



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:87	SUBJECT PROPERTY:	1850 Barton Street E, Hamilton
ZONE:	“C7” (Arterial Commercial)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: Access Self Storage Inc.
 Applicant: Corbett Land Strategies Inc.

The following variances are requested:

1. A minimum 1.6m building setback to a street line shall be permitted, instead of the minimum 18.0m building setback to a street line required.
2. A minimum 1.5m interior side yard abutting a Residential or Institutional Zone or a lot containing a residential use shall be permitted instead of the minimum 4.5m minimum interior side yard abutting a Residential or Institutional Zone or a lot containing a residential use required.

PURPOSE & EFFECT: To facilitate the establishment of a self storage facility;

Notes:

1. Variances have been written exactly as requested by the applicant.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, May 21, 2024
TIME:	2:55 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)

	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment
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For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon May 17, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon May 17, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:87, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: May 2, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-977-1654.

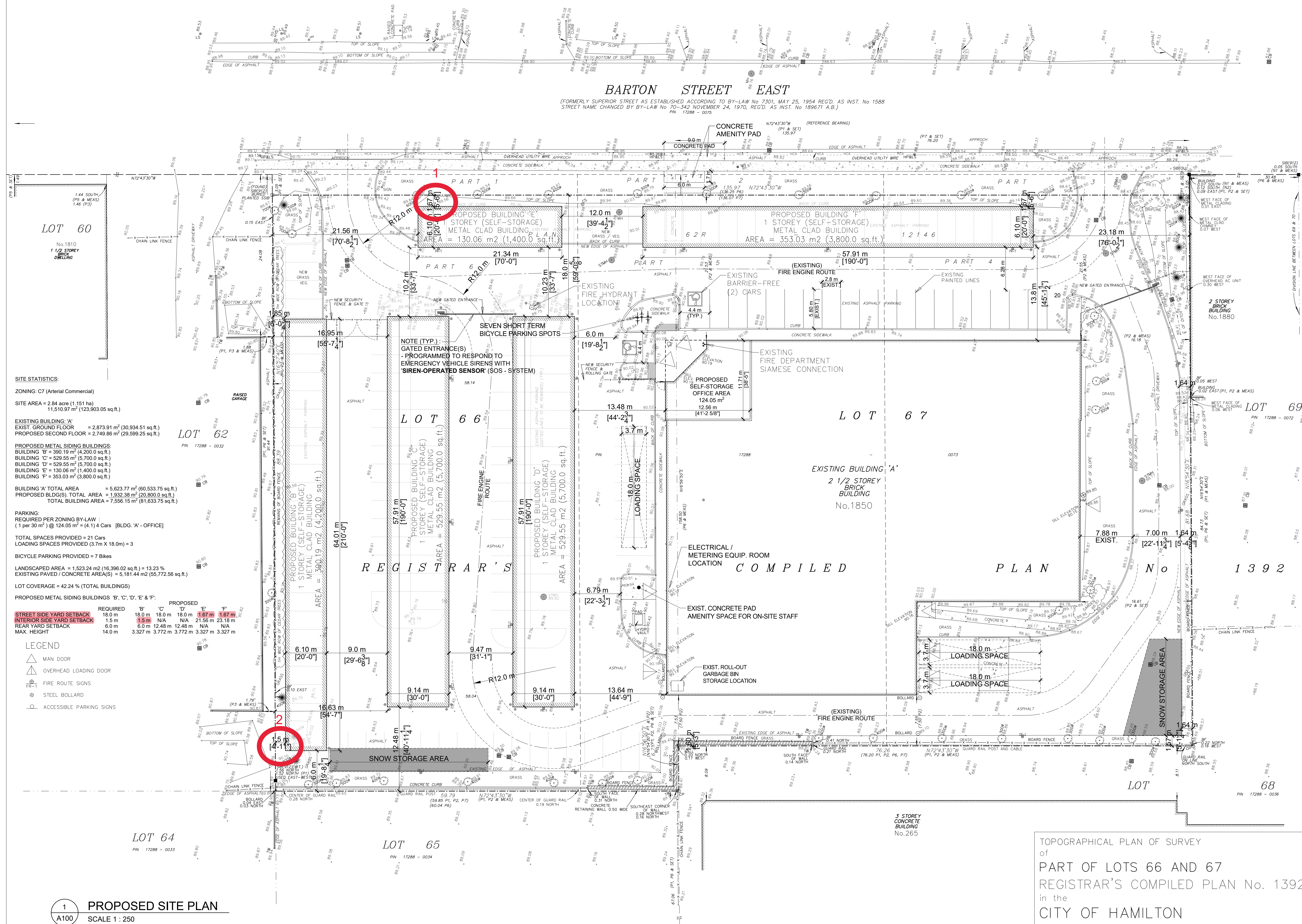
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

All material herein remains property of the architect noted below.

