



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-24:56	SUBJECT PROPERTY:	76 Chudleigh Street, Flamborough
ZONE:	"R1-2" (Urban Residential (Single Detached))	ZONING BY-LAW:	Zoning By-law former Town of Flamborough 90-145-Z, as Amended

APPLICANTS: Owner: Bruce David Moore & Brenda Catheryn – Nell Moore
Agent: Ravinder Singh

The following variances are requested:

1. A minimum 1.13m northerly side yard setback shall be permitted instead of the minimum 1.2m side yard setback required.

PURPOSE & EFFECT: To Facilitate the construction of a proposed below grade stair.

Notes:

1. Variance written exactly as requested by applicant
2. It is noted that elevation details of the proposed stairs have not been provided. Applicant to note the following interpretation;

Minimum setbacks to basement walk-ups; If the concrete retaining wall surrounding the stairs from the basement to grade level or the concrete curbing of Underground Garage Ramps or Underground Garage Vents does not extend greater than 6" (0.15m) above grade then they can encroach into a required yard (the setback will be measured from the dwelling/building). NOTE: The 6" curbing/retaining wall can have a guard/fence surrounding the curbing/wall. If the wall extends greater than 6" above grade, then the minimum required yard setback must be taken from the surrounding the stair, ramp or vent.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

A-24:56

This application will be heard by the Committee as shown below:

DATE:	Tuesday, April 23, 2024
TIME:	2:25 p.m.
PLACE:	City Hall Council Chambers (71 Main St. W., Hamilton)

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

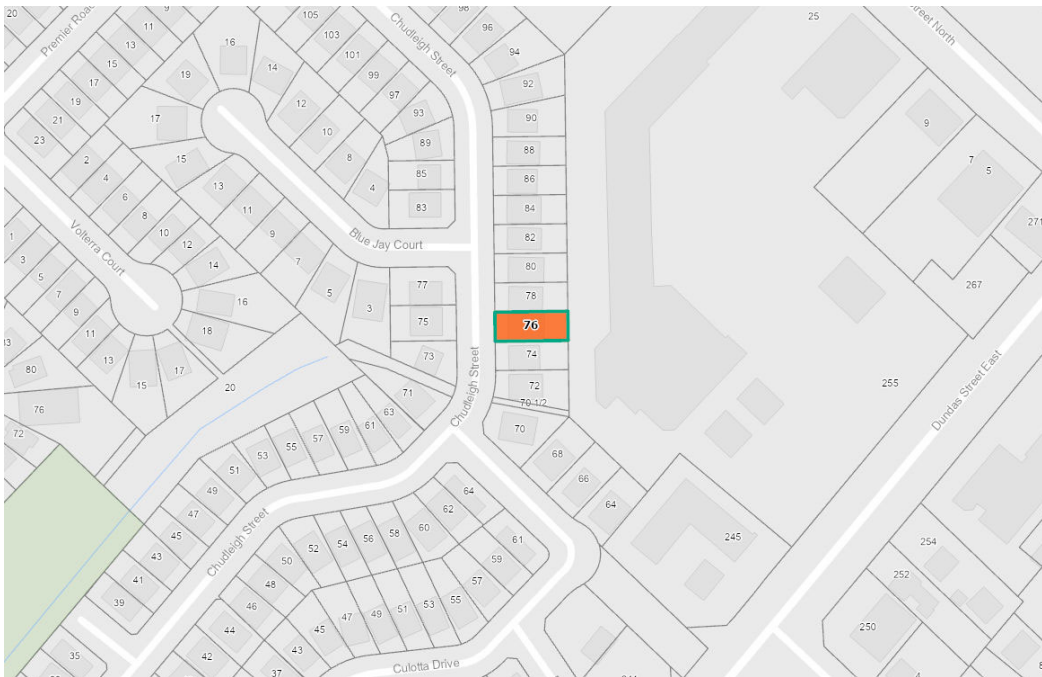
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Written comments must be received no later than noon April 19, 2024

Orally: If you would like to speak to this item at the hearing you may do so by attending in person. Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing, as per above.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:56, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: April 4, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

E-mail: cofa@hamilton.ca

IN-PERSON PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Comments must be received by noon on the date listed on the Notice of Public Hearing.

