



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	AN/A-24:52	SUBJECT PROPERTY:	143 Bluebell Crescent, Ancaster
ZONE:	"R3-282" (Residential 3)	ZONING BY-LAW:	Zoning By-law former Town of Ancaster 87-57, as Amended

APPLICANTS: Owner: Wade & Tracy Young
Agent: Sarah Brown Home Design Inc. – Sarah Brown

The following variances are requested:

1. A minimum rear yard setback of 6.0m shall be permitted instead of the minimum 7.5m rear yard setback required.

PURPOSE & EFFECT: To facilitate the construction of a proposed “enclosed deck”

Notes:

1. It is noted that as per section 3.39 of Ancaster Zoning By-law 87-57 that; Any and all stairs, as measured to the exterior parameters of the framing structure, shall be considered to constitute part of the deck with respect to all relevant setbacks and lot coverage regulations. As such, the proposed exterior stairs are subject to the side yard setback of the principal dwelling, in this case 1.5m.
2. Decks are not included in lot coverage calculation as per section 3.78 of Ancaster Zoning By-law 87-57.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, April 23, 2024
TIME:	1:45 p.m.
PLACE:	City Hall Council Chambers (71 Main St. W., Hamilton)

AN/A-24:52

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

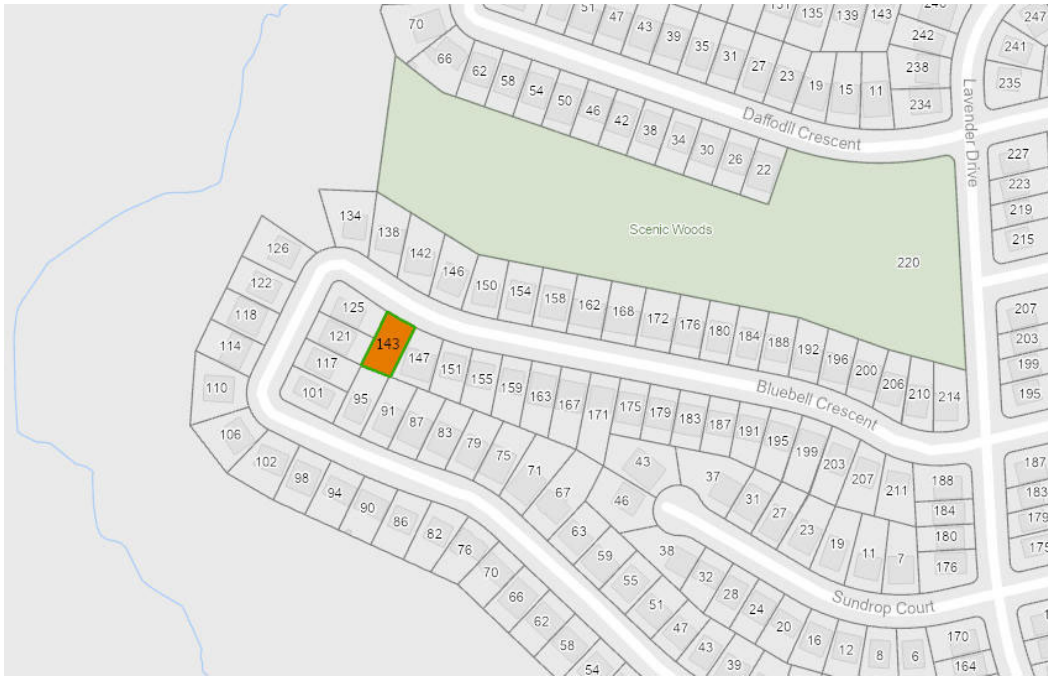
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Written comments must be received no later than noon April 19, 2024

Orally: If you would like to speak to this item at the hearing you may do so by attending in person. Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing, as per above.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding AN/A-24:52, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: April 4, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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E-mail: cofa@hamilton.ca

IN-PERSON PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Comments must be received by noon on the date listed on the Notice of Public Hearing.

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

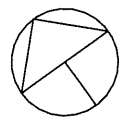
Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating in person at the Hearing.

