

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:77	SUBJECT PROPERTY:	44 Normanhurst Avenue, Hamilton
ZONE:	"R1" (Low Density Residential)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended 22-197

APPLICANTS: Owner: Zack Perugini
Agent: Cristian Arias – Zoltan Engineering

The following variances are requested:

1. A minimum setback of 0.9 metres to a rear or side lot line shall be permitted instead of the minimum required setback of 1.2 metres to a rear or side lot line for an Accessory Building;
2. A maximum lot coverage of 32.7 m² (9.61%) shall be permitted instead of a maximum Gross Floor Area of 25.5 m² (7.5%) for an Accessory Building.

PURPOSE & EFFECT: So as to permit an Accessory Building within the rear yard of an Existing Single Detached Dwelling notwithstanding that:

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, May 21, 2024
TIME:	3:00 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

A-24:77

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

PUBLIC INPUT

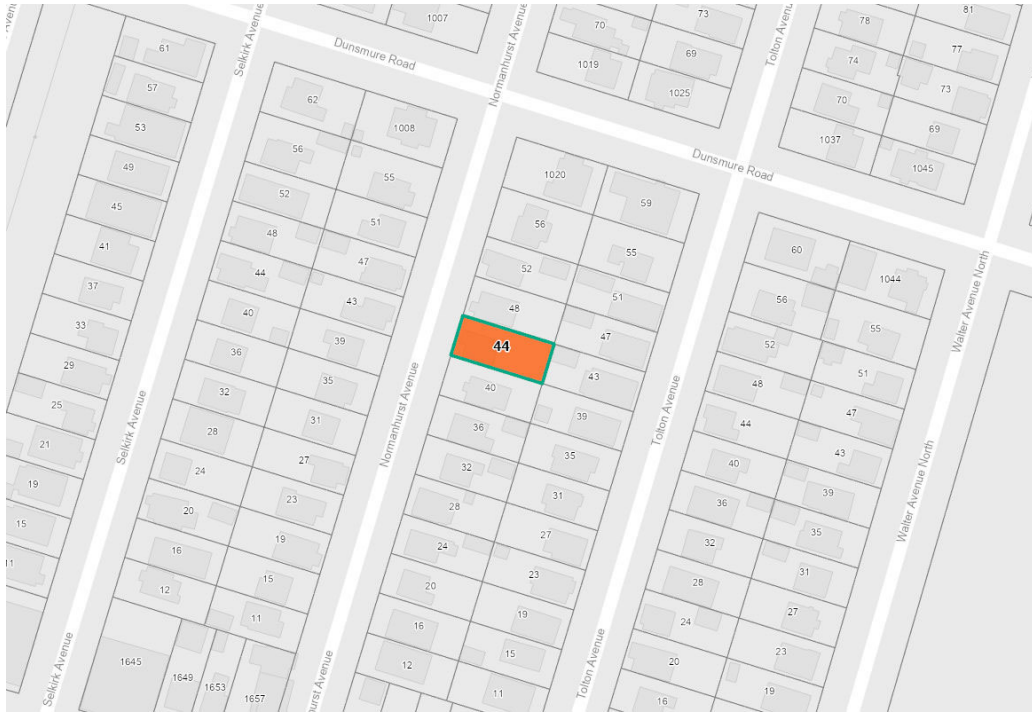
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon May 17, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon May 17, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:77, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: May 2, 2024

**Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment**

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

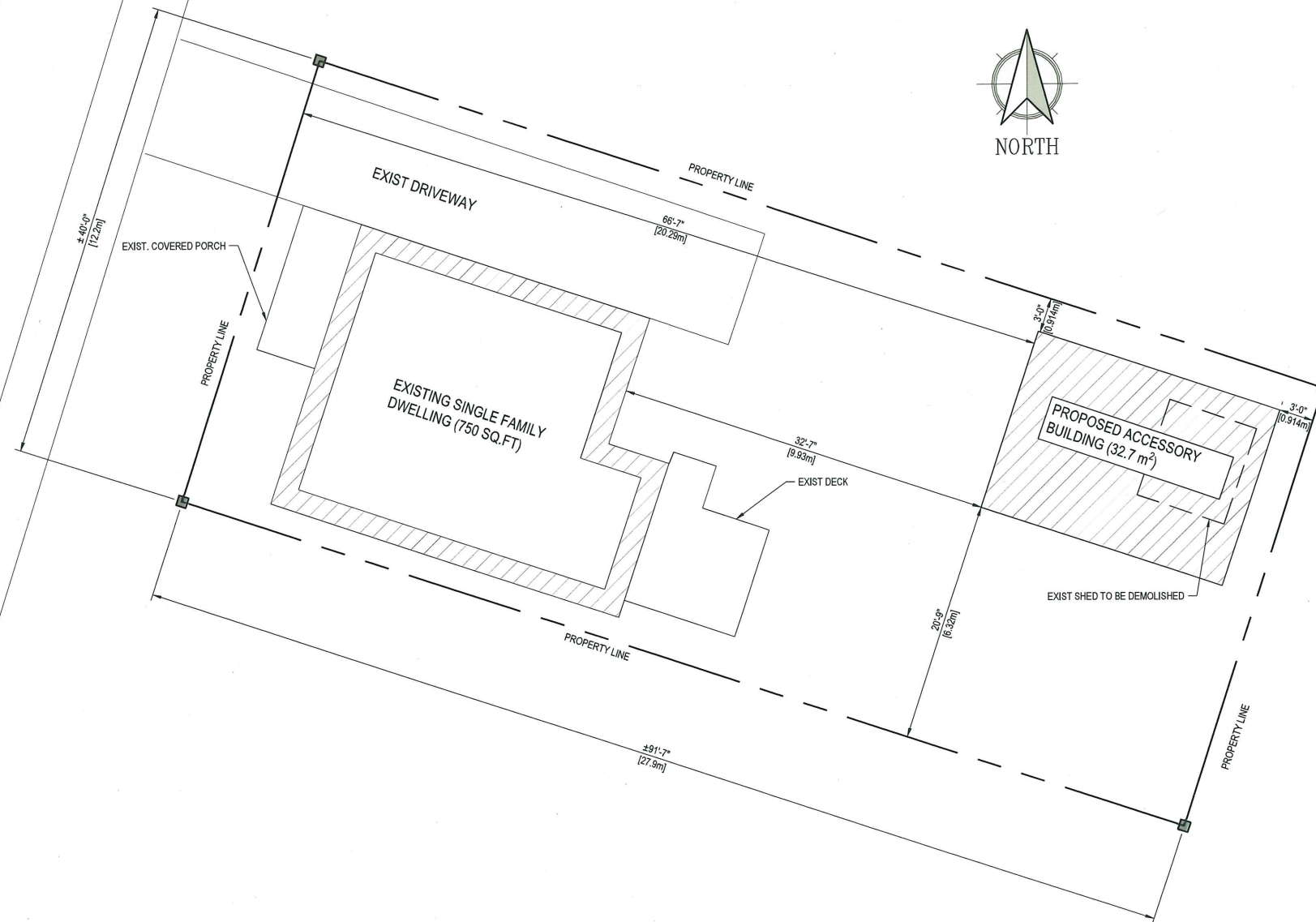
We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-977-1654.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

NORMANHURST AVE

ZONING STATISTICS - 44 NORMANHURST AVE, ON

ITEM	REQUIRED	PROVIDED	COMPLIANCE
LOT COVERAGE	[MAX. 25m ²]	[32.7m ²]	N
MINIMUM SETBACK FROM SIDE LOT LINE	1.2m	0.9m	N
MINIMUM SETBACK FROM REAR LOT LINE	1.2m	0.9m	N
MAXIMUM BUILDING HEIGHT	4.5m	4.5m	Y



1 LOT PLAN
Scale: 1/8" = 1'-0"

NOTE: LOT PLAN BASED OFF
MUNICIPAL GIS INFORMATION AND
PROVIDED DOCUMENTS OF THE
EXISTING PROPERTY

KEY MAP

THESE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE BY THE PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS ENTERED INTO A CONTRACT AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY THE DESIGN PROFESSIONAL TO ANY PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS NOT ENTERED INTO A CONTRACT.

DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS AND OMISSIONS TO THE ENGINEER. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS MARKED AS "ISSUED FOR CONSTRUCTION", CERTIFIED AND DATED.

