



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:89	SUBJECT PROPERTY:	12 Terrace Drive, Stoney Creek
ZONE:	"R2" (Single Residential and Low Density Residential – Large Lot)	ZONING BY-LAW:	Zoning By-law former City of Stoney Creek 3692-92, & Zoning By-law City of Hamilton 05-200 (Not final and Binding) as Amended

APPLICANTS: Owner: Mark MacAulay
Agent: Jordan Station Design Co. Inc (c/o Gabriel A. Alvarez Colman)

The following variances are requested:

1. To permit a minimum front yard depth of 1.09 metres whereas the Stoney Creek zoning by-law requires a minimum front yard depth of 6.0 metres.
2. To permit a minimum front yard setback of 1.09 metres whereas the Hamilton zoning by-law requires a minimum front yard setback of 4.0 metres.
3. To permit a minimum side yard setback of 1.25 metres whereas the Hamilton zoning by-law requires a minimum side yard setback of 2.0 metres.

PURPOSE & EFFECT: So as to permit the construction of an addition to complement the existing single detached dwelling.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, May 21, 2024
TIME:	2:45 p.m.

A-24:89

PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

PUBLIC INPUT

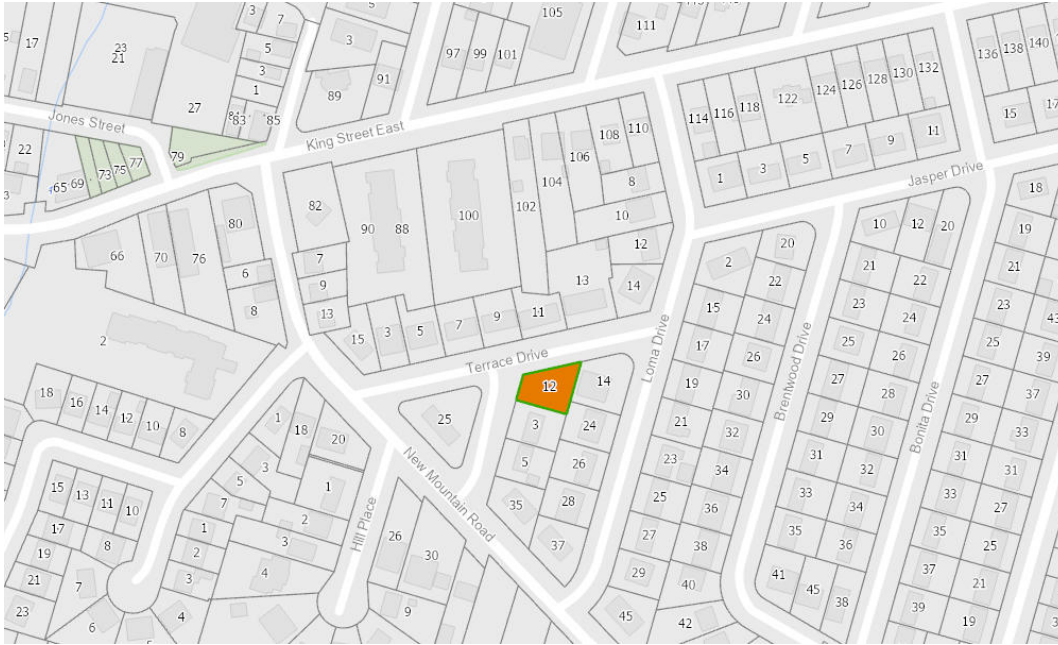
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon May 17, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon May 17, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:89, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: May 2, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-977-1654.

