

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:71	SUBJECT PROPERTY:	14 Elder Crescent, Ancaster
ZONE:	"P7" (Conservation / Hazard Lands)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: Dennis and Cheryl Larocque
Applicant: Rob Summerhayes
Agent: Kathleen Armstrong

The following variances are requested:

1. To permit a minimum setback from the side lot line of 1.2 metres instead of the minimum required side yard setback of 3.0 metres.

PURPOSE & EFFECT: To facilitate the construction of an addition (attached garage) to the existing single detached dwelling.

Notes:

- i. Property is located within the Grand River Conservation Authority. Please contact prior to any development occurs.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, May 7, 2024
TIME:	2:20 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

A-24:71

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon May 3, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon May 6, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:71, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

Page 3 of 3



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



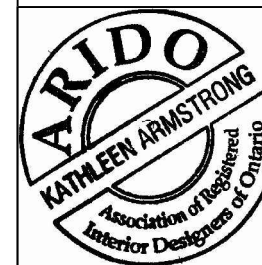
AK
interiors

708 Mount Pleasant Road
Mount Pleasant ON
N0E 1K0

(519) 732-5505

kat@adesolutions.ca

BCIN # 26158 & 30489



REVISIONS

PROJECT DESCRIPTION

14 ELDER CRES
JERSEYVILLE

DRAWING DESCRIPTION

PROPERTY
LOT PLAN

DATE

March 7, 2024

DRAWN BY

K. Armstrong

SCALE

N.T.S.

PROJECT NO.

12398

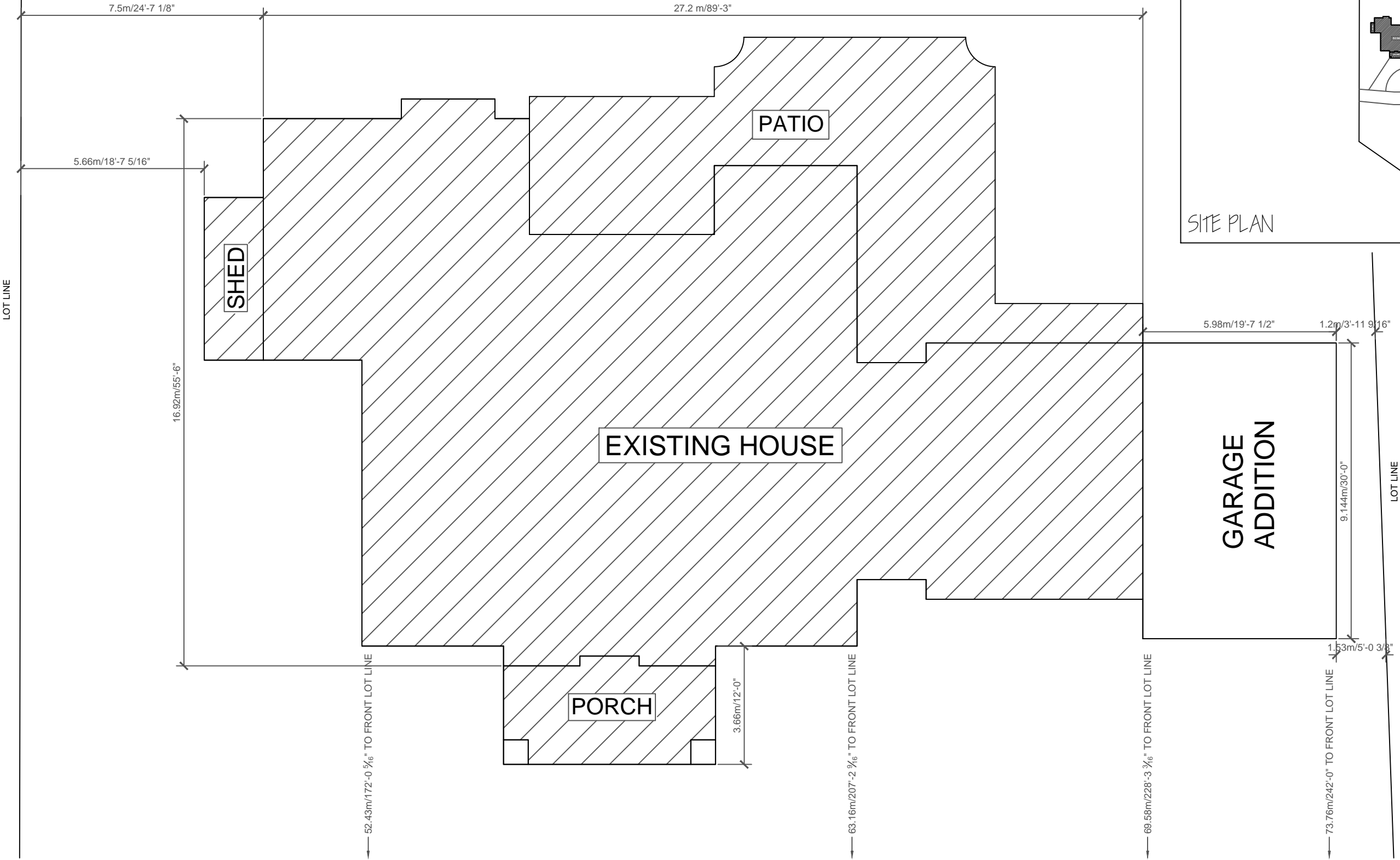
DRAWING NO.