REV.	DATE	REMARKS
0	20MAR24	ISSUED FOR APPROVAL

ZOLTAN
ENGINEERING

25-4380 SOUTH SERVICE ROAD
BURLINGTON, ON L7L 5Y6
(905) 331 - 8307
WWW.ZOLTANENGINEERING.COM

PROJECT TITLE

44 NORMANHURST AVE

PROPOSED ACCESSORY BUILDING

DRAWING TITLE

LOT PLAN

SCALE	AS NOTED
DATE	AS NOTED
DRAWN	CA
DESIGNED	ZL
CHECKED	ZL



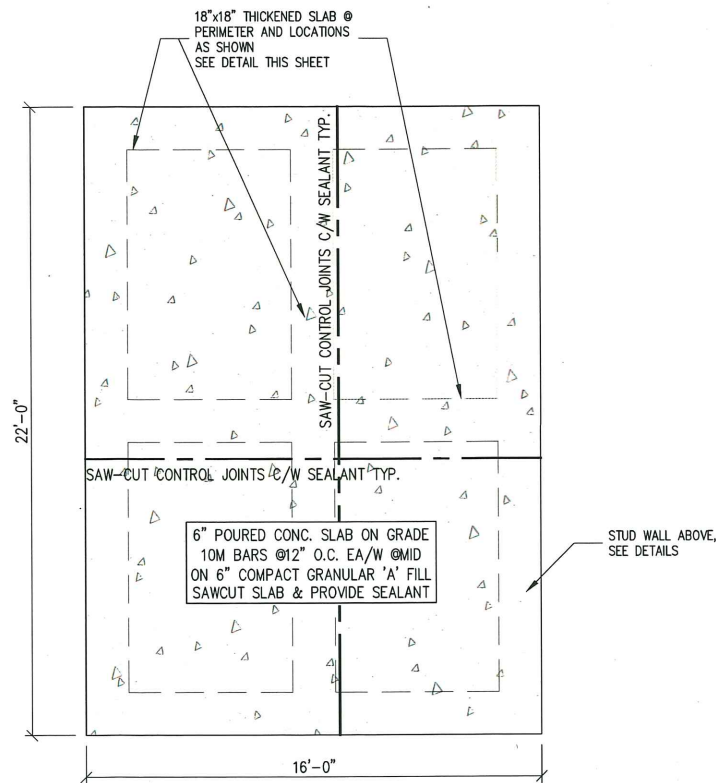
PROJECT NO.

24-950

SHEET NO.

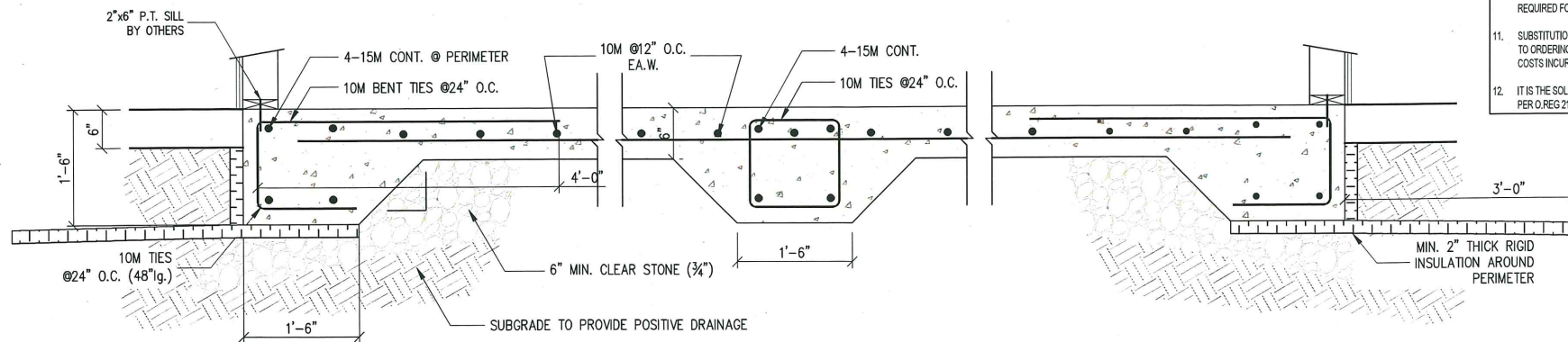
A0





1 FOUNDATION PLAN
Scale: 1/4" = 1' - 0"

NOTE:
SUBGRADE SHALL HAVE POSITIVE DRAINAGE.
PROVIDE COMPACT GRANULAR AS REQUIRED.
REMOVE ALL TOPSOIL & ORGANICS PRIOR TO SLAB
PREPARATION. SLAB SHALL BE POURED ON SOLID
UNDISTURBED SOIL.



