23	—	—	Y	—	—
SIDE LEFT (ADD.)	40.3	3.58	N/A	8	2.5	—	—	Y	—	—
SIDE RIGHT (ADD.)	34.2	1.83	N/A	8	5.1	—	—	Y	—	—
BACK (ADD.)	18.2	13.5	N/A	30	19.8	—	—	Y	—	—

SPATIAL SEPERATION
12" = 1'-0"



1 BACK
1/4" = 1'-0"



5 RIGHT SIDE
1/4" = 1'-0"

PROPOSED ADDITION AND INTERIOR RENOVATIONS

14 TILBURY COURT
HAMILTON, ONTARIO

CLIENT: HEARTWOOD RENOVATIONS

ELEVATIONS

DRAWING NUMBER: A2

SHEET: 3 OF 4

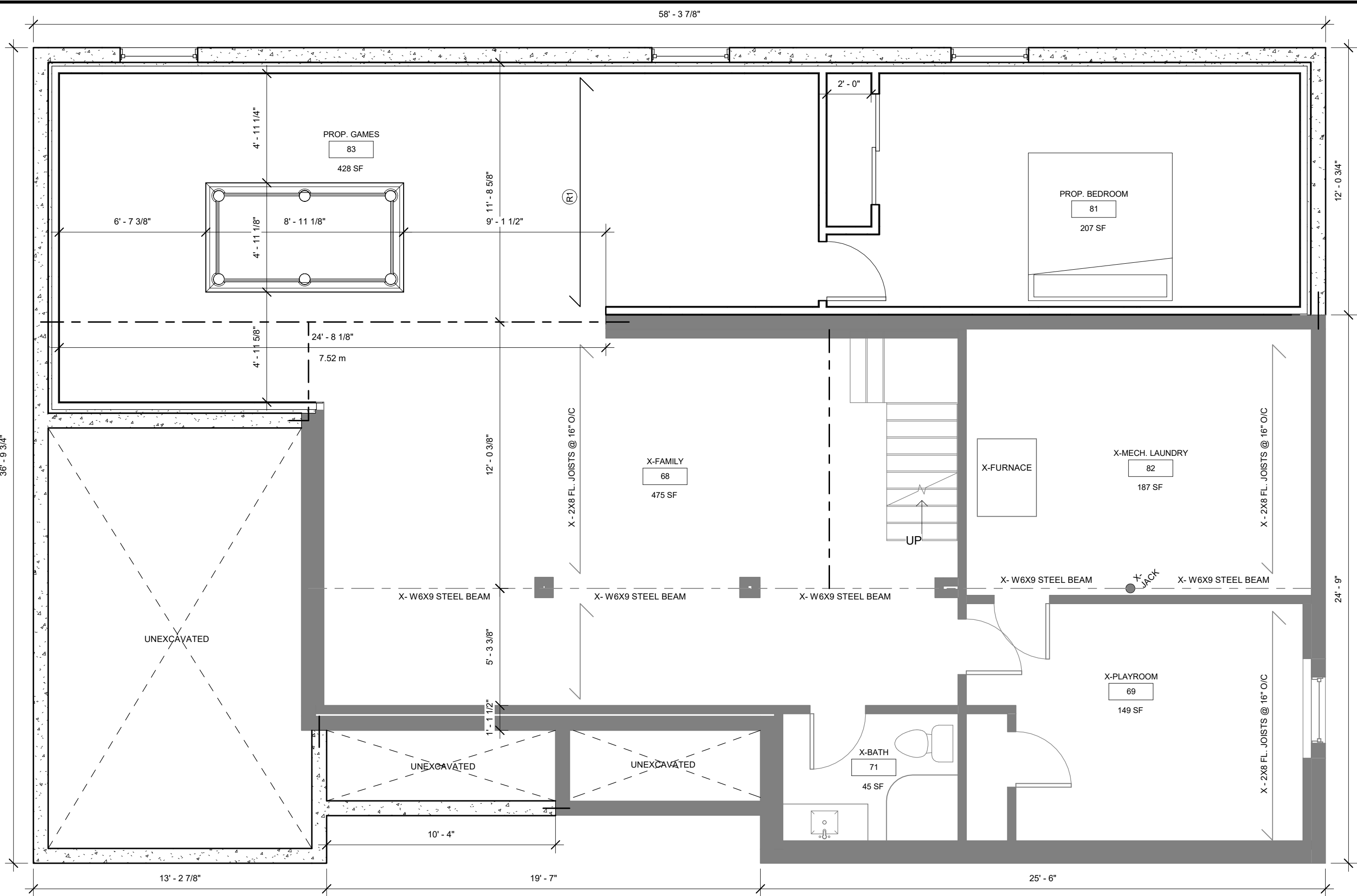
PROJECT NUMBER: 21025

DRAWN BY: B.M.W.

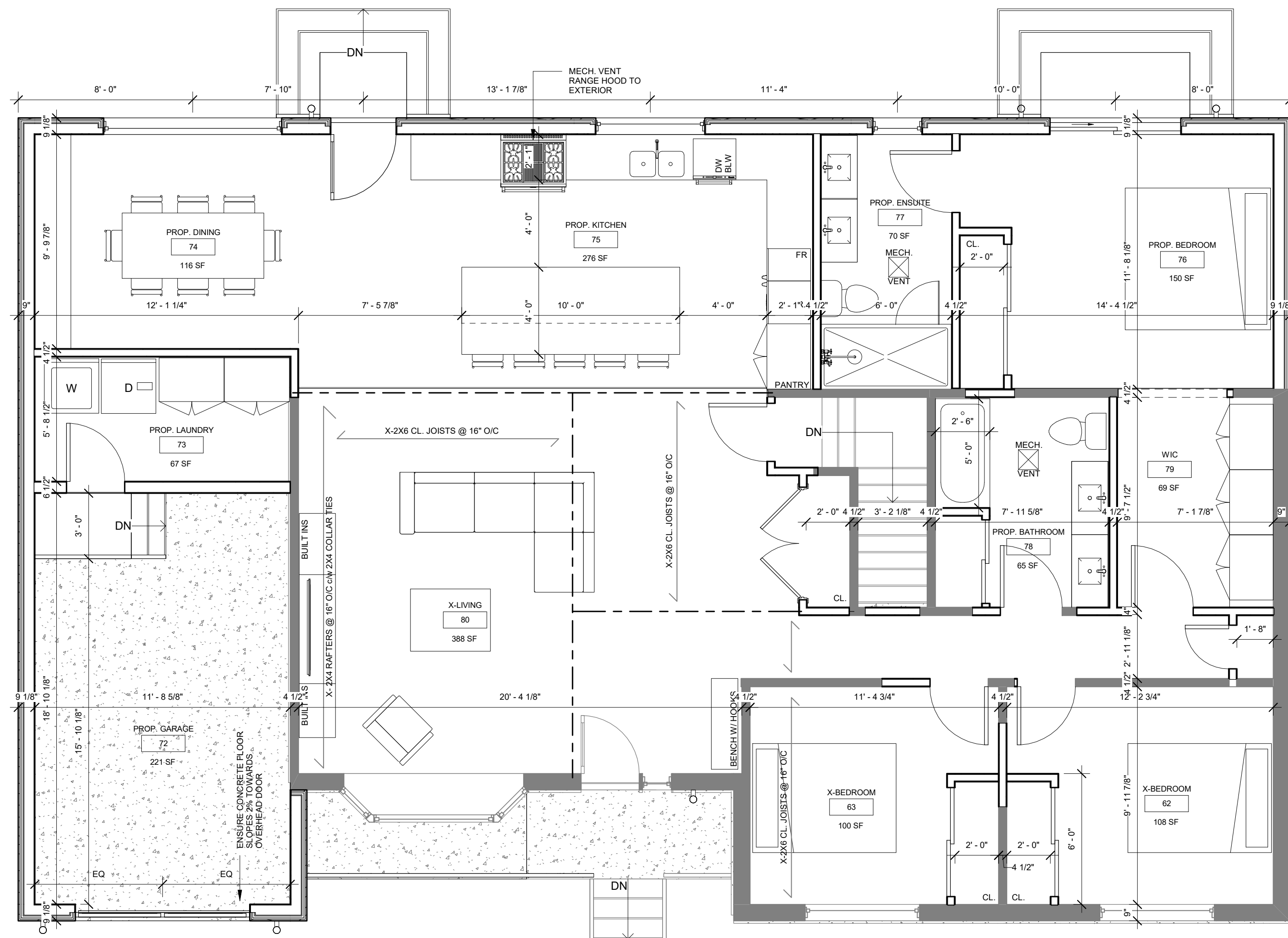
CHECKED: B.M.W.