1

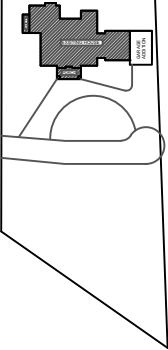
ZONING P7	LOT NUMBER 6 IRREG.			PLAN NUMBER 62M-446		
LOT AREA 7446.2 m2	LOT FRONTAGE 55.148 m			LOT DEPTH 250.55 m		
DESCRIPTION	EXISTING	ADDITION	TOTAL	%	ALLOWED	%
LOT COVERAGE	348.03 m2	54.66 m2	402.69	5.4	-----	-----
GROSS FLOOR AREA	553.36 m2	54.66 m2	608.02 m2	9.9 increase	55.34 m2	10
NO. OF STOREYS	1	1	1		-----	
HEIGHT	5.94 m	5.31 m	5.94 m		10.5 m MAX.	
WIDTH	27.2 m	5.98 m	33.18 m		-----	
DEPTH	16.92 m	9.14 m	16.92 m		-----	

SETBACKS	EXISTING	PROPOSED	ALLOWED
FRONT YARD	19.8 m	19.8 m	10 m
REAR YARD	138.61 m	138.61 m	10 m
INTERIOR SIDE (NE)	5.66 m	5.66 m	3 m
INTERIOR SIDE (SW)	7.18 m	1.2 m	3 m

SITE INFORMATION
SITE INFORMATION AND MEASUREMENTS COLLECTED FROM ON-SITE MEASUREMENTS AND ONLINE CITY OF HAMILTON GIS



SITE PLAN



AK
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708 Mount Pleasant Road
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BCIN # 26158 & 30489