2 SECTION
Scale: 3/4" = 1' - 0"

CONCRETE

- ALL CONCRETE WORK TO CONFORM TO CSA STANDARDS A23.1-14, A23.2-14, & A23.3-14
- CONCRETE FLOOR AND FOUNDATIONS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPa AT 28 DAYS UNLESS NOTED OTHERWISE ON PLANS.
- ALL REINFORCING STEEL SHALL CONFORM TO CSA SPECIFICATION G30.18-M82 GRADE 400. FOR CONCRETE PROTECTION TO BARS SEE PLAN.
- SPACING AND CONCRETE COVER FOR REINFORCING STEEL SHALL CONFORM TO CSA A23.1 & CSA A23.2 UNLESS NOTED OTHERWISE.
 - CONCRETE CAST AGAINST EARTH: 76mm (3")
 - PIERS AND WALL: 38mm (1 1/2")
 - EXPOSED TO DE-ICING CHEMICALS: 64mm (2 1/2")
 - INTERIOR SLABS AND BEAMS: 38mm (1 1/2")
- CONCRETE PROPERTIES:
 - ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 25MPa MINIMUM UNLESS OTHERWISE SPECIFIED.
 - EXTERIOR CONCRETE SLABS TO BE CLASS C-2 CONCRETE (28 DAY COMPRESSIVE STRENGTH OF 32MPa) WITH AIR ENTRAINMENT.
 - INTERIOR CONCRETE SLABS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 25MPa, 0.55 MAX. WATER-CEMENT RATIO.
 - CONCRETE MIX DESIGN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO USE AT JOB SITE.
- LAP ALL REINFORCING BARS AT LEAST 20 DIAMETERS OR MINIMUM OF 1'-0" (300mm) UNLESS NOTED OTHERWISE ON ALL PLANS.
- SLUMP OF CONCRETE TO BE 76mm ± 25mm (3" ± 1") OR AS OTHERWISE SPECIFIED. CONCRETE WITH 110mm (4 1/2") SLUMP OR MORE IS TO BE REJECTED.
- ALL OPENINGS IN CONCRETE SLAB OR WALLS SHALL BE TRIMMED WITH 2-15M BARS, HEAD, JAMBS, AND SILL. ALSO SEE DETAILS.
- ALL PRECAST CONCRETE SLAB DESIGN, FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH CSA A23.4-16.
- INSTALL ANCHOR BOLTS OR MISCELLANEOUS ITEMS SUPPLIED BY OTHERS FOR INSTALLATION IN THE CONCRETE WORK.
- CONTROL JOINTS: IN CONCRETE SLABS ON GRADE, MAXIMUM SPACING 25'-0" (7500mm) AREAS NOT TO EXCEED 625 FT² IN FOUNDATION WALLS MORE THAN 82'-0" (25m) LONG AT INTERVALS NOT TO EXCEED 48'-9" (15m).

FOUNDATIONS

- ALL FOOTINGS SHALL BE FOUNDED ON NATURALLY CONSOLIDATED UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD (SEE PLAN) AT LEAST 2'-6" (750mm) BELOW ORIGINAL (NOT FILL) GRADE.
- FOOTING ELEVATIONS ARE BASED ON ESTIMATE ONLY, IF UPON EXCAVATING TO THE SPECIFIED ELEVATIONS IT IS FOUND THAT THE ABOVE CONDITIONS ARE NOT MET OR THAT THEY HAVE BEEN MET AT HIGHER ELEVATIONS, THE FOOTING ELEVATION MAY BE ADJUSTED WITH THE ENGINEER'S PERMISSION.
- MINIMUM DEPTH FOR EXTERIOR FOOTINGS IS 4'-0" (1200mm) BELOW FINISHED GRADE.
- CENTRE ALL CAPS AND FOOTINGS UNDER COLUMNS EXCEPT AS NOTED OTHERWISE ON THE PLANS.
- DURING COLD WEATHER, PROTECT SOIL BENEATH AND ADJACENT TO FOOTINGS FROM FREEZING. DO NOT CAST FOUNDATION ON FROZEN MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR MANAGING SURFACE & GROUND WATER DURING CONSTRUCTION AND TO ENSURE FOUNDATIONS ARE CAST ON DRY UNDISTURBED SOIL.
- UNLESS SPECIFIED BY THE ENGINEER, DO NOT EXCEED A RISE OF 7" IN A RUN OF 10" IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS EXCAVATIONS OR ALONG STEPPED FOOTINGS. USE STEPS NOT EXCEEDING 24" (500mm) IN HEIGHT AND NOT LESS THAN 48" (1200mm) IN LENGTH.
- WHERE NECESSARY, THE CONTRACTOR SHALL LOWER FOOTINGS TO ACCOMMODATE DRAIN LINES, ETC.
- DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (UNLESS DESIGNED FOR CANTILEVER) UNTIL FLOOR CONSTRUCTION AT TOP AND BOTTOM OF THE WALLS IS POURED AND SET.
- BACKFILLING AGAINST FOUNDATION WALLS TO BE DONE SO THAT THERE IS NEVER MORE THAN 1'-6" (450mm) DIFFERENCE IN LEVEL, ONE SIDE TO THE OTHER, EXCEPT AS NOTED IN PARAGRAPH 9, ABOVE.
- WHERE SLAB ON GRADE IS USED TO TIE THE TOP OF THE WALL RETAINING EARTH, ADEQUATE SHORING AND BRACING MUST BE PROVIDED WHILE FILL IS BEING PLACED AND COMPACTED, AND MUST BE LEFT IN PLACE UNTIL SLAB IS POURED AND GAINED 75% OF ITS ULTIMATE STRENGTH.
- ANCHOR ALL CONCRETE BLOCK FOUNDATION WALLS TO CONCRETE PIERS WITH 2-10M x 4'-0" (1200mm) EVERY SECOND BLOCK COURSE. CAVITIES WITH BARS SHALL BE FILLED SOLID WITH GROUT.
- ALL WALL FOOTING 4" (100mm) PROJECTION AND 8" (200mm) DEPTH UNLESS NOTED OTHERWISE ON PLANS.