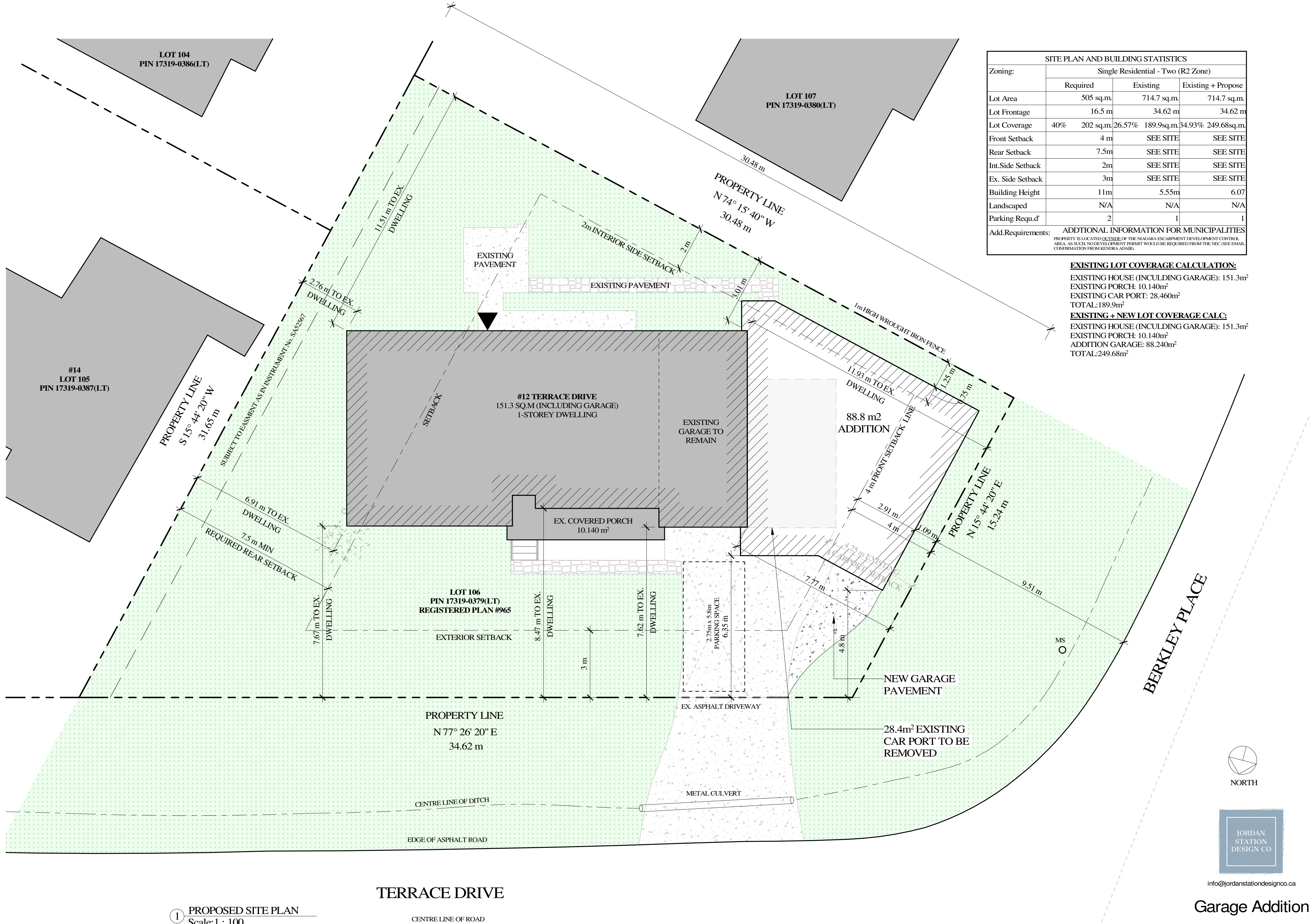
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

SITE PLAN AND BUILDING STATISTICS			
Zoning:	Single Residential - Two (R2 Zone)		
	Required	Existing	Existing + Propose
Lot Area	505 sq.m.	714.7 sq.m.	714.7 sq.m.
Lot Frontage	16.5 m	34.62 m	34.62 m
Lot Coverage	40%	202 sq.m. 26.57%	189.9sq.m. 34.93% 249.68sq.m.
Front Setback	4 m	SEE SITE	SEE SITE
Rear Setback	7.5m	SEE SITE	SEE SITE
Int.Side Setback	2m	SEE SITE	SEE SITE
Ex. Side Setback	3m	SEE SITE	SEE SITE
Building Height	11m	5.55m	6.07
Landscaped	N/A	N/A	N/A
Parking Requ.d'	2	1	1