REVISIONS

PROJECT DESCRIPTION

14 ELDER CRES
JERSEYVILLE

DRAWING DESCRIPTION

SITE PLAN &
SETBACK DETAILS

DATE

March 7, 2024

DRAWN BY

K. Armstrong

SCALE

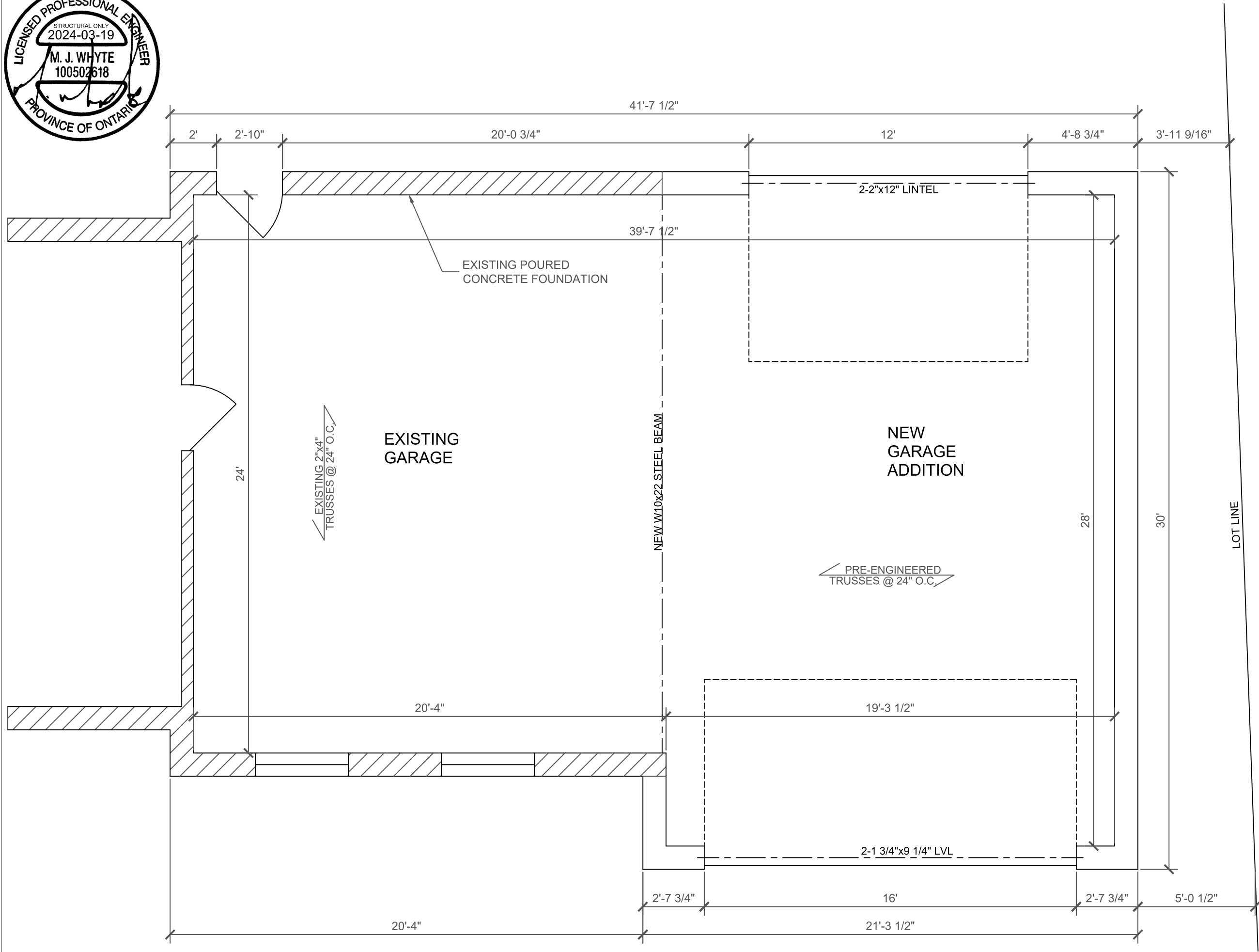
3/32" = 1'-0"

PROJECT NO.

12398

DRAWING NO.

2





**J.H. COHOON
ENGINEERING
LIMITED**
CONSULTING ENGINEERS

JOB No. 16722



**AK
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REVISIONS

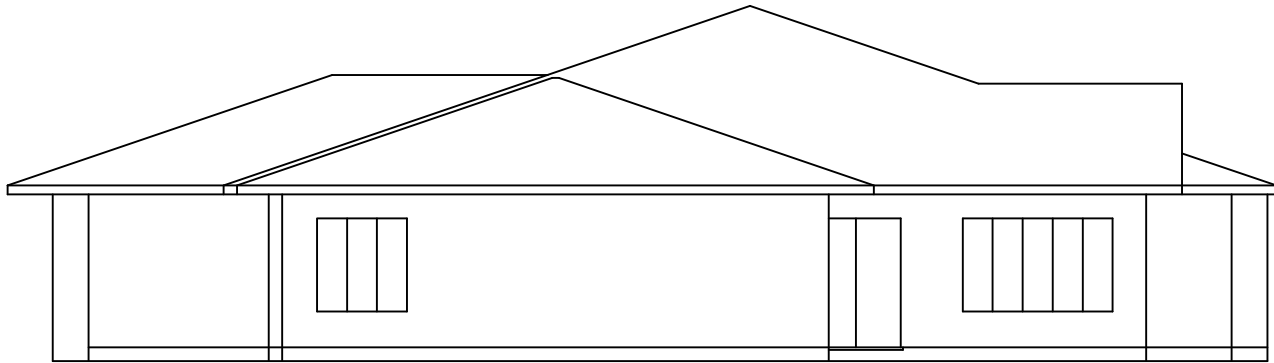
PROJECT DESCRIPTION
14 ELDER CRES
JERSEYVILLE