GENERAL

- THE DESIGN AND CONSTRUCTION OF ALL WORK ON THIS PROJECT IS TO CONFORM TO THE ONTARIO BUILDING CODE - 2012 INCLUDING ALL AMENDMENTS, AND THE RELEVANT LISTED CSA STANDARDS INCLUDING THE LATEST REVISIONS.
- READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL AND SERVICES DRAWINGS AND OTHER CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONED DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- DO NOT EXCEED DESIGN LIVE LOAD DURING CONSTRUCTION.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS - O. REG. 213/91.
- THE CONTRACTOR SHALL RETAIN AN INDEPENDENT INSPECTION AND TESTING COMPANY TO ENSURE THAT ALL WORK IS DONE IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. TESTING SHALL INCLUDE REINFORCING STEEL PLACEMENT, CONCRETE TESTS, SOIL BEARING AND COMPACTION TESTS, AND STRUCTURAL STEEL.
- IT IS THE RESPONSIBILITY OF BOTH THE OWNER AND THE CONTRACTOR TO NOTIFY THE ENGINEER OF REQUIRED INSPECTION AND TESTING. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A CONSTRUCTION SCHEDULE PRIOR TO STARTING THE WORK. GENERALLY, INSPECTION BY THE ENGINEER WILL BE REQUIRED FOR REBAR PRIOR TO CONCRETE PLACEMENT, FOOTING AND FOUNDATIONS PRIOR TO BACKFILLING, AND ABOVE GRADE FRAMING PRIOR TO INSTALLATION OF INTERIOR FINISHES.
- SITE VISITS AND REVIEWS BY THE DESIGN ENGINEER OR REPRESENTATIVE ARE INTENDED FOR THE PURPOSE OF ASCERTAINING GENERAL CONFORMANCE WITH THE DESIGN CONCEPT. THE SITE REVIEWS DO NOT MEAN THAT THE DESIGN ENGINEER HAS SEEN ALL OF THE CONSTRUCTION OR CONSTRUCTION PROCEDURES.
- REVIEW OF CONSTRUCTION BY THE DESIGN ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS AND OMISSIONS AND FOR MEETING ALL THE REQUIREMENTS OF THE CONSTRUCTION AND CONTRACT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH THE REMOVAL OF FINISHES REQUIRED FOR INSPECTIONS OR TESTING THAT IS COVERED BEFORE INSPECTIONS ARE COMPLETED.
- SUBSTITUTIONS FROM SPECIFIED PRODUCTS AND MATERIALS MUST BE APPROVED BY THE ENGINEER PRIOR TO ORDERING OF MATERIALS. THE CONTRACTOR SHALL REIMBURSE ALL CONSULTANT FOR ADDITIONAL COSTS INCURRED AS A RESULT OF REVIEWING ANY CHANGES MADE TO THE CONTRACT DOCUMENTS.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN ALL SHORING AND TEMPORARY BRACING PER O. REG. 213/91 AND THE CONTRACTOR SHALL RETAIN AN ENGINEER AS REQUIRED.