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

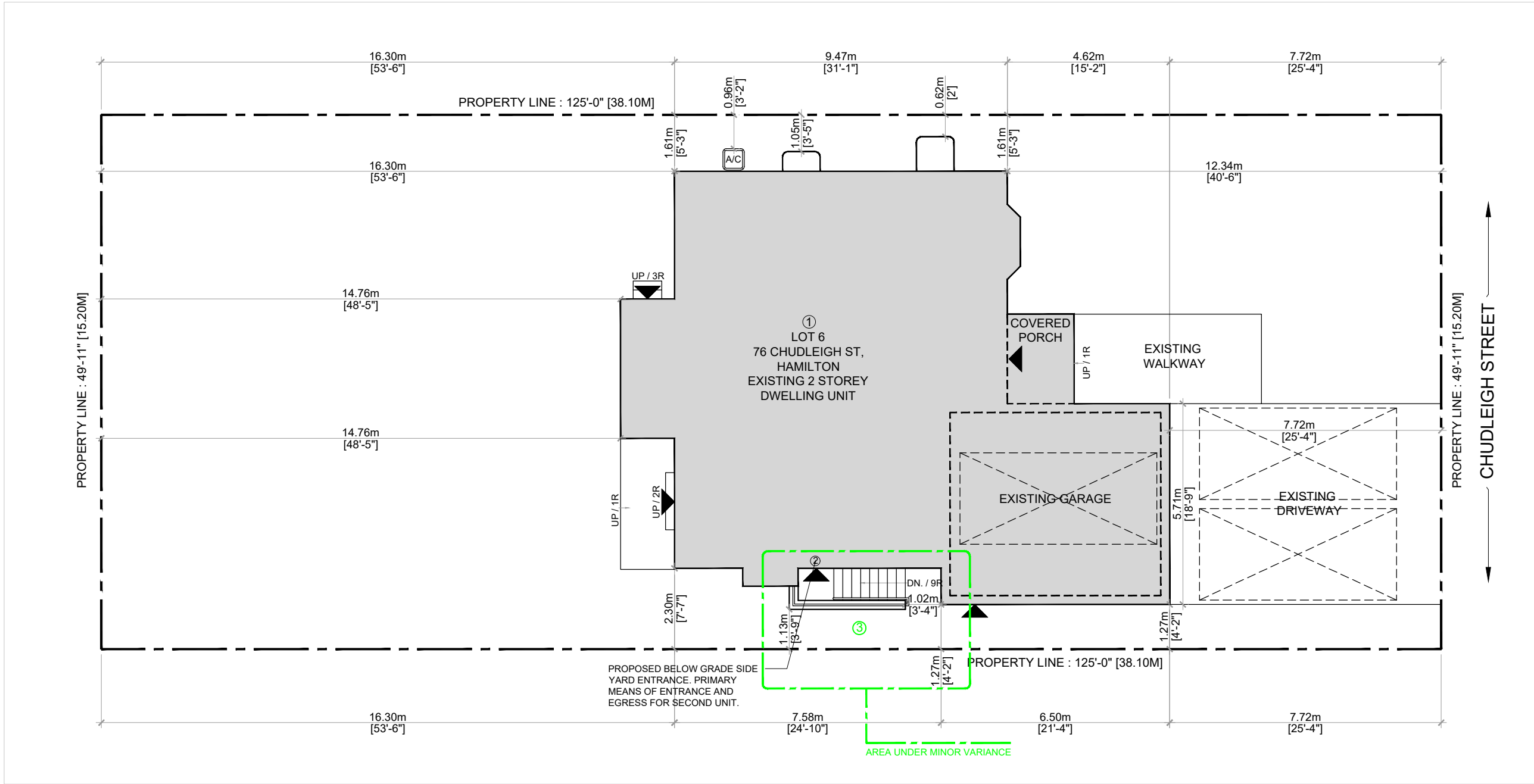
Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating in person at the Hearing.

In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca



1 SITE PLAN
A-001 SCALE : 3/32" = 1'-0"

LEGEND

--- PROPERTY LINE

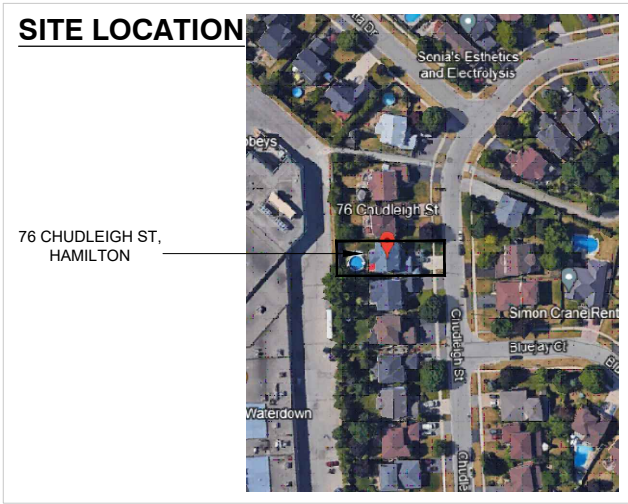
▲ ENTRANCE & EGRESS

PARKING SPACES PROVIDED

THREE PARKING SPACES PROVIDED (TWO OUTSIDE & ONE INSIDE THE GARAGE)