DATE: 09/07/20

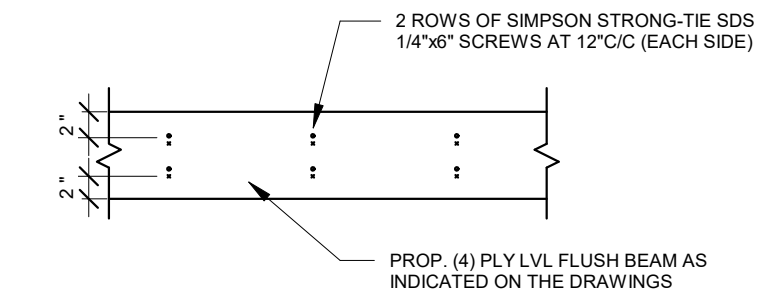
SCALE: AS SHOWN



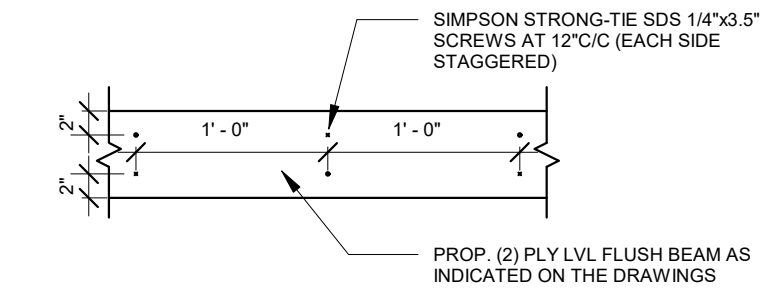
1 PROP. BASEMENT
1/4" = 1'-0"



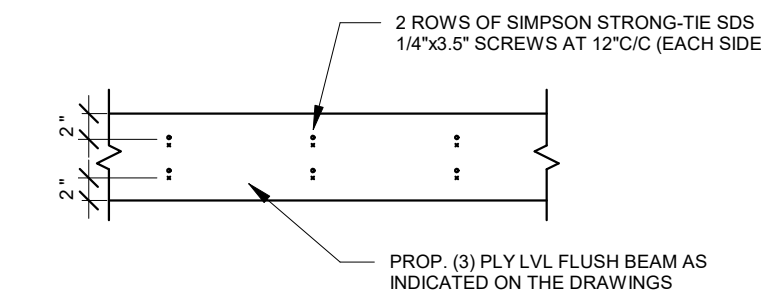
2 PROP. GROUND FLOOR
1/4" = 1'-0"