THE GENERAL CONTRACTOR SHALL REPORT AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY:

Consultant: Surveyor
A.J. Clarke and Associates Ltd.
 25 Main Street West, Suite 300
 Hamilton, ON, L8P 1H1
 Tel: (905) 528-8761



SITE STATISTICS:
 ZONING: C7 (Arterial Commercial)
 SITE AREA = 2.84 acre (1,151 ha)
 11,510.97 m² (123,903.05 sq ft.)

EXISTING BUILDING 'A'
 EXIST. GROUND FLOOR = 2,873.91 m² (30,934.51 sq ft.)
 PROPOSED SECOND FLOOR = 2,749.86 m² (29,599.25 sq ft.)

PROPOSED METAL SIDING BUILDINGS:
 BUILDING 'B' = 390.19 m² (4,200.0 sq ft.)
 BUILDING 'C' = 529.55 m² (5,700.0 sq ft.)
 BUILDING 'D' = 529.55 m² (5,700.0 sq ft.)
 BUILDING 'E' = 130.06 m² (1,400.0 sq ft.)
 BUILDING 'F' = 353.03 m² (3,800.0 sq ft.)

BUILDING 'A' TOTAL AREA = 5,623.77 m² (60,533.75 sq ft.)
 PROPOSED BLDG(S) TOTAL AREA = 1,932.38 m² (20,800.0 sq ft.)
 TOTAL BUILDING AREA = 7,556.15 m² (81,633.75 sq ft.)

PARKING:
 REQUIRED PER ZONING BY-LAW:
 (1 per 30 m²) @ 124.05 m² = (4.1) 4 Cars [BLDG. 'A' - OFFICE]

TOTAL SPACES PROVIDED = 21 Cars
 LOADING SPACES PROVIDED (3.7m X 18.0m) = 3

BICYCLE PARKING PROVIDED = 7 Bikes

LANDSCAPED AREA = 1,523.24 m² (16,396.02 sq ft.) = 13.23 %
 EXISTING PAVED / CONCRETE AREA(S) = 5,181.44 m² (55,772.56 sq ft.)

LOT COVERAGE = 42.24 % (TOTAL BUILDINGS)

PROPOSED METAL SIDING BUILDINGS 'B', 'C', 'D', 'E' & 'F':

REQUIRED	B'	C'	D'	E'	F'
STREET SIDE YARD SETBACK	18.0 m	18.0 m	18.0 m	1.67 m	1.67 m
INTERIOR SIDE YARD SETBACK	1.5 m	N/A	N/A	21.56 m	23.18 m
REAR YARD SETBACK	6.0 m	6.0 m	12.48 m	N/A	N/A
MAX. HEIGHT	14.0 m	3.327 m	3.772 m	3.772 m	3.327 m

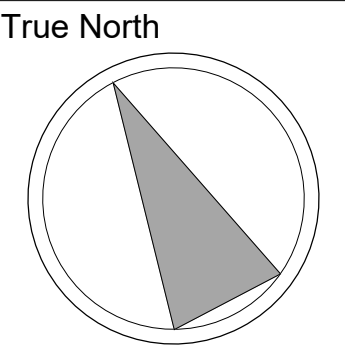
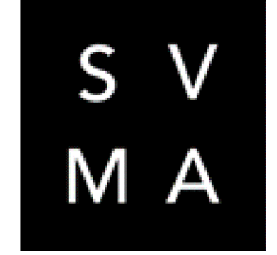
LEGEND

- MAN DOOR
- OVERHEAD LOADING DOOR
- FIRE ROUTE SIGNS
- STEEL BOLLARD
- ACCESSIBLE PARKING SIGNS

1 PROPOSED SITE PLAN
 A100 SCALE 1 : 250

TOPOGRAPHICAL PLAN OF SURVEY
 of
 PART OF LOTS 66 AND 67
 REGISTRAR'S COMPILED PLAN No. 1392
 in the
 CITY OF HAMILTON

STUDIO VMA INC.
 7 Colwyn Road, Toronto ON,
 416-937-8007



No.	Description	Date
1	Issued for Review	July 25/23
2	Issued to Consultants	Aug. 11/23
3	Issued for Pre-Consultation Review	Oct. 30/23
4	Issued for Re-Review	Jan. 25/24
5	Issued for Coordination	Mar. 18/24

Location
Storage Buildings
 1850 Barton Street East
 Hamilton, Ontario L8H 2Y6

Project Title
**Site Plan
 w/ Proposed Buildings**

Project number 23003
 Date JULY
 Drawn by D.D.
 Checked by V.M.

