



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5  
Telephone (905) 546-2424, ext. 4221, 3935 Fax (905) 546-4202  
E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

# NOTICE OF PUBLIC HEARING Minor Variance

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

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**APPLICATION NO.:** GL/A-21:156

**APPLICANTS:** Agent Nikola Mrksic  
Owner Alexandra Mrksic

**SUBJECT PROPERTY:** Municipal address **1538 Golf Club Rd., Glanbrook**

**ZONING BY-LAW:** Zoning By-law 05-200, as Amended 15-173

**ZONING:** "A1" (Agriculture) district

**PROPOSAL:** To permit the construction of a 1 storey detached garage to be located in the rear yard and accessory to the existing single detached dwelling notwithstanding that;

1. A maximum of 7.0 m in height shall be permitted instead of the maximum permitted building height of 6.0 m.

This application will be heard by the Committee as shown below:

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**DATE:** Thursday, June 3rd, 2021  
**TIME:** 2:35 p.m.  
**PLACE:** Via video link or call in (see attached sheet for details)  
To be streamed at  
[www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)  
for viewing purposes only

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## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, including deadlines for submitting to be seen by the Committee.

**Orally:** If you would like to speak to this item at the hearing you may do so via video link or by calling in. Please see attached page for complete instructions, including deadlines for registering to participate.

## MORE INFORMATION

For more information on this matter, including access to drawings illustrating this request:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

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- Call 905-546-CITY (2489) or 905-546-2424 extension 4221, 4130, or 3935
- Email Committee of Adjustment staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

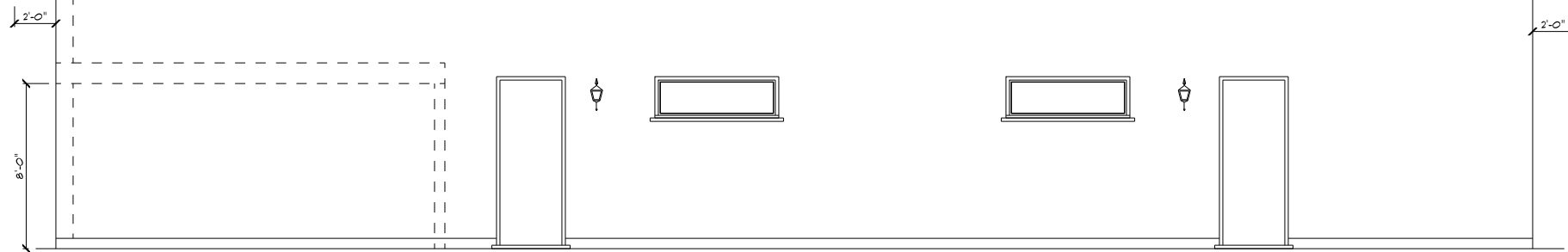
DATED: May 18th, 2021.

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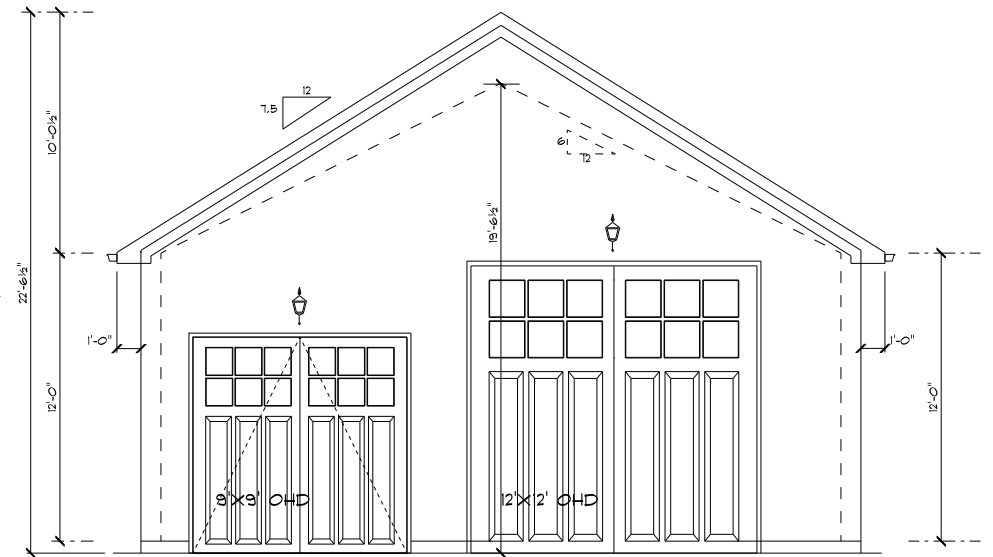
Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

***Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.***

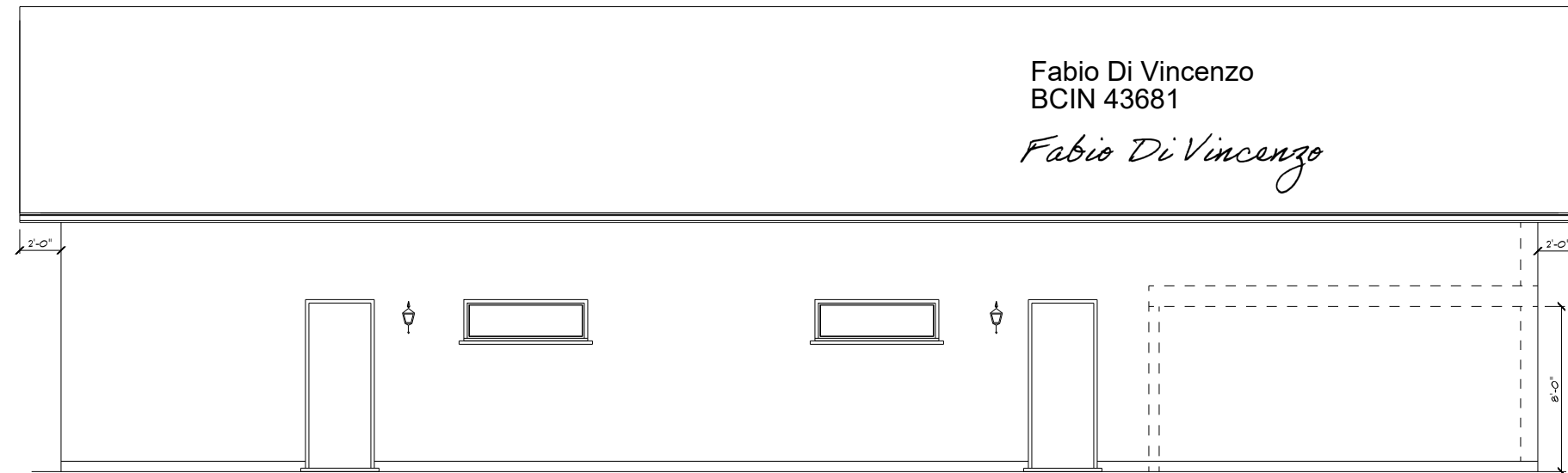
1538 GOLF CLUB ROAD  
 GLANBROOK, ONTARIO  
 PROPOSED DETACHED GARAGE  
 ACCESSORY TO S-F-D  
 FEBRUARY 2021  
 SCALE 1/8" = 1'-0"