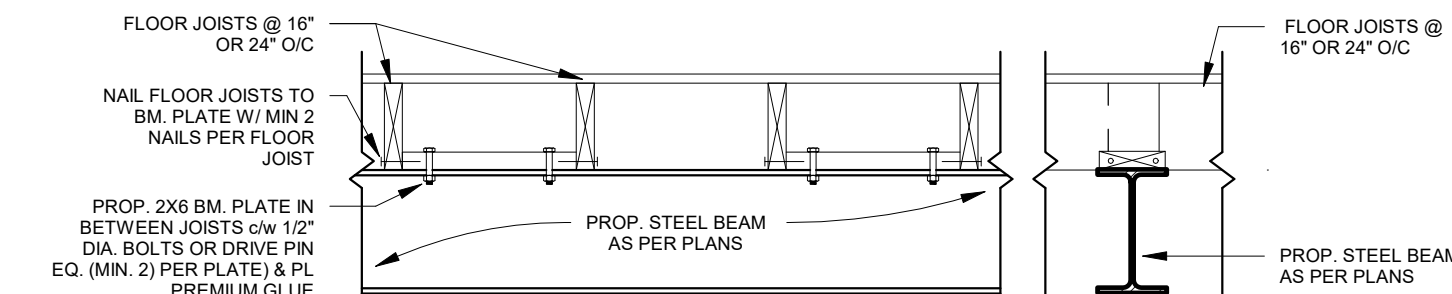
5 LVL CON. DETAIL - 4-PLY
3/4" = 1'-0"



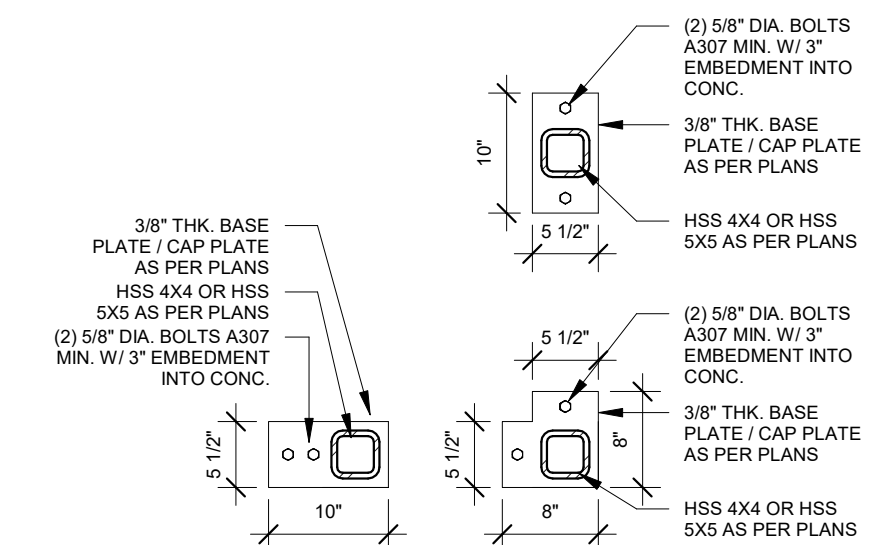
6 LVL CON. DETAIL - 2-PLY
3/4" = 1'-0"



7 LVL CON. DETAIL - 3-PLY
3/4" = 1'-0"



8 BASEMENT BEAM DETAIL
3/4" = 1'-0"



9 HSS BASEPLATE DETAILS
3/4" = 1'-0"

PROPOSED ADDITION AND
INTERIOR RENOVATIONS

14 TILBURY COURT
HAMILTON, ONTARIO

CLIENT: HEARTWOOD RENOVATIONS

FLOOR PLANS, SECTION
AND DETAILS

DRAWING NUMBER:

A3

SHEET: 4 OF 4

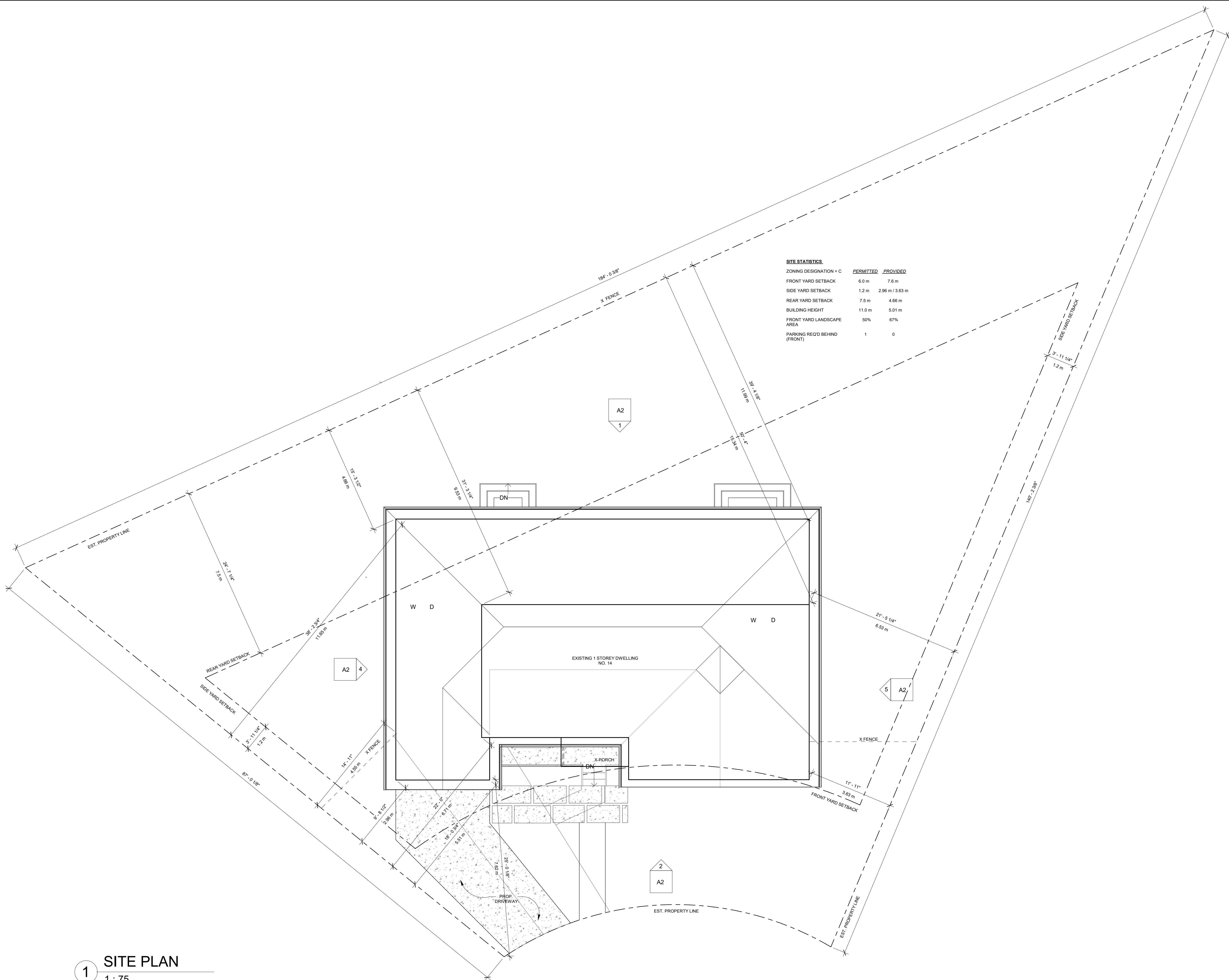
PROJECT NUMBER: 21025

DRAWN BY: B.M.W.

CHECKED: B.M.W.