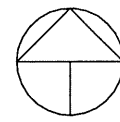
In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca



TRUE NORTH



PROJECT NORTH



Sarah Brown Home Design Inc.
5780 Highway 3, Cayuga
Ontario N0A 1E0
Phone: 289-776-6303
Email: sarah@sbhomedesigninc.com

BLUEBELL CRESCENT

+/- 18.84 m

PROPERTY LINE

PROPERTY LINE

EX. +/- 9.00 m

EXISTING DRIVEWAY

+/- 11.45 m

EX. +/- 3.51 m

EX. +/- 3.56 m

EXISTING FENCE TO REMAIN

EXISTING FENCE TO REMAIN

+/- 36.00 m

+/- 33.50 m

EXISTING 2 STOREY SINGLE FAMILY DWELLING

PROJECT:
Proposed Deck: Young Residence

PROJECT ADDRESS:
143 Bluebell Crescent
Ancaster, Ontario

SHEET SIZE:
11 x 17

SCALE:
1 : 100

DRAWN BY:
SB

PROJECT NO.:
23.019

DATE:
FEB 20, 2024

DRAWING NAME:
GROUND LEVEL SITE PLAN

SHEET NO.:

SK1

PROPERTY LINE

+/- 18.90 m

PROPERTY LINE

+/- 6.04 m
(SUBJECT TO VARIANCE)