Scale as noted

A100



Tuesday, April 2, 2024

Committee of Adjustment

5th floor, 71 Main Street West
Hamilton, Ontario L8P 4Y5

Attn: Jamila Sheffield, Secretary-Treasurer, Committee of Adjustment

RE: **Application for Minor Variance**
1850 Barton Street East
Part of Lot 66 and 67
Registrar's Compiled Plan No. 1392
City of Hamilton

Dear Ms. Sheffield,

On behalf of Access Self Storage Inc. (Client), Corbett Land Strategies Inc (CLS) is pleased to provide the enclosed materials for a Minor Variance application on lands legally described as Part of Lot 66 and 67, Registrar's Compiled Plan No. 1392, municipally known as 1850 Barton Street East in the City of Hamilton (the "Subject Lands").

The Subject Lands are located east of Parkdale Avenue North, north of Melvin Avenue, and on the south side of Barton Street East. The lands have a site area of approximately 1.15 hectares (2.83 acres) with a street frontage of approximately 135.97metres along Barton Street East. The Subject Lands are surrounded by various commercial uses, including car dealerships to the north, hotel and home care to the west, and auto service-related uses to the east. The Subject Lands consist of an office commercial warehouse with a building footprint of approximately 2,843.91 square meters. The lands contain two existing ingress/ egress access driveways with one pedestrian access off Barton St E.

Background

On January 10, 2024, a development review meeting was held with various City departments and external agencies to review the proposed redevelopment of the Subject Lands, which comprises repurposing the existing building into a self-storage use and constructing two (2) new self-storage buildings. Consolidated comments were received in advance of the meeting, which included the Zoning Compliance Review that William Campbell performed on January 4, 2024. According to the zoning review, there is a deficiency in the side yard setback on the westerly (rear) portion where the proposed Building 'B' is located. As per section 10.7.3(c) of Hamilton Zoning By-law 05-200, the required minimum interior side yard abutting a residential or institutional zone or a lot

containing a residential use is 4.5 metres, whereas the proposed Building 'B' is setback at 1.5 meters. Given the zoning compliance review, a minor variance is required before submitting a Site Plan Control application.

Proposed Development

Following the formal consultation in January 2024, further updates were made to the proposed site plan. The updated proposed redevelopment will comprise of five (5) new self-storage buildings, namely Building B, C, D, E, and F, and a repurposing of the existing 2.5-storey building. The proposed buildings E and F front Barton Street East, and the proposed buildings B, C, and D are located on the west side of the existing building.

Site Statistics		Setbacks			
Site Area	2.84 acre (1.151 ha)	Front Yard Setback	Interior Side Yard Setback	Rear Yard Setback	Height
Lot Coverage	42.24%				
Vehicle Parking	21 spaces				
Bicycle Parking	7 spaces				
Loading Space	3 spaces				
Landscaped Area	1,523.24 m ² (13.23 %)				
Existing Building 'A'					
<ul style="list-style-type: none"> • Exist. Ground Floor • Proposed Second Floor 	2,873.91 m ² 2,749.86 m ²	17.97m	N/A	7.53m	2.5-storey
Building 'B' (Metal Siding)	390.19 m ²	17.97m	1.5m	6.0m	3.327m
Building 'C' (Metal Siding)	529.55 m ²	17.97m	N/A	12.48m	3.772m
Building 'D' (Metal Siding)	529.55 m ²	17.97m	N/A	12.48m	3.772m
Building 'E' (Metal Siding)	130.06 m ²	1.67m	21.56m	N/A	3.327m
Building 'F' (Metal Siding)	353.03 m ²	1.67m	23.18m	N/A	3.327m

Minor Variance Application.

Given the updates to the site plan, we completed a zoning compliance review based on the compliance review matrix that City staff provided to determine other zoning standard deficiencies on the site plan (see enclosed). Relief will be sought with respect to the provisions, as shown in the table below, to facilitate the proposed redevelopment of the Subject Lands.