Add. Requirements: ADDITIONAL INFORMATION FOR MUNICIPALITIES
PROPERTY IS LOCATED OUTSIDE OF THE NIAGARA ESCARPMENT DEVELOPMENT CONTROL AREA. AS SUCH, NO DEVELOPMENT PERMIT WOULD BE REQUIRED FROM THE NEC; (SEE EMAIL CONFIRMATION FROM KENSERA ADAIR).

EXISTING LOT COVERAGE CALCULATION:
 EXISTING HOUSE (INCLUDING GARAGE): 151.3m²
 EXISTING PORCH: 10.140m²
 EXISTING CAR PORT: 28.460m²
 TOTAL: 189.9m²

EXISTING + NEW LOT COVERAGE CALC:
 EXISTING HOUSE (INCLUDING GARAGE): 151.3m²
 EXISTING PORCH: 10.140m²
 ADDITION GARAGE: 88.240m²
 TOTAL: 249.68m²



1 PROPOSED SITE PLAN
 Scale: 1 : 100



NORTH

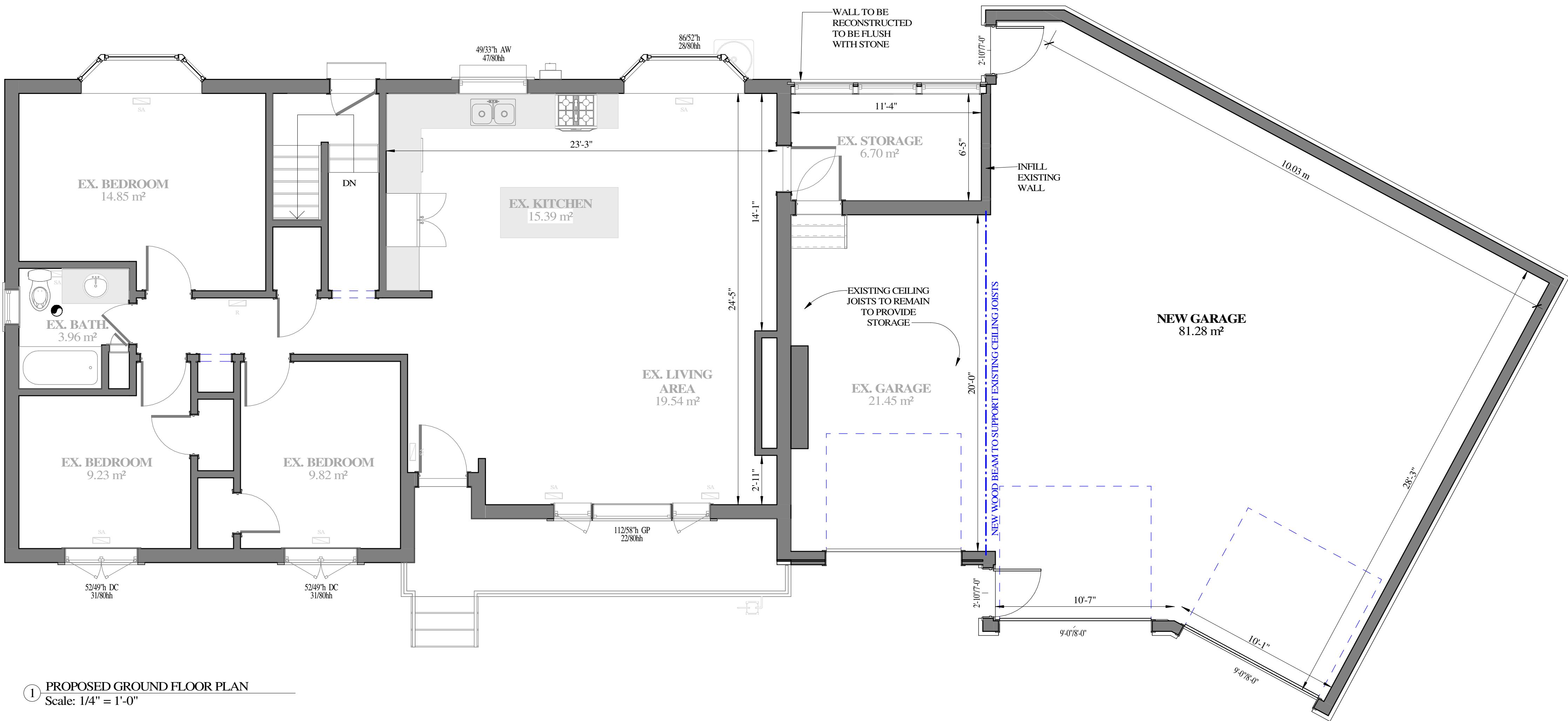


info@jordanstationdesignco.ca

Garage Addition

12 Terrace Drive, Stoney Creek, ON, L8G 2S2
 2024-05-01 10:37:18 AM

ALL MATERIALS, SPECIFICATIONS AND FLOOR PLANS ARE CONCEPTS AND SUBJECT TO CHANGE WITHOUT NOTICE. ALL EXTERIOR HOME DESIGNS ARE THE DESIGNER'S CONCEPTS. ALL FLOOR PLANS AND APPROXIMATE DIMENSIONS. ACTUAL USABLE FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. E.&O.E.



1 PROPOSED GROUND FLOOR PLAN
 Scale: 1/4" = 1'-0"



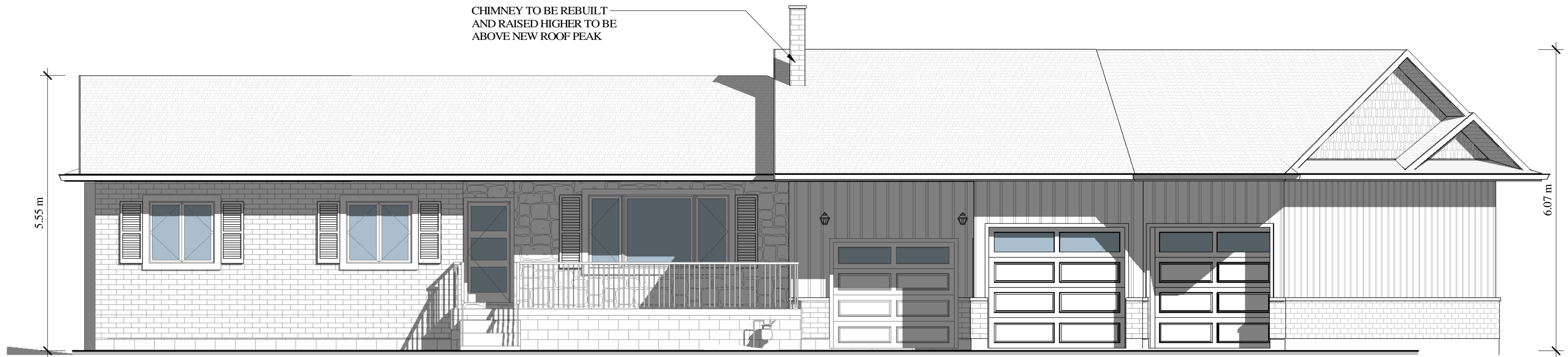
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Garage Addition