+/- 4.16 m

+/- 3.77 m

+/- 6.89 m

PROPOSED OPEN AIR DECK

PROPOSED COVERED/ENCLOSED DECK

8.65 m 3.14 m

EX. +/- 3.34 m EX. +/- 3.72 m

PROPOSED EXTERIOR STAIRS

+/- 3.35 m

+/- 2.40 m

+/- 3.37 m

+/- 5.51 m

3.06 m

1.51 m

PROJECT:
 Proposed Deck:
 Young Residence

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 Ancaster, Ontario

SHEET SIZE:
 11 x 17

SCALE:
 1 : 100

DRAWN BY:
 SB

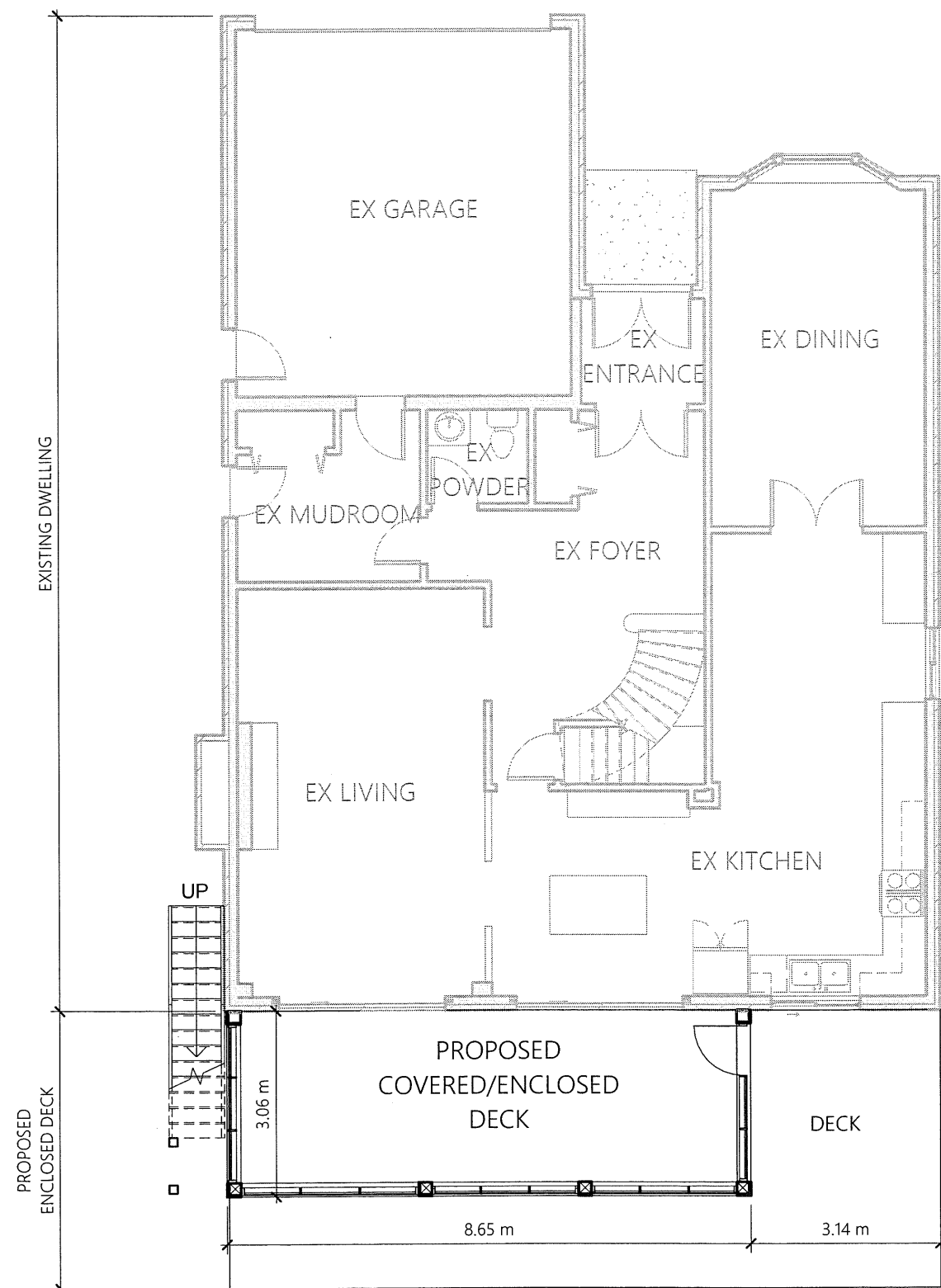
PROJECT NO.:
 23.019

DATE:
 FEB 20, 2024

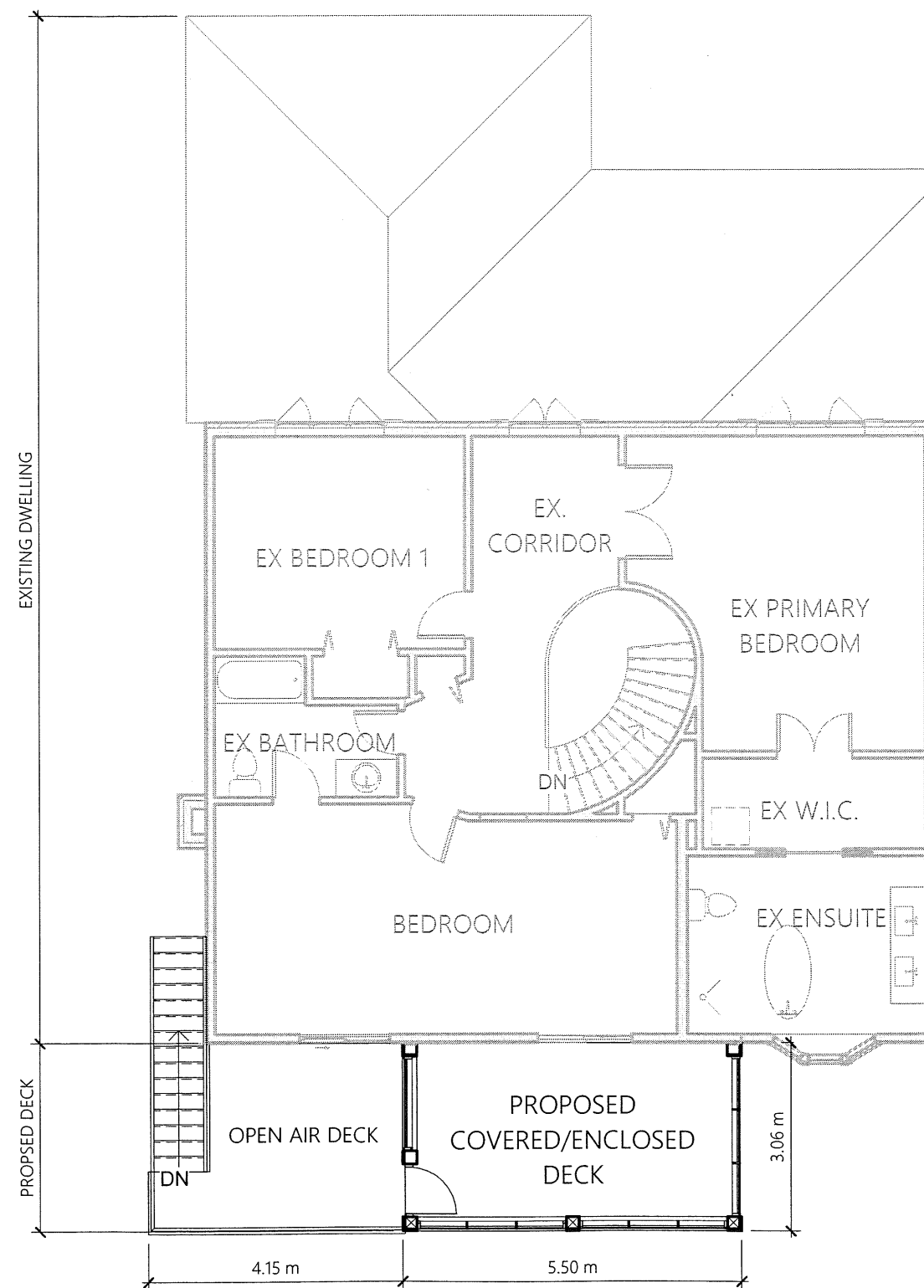
DRAWING NAME:
 FLOOR PLANS

SHEET NO.:

SK3



1 GROUND FLOOR PLAN
 1:100



2 SECOND FLOOR
 1:100

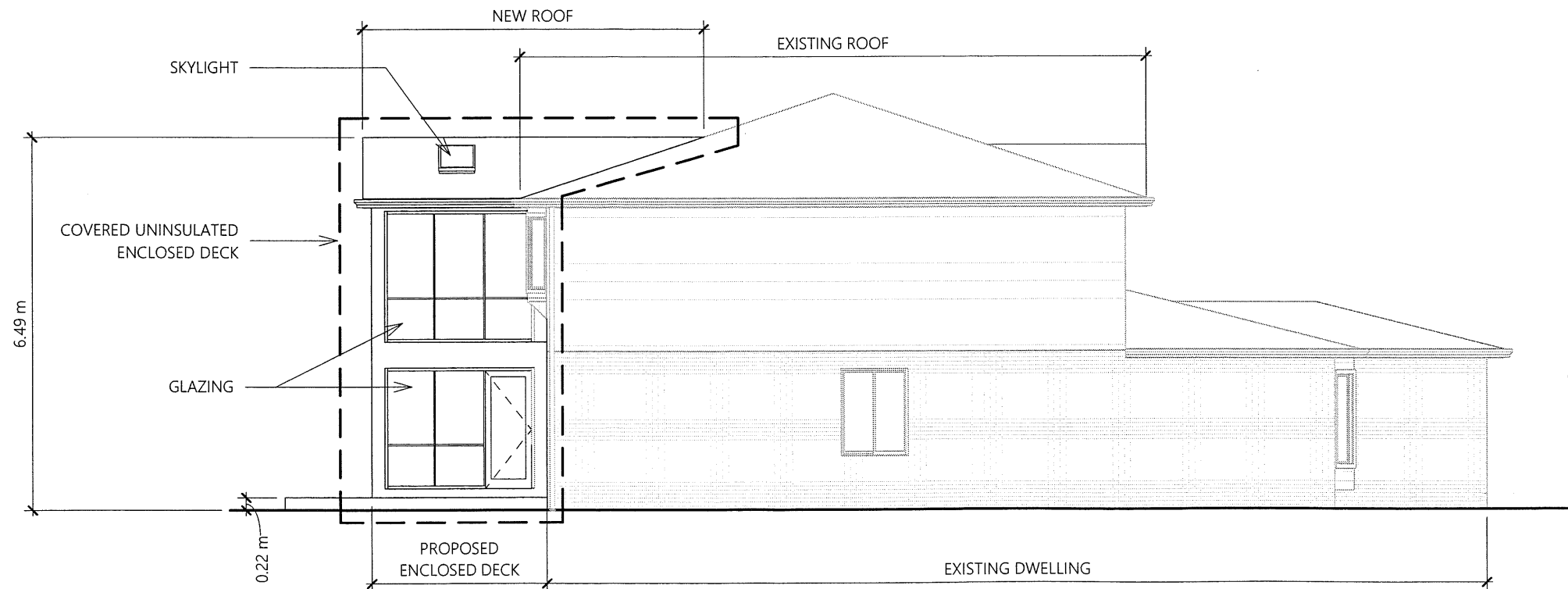
EXISTING ELEVATION TO
REMAIN UNCHANGED



1 NORTH ELEVATION
1:100

143 BLUEBELL CRESCENT, ANCASTER		
ZONE: R3-282 RESIDENTIAL 3		
EXISTING USE: SINGLE FAMILY DWELLING		PROPOSED USE: SINGLE FAMILY DWELLING
	REQUIREMENT	PROVIDED
HEIGHT	10.5m	HEIGHT OF EXISTING DWELLING TO REMAIN
MIN. FRONT YARD SETBACK	7.5m	9m (TO TOP OF PROPOSED DECK ROOF)
MIN. REAR YARD SETBACK	7.5m	8.68m TO (EXISTING DWELLING)
		6.04 (TO PROPOSED ENCLOSED DECK) (SUBJECT TO VARIANCE)
MIN. SIDE YARD SETBACK	2.5m	3.72m (EAST SIDE YARD TO EXISTING DWELLING)
		3.34m (WEST SIDE YARD TO EXISTING DWELLING)

DECK REQUIREMENTS		
LOWER LEVEL DECK		
	REQUIREMENT	PROVIDED
MAX. DECK AREA	NO MAXIMUM	53.9m ²
MIN REAR YARD SETBACK	1.8m	4.16m
MIN. SIDE YARD SETBACK	0.45m	3.77m (EAST SIDE YARD)
		3.37 (WEST SIDE YARD)
UPPER LEVEL DECK		
	REQUIREMENT	PROVIDED
MAX. DECK AREA	40m ²	27.6m ²
MIN REAR YARD SETBACK	6.0m	6.04m
MIN. SIDE YARD SETBACK	2.5m	3.77m (EAST SIDE YARD)
		2.35 (WEST SIDE YARD) (SUBJECT TO VARIANCE)



2 EAST ELEVATION
1:100

SBHD
Sarah Brown Home Design Inc.
5780 Highway 3, Cayuga
Ontario N0A 1E0
Phone: 289-776-6303
Email: sarah@sbhomedesigninc.com

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Proposed Deck:
Young Residence