LEFT ELEVATION

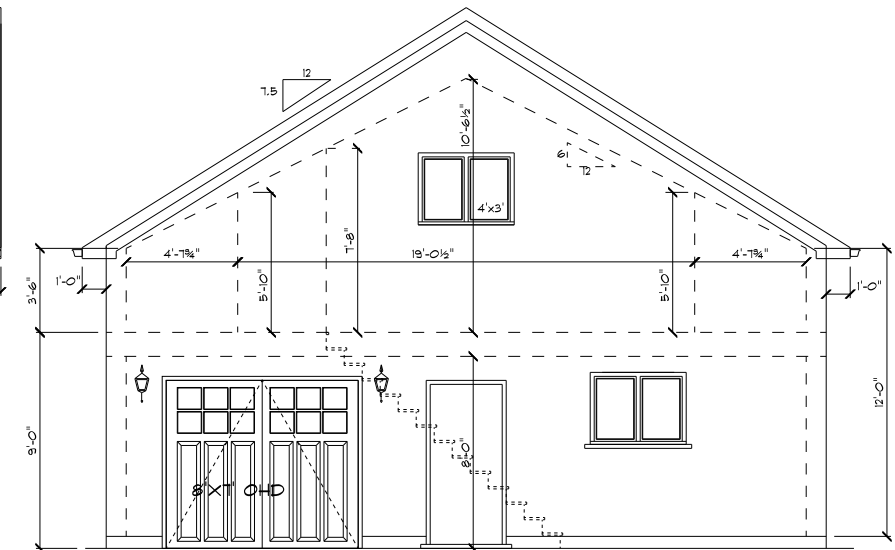


FRONT ELEVATION

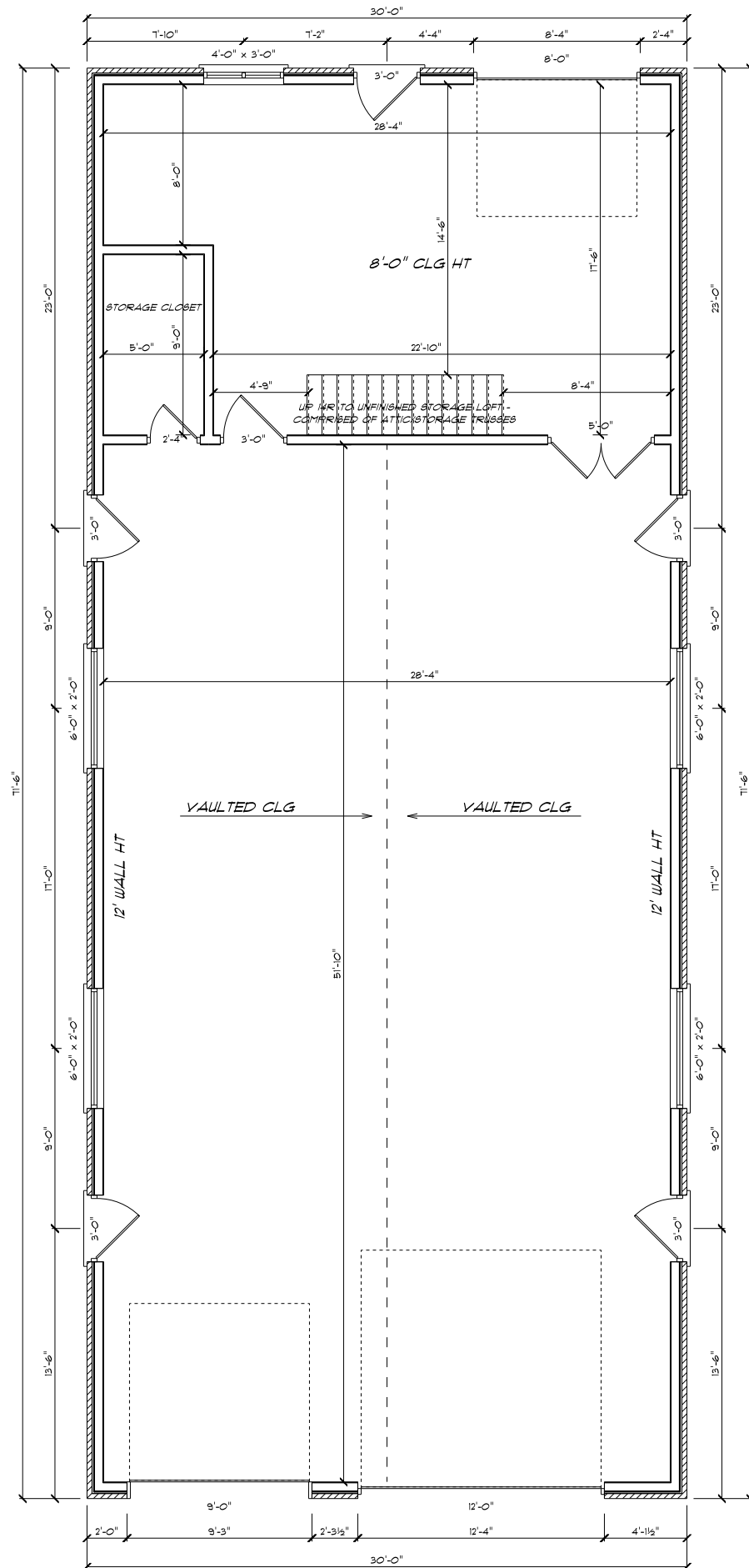


RIGHT ELEVATION

Fabio Di Vincenzo  
 BCIN 43681  
*Fabio Di Vincenzo*



REAR ELEVATION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS PRESCRIBED

DATE: FEBRUARY 2021  
 FILE: 1538 GOLF CLUB - GAR  
 DRAWN BY:  
 FABIO DI VINCENZO  
 ECIN: 43881  
 QUALIFICATIONS:  
 HOUSE  
*Fabio Di Vincenzo*

TRUSS FRAME ROOF:  
 ASPHALT SHINGLES  
 1/2" ROOF SHEATHING  
 1" CLIPS FOR EDGE SUPPORT  
 BLOCKING AS SPECIFIED  
 APPROVED TRUSSES @ 24" O.C.  
 BRACING AS SPECIFIED  
 R31 BATT INSULATION  
 6 MIL POLY V.B.  
 1/2" CLG DRYWALL

- NOTE:
1. OWNER/CONTRACTOR TO VERIFY AND CHECK ALL DIMENSIONS AND SPECS. PRIOR TO AND DURING CONSTRUCTION.
  2. ANY DEVIATIONS, DEFICIENCIES OR DISCREPANCIES FROM THESE DRAWINGS AND SPECS REQUIRES WRITTEN CLARIFICATION AND/OR APPROVAL FROM THE OWNER PRIOR TO CONSTRUCTION.