DRAWING DESCRIPTION
GARAGE ADDITION
PLAN

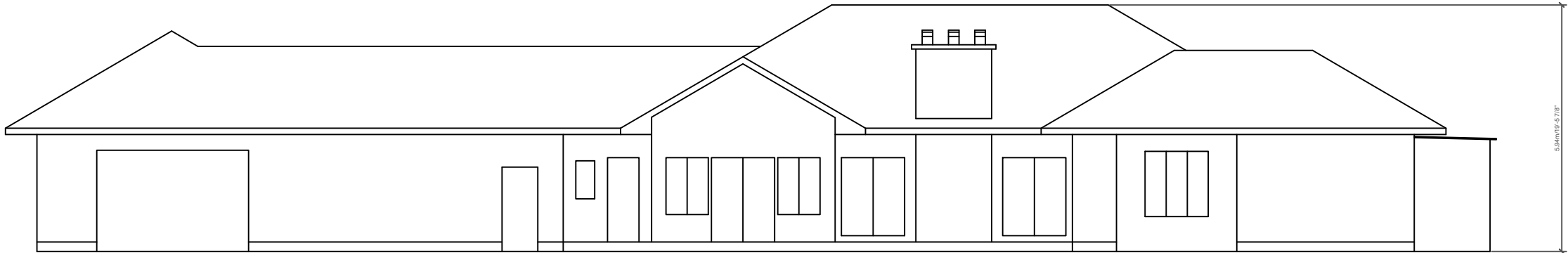
DATE
March 17, 2024

DRAWN BY K. Armstrong	SCALE 1/4"=1'-0"
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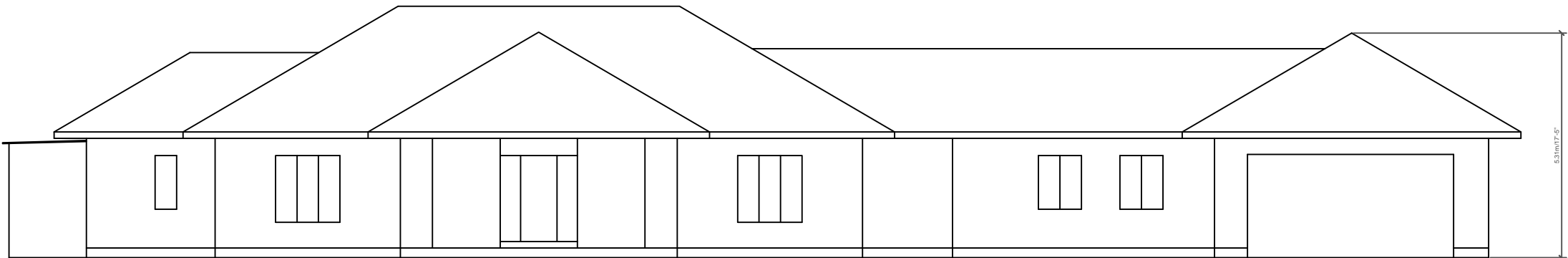
PROJECT NO. 12398	DRAWING NO. 3
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SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION

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BCIN # 26158 & 30489



REVISIONS

PROJECT DESCRIPTION

14 ELDER CRES
JERSEYVILLE

DRAWING DESCRIPTION

EXTERIOR
ELEVATIONS

DATE

February 29, 2024

DRAWN BY

K. Armstrong

SCALE

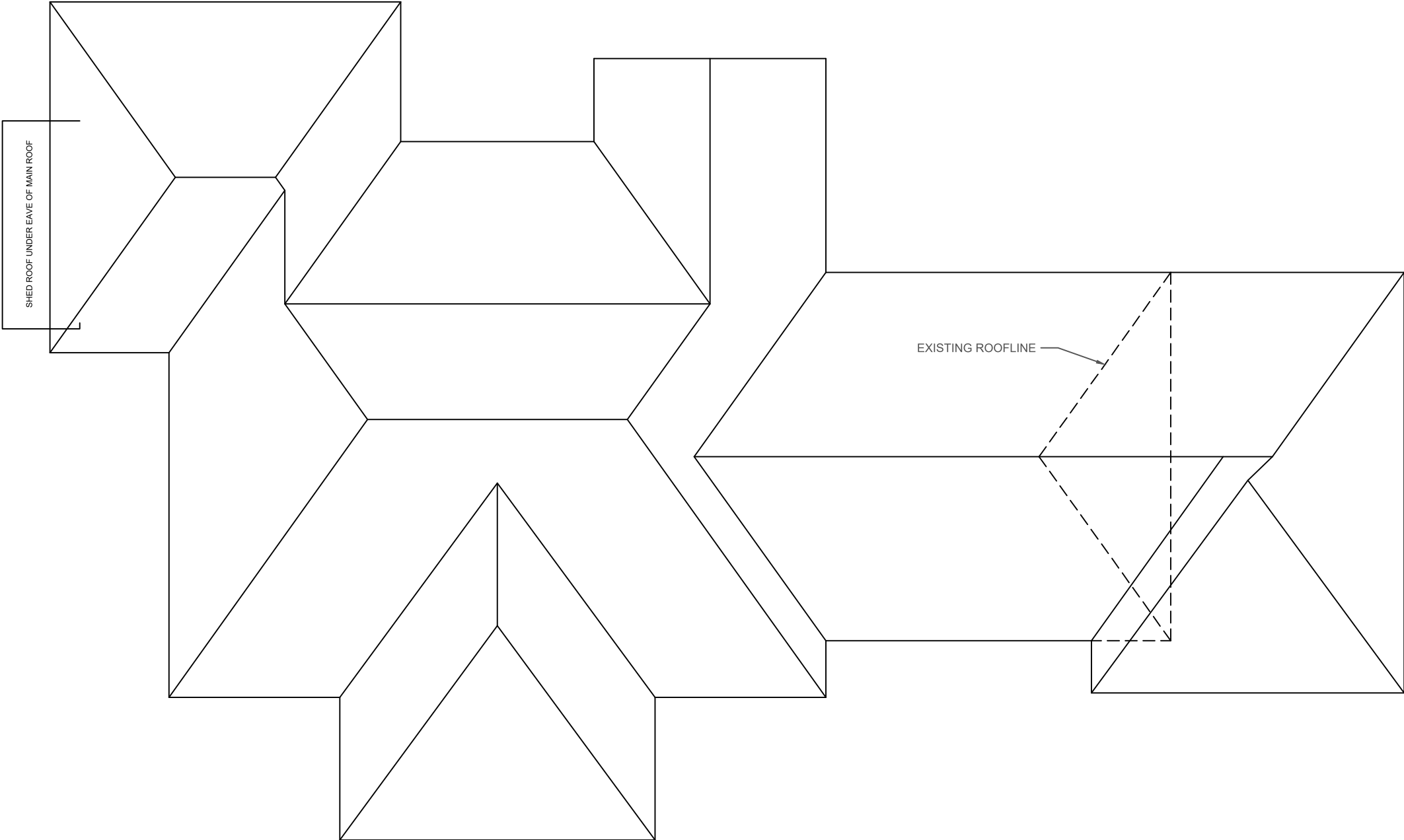
3/32" = 1'-0"

PROJECT NO.

12398

DRAWING NO.