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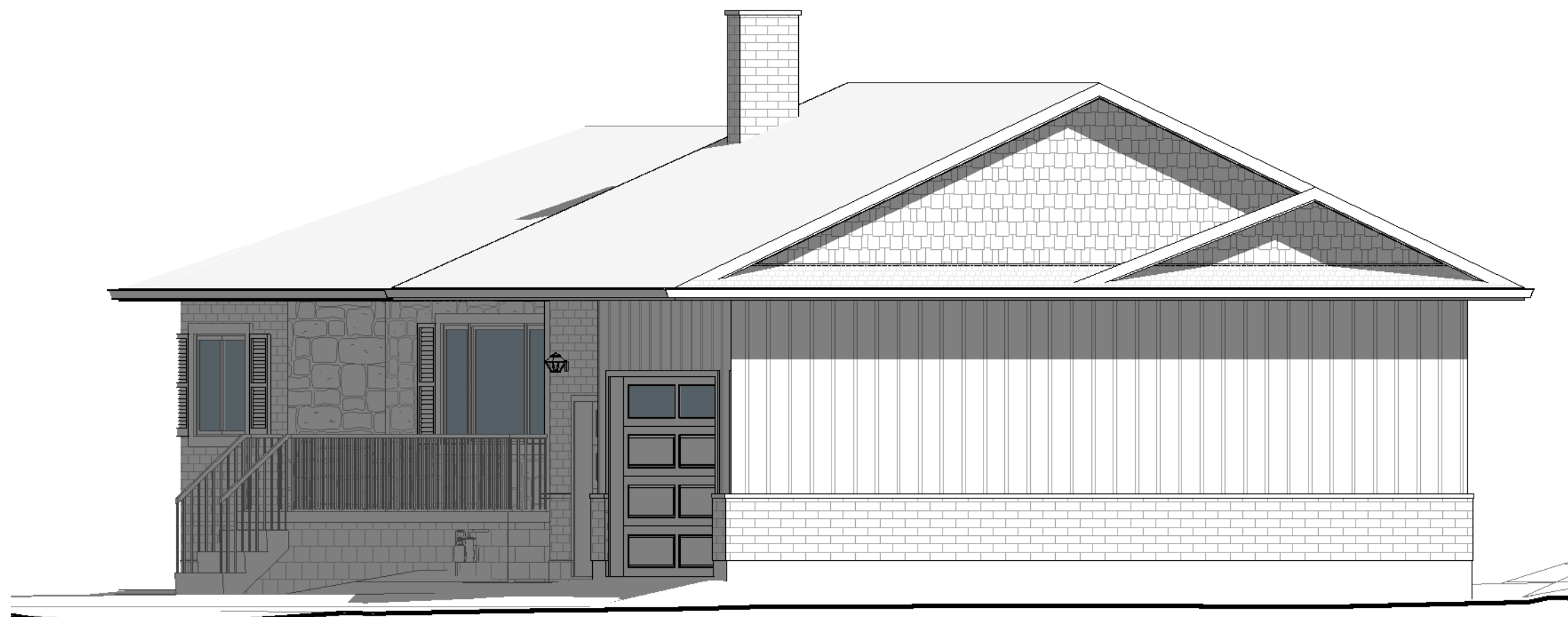
© Jordan Station Design Co 2019