1538 GOLF CLUB ROAD  
 DETACHED GARAGE

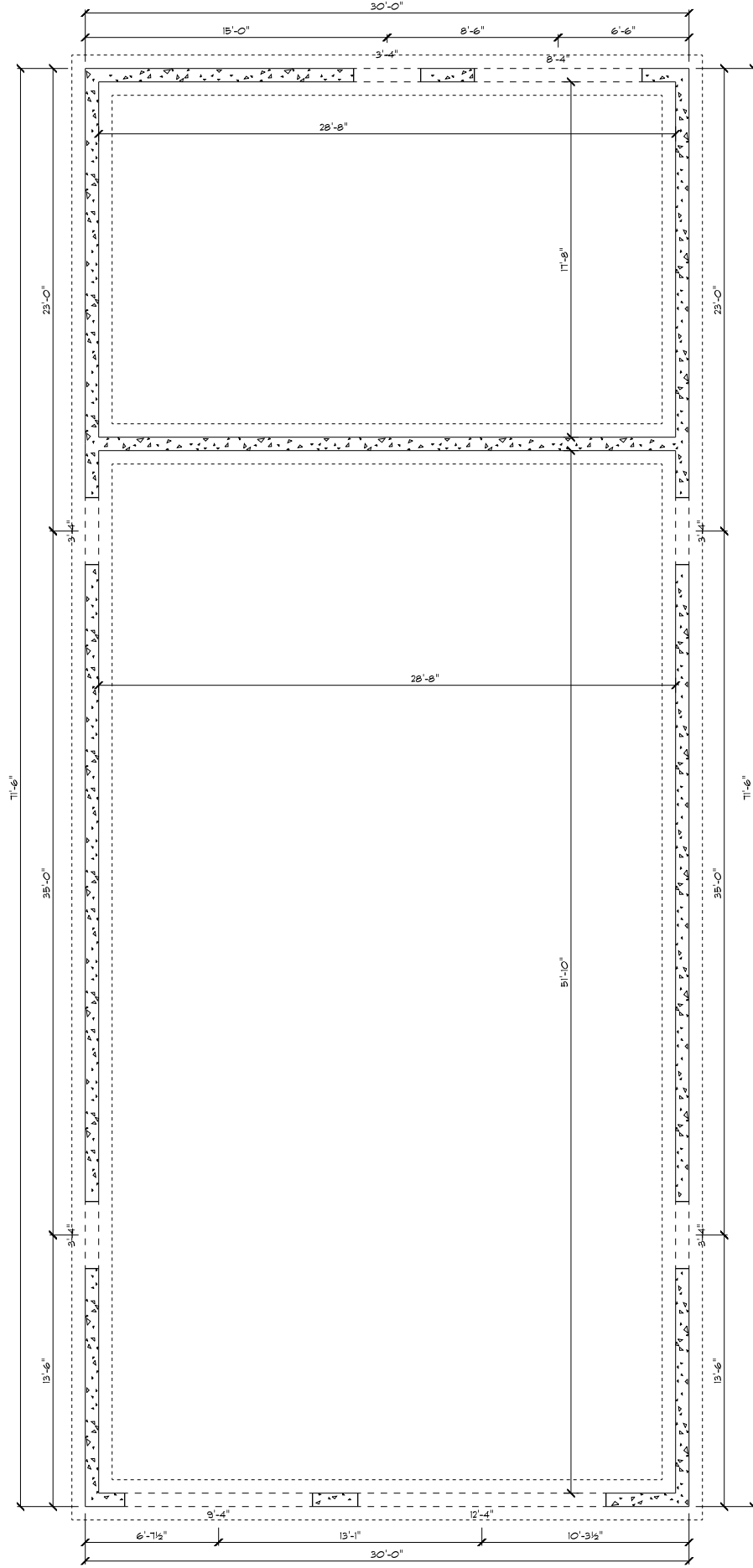
FEBRUARY 2021

MAIN FLOOR  
 2145 SQFT

SCALE 1/8" = 1'-0"

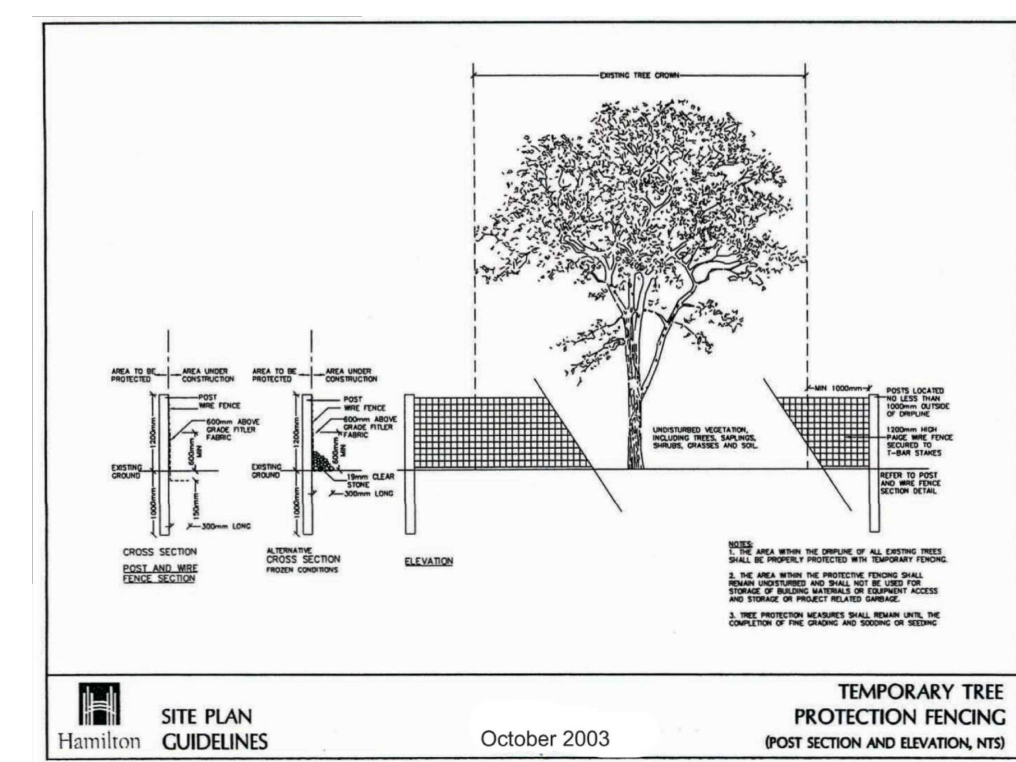
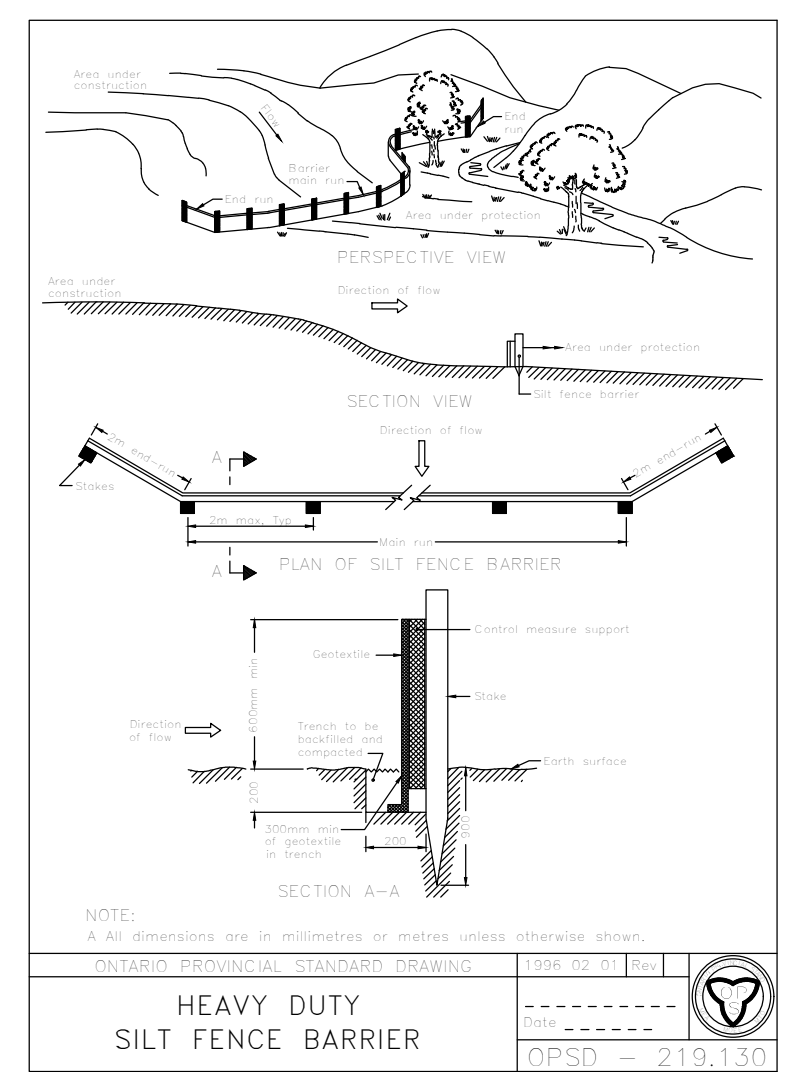
WOOD LINTELS/HEADERS NOT NOTED ARE 2-2"x8"  
 STEEL LINTELS NOT NOTED ARE 3 1/2"x 3 1/2"x 1/4"