4



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BCIN # 26158 & 30489



REVISIONS

PROJECT DESCRIPTION

14 ELDER CRES
JERSEYVILLE

DRAWING DESCRIPTION

ROOF
PLAN

DATE

February 29, 2024

DRAWN BY

K. Armstrong

SCALE

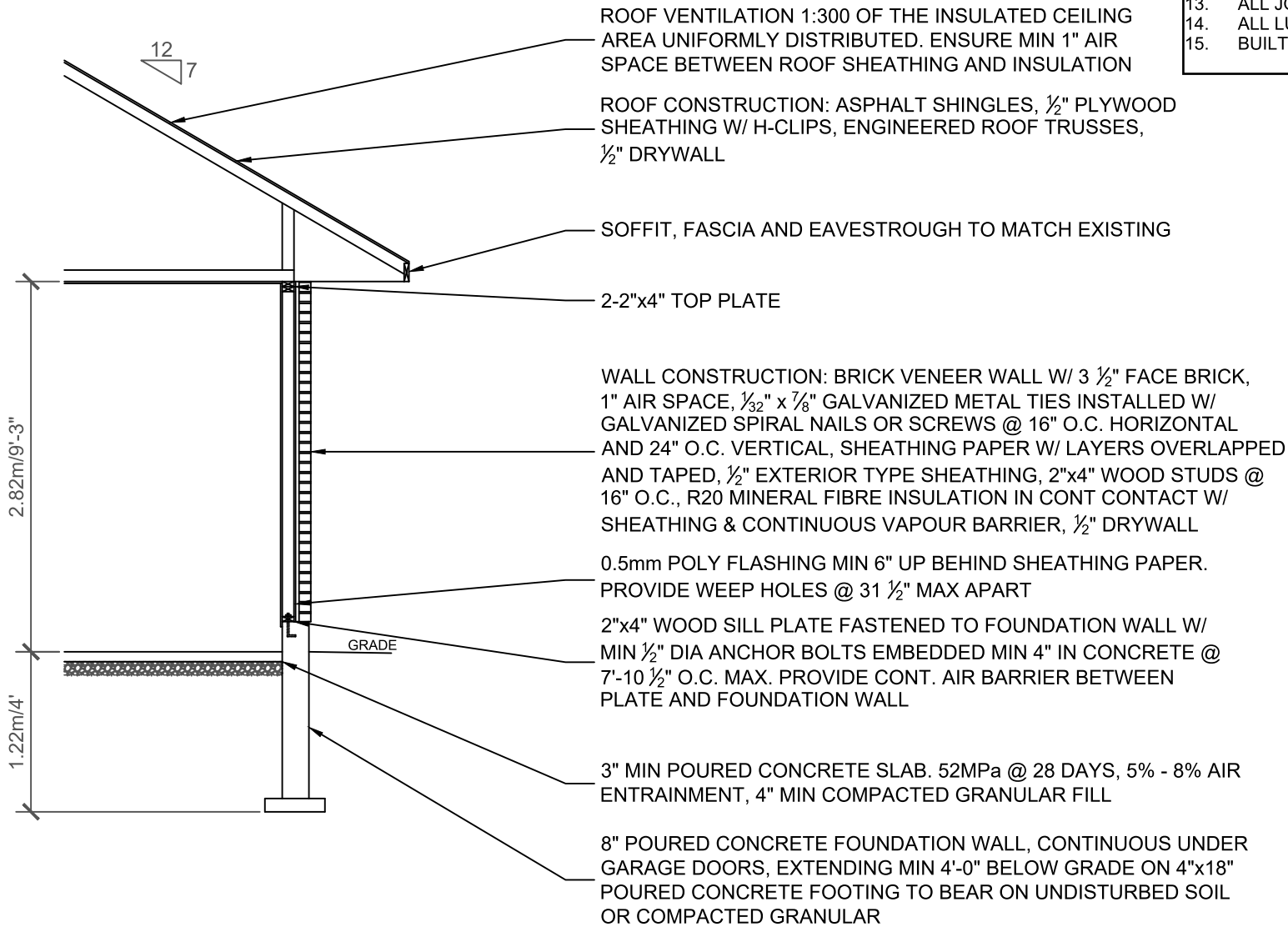
3/32" = 1'-0"

PROJECT NO.

12398

DRAWING NO.