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0	20MAR24	ISSUED FOR APPROVAL
REV.	DATE	REMARKS
ZOLTAN ENGINEERING 4380 S Service Road, Suite #25 Burlington, ON L7L 5Y6 905.331.8307 www.zoltanengineering.com		

PROJECT TITLE

44 NORMANHURST AVENUE
PROPOSED ACCESSORY BUILDING

DRAWING TITLE

FOUNDATION PLAN & DETAILS

SCALE	AS NOTED
DATE	20MAR24
DRAWN	CA
DESIGNED	ZL
CHECKED	ZL



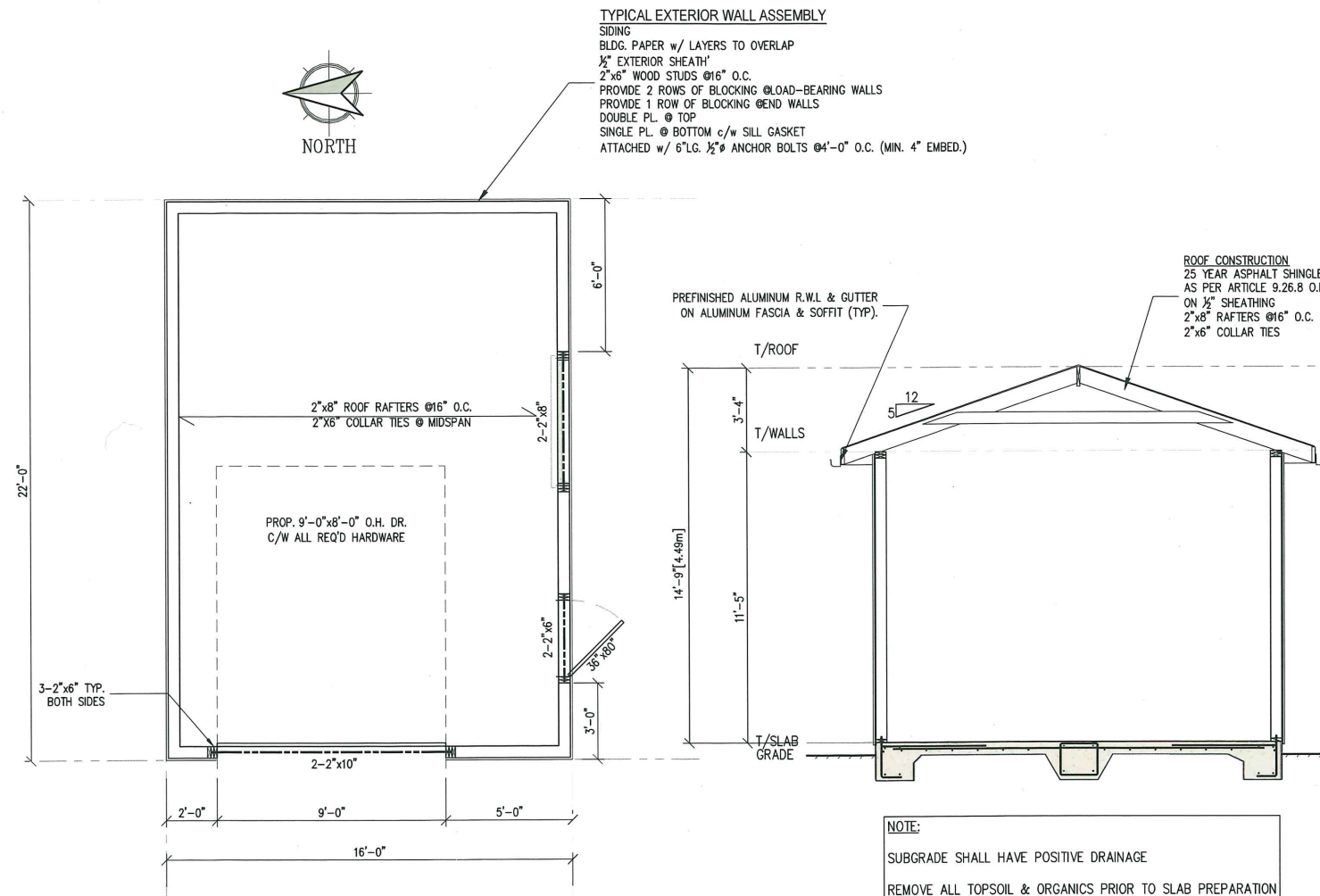
PROJECT No.

24-950

SHEET No.