VERIFY DESIGN OF CEILING TREATMENTS  
 W/OINERS - TBD AT FRAMING STAGE -  
 PROVIDE FIRESTOPPING AS REQ'D





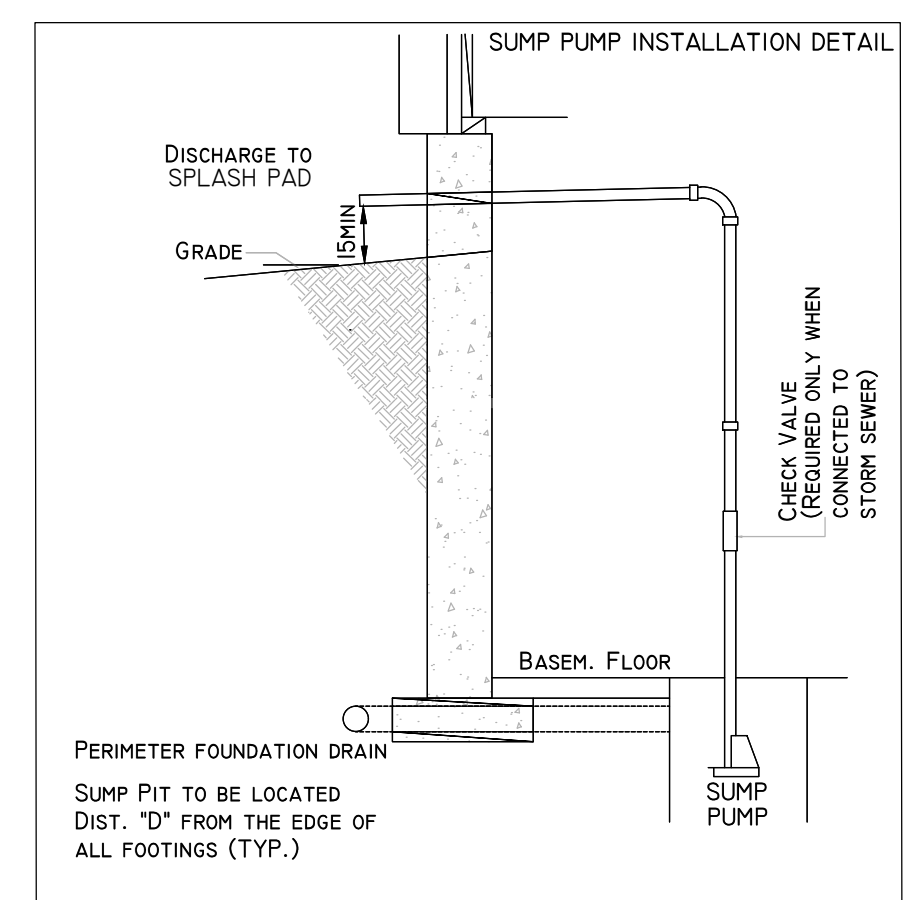
- GENERAL NOTES**
1. THESE PLANS (S) ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED BY THE ENGINEER AND INDICATED ISSUED FOR CONSTRUCTION BY THE DRAWING.
  2. THESE PLANS (S) ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BARICH GRENKIE SURVEYING LIMITED.
  3. INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION DRAWINGS ARE FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ITS ACCURACY AND FOR SUFFICIENCY. THE CONTRACTOR SHALL ASSUME LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
  4. SITE PLAN INFORMATION TAKEN FROM SURVEY BY BARICH GRENKIE SURVEYING LTD. PLAN NO. 20-2771, DATED MARCH 9, 2021.
  5. THESE PLANS (S) TO BE USED FOR SERVING AND GRADING ONLY. FOR BUILDING LOCATION REFER TO THE SITE PLAN.
  6. MUNICIPAL APPROVAL OF THESE DRAWINGS IS FOR MATERIAL AND COMPLIANCE WITH CITY/TOWN STANDARDS AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION OF THE WORKS BY THE CITY/TOWN STAFF DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS NOR RELIEVE THE CONTRACTOR OF CERTIFICATION OF ALL WORKS BY THE OWNER'S ENGINEER.
  7. ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED WRITTEN APPROVAL HAS FIRST BEEN OBTAINED FROM THE CITY OF HAMILTON AND THE ENGINEER.
  8. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
    - ROAD CUT PERMITS
    - SEWER PERMITS
    - APPROACH APPROVAL PERMITS
    - RELOCATION OF SERVICES
    - COMMITTEE OF ADJUSTMENT
    - ENCROACHMENT AGREEMENTS
  9. PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:
    - i. CHECK AND VERIFY ALL DIMENSIONS AND EXISTING ELEVATIONS WHICH INCLUDE BUT ARE NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS, EXISTING INVERTS AND REPORT FINDINGS WRITING TO THE ENGINEER.
    - ii. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
    - iii. VERIFY ALL FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MY APPEAR ON THESE PLANS COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
    - iv. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
 NOTIFY THE ENGINEER OF THE PROPOSED CONSTRUCTION SCHEDULE FOR COORDINATION OF NECESSARY INSPECTIONS.
  10. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER 48 HOURS PRIOR TO THE COMMENCING OF SITE WORKS TO ARRANGE FOR INSPECTION. THE ENGINEER SHALL DETERMINE THE EXTENT OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGROUND SERVICE INSTALLATION AS MANDATED BY THE ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2. GENERAL REVIEW FAILURE TO MAKE SUITABLE ARRANGEMENTS FOR INSPECTION WILL LEAD TO POST CONSTRUCTION TESTING AND INSPECTION AS DETERMINED BY THE ENGINEER, THE COSTS OF WHICH INCLUDING ANY DELAYS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR. FULL PAYMENT FOR INSPECTED WORKS MAY BE WITHHELD UNTIL THE COMPLETION OF THE POST CONSTRUCTION INSPECTION AND TESTING TO THE SATISFACTION OF THE ENGINEER.
  11. INSPECTION BY THE OWNER'S ENGINEER IS FOR CERTIFICATION AND GENERAL CONFORMANCE PURPOSES AND DOES NOT CERTIFY LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THE INSTALLATION OF THE WORKS TO PROPER LINE, GRADE AND QUALITY TO CURRENT INDUSTRY STANDARDS.
  12. ANY UTILITY RELOCATIONS AND RESTORATIONS DUE TO THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER AND SHALL BE COORDINATED BY THE CONTRACTOR.
  13. ALL RESTORATIONS AND RECONSTRUCTIONS SHALL BE COMPLETED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY/TOWN STANDARDS.
  14. SERVING CONTRACTOR TO MAINTAIN A "CONFINED TRENCH CONDITION" IN ALL SEWER AND WATERMAIN INSTALLATION TRENCHES.
  15. THE SITE SERVING CONTRACTOR SHALL TERMINATE ALL SERVICES 1.0m FROM THE BUILDING FACE.
  16. NO BLASTING WILL BE PERMITTED.