	Required	Provided	Deficiency
Minimum Building Setback to a Street Line <small>[as per section 10.7.3(a) of Hamilton Zoning By-law 05-200]</small>	18.0 metres.	1.67 metres (Building E and F)	16.33 metres

<p>Minimum Interior Side Yard</p> <p>[as per section 10.7.3(c) of Hamilton Zoning By-law 05-200]</p>	<p>ii. 4.5 metres abutting a Residential or Institutional Zone or a lot containing a residential use.</p> <p>GIS mapping indicates that the westerly lot line abuts 221 Melvin avenues, a lot containing a residential use</p>	<p>Building B is setback at 1.5 metres.</p> <p>The property's rear (west lot line) side abuts a residential apartment building.</p>	<p>3 metres</p>
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Planning Justification for Minor Variance

In preparation for the subject application, the four tests of a Minor Variance as provided for in Section 45(1) of the *Planning Act, RSO 1990, c. P.13*, have been reviewed and addressed as follows:

1. General Intent and Purpose of the Official Plan is Maintained

The Subject Lands are designated as "Arterial Commercial" per the City of Hamilton Urban Official Plan, Schedule E-1 Land Use Designations. The Arterial Commercial designation permits a range of uses catering to the traveling or drive-by consumer and retail stores. Permitted uses include enclosed storage and mini warehousing.

The variance application does not seek any changes to the existing use of the lands. Rather, the proposed application proposes to expand the permitted use of self-storage. Based on the preceding, we believe that the requested minor variances maintain the general intent and purpose of the Official Plan.

2. General Intent and Purpose of the Zoning By-Law is Maintained

According to Hamilton's City-Wide Zoning By-law 05-200, the Subject Lands are zoned as "Arterial Commercial" (C7) Zone. A warehouse is permitted use, including a mini storage facility, under the provided definition of a warehouse (Section 3). Office use would be permitted as an accessory use. The proposed minor variances would seek to change the following zoning requirements:

i. To permit a minimum building setback of 1.67 metres to a street line for Buildings E and F, whereas 18.0 metres is required.

The proposed reduction to the required front yard setback will facilitate the construction of proposed Buildings E and F fronting Barton Street East. It is our opinion that this requested relief is minor in nature as the existing buildings to the east side of the property are built to the property line. Specifically, properties known as 1860, 1850, 1880, and beyond are not set back at 18 metres but are close to the property line. The proposed setbacks of storage buildings E and F are consistent with the existing setback of the surrounding area.

The proposed location of the two (2) new self-storage buildings is replacing some of the existing parking spaces visible from Barton Street. It is believed that this will have the affect of enhancing the overall public realm as the proposed self-storage buildings will screen the parking spaces off Barton Street. Lastly, the variance is being requested to maximize

development potential and use of the Subject Lands while in keeping with the permitted uses in the zoning by-law.

- ii. To permit a minimum interior side yard setback of 1.5 metres abutting a residential or institutional zone or a lot containing residential use, whereas 4.5 meters is required.

The proposed reduction to the interior side yard setback is technical in nature. As shown on Figure 1, the 57.91 metres in length of Building B is abutting a parking lot and only 6.1 metres of in length of Building B is abutting a residential lot. Given the size of the proposed Building B, a small portion of the self-storage building is setback at 1.5 metres. Therefore, the requested relief is minor in nature.

