

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:72	SUBJECT PROPERTY:	19 Robertson Road, Ancaster
ZONE:	"R5-525" (Residential 5)	ZONING BY-LAW:	Zoning By-law former Town of Ancaster 87-57, as Amended

APPLICANTS: Owners: Harrinarine and Amrita Ramkissoon

The following variances are requested:

1. A minimum rear yard of 3.2 metres instead of 7.0 metres required.

PURPOSE & EFFECT: To facilitate the construction of an attached roofed over structure in the rear yard.

Notes:

- i) Since this is a attached roofed over structure it is required to met the rear yard setback of the principal dwelling.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, May 7, 2024
TIME:	2:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

A-24:72

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon May 3, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon May 6, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:72, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: April 18, 2024

**Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment**

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

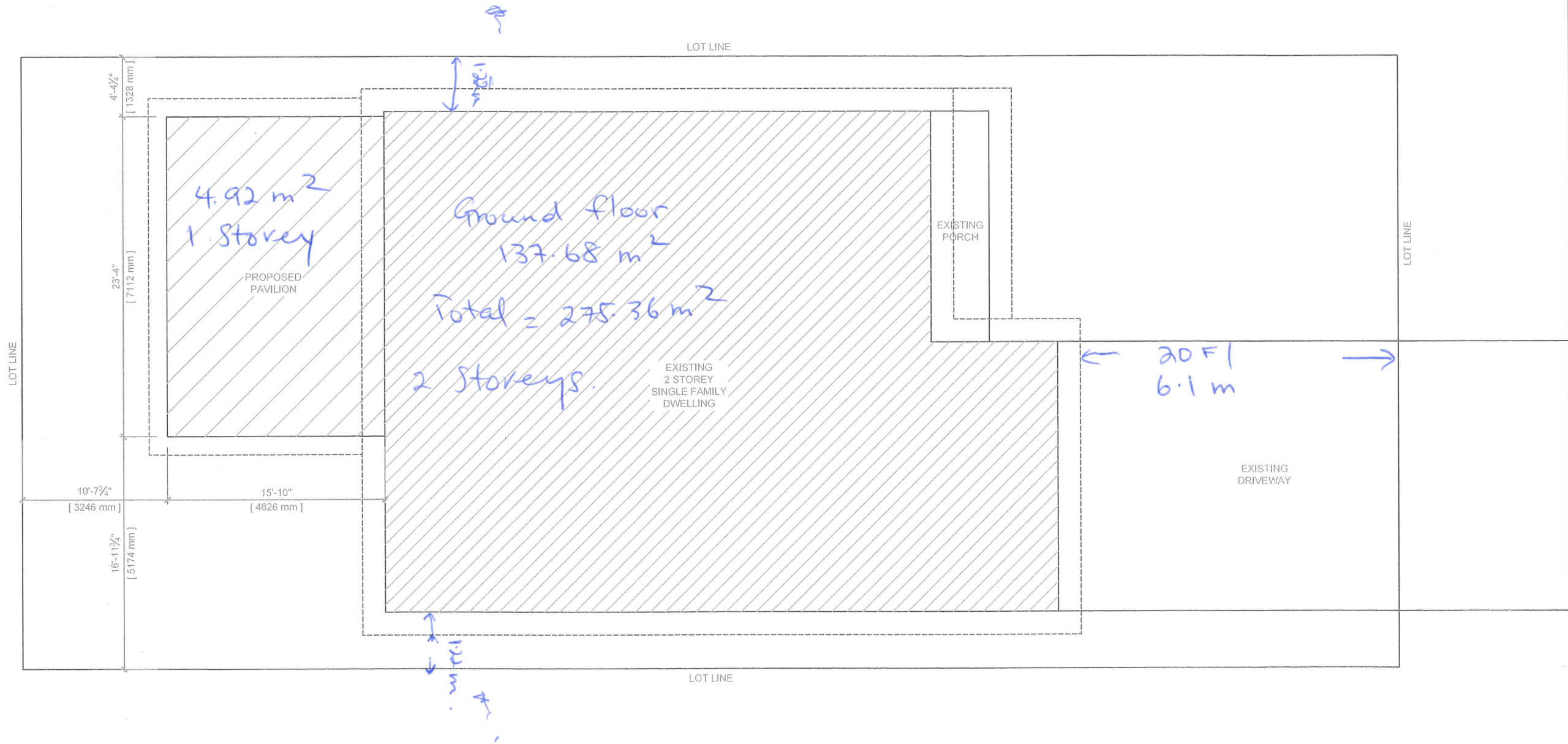
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-546-2424 ext. 4221.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