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Ancaster, Ontario

SHEET SIZE:
11 x 17

SCALE:
1:100

DRAWN BY:
SB

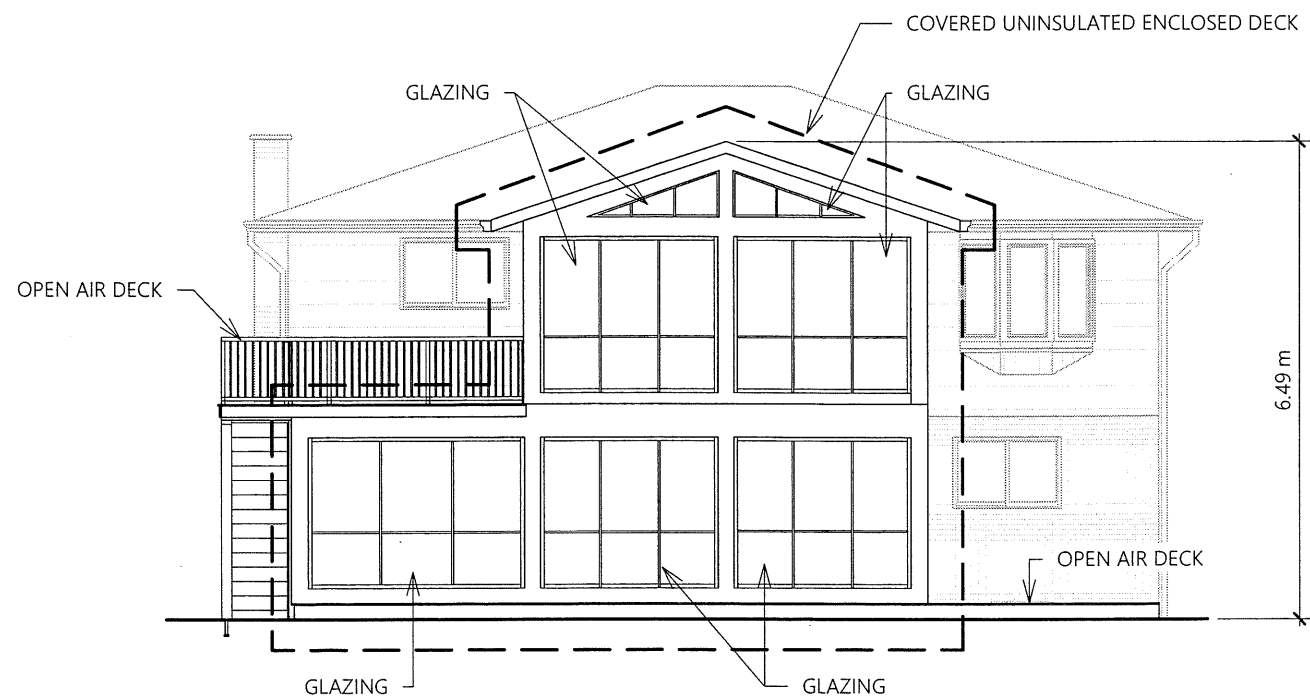
PROJECT NO.:
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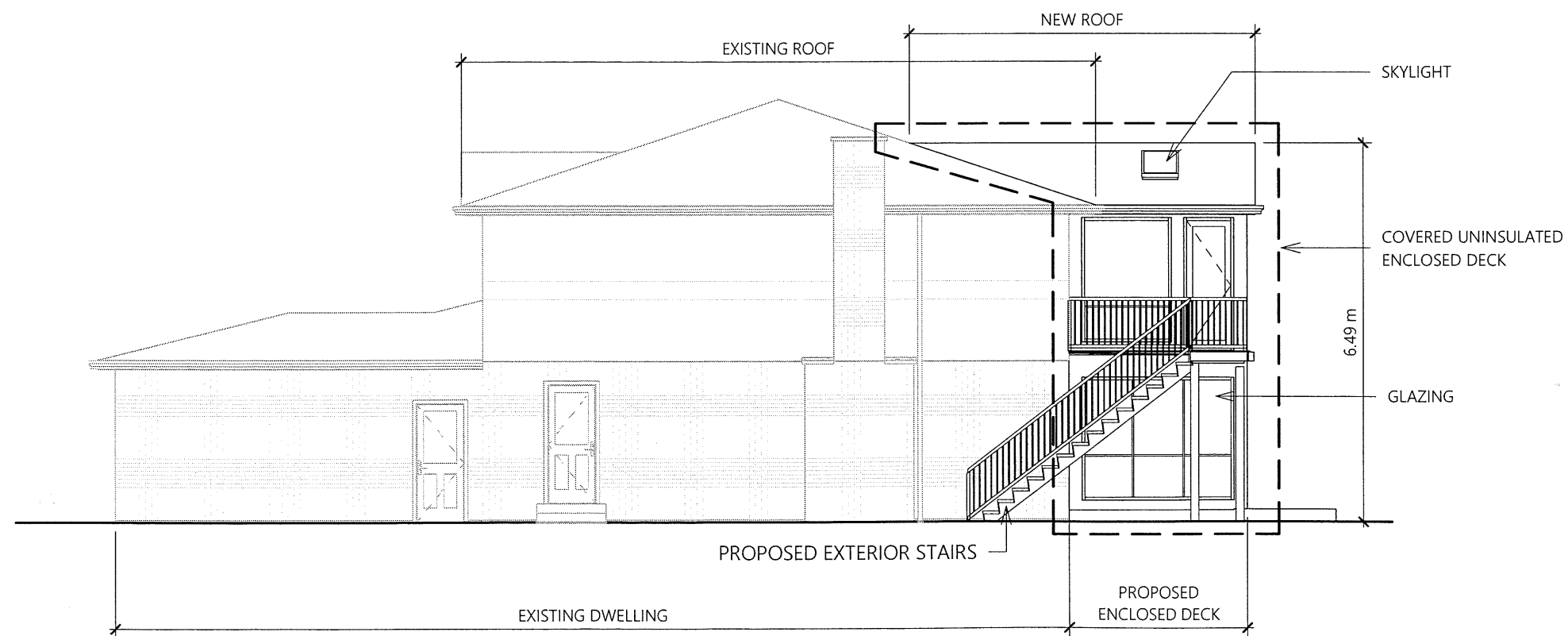
DRAWING NAME:
ELEVATIONS