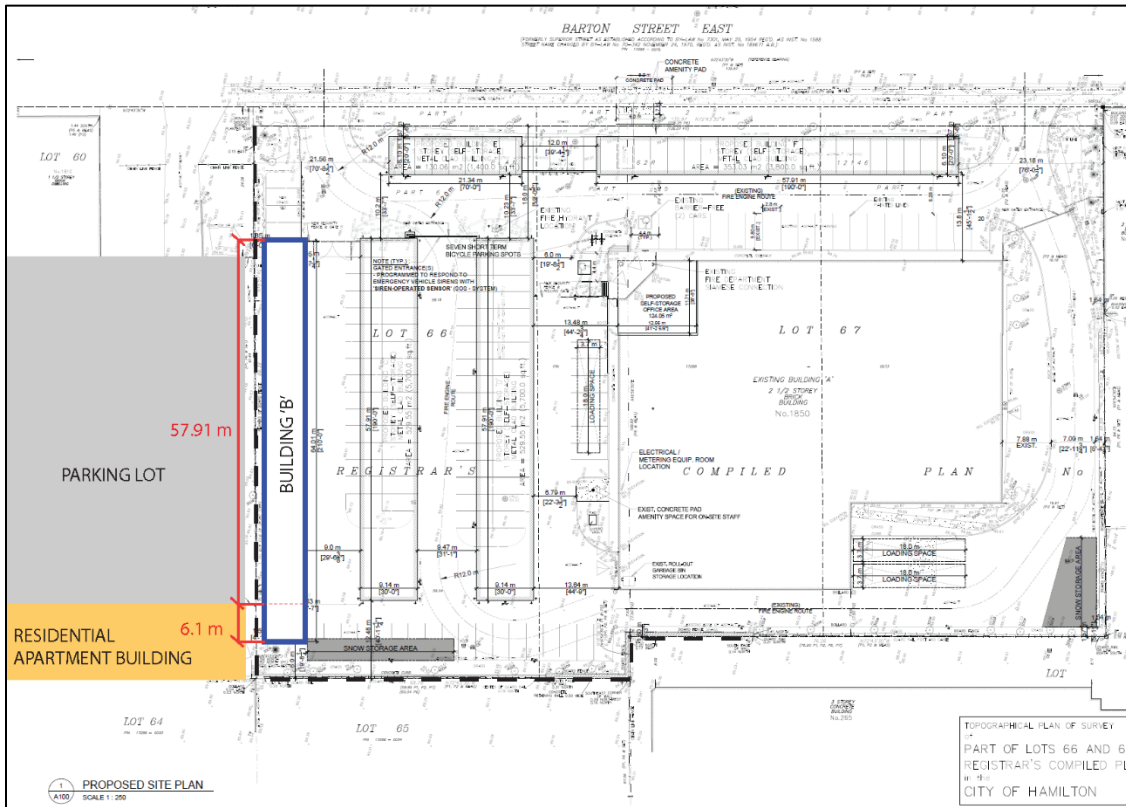


Figure 1 – Proposed setback of 1.5 metres to the residential lot.

Overall, the proposed variances are necessary to facilitate the proposed redevelopment of the Subject Lands. We believe that the proposed development and requested variances are consistent with the general intent and purpose of the Zoning Bylaw and represent good land use planning.

- 3. Desirable for the appropriate development or use

Approval of the proposed application will facilitate the establishment of a self-storage facility on the lands known as 1850 Barton Street East. The proposed warehouse use is permitted within the existing C7 zoning designation. The proposed variances will not change the use of the land and will be in keeping with the existing lot fabric and site characteristics of the surrounding area.

The proposed variances are appropriate given that the abutting properties to the east are built right on the property line, and the west lot line is largely abutting a parking lot. As such, no adverse impacts are anticipated.

For the above reasons, the proposed variances are desirable for the appropriate development of the subject lands.

4. Variance is Minor in Nature

The proposed variances for the Subject Lands are not anticipated to have any adverse physical or functional impact on the surrounding area. The proposed storage use is in keeping with the current zone of the Subject Lands and the site operations will not interrupt the existing uses of the surrounding area. Lastly, the proposed variances will facilitate the establishment of a self-storage facility on the lands known as 1850 Barton Street E Hamilton. For these reasons, the proposed variances are minor in nature.

Based on the above discussion, we believe that the proposed application for a Minor Variance satisfies the four tests of a minor variance pursuant to Section 45 (1) of the Planning Act and would, therefore, recommend that the Committee of Adjustment approve the application as proposed.

SUBMITTED MATERIALS

In accordance with the submission requirements, I have attached the following materials in support of our request:

1. One (1) copy of the completed and signed Consent Application form;
2. One (1) copy of the prescribed sketch;
3. One (1) copy of the Justification Letter; and,
4. One (1) copy of the Zoning Compliance Review by CLS.

Following this electronic submission, hard copies of the above submission materials will be provided upon request. The required fee of \$3,900.00 payable to the City of Hamilton will be arranged via cheque. Please include this application for Consent to Sever in your April 2024 meeting agenda.

We trust that you will find the above materials satisfactory. Should you have any questions, please do not hesitate to contact the undersigned.