DATE: 09/07/20

SCALE: AS SHOWN



SITE STATISTICS		
ZONING DESIGNATION = C	PERMITTED	PROVIDED
FRONT YARD SETBACK	6.0 m	7.6 m
SIDE YARD SETBACK	1.2 m	2.96 m / 3.63 m
REAR YARD SETBACK	7.5 m	4.66 m
BUILDING HEIGHT	11.0 m	5.01 m
FRONT YARD LANDSCAPE AREA	50%	67%
PARKING REQ'D BEHIND (FRONT)	1	0

1 SITE PLAN
1 : 75

PROPOSED ADDITION AND
INTERIOR RENOVATIONS

14 TILBURY COURT
HAMILTON, ONTARIO

CLIENT: HEARTWOOD RENOVATIONS

SITE PLAN

DRAWING NUMBER:

A4

SHEET: 5 OF 5

PROJECT NUMBER: 21025

DRAWN BY: B.M.W.

CHECKED: B.M.W.

DATE: 03/07/21

SCALE: AS SHOWN



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

FOR OFFICE USE ONLY.

APPLICATION NO. _____ DATE APPLICATION RECEIVED _____

PAID _____ DATE APPLICATION DEEMED COMPLETE _____

SECRETARY'S
SIGNATURE _____

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
Registered Owners(s)	Susie and John Hanson	
Applicant(s)*		
Agent or Solicitor	Park Eight c/o Brent Wybenga	

Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:
14 Tilbury Ct, Hamilton, Ontario L8T 2M4

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:
Proposed Addition and Interior Renovations
- Side and Rear Yard setbacks not met
- No parking space behind front face of building
5. Why it is not possible to comply with the provisions of the By-law?
Irregular lot shape and existing non conforming setbacks
6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):
14 Tilbury Ct, Hamilton, Ontario L8T 2M4
7. PREVIOUS USE OF PROPERTY
Residential ☒ Industrial ☐ Commercial ☐
Agricultural ☐ Vacant ☐
Other _____
- 8.1 If Industrial or Commercial, specify use _____
- 8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?
Yes ☐ No ☒ Unknown ☐
- 8.3 Has a gas station been located on the subject land or adjacent lands at any time?
Yes ☐ No ☒ Unknown ☐
- 8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?
Yes ☐ No ☒ Unknown ☐
- 8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?
Yes ☐ No ☒ Unknown ☐
- 8.7 Have the lands or adjacent lands ever been used as a weapon firing range?
Yes ☐ No ☒ Unknown ☐
- 8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?
Yes ☐ No ☒ Unknown ☐
- 8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?
Yes ☐ No ☒ Unknown ☐

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes ☐ No ☒ Unknown ☐

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?

Existing residential house and neighborhood

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes ☐ No ☐

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application, by reason of its approval to this Application.

March 14/2021
Date

John C. Herbert
Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>14.7m</u>
Depth	<u>42m & 26 (irregular)</u>
Area	<u>917sm</u>
Width of street	<u>7.57m to centre line of court</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: Ground Floor Area: 119.84 sm
Gross Floor Area: 119.84 sm
Number of Stories: 1
Width: 17.74m
Length: 7.43m
Height: 4.74m
Front porch Area: 3.59 sm

Proposed: Ground Floor Area: 188.82 sm
Gross Floor Area: 188.82 sm
Number of Stories: 1
Width: 17.77m
Length: 11.22m
Height: 5.01m
Front porch Area: 7.27 sm

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

front yard: 5.92m
side yard: 3.63m / 4.55m
rear yard: 9.53m

Proposed:

front yard: 5.92m
side yard: 3.63m / 2.98m
rear yard: 4.66m

13. Date of acquisition of subject lands:
10+ years
14. Date of construction of all buildings and structures on subject lands:
1960/70's
15. Existing uses of the subject property:
Residential - 5F0
16. Existing uses of abutting properties:
Residential - 5F0
17. Length of time the existing uses of the subject property have continued:
Over 60+ years
18. Municipal services available: (check the appropriate space or spaces)
Water ☒ Connected ☒
Sanitary Sewer ☒ Connected ☒
Storm Sewers ☒
19. Present Official Plan/Secondary Plan provisions applying to the land:
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:
21. Has the owner previously applied for relief in respect of the subject property?
☐ Yes ☒ No
If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
☐ Yes ☒ No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.