**Table 1 - Tree Protection Zones**

Trunk Diameter (DBH) <sup>1</sup>	Tree Protection Zone (TPZ) Distances Required <sup>2</sup>	Critical Root Zone (CRZ) Distances Required <sup>3 &amp; 4</sup>
<10 cm	1.8 m	1.8 m
11-40 cm	2.4 m	4.0 m
41-50 cm	3.0 m	5.0 m
51-60 cm	3.6 m	6.0 m
61-70 cm	4.2 m	7.0 m
71-80 cm	4.8 m	8.0 m
81-90 cm	5.4 m	9.0 m
91-100+ cm	6.0 m	10.0 m

1. Tree protection barriers for trees situated on the City road allowance where visibility must be maintained can be 1.2m high and consist of orange plastic web snow fencing on a wood frame of 2" x 4" s, supported on metal "T" bars, 2.0m c/c max. Where orange plastic web snow fencing creates a restriction to sightlines, page wire fencing shall be used.
2. Where some excavate of fill has to be temporarily located near a tree protection barrier plywood must be used to ensure no material enters the Tree Protection Zone.
3. All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
4. No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.
5. Wherever possible, the cutting of surface roots of existing trees is to be avoided. However, if these cuts are required, the cuts should be completed under the supervision of a tree management professional (i.e. certified arborist) so that cuts are made appropriately.
6. Birds may be using the trees on site for nesting. Natural Heritage Planning staff advises that the Owner be aware of the Migratory Birds Convention Act, 1994 that protects birds and their nests. The Migratory Birds Convention Act is implemented by Environment Canada. Natural Heritage Planning staff advises that the Owner make every effort to avoid removal of vegetation from the period of March 31st to August 31st.



**CONSTRUCTION REQUIREMENTS**

UNLESS OTHERWISE NOTED OR DIRECTED BY THE GEOTECHNICAL CONSULTANT, THE FOLLOWING SHALL APPLY:

- A. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUB-GRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS, ETC., SHALL BE COMPACTED TO MIN. 98% SPD. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
- B. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO 98% SPD.
- C. FOR ALL SEWERS AND WATERMANS IN FILL SECTIONS, THE COMPACTION SHALL BE CERTIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO LAYING OF PIPE.

**SILTATION AND EROSION CONTROL**

- A. SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED.
- B. ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.
- C. ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.

**RESTORATIONS**

- A. ALL TRENCH EXCAVATION WITHIN EXISTING ROAD ALLOWANCES SHALL BE BACKFILLED WITH GRANULAR "A", COMPACTED TO 98% SPD. PAVEMENT RESTORATION SHALL BE PERFORMED AS PER RD-100.01 & 100.02.
- B. ALL BOULEVARDS TO BE RESTORED WITH #1 NURSERY SOO ON 100mm MINIMUM THICK SELECT TOPSOIL.
- C. BEDDING MATERIALS TO BE AS PER FORM 600. COMPACTION TO BE AS PER FORM 900.

**ACCESSORY BUILDING - DETACHED GARAGE**

ITEM	REMARKS	COMMENTS
LOT COVERAGE	5.0%	2.5%
GROSS FLOOR AREA	290.0 m <sup>2</sup>	93.10 m <sup>2</sup>
BUILDING HEIGHT	9.0 m	6.99 m *
SIDE YARD SETBACK	1.0 m	3.66 m
REAR YARD SETBACK	1.0 m	70.83 m

\* MINOR VARIANCE TO BE APPLIED FOR WITH COMMITTEE OF ADJUSTMENTS

AVERAGE GRADE = 209.25+209.25+209.30+209.30+209.35+209.22 = 209.28

AVERAGE GRADE AS PER CITY OF HAMILTON ZONING BY-LAW (HEIGHT DEFINITION)



**SEWERS**

- A. CONSTRUCTION OF STORM SEWERS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
- B. COVER AND BEDDING MATERIAL FOR PVC PIPE SHALL BE GRANULAR "A" MATERIAL AS PER OPSD 802.010 OR 802.013.
- C. PVC PIPE WILL REQUIRE SPECIAL CONSTRUCTION PROCEDURES AS PER CITY SPECIFICATIONS.
- D. ALL SEWERS TO BE VIDEO INSPECTED.
- E. ALL SEWERS TO BE FLOUSED PRIOR TO VIDEO INSPECTION.
- F. STORM SEWERS 200mm TO 600mm IN DIAMETER SHALL BE PVC PIPE, CSA B182.2, SDR-35.
- G. PROPOSED PRIVATE REAR LOT CATCH BASINS (RCBS) ARE TO BE AS PER OPSD 705.010, COMPLETE WITH BRIDGE FRAME AND GRATE AS PER OPSD 400.120. REAR LOT CATCH BASINS ARE TO BE SIMPLESS.
- H. ALL PVC SEWERS ARE TO BE TESTED FOR DEFLECTION (MANDREL PASSAGE) AFTER INSTALLATION.

**STORM AND SANITARY PRIVATE DRAINS**

- A. CONSTRUCTION OF PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
- B. PRIVATE DRAINS TO BE 150mm PVC PIPE, CSA B182.1 M-1983, SDR 28 AS PER FORM 500. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOUR OTHER THAN WHITE. WOOD MARKING AT END OF SANITARY PRIVATE DRAIN SHALL BE PAINTED RED.
- C. COVER AND BEDDING MATERIAL FOR PRIVATE DRAINS SHALL BE GRANULAR "A" INSTALLED AS PER OPSD 802.010 OR 802.013.
- D. MINIMUM FALL FOR PRIVATE DRAINS TO BE 2.0%
- E. TOP OF SANITARY PRIVATE DRAINS AT STREET LINE TO BE 2.2m (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
- F. TOP OF STORM PRIVATE DRAINS AT STREET LINE TO BE 1.2m (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
- G. BUILDING RAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE TO LANDSCAPE SURFACES VIA SPLASH PADS.
- H. SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WEeping TILES TO THE STORM PRIVATE DRAINS. THE SUMP OUTLET PIPE SHALL EXTEND A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BACKYARD CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN. SEE DETAIL 3.
- I. IF THE APPLICANT/OWNER INTENDS TO REUSE A PORTION OF A SITE'S EXISTING SEWER SYSTEM, IT IS THEIR RESPONSIBILITY TO ENSURE THAT THE SEWER IS OF ADEQUATE CAPACITY, MEETS ALL APPLICABLE BY-LAW REQUIREMENT, AND IS IN GOOD WORKING ORDER. SEWERS TO BE REUSED MUST BE VIDEO INSPECTED, WHILE THE CITY/TOWN SEWER INSPECTOR IS PRESENT. THE APPLICANT/OWNER IS RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THEIR PRIVATE VIDEO INSPECTION CONTRACTOR ALONG WITH PAYMENT OF AN INSPECTION FEE.