----- ROOF LINES

PROPOSED STRUCTURE FOOTPRINT: 34.32 m²

REVISIONS:		
#	DATE	REVISION

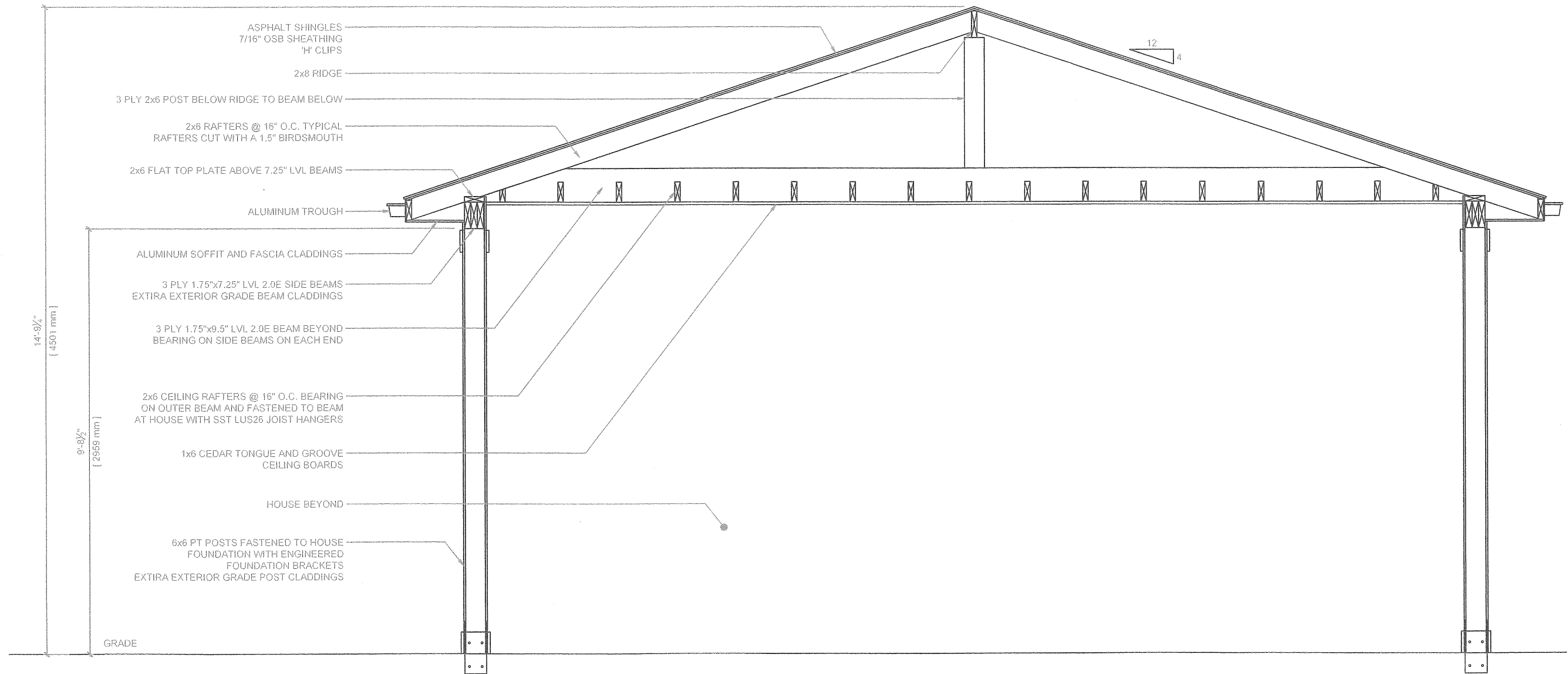


PROJECT ADDRESS:
19 ROBERTSON ROAD
HAMILTON, ON

DRAWING:
PAVILION
SITE PLAN

DATE:	MAR-04-2024
REVISED:	-
PAPER SIZE:	11"x17"
SCALE:	1:100

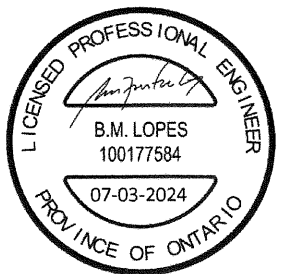
SP1.01



- GENERAL NOTES:
- ALL LUMBER SIZES ARE NOMINAL, EXCEPT FOR LVL BEAMS
 - ALL FRAMING LUMBER TO BE SPRUCE-PINE-FIR GRADE 1 OR BETTER
 - ALL LUMBER IN CONTACT WITH GROUND TO BE TREATED TO PREVENT AGAINST MOISTURE
 - ALL BEAMS TO BE EXTERIOR GRADE, OR WRAPPED WITH EXTERIOR CLADDINGS
 - BEAMS AND COLUMNS TO BE ADEQUATELY TIED TO PREVENT HORIZONTAL MOVEMENT
 - BEAMS TO HAVE MIN 3" DIRECT BEARING OR HANGERS SHALL BE USED
 - JOISTS TO HAVE MIN 1-1/2" DIRECT BEARING OR HANGERS SHALL BE USED
 - ALL PIERS TO EXTEND 4' BELOW GRADE
 - ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE
 - CONNECTIONS AS PER CSA-086-01 (min)

REVISIONS:

#	DATE	REVISION



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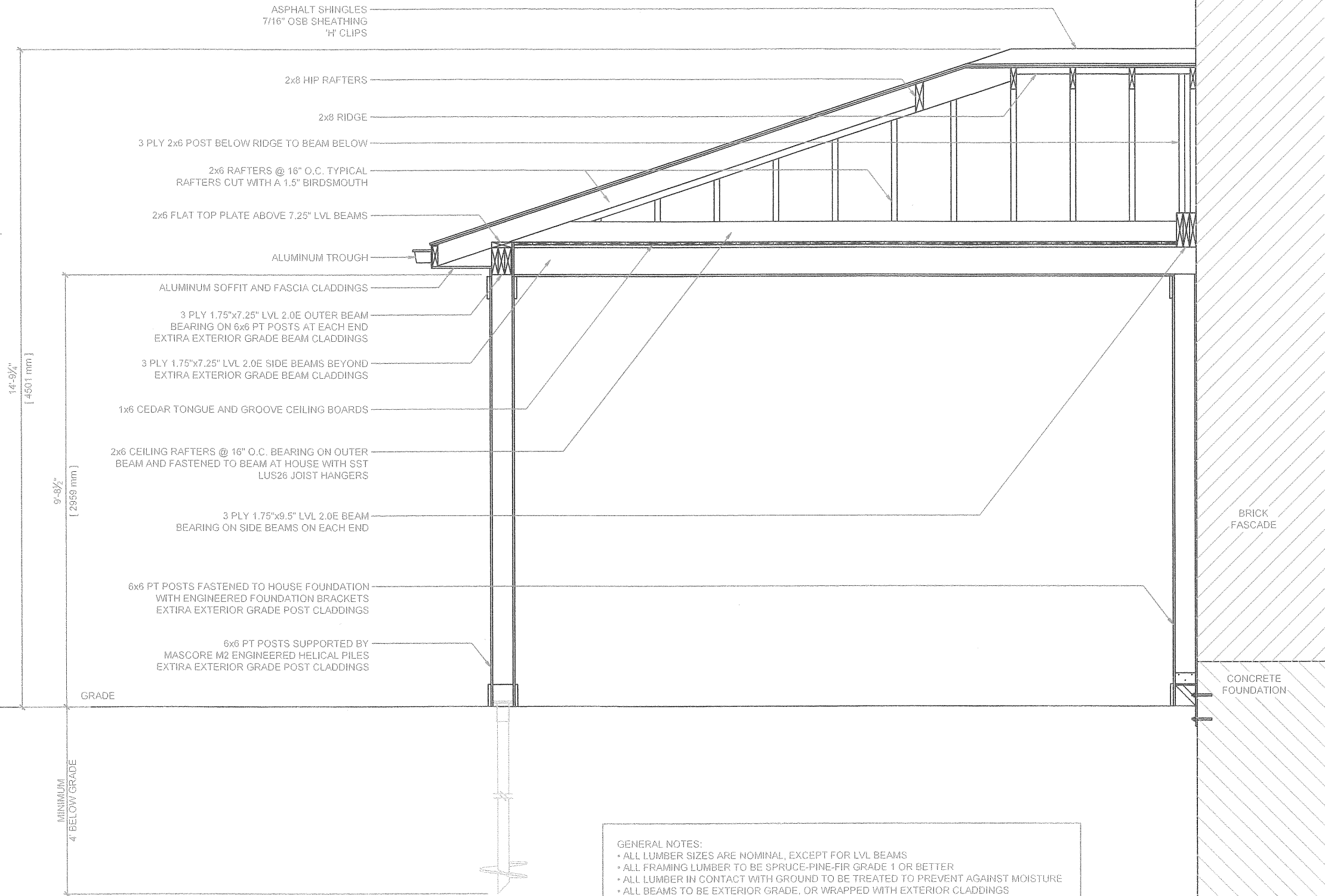
19 ROBERTSON ROAD
HAMILTON, ON

DRAWING:

PAVILION
SECTION

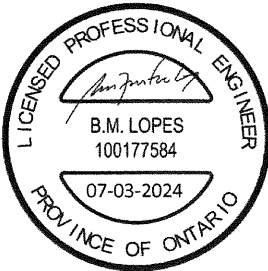
DATE: MAR-04-2024
REVISED: -
PAPER SIZE: 11"x17"
SCALE: 1:30

A4.02



- GENERAL NOTES:
- ALL LUMBER SIZES ARE NOMINAL, EXCEPT FOR LVL BEAMS
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#	DATE	REVISION