① FRONT ELEVATION



② REAR ELEVATION



③ RIGHT ELEVATION



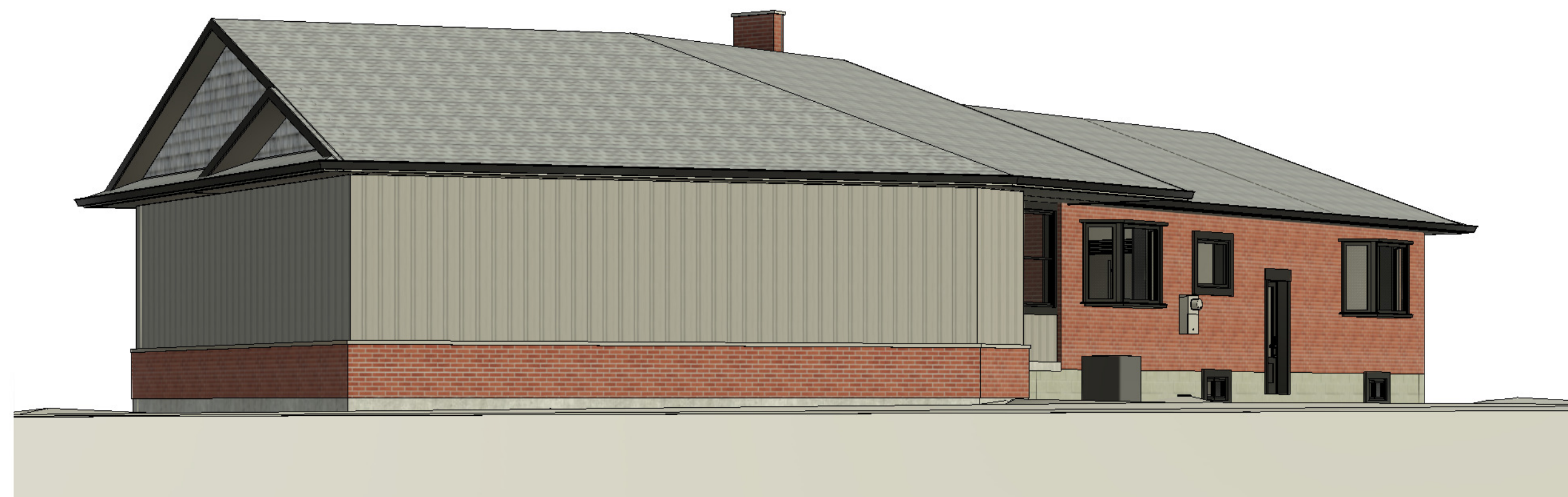
info@jordanstationdesignco.ca

Garage Addition

12 Terrace Drive, Stoney Creek, ON, L8G 2S2
2024-05-01 10:37:19 AM

ALL MATERIALS, SPECIFICATIONS AND FLOOR PLANS ARE CONCEPTS AND SUBJECT TO CHANGE WITHOUT NOTICE. ALL EXTERIOR HOME DESIGNS ARE THE DESIGNER'S CONCEPTS. ALL FLOOR PLANS AND APPROXIMATE DIMENSIONS. ACTUAL USABLE FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. E.&O.E.

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info@jordanstationdesignco.ca

Garage Addition

12 Terrace Drive, Stoney Creek, ON, L8G 2S2
2024-05-01 10:37:24 AM

ALL MATERIALS, SPECIFICATIONS AND FLOOR PLANS ARE CONCEPTS AND SUBJECT TO CHANGE WITHOUT NOTICE. ALL EXTERIOR HOME DESIGNS ARE THE DESIGNER'S CONCEPTS. ALL FLOOR PLANS AND APPROXIMATE DIMENSIONS. ACTUAL USABLE FLOOR SPACE MAY VARY FROM THE STATED FLOOR AREA. E.&O.E.

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From: Adair, Kendra (MNRF) <Kendra.Adair@ontario.ca>
Sent: Thursday, February 15, 2024 10:22 AM
To: 'gabriel@jordanstationdesignco.ca' <gabriel@jordanstationdesignco.ca>
Subject: RE: 12 Terrace Dr, Stoney Creek, ON L8G 2S2_NEC Requirements

Hi Gabriel,

Thank you for your inquiry. 12 Terrace Drive, Hamilton (ARN 251800345009600), while located within the Niagara Escarpment Plan (NEP) Area (designated Urban Area – policies within 1.7 of the NEP apply), is located outside of the Niagara Escarpment Development Control Area. As such, no Development Permit would be required from the NEC for development on the subject property. We would instead act as a commenting agency on planning applications made to the City. Please contact the City of Hamilton for further information.