SHEET NO.:

SK4



① SOUTH ELEVATION
 1:100



② WEST ELEVATION
 1:100

PROJECT:
 Proposed Deck:
 Young Residence

PROJECT ADDRESS:
 143 Bluebell Crescent
 Ancaster, Ontario

SHEET SIZE:
 11 x 17

SCALE:
 1:100

DRAWN BY:
 SB

PROJECT NO.:
 23.019

DATE:
 FEB 20, 2024

DRAWING NAME:
 ELEVATIONS

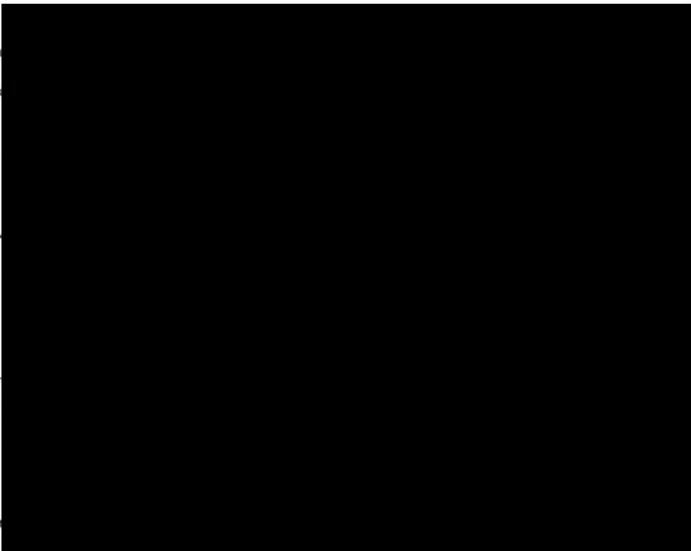
SHEET NO.:



APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Wade Young, Tracy Young
Applicant(s)	Wade Young, Tracy Young
Agent or Solicitor	Sarah Brown Home Design Inc. - Sarah Brown



1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person

Cheque

Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	143 Bluebell Crescent Ancaster, ON L9K 1E8		
Assessment Roll Number			
Former Municipality	Ancaster		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

To construct a new covered deck/balcony with minimum rear yard setback of 6.0m.
The space will be uninsulated and enclosed with glass.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

A deck enclosed with glass has a required rear yard setback of 7.5m.
A 7.5m rear yard setback will make the deck too narrow to use.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
+/-18.84m	+/-33.50m	+/-654m ²	20m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Family Dwelling	9.0m	8.68m	3.72m (East) & 3.34m (West)	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Covered Deck/balcony		6.04m	6.89m (East) & 3.35m (West)	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Family Dwelling	175.4m ²	296.4m ²	2	7.24m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
2 Storey Covered deck/balcony	26.5m ²	43.3m ²	2	6.48m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Single detached dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single detached dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

April 12, 2008

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:

16 Years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R3-283

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