A1





- TIMBER**
- ALL WOOD MATERIALS, FABRICATION, BRACING, AND ERECTION PROCEDURES TO BE IN ACCORDANCE WITH CSA 086-14, ALL TIMBER GRADING TO BE IN ACCORDANCE WITH NLGA.
 - ALL TIMBER FOR RAFTERS, LINTELS, AND BEAMS TO BE SPF #2 UNLESS NOTED ON PLAN.
 - ALL TIMBER SHALL CONFORM TO RECOGNIZE NOMINAL SIZES SHOWN ON PLAN AND STRESS RATINGS FOR APPROPRIATE SPECIES. NO TIMBER SHALL BE USED THAT DOES NOT CONFORM TO DIMENSIONS AND SPECIES.
 - MINIMUM NUMBER OF FASTENERS PER OBC 9.23.3.4
 - THE USE OF AIR NAILS ARE ACCEPTABLE TO SUBSTITUTING (x2) 3" COMMON WIRE NAILS WITH (x3) 3"x120 PROSTRIP TYPE AIR NAILS
 - ALL JOIST HANGERS TO BE HUS BY SIMPSON STRONG TIE OR APPROVED EQUIVALENT. USE HOT-DIPPED GALVANIZED FINISH STEEL FOR EXTERIOR WORK.
 - SHEATHING
 - ROOF SHEATHING: 1/2" PLYWOOD
 - EXTERIOR WALLS: 1/2" EXTERIOR TYPE PLYWOOD
 - ALL SHEATHING SHALL BE FASTENED TO THE STUD FRAMING WITH MINIMUM 3" COMMON NAILS @12" O.C. IN THE FIELD, AND @8" O.C. AT SUPPORTED EDGES, REFER TO PLANS FOR ALL ADDITIONAL SHEAR WALL/DIAPHRAGM BLOCKING AND NAILING.
 - BOLTS AND THREADED RODS TO BE A307 OR 300W GRADE
 - ALL WOOD TO BE PRESSURE TREATED MATERIAL PER CAN/CSA-080 "WOOD PRESERVATION" INCLUDING BUT NOT LIMITED TO THE FOLLOWING LOCATIONS:
 - INSTALLED EXTERIOR TO BUILDING
 - INCORPORATED WITH ROOFING SYSTEMS
 - INSTALLED AT EXTERIOR IN CONTACT WITH ROOFING SYSTEM
 - INSTALLED IN CONTACT WITH CONCRETE AND MASONRY
 - ALL TRUSSES MUST BE FABRICATED IN ACCORDANCE WITH OBC/NBC PART 4 AND TRUSS PLATE INSTITUTE.
 - TRUSS FABRICATOR SHALL SUPPLY ALL NECESSARY PLANS INCLUDING PLACING DRAWING SHOWING LOCATION, LOADINGS ALLOWABLE STRESSES, TEMPORARY AND PERMANENT BRACINGS, AND SHALL BEAR A SEAL OF A PROFESSIONAL ENGINEER.
 - ALL HANDLING AND ERECTION OF TRUSSES TO BE IN ACCORDANCE WITH TRUSS SUPPLIERS REQUIREMENTS.
 - ALL TRUSSES MUST BE ANCHORED TO SUPPORTS WITH TIE DOWN METAL FRAMES.

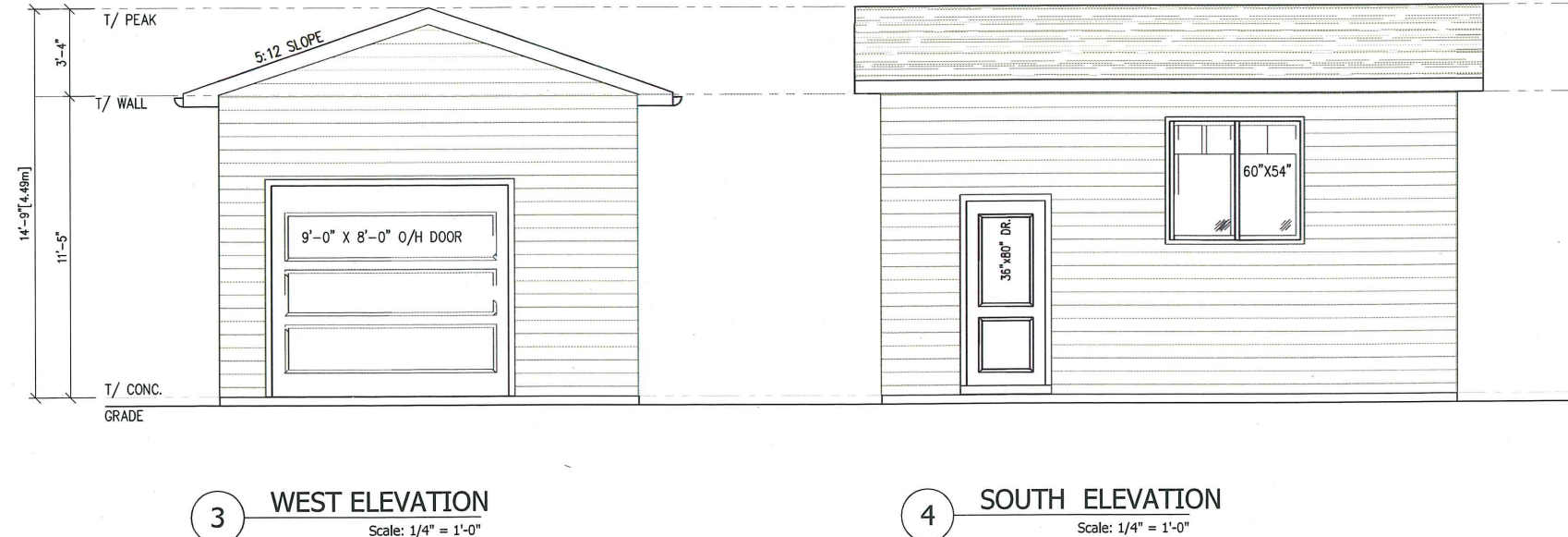
- CLADDING**
- ALL APPLICATIONS OF CLADDING SHALL CONFORM TO SECTION 9.27 OF THE ONTARIO BUILDING CODE (2012).
 - INSTALLATION OF CLADDING SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
 - SEALING
 - FASTENING
 - AIR GAPS
 - OVERLAPS
 - PENETRATIONS