**WATERMANS AND WATER SERVICES**

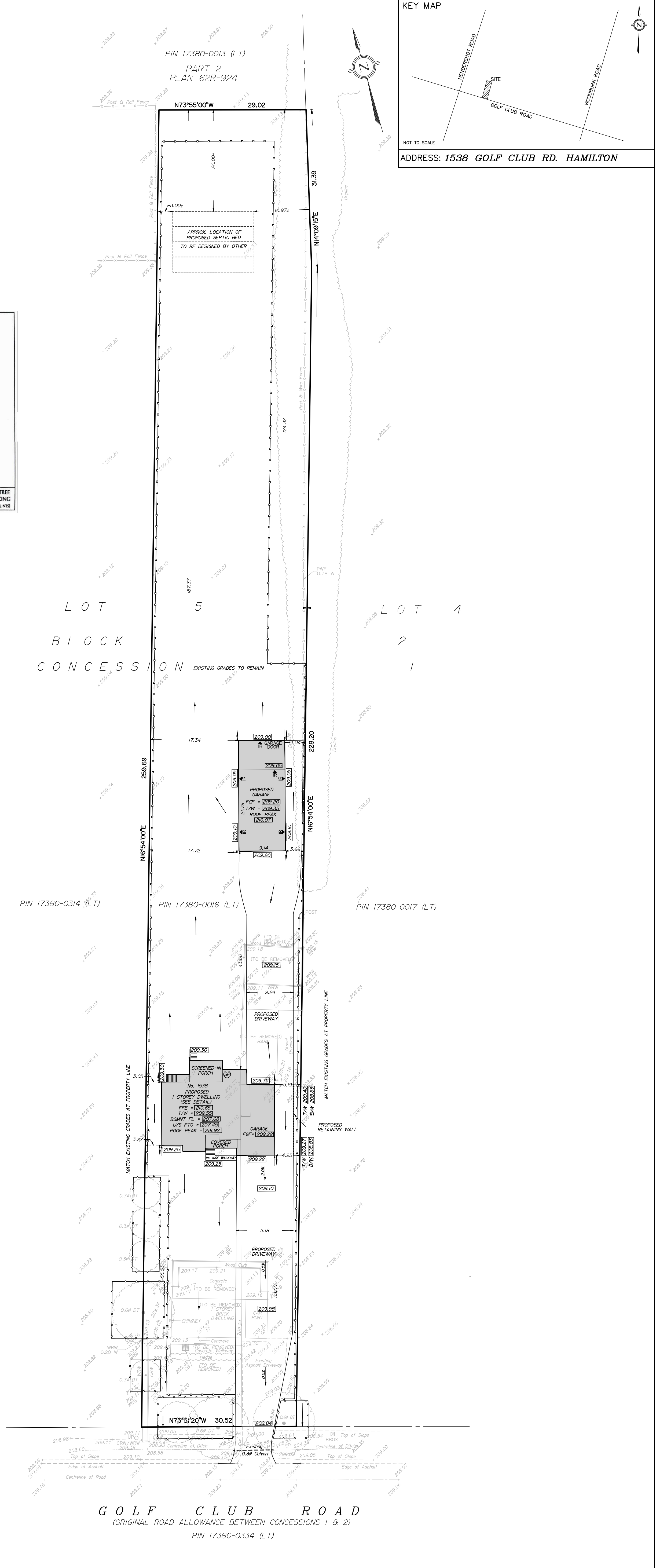
- A. CONSTRUCTION OF PRIVATE WATER SERVICES SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
- B. WHERE METAL FITTINGS ARE TO BE USED ON PVC MAINS SUFFICIENT CATHODIC PROTECTION MUST BE PROVIDED AS PER THE FOLLOWING REQUIREMENTS:
  - i. MINIMUM OF ONE 11kg ZINC ANODE SHALL BE INSTALLED FOR EVERY 100m OF TRACER WIRE.
  - ii. ONE 11kg ZINC ANODE SHALL BE INSTALLED FOR EACH COPPER WATER SERVICE CONNECTION.
  - iii. ONE 11kg ZINC ANODE SHALL BE INSTALLED ON EVERY VALVE, HYDRANT, BEND, TEE, SLEEVE, REDUCER, FLUG CAP, JOINT RESTRAINT, COUPLING, ETC., CONNECTED TO THE PVC PIPE.
- C. WATER SERVICE TO BE 25mm DIA. TYPE "K" SOFT COPPER AS PER WM-207.01 OR AS DETAILED.
- D. GRANULAR BEDDING AS PER WM-200.01 AND WM-200.02 TO BE GRANULAR "D" AS PER FORM 600.
- E. ALL VALVE BOXES TO BE SET TO PROPOSED GRADES.

**GRADING NOTES**

- A. ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOPED SLOPES (MIN. 3% TO 1%) AND/OR RETAINING WALLS AS SPECIFIED.
- B. ALL RETAINING WALLS, MAINWALLS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.E.ING.
- C. SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SLOPES.
- D. RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
- E. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (MIN) ABOVE FINISHED GRADE.
- F. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0% REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
- G. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
- H. THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
- I. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
- J. ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
- K. ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- L. SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "FRONT TO BACK" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 33.0% GRADE (3:1 SLOPE).
- M. WHEN MATING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED, PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET (WITH A MINIMUM 0.3m COVER OVER THE SUBDRAIN) OR OTHER MITIGATION MEASURES.
- N. MINIMUM GRADE FOR BACKYARDS SHALL BE 1.0%. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED IN A STRAIGHT LINE.
- O. GARAGE FLOOR ELEVATIONS TO BE SET 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
- P. ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 90% SPD. (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 300mm.

**BACKYARD GRADING**

- A. DEFINITION: "REQUIRED BACK YARD" SHALL MEAN THE LESSER OF THZ
- B. DISTANCE REGULATED BY THE ZONING BY-LAW IR 6.0m
- C. THE MAXIMUM SLOPE RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE BACK OF THE LOT. PROVIDING THE TOTAL WIDTH OF THE SWALE DOES NOT EXCEED 1.0m ON EACH LOT
- D. WHERE THE SLOPE RESTRICTION ON BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. 3:1 SLOPES CAN REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
- E. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
- F. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS, AND BACK YARDS, OUTSIDE THE AREAS DEFINED IN ITEM "A" ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOLES OF THE AREA (3:1 MAXIMUM).



**SITE AND GRADING PLAN OF PART OF LOT 5 BLOCK 2, CONCESSION 1 (GEOGRAPHIC TOWNSHIP OF GLANBROOK) IN THE CITY OF HAMILTON**

BARICH GRENKIE SURVEYING LTD.  
A DIVISION OF GEOMAPLE  
© COPYRIGHT 2021

**METRIC**  
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**ELEVATION NOTE**  
ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1915/1917) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK No. 00119683940 HAVING AN ELEVATION OF 208.126 m.

**LEGEND**

- DT DENOTES DECIDUOUS TREE
- CT DENOTES CONIFEROUS TREE
- DENOTES SUBJECT LANDS BOUNDARY
- DENOTES DEED LINE
- DENOTES LOT LINE
- DENOTES FENCE LINE
- X DENOTES TREE TO BE REMOVED
- N-E-S-W DENOTES NORTH-EAST-SOUTH-WEST
- 100.00 DENOTES EXISTING ELEVATION
- (E) DENOTES PROPOSED ELEVATION
- (M) DENOTES PROPOSED WALK-OUT
- (M) DENOTES PROPOSED TREE PROTECTION
- (M) DENOTES PROPOSED SILT FENCE
- (M) DENOTES DOWN SPOUT WITH SPLASH PAD
- (SP) DENOTES SUMP PUMP LOCATION