Prepared by:



Jonabelle Ceremuga, RPP, MCIP
Senior Associate Development Planner
Corbett Land Strategies Inc.
jonabelle@corbettlandstrategies.ca

Section 10.7– C7 Requirements

In accordance with the City of Hamilton Zoning By-law 05-200

	Required By By-Law	Provided	Conforming/ Non-Conforming
Minimum Building Setback to a Street Line [as per section 10.7.3(a) of Hamilton Zoning By-law 05- 200]	18.0 metres.	<ul style="list-style-type: none"> • 1.67 metres (Building E and F) • 18.0 metres (Building B, C, and D) 	Non-Conforming
Minimum Rear Yard [as per section 10.7.3(b) of Hamilton Zoning By-law 05-200]	<ul style="list-style-type: none"> i. 6.0 metres; and, ii. 7.5 metres abutting a Residential or Institutional Zone or lot containing a residential use. 	<ul style="list-style-type: none"> • Building B is setback at 6.0 metres • Building C is setback at 12.48 metres • Building D is setback at 12.48 metres 	Conforms
Minimum Interior Side Yard [as per section 10.7.3(c) of Hamilton Zoning By-law 05-200]	<ul style="list-style-type: none"> i. 1.5 metres; and, ii. 4.5 metres abutting a Residential or Institutional Zone or lot containing a residential use. iii. GIS mapping indicates that the westerly lot line abuts 221 Melvin avenues, a lot containing a residential use 	<ul style="list-style-type: none"> • Building B is setback at 1.5 metres. <p>The rear (west) side of the property is abutting a residential apartment building.</p>	Non-Conforming
Maximum Height [as per section 10.7.3(d) of Hamilton Zoning By-law 05- 200]	14.0 metres.	<ul style="list-style-type: none"> • Building B is 3.327 metres • Building C is 3.772 metres • Building D is 3.772 metres • Building E is 3.327 metres • Building F is 3.327 metres 	Conforms
Visual Barrier Requirement [as per section 10.7.3(e) of Hamilton Zoning By-law 05-200]	A visual barrier shall be required along any lot line abutting a Residential Zone or Institutional Zone property line in accordance with the requirements of Section 4.19 of this By-law.	Subject lands do not abut any such zone	N/A

<p>Planting Strip Requirements [as per section 10.7.3(f) of Hamilton Zoning By-law 05-200]</p>	<p>Where a property lot line abuts a property lot line within a Residential Zone or an Institutional Zone and not a Laneway, a minimum 1.5 metre wide Planting Strip shall be provided and maintained.</p>	<p>Subject lands do not abut any such zone</p>	<p>N/A</p>
<p>Outdoor Storage [as per section 10.7.3(g) of Hamilton Zoning By-law 05-200]</p>	<ul style="list-style-type: none"> i. The display of goods or materials for retail purposes accessory to a Retail use shall only be permitted on the front, side, and rear yard; ii. Notwithstanding 10.7.3g)i), an outdoor storage area shall not be located on a planting strip, or required parking or loading area; iii. An Outdoor storage area shall be located 6.0 metres from a Residential or Institutional Zone or lot containing a residential use, or from a lot line fronting onto a street, and shall be screened or fenced from view; and, iv. An outdoor storage area attached to a building shall not exceed 500 square metres, or an area equivalent to 5% of the Gross Floor Area, whichever is lesser. 	<p>Outdoor storage is not proposed on the site.</p>	<p>N/A</p>

Parking

In accordance with section 5 of Hamilton Zoning By-law 05-200

	Required By By-Law	Provided	Conforming/ Non-Conforming
Parking location [as per section 5.1 a) of Hamilton Zoning By-law 05-200]	i) Required parking facilities shall be located on the same lot as the use requiring the parking	All proposed parking is provided on the same lot as the use requiring it	Conforms
Parking location [as per section 5.1 v) of Hamilton Zoning By-law 05-200]	Unless otherwise regulated in this By-law, parking spaces and aisles, giving direct access to abutting parking spaces, excluding driveways extending directly from the street, shall be subject to the following a) Shall not be located within 3.0 metres of a street line, b) Shall provide a 3.0 metre wide planting strip being required and permanently maintained between the street line and the said parking spaces or aisle, except for that portion of a lot line abutting the Red Hill Valley Parkway and the Lincoln Alexander Parkway; and, c) Where a Planting Strip is provided, as per b) above, any architectural wall or feature within the Planting Strip shall be limited to a maximum height of 0.6 metres	New parking spaces are proposed well beyond 3.0m from the street line	Conforms
Parking space size [as per section 5.2 b) i) of Hamilton Zoning By-law 05-200]	Unless permitted by another regulation in this By-law, parking space sizes shall be: i) Minimum 2.8 metres in width and 5.8 metres in length;	New proposed 90 degree parking spaces provided as 2.8m x 5.8m	Conforms
Ingress and egress [as per section 5.2 c) of Hamilton Zoning By-law 05-200]	All required parking shall be provided as follows: i. With adequate means of ingress and egress to and from the street or laneway without the necessity of moving any other motor vehicle;	Parking provided with adequate means of ingress and egress without the need to move another vehicle	Conforms
	ii. Shall be arranged so as to not interfere with normal public use of the street or laneway	Parking arranged to not interfere with the regular public use of a street	Conforms