CLIMATIC DATA
 (HAMILTON, BELOW ESCARPMENT, E OF 403)

Ss = 1.1 kPa
 Sr = 0.4 kPa
 q (150) = 0.46 kPa

IMPORTANCE CATEGORY: NORMAL

ROOF LOADS
 DEAD LOAD = 0.96 kPa (20 psf)
 SNOW LOAD = 1.00 kPa (21 psf)



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0	20MAR24	ISSUED FOR APPROVAL
REV.	DATE	REMARKS

ZOLTAN ENGINEERING
 4380 S Service Road, Suite #25
 Burlington, ON L7L 5Y6
 905.331.8307
 www.zoltanengineering.com

PROJECT TITLE

44 NORMANHURST AVENUE
 PROPOSED ACCESSORY BUILDING

DRAWING TITLE

PLAN, SECTIONS, ELEVATIONS

SCALE	AS NOTED
DATE	20MAR24
DRAWN	CA
DESIGNED	ZL
CHECKED	ZL



PROJECT No. 24-950
 SHEET No. A2



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Zack Perugini
Applicant(s)	Zack Perugini
Agent or Solicitor	Cristian Arias - Zoltan Engineering

1.2 Primary contact

☒ Applicant

☐ Owner

☐ Agent/Solicitor

1.3 Sign should be sent to

☒ Applicant

☐ Owner

☐ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes*

☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

☒ In person

☐ Credit over phone*

☐ Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	44 Normanhurst Avenue L8H 5M4		
Assessment Roll Number	050382021400000		
Former Municipality			
Lot		Concession	
Registered Plan Number	640	Lot(s) 755	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for: proposed accessory bldg
Side & Rear yard setback to be 3ft (0.9m) instead of required 1.2m.
Gross floor area of 32.7 sq.m vs max permitted of 25 sq m

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The accessory building is proposed in a manner that makes manoeuvring the property efficient, and provides enough room for vehicle parking + storage.

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
+/- 40'-0" (12.2m)	+/- 91'-7" (27.9m)	+/-3663sq ft (340 sqm)	+/- 8 m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Singe Family Dwelling Unit	+/- 2.4m	+/- 15.9m	+/- 0.6m & +/- 3.7m	

Proposed: see attached drawings

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Family dwelling unit	750 sq. ft	750 sq.ft	1	

Proposed: see attached drawings

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
- _____

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- ☒ publicly owned and operated sanitary sewage
☐ system privately owned and operated individual
☐ septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
- ☐ provincial highway
☒ municipal road, seasonally maintained
☐ municipal road, maintained all year
- ☐ right of way
☐ other public road
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Accessory building (Garage) to serve existing single family dwelling unit
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Detached Single family Dwelling unit

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
December 2023
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Detached single family dwelling unit
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Detached single family dwelling unit
- 7.4 Length of time the existing uses of the subject property have continued:
since construction of building
- 7.5 What is the existing official plan designation of the subject land?
- Rural Hamilton Official Plan designation (if applicable): _____
- Rural Settlement Area: _____
- Urban Hamilton Official Plan designation (if applicable) Neighbourhood
- Please provide an explanation of how the application conforms with the Official Plan.
Garage to serve the single family dwelling unit is consistent with neighborhood designation
- 7.6 What is the existing zoning of the subject land? R1
- 7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)
- ☐ Yes ☒ No
- If yes, please provide the file number: R1

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: _____

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
 - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
 - ☐ Hydrogeological Assessment
 - ☐ Septic Assessment
 - ☐ Archeological Assessment
 - ☐ Noise Study
 - ☐ Parking Study
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