NO.	DATE	BY	REVISIONS
1	4/07/2021	JMH	AS PER CLIENT REQUEST
0	4/06/2021	JMH	ISSUED FOR REVIEW

DESIGN	JMH	CHK'D	EWA	DATE
DRAWN	JMH	CHK'D	EWA	APRIL 7, 2021

Scale 1:400

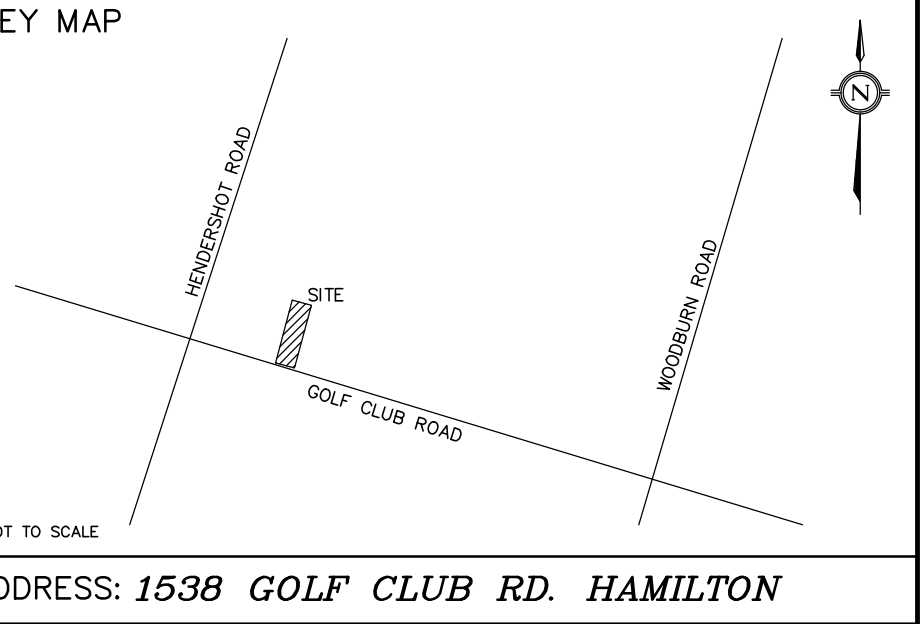
**APPROVALS**

STAMP

LICENSED PROFESSIONAL ENGINEER  
M. FATHI  
100086843  
APR. 7, 2021  
PROVINCE OF ONTARIO

**Barich Grenkie Surveying Ltd.**  
297 HWY No. 8 UNIT 101 - STONEY CREEK, ON  
(905) 882-8767  
A DIVISION OF GEOMAPLE

DWN BY: JMH  
CHK BY: EWA  
JOB No. 20-2771



CLIENT: NIKOLA MRKSIĆ RESIDENCE

PROJECT NAME: PROPOSED DWELLING & DETACHED GARAGE  
1296 HIGHWAY 8, STONEY CREEK

TITLE: SITE AND GRADING PLAN

PROJECT No. 20-2771

DRAWING No. 20-2771SGP



**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1**  
**PLAN WITH TOPOGRAPHIC DETAIL**  
**PART OF LOT 5**  
**BLOCK 2, CONCESSION 1**  
 (GEOGRAPHIC TOWNSHIP OF GLANBROOK)  
 IN THE  
**CITY OF HAMILTON**  
**SCALE & NOTES**  
 Scale 1:400  
**BARICH GRENKIE SURVEYING LTD.**  
 A DIVISION OF GEOMAPLE  
 © COPYRIGHT 2021

**METRIC**  
 DISTANCES, ELEVATIONS AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**ELEVATION NOTE**  
 ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928-1978) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK No. 00119683940 HAVING AN ELEVATION OF 208.126 m.

**BEARING NOTE**  
 BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS 1 AND 2, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17 (81° 00' WEST LONGITUDE) NAD83 (CSRS) (2010.0).

BEARING COMPARISONS SHOWN ARE WITH ASTRONOMIC BEARINGS ON UNDERLYING PLANS  
 FOR BEARING COMPARISONS, A ROTATION OF 1°51'20" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON P1, P2, P3, P4

**HORIZONTAL DATUM NOTE**  
 PROJECTION: UNIVERSAL TRANSVERSE MERCATOR (UTM, ZONE 17, CM 81°00'W)  
 DATUM: NAD83 (CSRS)(2010.0)

**GRID SCALE CONVERSION**  
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999692.

OBSERVED REFERENCE POINTS (ORPs) DERIVED FROM GPS OBSERVATIONS USING REAL TIME NETWORK (RTN) OBSERVATIONS UTM ZONE 17, NAD83 (CSRS)(2010.0) COORDINATES TO UTM ACCURACY PER SEC 14(2) OF O.REG. 216/10		
MONUMENT ID	NORTHING	EASTING
IB	4780639.203	623826.419
RIB	4780634.852	623736.227
REFERENCE POINTS		
POINT	NORTHING	EASTING
ORP (1) CN	4780651.408	623831.308
ORP (2) CN	4780634.428	623714.455

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT PLANTED
  - IB DENOTES IRON BAR
  - SIB DENOTES STANDARD IRON BAR
  - CN DENOTES SURVEYORS NAIL SET IN WASHER
  - OJ DENOTES ORIGIN UNKNOWN
  - 655 DENOTES J. T. PETERS, O.L.S.
  - 892 DENOTES J. G. FLAHERTY, O.L.S.
  - P1 DENOTES PLAN BY GUIDO CONSOLI SURVEYING LTD. DATED SEPTEMBER 8, 1988
  - P2 DENOTES PLAN BY A. J. CLARKE & ASSOCIATES DATED JULY 29, 1974
  - P3 DENOTES PLAN BY J. G. FLAHERTY, O.L.S. DATED APRIL 21, 1973
  - D1 DENOTES INSTRUMENT No. WM130359
  - CB DENOTES CATCHBASIN
  - LP DENOTES LIGHT POLE
  - WRW DENOTES WOOD RETAINING WALL
  - CRW DENOTES CONCRETE RETAINING WALL
  - OH DENOTES OVERHEAD UTILITY CABLES
  - UP DENOTES UTILITY POLE
  - DT DENOTES DECIDUOUS TREE
  - CT DENOTES CONIFEROUS TREE
  - GM DENOTES GAS METER
  - HM DENOTES HYDRO METER
  - FF DENOTES FINISHED FLOOR ELEVATION
  - GF DENOTES GARAGE FLOOR ELEVATION
  - INV DENOTES INVERT ELEVATION
  - WV DENOTES WATER VALVE
  - BBOX DENOTES BELL BOX
  - WC DENOTES WOOD CURB



THIS PLAN WAS PREPARED FOR NIKOLA MRKSIĆ AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 2**  
**DESCRIPTION SUMMARY** - LANDS DESCRIBED IN PIN 17380-0016 (LT). PART OF LOT 6, BLOCK 2, CONCESSION 1