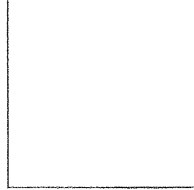


PROJECT ADDRESS:
19 ROBERTSON ROAD
HAMILTON, ON

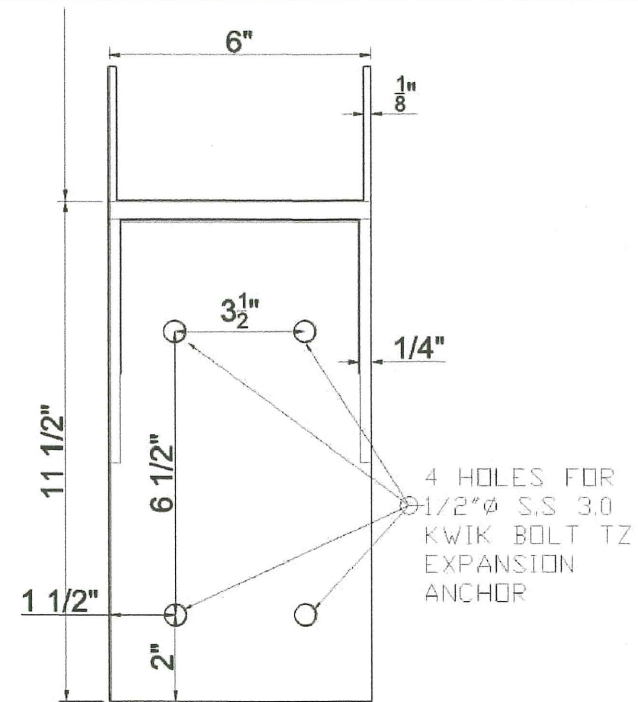
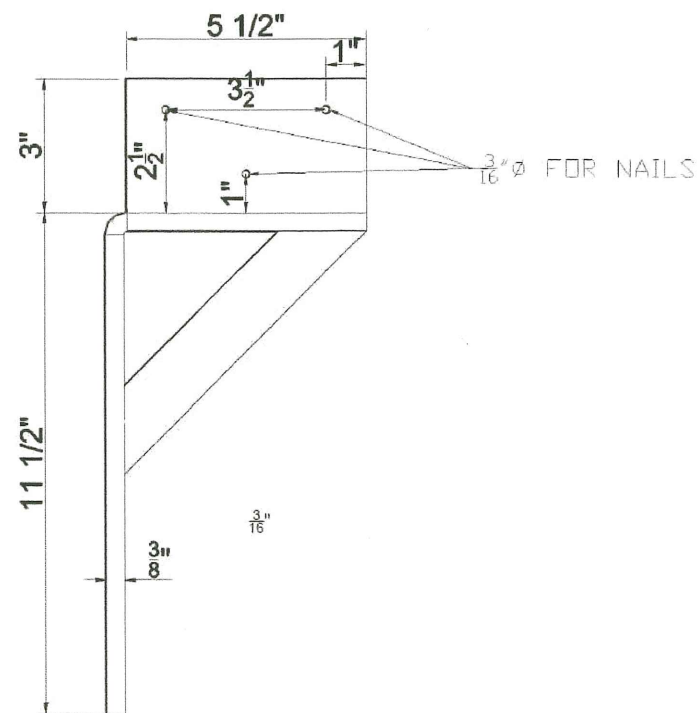
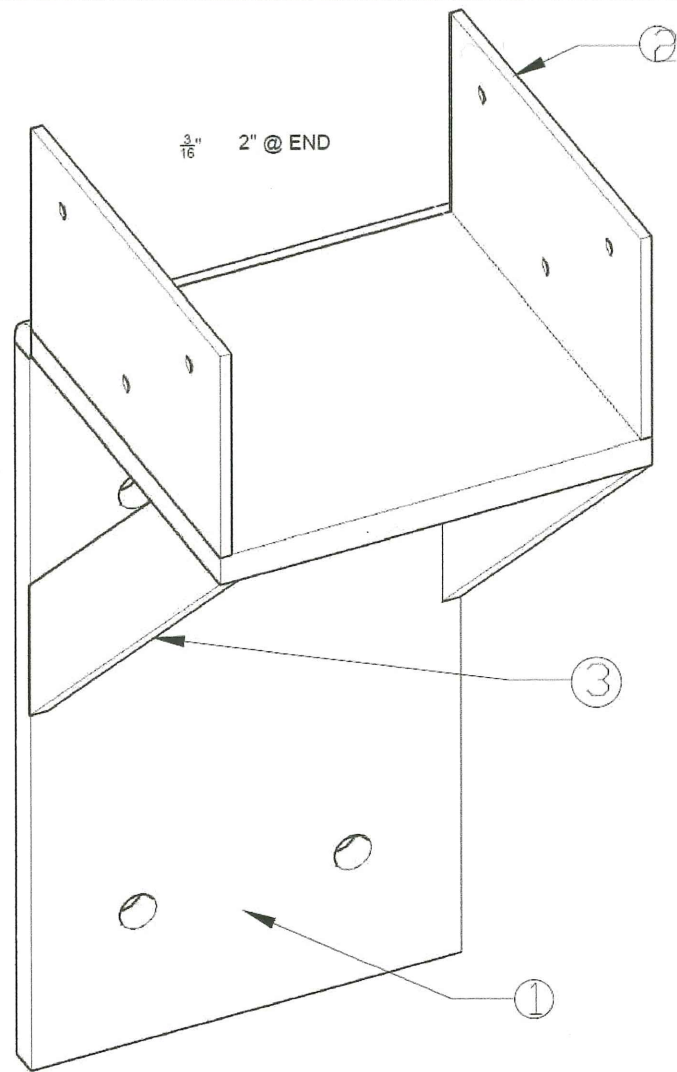
DRAWING:
PAVILION
SECTION

DATE: MAR-04-2024
REVISED: -
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A4.01