	<p>iii. Shall be accessed by means of an access driveway:</p> <ol style="list-style-type: none"> 1. Located on the lot; or, 2. Located party on the lot in the case of a mutual driveway; or, 3. By means of a Right-of-Way. 	Access provided on the lot	Conforms
	<p>iv. Any parking lot shall provide for ingress and egress of vehicles to and front a street in a forward motion only</p>	Parking provided in such a way that ingress and egress is in a forward motion only	Conforms
<p>Parallel parking [as per section 5.2 d) of Hamilton Zoning by-law 05-200]</p>	Each parallel parking space shall have a minimum width of 2.4 metres and a minimum length of 6.7 metres. End spaces which have a clear, unobstructed approach, shall have a minimum length of 5.5 metres.	Parallel parking spaces provided as 2.4m x 6.7m	Conforms
<p>Surface material [as per section 5.2 e) of Hamilton zoning By-law 05-200]</p>	<p>ii) Parking Lots in All Zones, except the Rural Classification Zones a) Shall be designed and maintained with stable surfaces such as asphalt, concrete or other hard surfaced material.</p>	Asphalt surface material identified	Conforms
<p>Barrier free parking size [as per section 5.2 f) of Hamilton Zoning By-law 05-200]</p>	Notwithstanding Subsection b) herein, in the case of a barrier free parking, each parking space shall have a minimum width of 4.4 metres and a minimum length of 5.8 metres	Barrier free parking spaces provided as 4.4m x 5.8m	Conforms
<p>Aisle width [as per section 5.2 i) of Hamilton Zoning By-law 05-200]</p>	90 degree parking angle 6.0m aisle width required	6.0m aisle width provided throughout the parking area	Conforms
<p>Loading facilities [as per section 5.2.1 of Hamilton Zoning By-law 05-200]</p>	The location of loading doors and associated loading facilities shall be subject to the following:	Loading area not provided within the front yard	Conforms
	<ol style="list-style-type: none"> a) Shall not be permitted within a Front Yard; b) Shall not be permitted in any yard abutting a street, except where screened from view by a Visual Barrier in accordance with Section 4.19 of this By-law; and, c) Shall not be permitted in a required yard 	<p>Loading area not provided in a yard abutting a street</p> <p>Loading area not provided in required yard abutting a residential zone, or institutional zone. Board fence (visual barrier) is indicated to south of the loading area</p>	Conforms

	abutting a Residential Zone or an Institutional Zone and shall be screened from view by a Visual Barrier in accordance with Section 4.19 of this By-law		
Barrier free parking requirement [as per section 5.5 of Hamilton Zoning By-law 05-200]	1-49 parking spaces required 1 barrier free parking space	3 barrier free parking spaces provided	Conforms
Required parking [as per section 5.6 a) of Hamilton Zoning By-law 05-200]	Warehouse parking requirement; One space for each 30 square metres of gross floor area that accommodates the office component of the use Determination; <ul style="list-style-type: none"> ➤ 124.05m² of office space ➤ 124.05m²/ 30 = 4.135 spaces Therefore minimum 4 parking spaces required	It appears that 21 parking spaces have been provided on site	Conforms
Bicycle parking location [as per section 5.7 a) of Hamilton Zoning By-law 05-200]	ii. Short-term Bicycle Parking Space shall be located within a bicycle parking area at grade	Short term bicycle spaces are provided at grade	Conforms
Short term bicycle parking requirement [as per section 5.7 c) of Hamilton Zoning by-law 05-200]	Commercial uses not listed 5 spaces required	Site plan indicates 7 short term spaces are provided	Conforms
<ol style="list-style-type: none"> 1. Sign details have not been provided. All signage shall conform to Hamilton Sign By-law 10-197. A Building permit(s) is required for all signage 2. Fencing details have not been provided. All fencing shall conform to Hamilton Fence By-law 10-142. 3. Construction of the proposed new buildings are subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setback and construction types 4. The designer shall ensure that the fire access route conforms to the Ontario Building Code 			