5



1. ALL CONSTRUCTION TO BE COMPLETED IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE.
2. ALL FOUNDATIONS TO HAVE A MINIMUM COVER OF 4'-0".
3. ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF 75 kPa.
4. CONCRETE TO HAVE A MINIMUM 28 DAY STRENGTH OF 3750 P.S.I. (25 MPa).
5. STRUCTURAL STEEL W SECTIONS AND COLUMNS SHALL CONFORM TO ASTM A992 U.O.N.
6. ALL STRUCTURAL STEEL SHALL RECEIVE A MINIMUM OF ONE COAT OF SHOP PRIMER.
7. DO NOT SPLICE OR CUT OPENING IN STRUCTURAL STEEL WITHOUT THE ENGINEER'S APPROVAL.
8. ALL SAWN LUMBER TO BE S.P.F. No. 2 GRADE or BETTER AND CONFORM TO CSA-O141.
9. ALL ENGINEERED BUILT UP BEAMS ARE TO BE LVL'S (GRADE 2.0x106 PSI). REPLACEMENT WITH A HIGHER GRADE IS NOT ALWAYS A SUITABLE EQUIVALENT. CONTACT ENGINEER FOR EQUIVALENT.
10. ALL LUMBER BEAMS ARE TO BE SUPPORTED ON LUMBER POSTS (U.N.O) WITH EQUAL NUMBER OF LAMINATIONS.
11. ALL BUILT-UP POSTS ARE TO BE CONSTRUCTED CONTINUOUSLY TO THE FOUNDATION WITH SOLID TRANSFER BLOCKING AT EACH FLOOR.
12. WOOD IS NOT TO BEAR DIRECTLY ON CONCRETE/MASONRY, PROVIDE PRESSURE TREATED, POLY, OR SILL GASKET BETWEEN CONCRETE/MASONRY AND WOOD SILL PLATE.
13. ALL JOISTS SHOULD HAVE A MINIMUM OF 40 mm (1 1/2") OF BEARING U.O.N. BY MANUFACTURER.
14. ALL LUMBER BEAMS SHOULD HAVE A MINIMUM OF 75 mm (3") BEARING.
15. BUILT UP POSTS SHALL BE NAILED TOGETHER @ 150 mm (6") O/C STAGGERED U.O.N.



- NOTES:**
1. ALL LUMBER TO BE NO 1 & 2 SPRUCE OR BETTER
 2. ALL PLYWOOD SHALL BE STAMPED EXTERIOR GRADE
 3. CAULK ALL PENETRATIONS SUCH AS HOSE BIB AND JOINTS BETWEEN GYPSUM BOARD AND OTHER SURFACES W/ ACOUSTICAL SEALANT
 4. GARAGE SLAB SHALL BE SLOPED TO DRAIN TO THE OUTSIDE

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REVISIONS

PROJECT DESCRIPTION

14 ELDER CRES
JERSEYVILLE

DRAWING DESCRIPTION

GARAGE ADDITION
SECTION

DATE

March 7, 2024

DRAWN BY

K. Armstrong

SCALE

1/4"=1'-0"

PROJECT NO.

12398

DRAWING NO.

6



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Dennis & Cheryl Larocque
Applicant(s)	Rob Summerhayes
Agent or Solicitor	Kathleen Armstrong

1.2 Primary contact

☐ Applicant

☐ Owner

☒ Agent/Solicitor

1.3 Sign should be sent to

☐ Applicant

☒ Owner

☐ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes*

☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

☐ In person

☒ Credit over phone*

☐ Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	14 Elder Cres		
Assessment Roll Number	140220299100000		
Former Municipality	Jerseyville		
Lot		Concession	
Registered Plan Number	62M-446	Lot(s)	6 IRREG.
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Reduce the minimum side lot setback on one side from 3m to 1.2m to allow for a two-car garage addition

☐ Second Dwelling Unit ☒ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The current setback requirement of 3m does not allow for the proposed garage addition

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes ☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
55.148m	250.55m	1.84 ac	6.5m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Residential Single Dwelling	43.97m	142.49m	NE 5.66m	09/10/1987
	House to Front Lot Line		SW 7.18m	
	16.69m			
	House to Edge of Road			

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Residential Single Dwelling	43.97m	142.49m	NE 5.66m	09/10/1987
	House to Front Lot Line		SW 1.2m	
	16.69m			
	House to Edge of Road			

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Residential Single Dwelling	318.3m ²	553.36m ²	1	5.94m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Residential Single Dwelling	553.36m ²	608.02m ²	1	5.94m

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☐ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☒ other means (specify)

Ravines

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☐ publicly owned and operated sanitary sewage
☒ system privately owned and operated individual
☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☐ municipal road, seasonally maintained
☐ municipal road, maintained all year

- ☐ right of way
☒ other public road

Private road, privately maintained

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

August 14, 1998

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Dwelling

7.4 Length of time the existing uses of the subject property have continued:

37 years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Rural

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

Conforms because the Official Plan Designation remains the same in the proposed use

7.6 What is the existing zoning of the subject land? P7

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- ☐ Yes ☒ No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☐ Application Fee
- ☐ Site Sketch
- ☐ Complete Application form
- ☐ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
 - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
 - ☐ Hydrogeological Assessment
 - ☐ Septic Assessment
 - ☐ Archeological Assessment
 - ☐ Noise Study
 - ☐ Parking Study
-
-