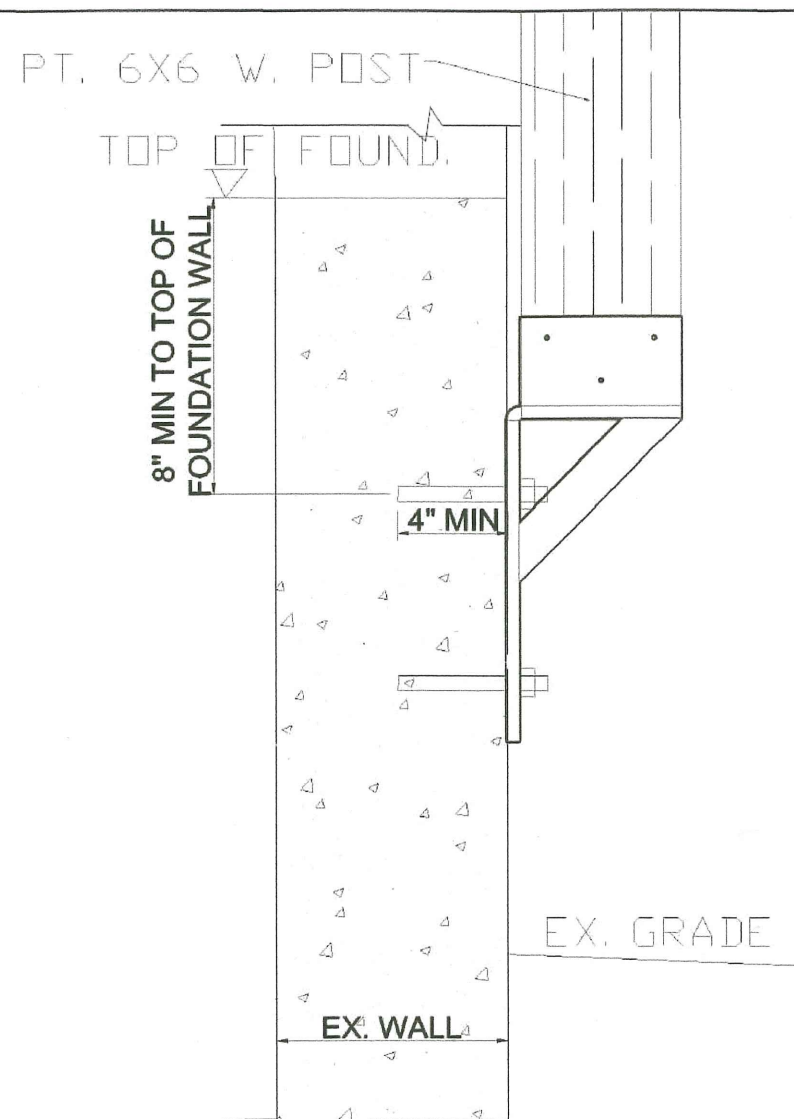


ITEM NO.	DIMENSION	QTY.
1	(11.5+6) X 6 X $\frac{3}{8}$ BENT PLATE	1
2	PL 5 $\frac{1}{2}$ X 3 X $\frac{1}{8}$	2
3	PL 7 $\frac{1}{2}$ X 1 $\frac{1}{2}$ X $\frac{1}{4}$	2



GENERAL NOTE:

- MAXIMUM LOAD 3,000LBS.
- STRUCTURAL STEEL SHALL CONFORM TO CSA G40.21 GRADE 300W OR 350W.
- WELDING SHALL BE MADE WITH E49XX(E70XX) ELECTRODES IN ACCORDANCE WITH CSA W59 BY A WELDER QUALIFIED UNDER CSA W47.1.
- THE FABRICATOR SHALL BE CERTIFIED TO THE REQUIREMENTS OF CSA W47.1.
- WELDS CONNECTING MAIN MEMBERS IN THE JOINTS TO BE FILLET AS SHOWN.
- ANCHORS DESIGN AND CONCRETE EMBEDMENT BY OTHER CONTRACTORS.



DRAWN BY YF	DATE	SCALE AS SHOWN	CHECKED BY BW	DWG NO.
PROJ. TITLE WOOD DECK		DWG. TITLE WOOD COLUMN BRACKET		
Revision / Issue		No.	1	2
		No.	2	3
LHW ENGINEERING LTD.		23 Canham Cres. Toronto, ON M1S 2H7 T: 416-299-8837, 647-923-4818 lhw.engineering@gmail.com		
THE DECK STORE INC.		454 South Service Rd. West, Oakville, ON, L6K 2H4 T: 905-337-7707 Deckstore.ca		

REVISIONS:

#	DATE	REVISION



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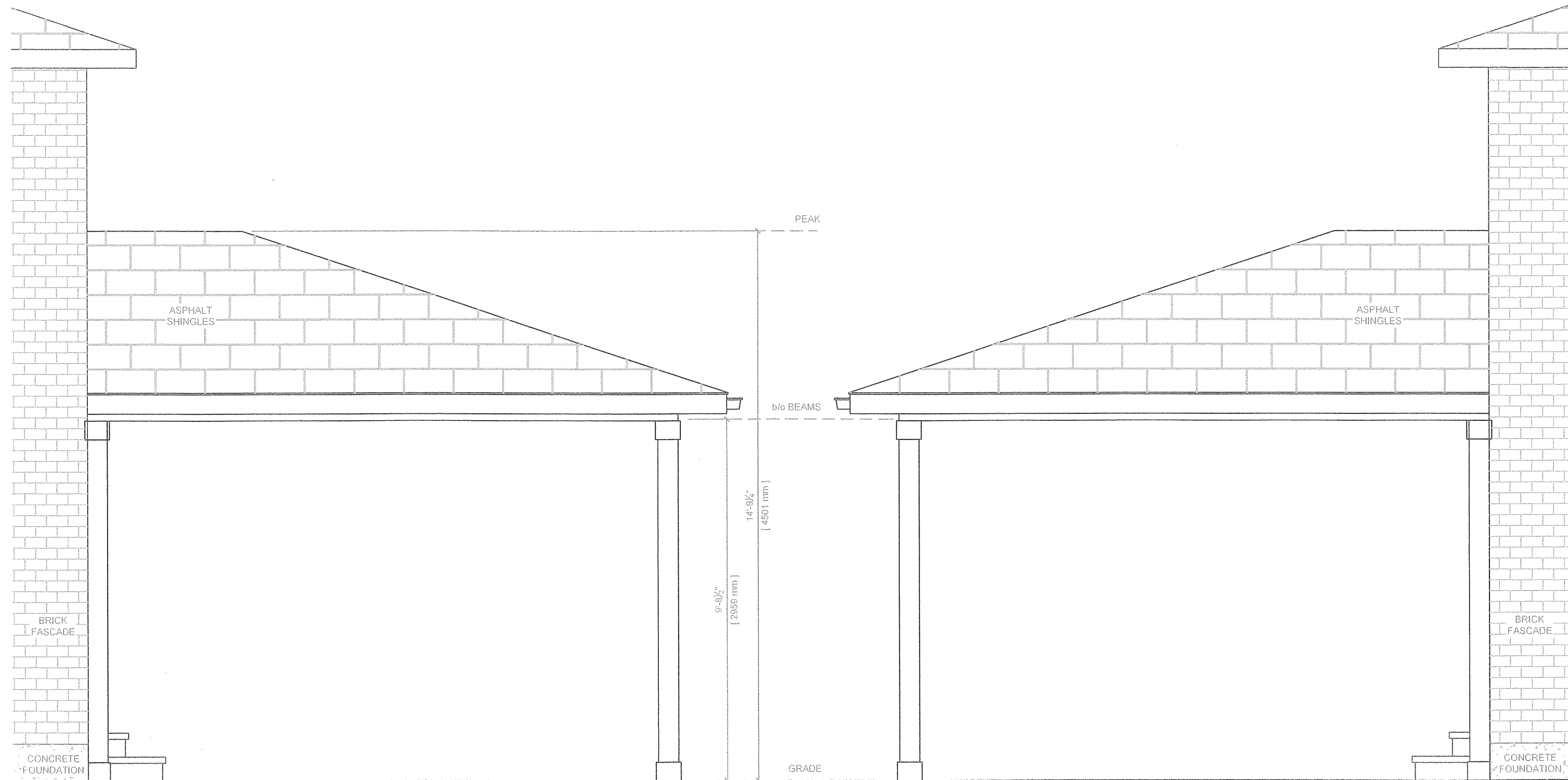
19 ROBERTSON ROAD
HAMILTON, ON

DRAWING:

PAVILION
FOUNDATION BRACKET

DATE: MAR-04-2024
REVISED: -
PAPER SIZE: 11"x17"
SCALE: NTS

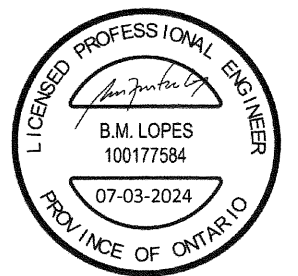
A3.01



① LEFT ELEVATION
SCALE: 1:35

② RIGHT ELEVATION
SCALE: 1:35

REVISIONS:		
#	DATE	REVISION



PROJECT ADDRESS:	
19 ROBERTSON ROAD HAMILTON, ON	
DRAWING:	
PAVILION SIDE ELEVATIONS	
DATE:	MAR-04-2024
REVISED:	-
PAPER SIZE:	11"x17"
SCALE:	AS NOTED

A2.02



REVISIONS:

#	DATE	REVISION



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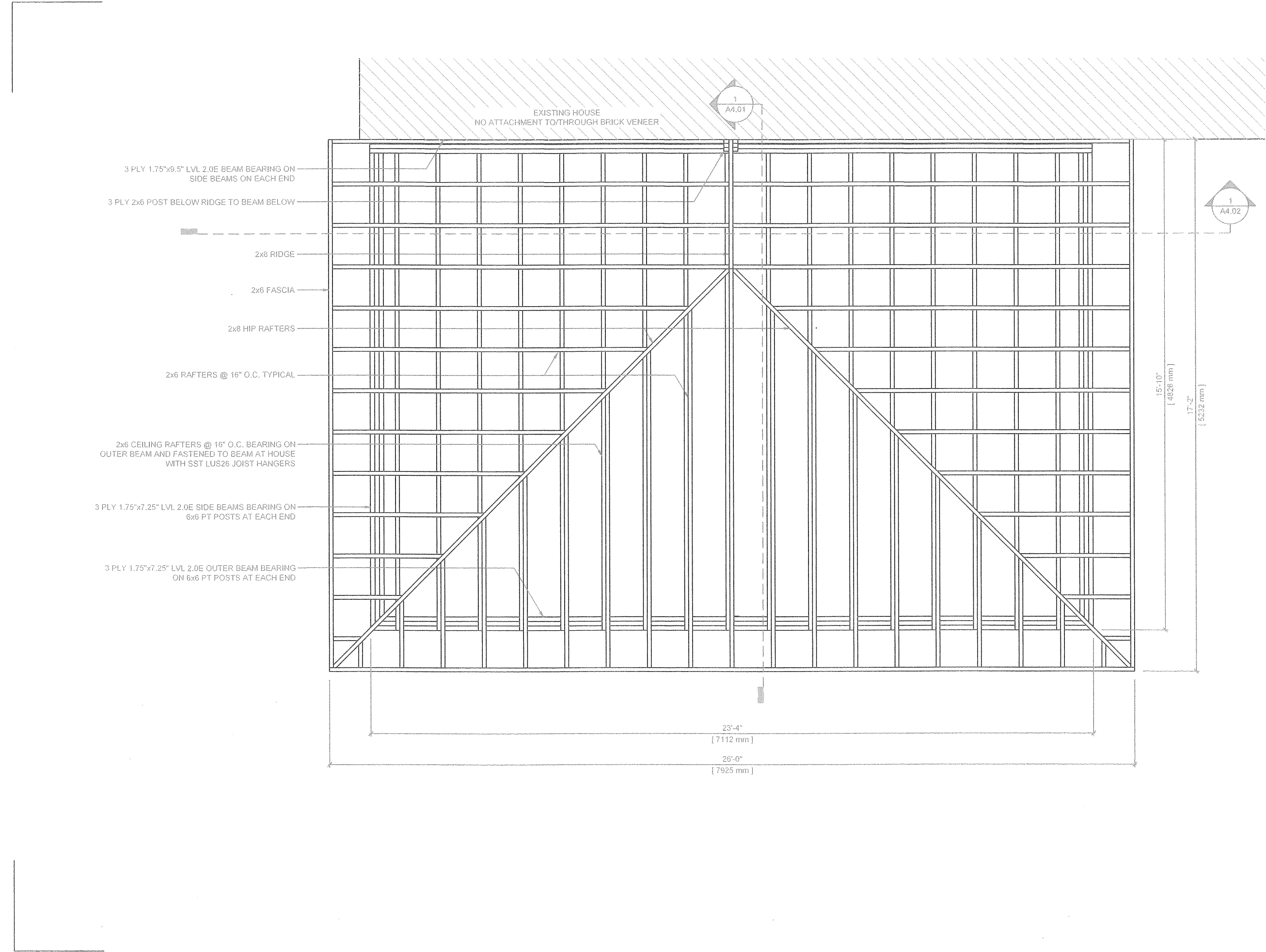
19 ROBERTSON ROAD
HAMILTON, ON

DRAWING:

PAVILION
FRONT ELEVATION

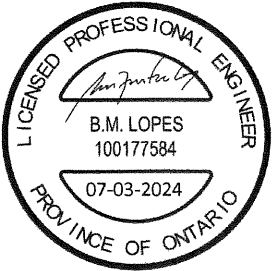
DATE: MAR-04-2024
REVISED: -
PAPER SIZE: 11"x17"
SCALE: 1:30

A2.01



REVISIONS:

#	DATE	REVISION

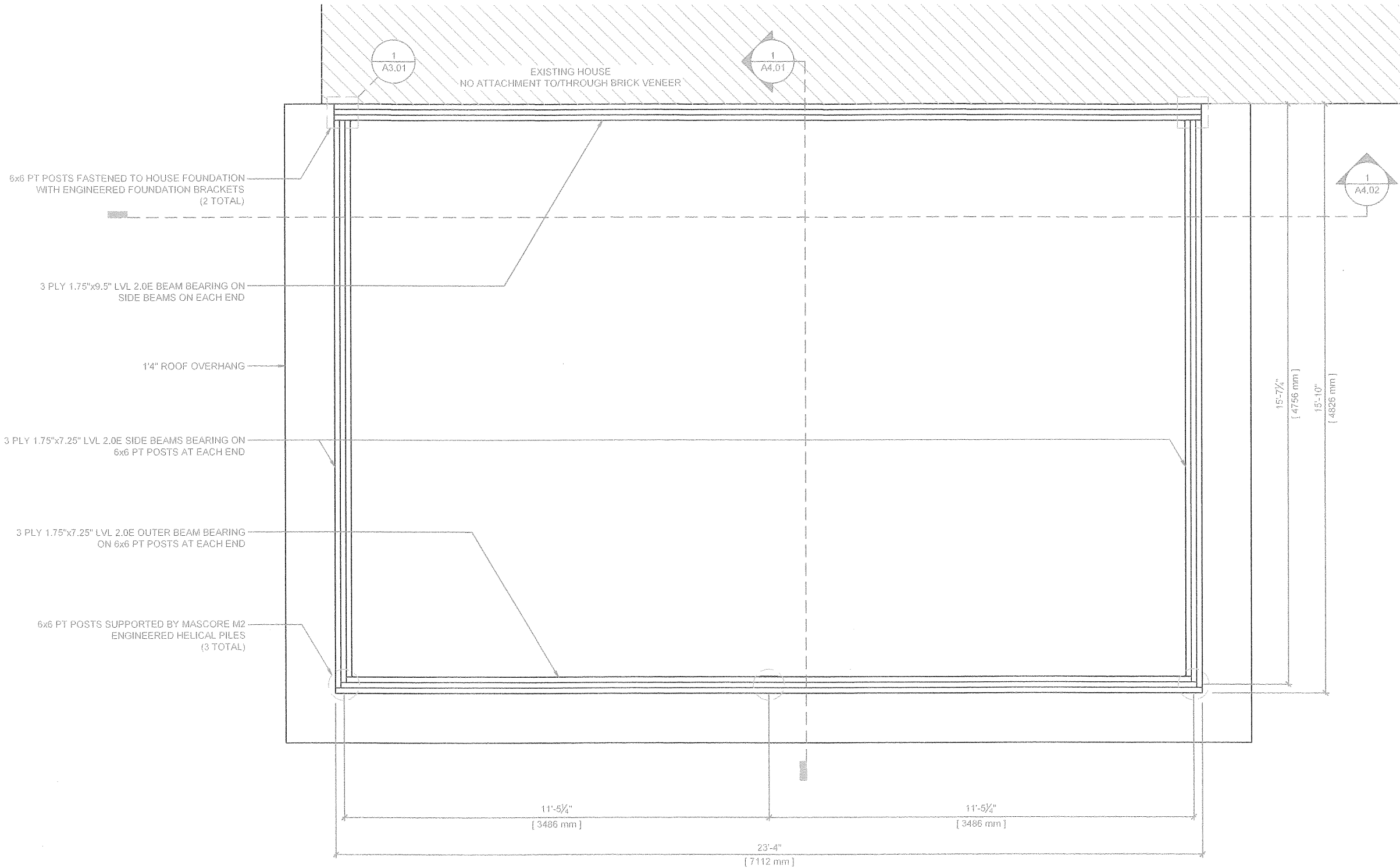


PROJECT ADDRESS:
19 ROBERTSON ROAD
HAMILTON, ON

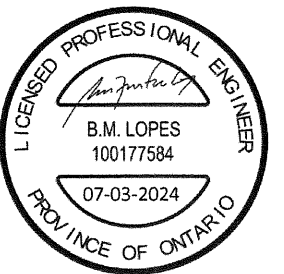
DRAWING:
PAVILION
FRAMING PLAN

DATE:	MAR-04-2024
REVISED:	-
PAPER SIZE:	11"x17"
SCALE:	1:35

A1.02



REVISIONS:		
#	DATE	REVISION



PROJECT ADDRESS:
19 ROBERTSON ROAD
HAMILTON, ON

DRAWING:
PAVILION
FOUNDATION & BEAM PLAN

DATE:	MAR-04-2024
REVISED:	-
PAPER SIZE:	11"x17"
SCALE:	1:35

A1.01

19 ROBERTSON ROAD
HAMILTON, ON
PAVILION

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A2.02	SIDE ELEVATIONS
A3.01	FOUNDATION BRACKET
A4.01	SECTION
A4.02	SECTION
SP1.01	SITE PLAN

REVISIONS:		
#	DATE	REVISION
PROJECT ADDRESS:		
19 ROBERTSON ROAD HAMILTON, ON		
DRAWING:		
PAVILION COVER PAGE		
DATE:	MAR-04-2024	A1.00
REVISED:	-	
PAPER SIZE:	11"x17"	
SCALE:		



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	- Harrinarine Ramkissoo - Amrita Ramkissoo
Applicant(s)	Harrinarine Ramkissoo Amrita Ramkissoo
Agent or Solicitor	

	Phone:
	E-mail:

1.2 All correspondence should be sent to ☐ Purchaser ☐ Owner
☒ Applicant ☐ Agent/Solicitor

1.3 Sign should be sent to ☐ Purchaser ☐ Owner
☒ Applicant ☐ Agent/Solicitor

1.4 Request for digital copy of sign ☒ Yes* ☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email ☒ Yes* ☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	19 Robertson Rd, Ancaster. L9K 0H7		
Assessment Roll Number	140280388240000		
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Building a Pavillion

Required ^{rear} setback
7m, Proposed 3.22m.

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

set back is not enough.

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
44.95	99.05	4452 ft ²	

- 4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Please
See engineer drawing

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Home				Moved in Sept 2018 New Build.

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction

- 4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Detached Home.	137 m ²	296.4 275.36 m ²	2	

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Pavilion	492 m ²	296.4 353 sq ft	1	

- 4.4 Type of water supply: (check appropriate box)
☒ publicly owned and operated piped water system
☐ privately owned and operated individual well

- ☐ lake or other water body
☐ other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
☒ publicly owned and operated storm sewers
☐ swales

- ☐ ditches
☐ other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage
☐ system privately owned and operated individual
☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☐ municipal road, seasonally maintained
☒ municipal road, maintained all year
- ☐ right of way
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Personal enjoyment Pavilion.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

*Purchased home from
builder and moved in
2018, Sept.*

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

single detached

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

single detached

7.4 Length of time the existing uses of the subject property have continued:

5 yrs.

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) *✓ Business Park.*

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? *RS-525*

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

☐ Yes

☒ No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☐ Yes

☐ No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

I would like to built a pavilion for personal use. It appears that the set back is 7m at the rear and 1.2 m at the sides.
Please See attached engineer drawings for complete proposed structure.
Based on my knowledge, the proposed structure is 24 x 15.6 feet which will not comply with the zoning restrictions. Please see worksheet from the building permit department

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☐ Application Fee
- ☐ Site Sketch
- ☐ Complete Application form
- ☐ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
- ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study