AREA STATISTICS	
MAIN FLOOR AREA	= 1194.14 SFT / 110.97 SM
SECOND FLOOR AREA	= 1271.45 SFT / 118.16 SM
TOTAL ABOVE GRADE GFA	= 2465.59 SFT / 229.14 SM
PORCH	= 52.06 SFT / 4.83 SM
GARAGE	= 398.35 SFT / 37.02 SM
BASEMENT	
- NEW BASEMENT APARTMENT GFA	= 1137.08 SFT / 105.67 SM
- FURNACE AREA	= 66.90 SFT / 6.21 SM
- PRINCIPAL RESIDENCE AREA	= 00.00 SFT / 00.00 SM
TOTAL BASEMENT GFA	= 1203.98 SFT / 111.89 SM
BASEMENT APARTMENTS GFA IS 38.79 % OF TOTAL PRINCIPAL RESIDENCE GFA	
TOTAL LOT AREA : 6234.20 SFT / 61.87 SM	

- SCOPE OF WORK**
- BASEMENT APARTMENT
 - PROPOSED BELOW GRADE SIDE YARD ENTRANCE. PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT.
 - MINOR VARIANCE



ARCHITECT

C-Architecture Ltd

202 - 3485 REBECCA ST, OAKVILLE
ON L6L 0H4
905.847.7177, e: info@c-archi.com

DESIGNER

AEM DESIGNS

225 - 2980 DREW RD, MISSISSAUGA,
ON L4T 0A7
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www.aemdesigns.ca

SEAL

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NO	DATE	REVISION / ISSUED
00	2023.12.02	SCHEMATIC DESIGN
00	2024.01.20	PERMIT APPLICATION

RELEASED FOR BUILDING PERMIT

- CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES (IF ANY) TO THE CONSULTANTS BEFORE CONSTRUCTION.
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT / P.ENG.
- IF THIS SHEET IS NOT 11" x 17", IT IS A REDUCED / ENLARGED PRINT. READ DRAWING ACCORDINGLY.

OWNER

ALTERATIONS (SU)

76 CHUDLEIGH ST,
HAMILTON

SITE PLAN

SCALE: 3/32" = 1'-0"

DATE: 2024.01.20

PROJECT: 23-652

DRAWING NO:

SP0.01

REVISION: 00



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	BRUCE DAVID MOORE BRENDA CATHERYN- NELL MOORE
Applicant(s)	RAVINDER SINGH
Agent or Solicitor	RAVINDER SINGH

1.2 Primary contact

☒ Applicant

☐ Owner

☐ Agent/Solicitor

1.3 Sign should be sent to

☒ Applicant

☒ Owner

☐ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes*

☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

☐ In person

☒ Credit over phone*

☐ Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	76 CHUDLEIGH ST		
Assessment Roll Number			
Former Municipality	HAMILTON		
Lot		Concession	
Registered Plan Number	62M-582	Lot(s)	2
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Proposed side yard Below Grade Stair with 1.13 m setback is not permitted as per Zoning By-law 90-145 Z

☒ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Minimum 1.2m side yard setback required

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
15.20 m	38.10 m	61.87	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
2 Storey Residential Dwelling	7.72 m	14.76 m	Left: 1.27 m; Right: 1.61 m	08/01/1988

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
2 Storey Residential Dwelling	7.72 m	14.76 m	Left: 1.13 m; Right: 1.61 m	08/01/1988

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
2 Storey Residential Dwelling	110.97 Sqm	229.14 Sqm	2	6.70 m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
2 Storey Residential Dwelling	110.97 Sqm	341.03 Sqm	2	6.70 m

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
- _____

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage
☐ system privately owned and operated individual
☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☐ municipal road, seasonally maintained
☒ municipal road, maintained all year
- ☐ right of way
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling Duplex

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single Family Detached Dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

1988

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Family Detached Dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Family Detached Dwelling

7.4 Length of time the existing uses of the subject property have continued:

35 Yrs

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Urban Residential (Single Detach

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1-2

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

☐ Yes ☒ No

If yes, please provide the file number: R1-2

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
 - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
 - ☐ Hydrogeological Assessment
 - ☐ Septic Assessment
 - ☐ Archeological Assessment
 - ☐ Noise Study
 - ☐ Parking Study
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