Hamilton

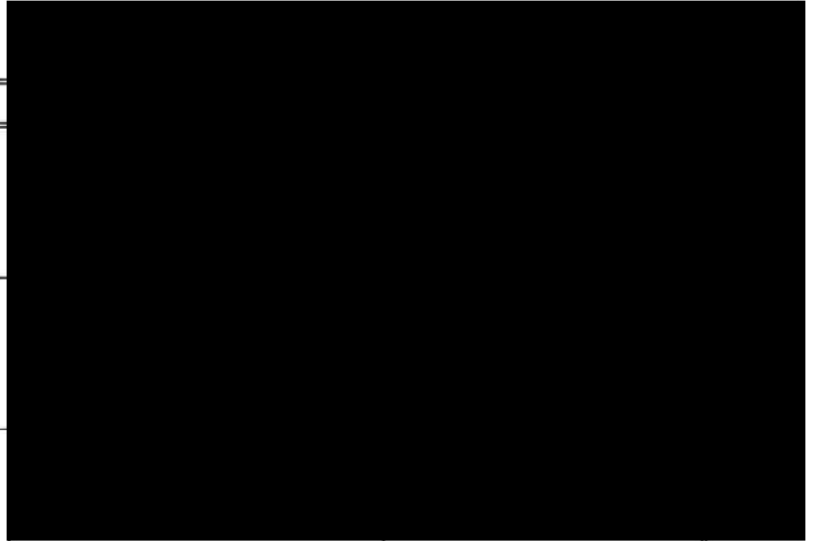
Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Access Self Storage Inc.
Applicant(s)	Corbett Land Strategies Inc.
Agent or Solicitor	



1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

In person

Cheque

Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1850 Barton Street E		
Assessment Roll Number			
Former Municipality			
Lot	Part of Lot 66 & 67	Concession	
Registered Plan Number	1392	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

To seek relief from required front yard and side yard setbacks.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The site plan is proposing to add five (5) buildings for storage purposes.

Required Front yard - 18 metres

Required Sideyard (abutting residential) - 4.5 metres

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

Proposed Building E and F are located fronting Barton Street, which are setback at 1.67 metres, while the required setback is 18 metres. The rear (west) side of the property is abutting a residential apartment building which require a 4.5 metres setback and a small portion of Building is setback at 1.5 metres.

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
135.97	88.39	1.15	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
2 1/2 Storey Brick Building	18m	7.55	East - 16.52 / West - 57.99	03/26/2024

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Building B (Self Storage)	17.97	6	West (rear) 1.5	03/26/2024
Building C (Self Storage)	17.97	12.48	-	03/26/2024
Building D (Self Storage)	17.97	12.48	-	03/26/2024
Building E (Self Storage)	1.67	-	west - 21.56	03/26/2024
Building F (Self Storage)	1.67		west - 23.18	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
2 1/2 Storey Brick Building	2,873.91	5,623.77	2.5	

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Building B (Self Storage)	390.19	390.19	1	3.327
Building C (Self Storage)	529.55	529.55	1	3.772
Building D (Self Storage)	529.55	529.55	1	3.772
Building E (Self Storage)	130.06	130.06	1	3.327
Building F (Self Storage)	353.03	353.03	1	3.327

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)
-

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)
-

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

To re-purpose the existing building for a self-storage use (Building A). In addition, the approval of five (5) new metal siding buildings to be constructed on site (Building B, C, D, E, & F) for self-storage.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

West (Parking lot); West (Rear) (Residential Apartment); South (Commercial); East (Commercial)

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

Unknown

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Commercial - Automotive Sales

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Vacant Building

7.4 Length of time the existing uses of the subject property have continued:

Unknown

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): - _____

Rural Settlement Area: - _____

Urban Hamilton Official Plan designation (if applicable) Arterial Commercial

Please provide an explanation of how the application conforms with the Official Plan.

The Arterial Commercial designation is intended to cater to the traveling or drive-by consumer as well as provide for land extensive retail stores which require outdoor storage or sales and cannot be appropriately accommodated in the other designations. Enclosed storage and mini warehousing are permitted uses.

7.6 What is the existing zoning of the subject land? _____

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 5

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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