Kind regards,

Kendra Adair (She/Her)

A/Senior Planner | Niagara Escarpment Commission
232 Guelph Street, Georgetown, Ontario, L7G 4B1
905-703-0827 | www.escarpment.org



Niagara Escarpment Commission
An agency of the Government of Ontario

Accessibility: As part of the NEC's commitment to providing accessible service, please let me know if you have any accommodation needs or require the contents of this email in an alternative format.

Availability: NEC staff provide services in person, via telephone, or via email. To better serve you, **we ask that you make an appointment if you prefer to meet in person.** You may request an appointment with staff at escarpment.org/appointments.

From: gabriel@jordanstationdesignco.ca <gabriel@jordanstationdesignco.ca>

Sent: February 9, 2024 11:40 AM

To: Adair, Kendra (MNRF) <Kendra.Adair@ontario.ca>

Subject: 12 Terrace Dr, Stoney Creek, ON L8G 2S2_NEC Requirements

CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.

Hi Kendra,

I hope this email finds you well.

I am reaching out to inquire about the NEC's requirements for a proposed project we are currently working on. The project involves a garage addition to an existing single family home.

Given the proximity of the project site to the Niagara Escarpment Plan Designation – Urban Area, we want to ensure that we fully understand and comply with all relevant NEC regulations and guidelines. Could you please provide us with information regarding the specific requirements and any necessary steps we need to take to ensure compliance?

Thank you in advance for your assistance.

Gabriel Alvarez Colman Dipl.T.,

Senior Architectural Designer, Jordan Station Design Co Inc.

Office: 289 668 4588 | Cell: (365) 650-2125 | Gabriel@jordanstationdesignco.ca



Virus-free. www.avast.com

Neighbour's Name: ROBERT SCHOUPE (RESIDENT FOR 45 YRS.)
Neighbour's Address: 13 TERRACE DR
City: Stoney Creek
Province: Ontario
Postal Code: L8G-2S1

Subject: Letter of Support for Minor Variance Application

Dear Members of the Committee of Adjustment,

I am writing to express my support for Mark MacAulay's minor variance application for 12 Terrace Drive, Stoney Creek, ON, L8G 2S2. Having discussed the proposed changes with the applicant, it is evident that they have taken careful consideration of the community's concerns and have engaged in open communication with neighbours.

The minor variance aligns with the neighbourhood's character and enhances its overall aesthetic appeal without compromising integrity. Mark has shown a genuine commitment to collaborating with the community and addressing any concerns that may arise during the implementation of the proposed changes.

I trust that the Committee of Adjustment will recognize the positive impact of Mark MacAulay's application and approve the minor variance. If you have any further questions, please feel free to contact me at,

Neighbour's Phone Number: 905 664 6727
Neighbour's Email Address: _____

Thank you for taking the time to read this letter.

Sincerely,

Neighbour's name: ROBERT SCHOUPE

Signature: Robert Schoupe

Date: 04/06/2024

Neighbour's Name:
Neighbour's Address:
City:
Province:
Postal Code:

Romeo Lefebvre
11 Terrace Dr.
Stoney Creek
Ontario
L8G-2S1

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Neighbour's Phone Number: 905-961-4043
Neighbour's Email Address: _____

Thank you for taking the time to read this letter.

Sincerely,

Neighbour's name: Romeo Lefebvre

Signature: [Handwritten Signature]

Date: April 6 / 24

Neighbour's Name: Scott Reid
Neighbour's Address: 9 Terrace Dr.
City: Stoney Creek
Province: Ontario
Postal Code: L8G 2S1

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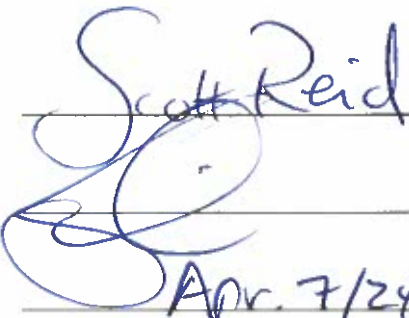
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Neighbour's Phone Number: 905-730-0792
Neighbour's Email Address: scott@mountainaudio.ca

Thank you for taking the time to read this letter.