**REGISTERED EASEMENTS/RIGHTS-OF-WAY** - NONE FOUND ON TITLE.

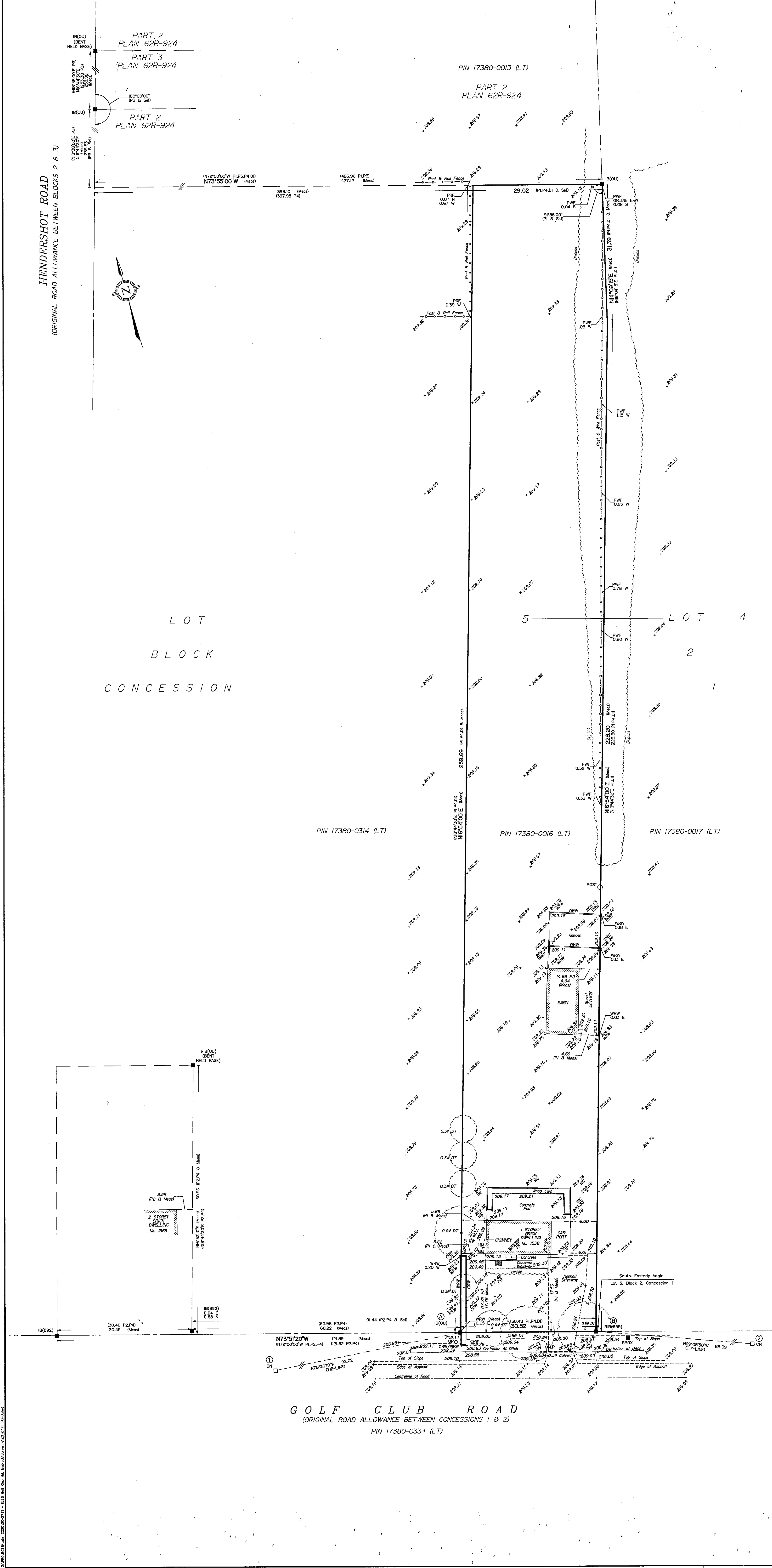
**ADDITIONAL REMARKS** - MAKE NOTE OF THE LOCATION OF FENCES AND RETAINING WALLS AS SHOWN ON THE FACE OF THE PLAN.  
**COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS** - THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BYLAWS

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON MARCH 5, 2021.

MARCH 9, 2021  
*Djordje Petrovic*  
 DJORDJE PETROVIC  
 B.Sc., O.L.S., O.L.I.P.

**Barich Grenkie**  
**Surveying Ltd.**  
 297 HWY No. 8 (UNIT 101) - STONEY CREEK, ON  
 L8G 1E3 (905) 652-2767  
 A DIVISION OF GEOMAPLE

DWN BY: EWA  
 CHK BY: DP  
 JOB No. 20-2771



20210305 10:58:27 AM 20210305 10:58:27 AM 20210305 10:58:27 AM



Hamilton

**Committee of Adjustment**

City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE**

**FOR OFFICE USE ONLY.**

APPLICATION NO. \_\_\_\_\_ DATE APPLICATION RECEIVED \_\_\_\_\_

PAID \_\_\_\_\_ DATE APPLICATION DEEMED COMPLETE \_\_\_\_\_

SECRETARY'S  
SIGNATURE \_\_\_\_\_

**The Planning Act**

**Application for Minor Variance or for Permission**

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME	ADDRESS
<b>Registered Owners(s)</b>	Aleksandra Mrksic	
<b>Applicant(s)*</b>	Aleksandra Mrksic	
<b>Agent or Solicitor</b>	Nikola Mrksic	

**Note: Unless otherwise requested all communications will be sent to the agent, if any.**

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Nikola Mrksic  
Aleksandra Mrksic  
1538 Golf Club Rd  
Hannon ON  
L0R 1P0

Mortgage via BMO Limeridge mall

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

4. Nature and extent of relief applied for:

I am applying for the height of my outbuilding (detached garage) to be 6.99 metres. Gross floor area to be 199.1 sq metres. Existing outbuilding will be torn down. I am in the process of applying for a building permit for the new house. Current outbuilding is 7.3 metres high. New outbuilding would be lower in height than current outbuilding.

5. Why it is not possible to comply with the provisions of the By-law?

I am building the garage to be able to fit a RV and need more height to accommodate the RV and the tall garage door. Variance recently approved at 1232 Golf Club Rd for the same reason.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

CON 1 BLK 2 PT LOT 5 BIN as in VM130359 Glanbrook City of Hamilton

1538 GOLF CLUB RD  
HANNON ON

7. PREVIOUS USE OF PROPERTY

Residential  Industrial  Commercial

Agricultural  Vacant

Other \_\_\_\_\_

8.1 If Industrial or Commercial, specify use \_\_\_\_\_

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes  No  Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes  No  Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes  No  Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes  No  Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes  No  Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes  No  Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes  No  Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes  No  Unknown



8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes  No  Unknown

8.11 What information did you use to determine the answers to 9.1 to 9.10 above?  
Spoke to neighbours.

8.12 If previous use of property is industrial or commercial or if YES to any of 9.2 to 9.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes  No

**9. ACKNOWLEDGEMENT CLAUSE**

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.

April 8th 2021  
Date

  
Signature Property Owner

Aleksandra Mrksic  
Print Name of Owner

10. Dimensions of lands affected:

Frontage	<u>100.00 feet (30.48m)</u>
Depth	<u>852.00 feet (259.69 m)</u>
Area	<u>1.96 acres</u>
Width of street	<u>24 ft (7.3m) (single lane 2 way)</u>

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing: \_

See attached survey. Bungalow approx 1200 sqft and 48ft wide x 25 ft deep x 16 ft high. Detached barn approx 1200 sqft and 24 ft wide x 50ft long x 24 ft high. Barn has 2 levels.

Proposed

See attached site plan and drawings. New bungalow approx 2250 sqft (separate building permit being completed) and 73ft wide x 56 ft deep. New outbuilding (detached garage) 199sq metres and 9.14m wide x 21.82 m long x 6.99 m high. Outbuilding has a tool room in the back with storage mezzanine above. Outbuilding to be 3.66m from adjacent lot line and 170.63m from rear lot line.

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:

See attached survey. Bungalow approx 1200 sqft and 48ft wide x 25 ft deep x 16 ft high. Detached barn approx 1200 sqft and 24 ft wide x 50ft long x 24 ft high. Barn has 2 levels.

Proposed:

See attached site plan and drawings. New bungalow approx 2250 sqft (separate building permit being completed) and 73ft wide x 56 ft deep. New outbuilding (detached garage) 199sq metres and 9.14m wide x 21.82 m long x 6.99 m high. Outbuilding has a tool room in the back with storage mezzanine above. Outbuilding to be 3.66m from adjacent lot line and 170.63m from rear lot line.

13. Date of acquisition of subject lands:  
July 26th 2018
- 
14. Date of construction of all buildings and structures on subject lands:  
unknown
- 
15. Existing uses of the subject property:  
Residential home
16. Existing uses of abutting properties:  
Residential
17. Length of time the existing uses of the subject property have continued:  
unknown
18. Municipal services available: (check the appropriate space or spaces)  
Water cistern and well Connected \_\_\_\_\_  
Sanitary Sewer septic Connected \_\_\_\_\_  
Storm Sewers \_\_\_\_\_
19. Present Official Plan/Secondary Plan provisions applying to the land:  
protected countryside
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:  
A1 zoning
21. Has the owner previously applied for relief in respect of the subject property?  
 Yes  No  
 If the answer is yes, describe briefly.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?  
 Yes  No
23. Additional Information
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.