Sincerely,

Neighbour's name: Scott Reid
Signature: 
Date: Apr. 7/24.

Neighbour's Name: Aaron Scheewe
Neighbour's Address: 3 Berkley Place
City: Stoney Creek
Province: Ontario
Postal Code: L8G 2W4

Subject: Letter of Support for Minor Variance Application

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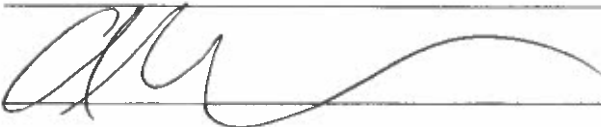
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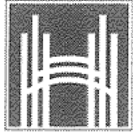
I trust that the Committee of Adjustment will recognize the positive impact of Mark MacAulay's application and approve the minor variance. If you have any further questions, please feel free to contact me at,

Neighbour's Phone Number: 613-700-9673
Neighbour's Email Address: ascheewe@gmail.com

Thank you for taking the time to read this letter.

Sincerely,

Neighbour's name: Aaron Scheewe
Signature: 
Date: April 8, 2024



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Mark MacAulay (Homeowner)
Applicant(s)	Gabriel A. Alvarez Colman (From Jordan Station Design Co. Inc.)
Agent or Solicitor	Gabriel A. Alvarez Colman (From Jordan Station Design Co. Inc.)

1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent

[Redacted]

1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person

Credit over phone*

Cheque

[Redacted]

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	12 Terrace Drive, Stoney Creek, ON, L8G 2S2		
Assessment Roll Number	n/a		
Former Municipality	STONEY CREEK CITY OF HAMILTON		
Lot	106	Concession	N/A
Registered Plan Number	965	Lot(s)	N/A
Reference Plan Number (s)		Part(s)	N/A

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

Subject to easement as in instrument No. SA52567 located west of the property.

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Required 1.09m Front setback
(4.41m Relief)

EXTENSION TO EXISTING DWELLING

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The homeowner requires sufficient space for parking multiple vehicles, without causing clutter in the driveway and alleviate on street parking. Additionally, they seek storage space and a designated area for hobbies, such as a workshop. Given the layout and constraints of the property, there are no better suited locations for the addition, making our proposed solution the most practical and logical.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
15.24m	30.48m	714.7m	n/a (Probably 10m)

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
EX. SINGLE FAMILY BUNGALOW	7.77m	2.76 m	3.01m	07/01/1965
EXISTING ATTACHED CAR PORT	4.25m	N/A	3.04m	SAME AS ABOVE

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Attached Garage Addition	1.09m	2.76m	1.25m	07/01/2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
EX. SINGLE FAMILY BUNGALOW	128 m2	161 m2	1	5.55 m
EXISTING ATTACHED CAR PORT		27 m2		3.17 m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
NEW ATTACHED GARAGE ADDITION		88.204 m2	1	6.07 m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Single family bungalow with attached 3 car garage

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Single family homes

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
01/01/2016

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single family bungalow with attached 1 car garage and carport

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single family bungalow with attached 1 car garage and carport

7.4 Length of time the existing uses of the subject property have continued:
Since initial construction.

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): n/a

Rural Settlement Area: n/a

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.
See explanation in on the next page

7.6 What is the existing zoning of the subject land? R2 ZONE

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

Explanation to 7.5:

1. The proposed development consists of an attached garage that blend seamlessly with the existing residential architecture ensuring visual consistency.
2. The garage addition provides much-needed storage space, helping to declutter driveways and enhance the overall appearance of the neighborhood.
3. The addition helps alleviate on-street parking, promoting safer and more efficient traffic flow.
4. The addition is preserving a lot of green space and landscaping.
5. The homeowner engaged with neighbors to discuss the proposal and address any concerns they may have had. Feedback from the community was considered during the design process, ensuring that the addition enhances the neighborhood while respecting the interests of residents.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-