

Engagement Summary

Stormwater Incentive Program

City of Hamilton

April 2024

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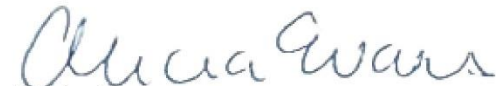
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1. Overview of Stormwater Incentive Program Engagement

1.1 Approach to Public Engagement

The City of Hamilton conducted public engagement for the Stormwater Incentive Program, a key component of the Stormwater Funding Review (the Project).

The objectives of engagement were to:

- Inform and educate the public about:
 - the importance of stormwater management, the City’s stormwater system and needs, and the City’s current stormwater funding model
 - the new stormwater funding model and how the fees will be calculated
 - the draft stormwater incentive program
- Obtain feedback to further enhance the draft financial incentive program.

In conducting public engagement, the City aimed to maximize public participation by:

- Offering a range of engagement opportunities including online and in-person options;
- Removing or reducing barriers to participation, hosting in-person meetings in both urban and rural areas of Hamilton; and
- Adapting to public feedback quickly, by drafting and releasing a third survey specific to the agriculture community and extending the survey period by 6 weeks to accommodate.

The engagement period launched on October 31, 2023, and ended January 8, 2024.

2. Engagement Activities

2.1 Study Website and Project Email

In preparation for public engagement, the existing City of Hamilton Stormwater Funding Review page – hamilton.ca/stormwaterfunding – was updated with new copy and additions to the FAQ that expanded on the stormwater fee concept and incentive program. Page visitors could also find links to the dedicated Engage Hamilton page.

Between September 1, 2023 and February 28, 2024, the Stormwater Funding Review page was viewed 2,141 times by 1,976 users with an average engagement time of more than one minute. From the stormwater page, users went on to view General Issues Committee meeting minutes related to the Project and the YouTube videos created as part of the Project.

The Engage Hamilton webpage – engage.hamilton.ca/stormwaterincentives – was created to educate the public, provide a home for the online survey, and promote the in-person and virtual public meetings.

The page included the following:

- Background on stormwater and stormwater management;
- An overview of the Stormwater Funding Review and the financial incentive programs, including the goals of these incentives and the importance of engagement to develop the program;
- Information about virtual and in-person public meetings;
- All versions of the online survey;
- Links to a stormwater fee informational video and recorded virtual meeting;
- An “Ask a Question” section for members of the public to ask questions directly to the Project team; and
- Related City reports, resources, and links.

The Engage Hamilton Project page received 3,260 visits between October 31, 2023, and January 8, 2024. A summary of the questions received, and answers provided through the “Ask a Question” section is provided in Appendix A.

A Project email address – StormwaterFundingReview@hamilton.ca – was also created to manage questions and comments from the public. A member of the Project team managed responses directly, with the assistance of subject matter experts from the City

and the consultant. As of January 8, 2024, the inbox received over 100 questions or comments, the majority of these sent by rural residents or agriculture property owners. A summary of the emails received and the responses, sorted by themes, is provided in Appendix B.

2.2 Survey

A survey was administered during the engagement period and was the primary source of gathering feedback on the draft stormwater incentive program. The survey was available both online or in hard copy form and had three versions, depending on the type of property the respondent owned or operated:

- **Residential and Small Multi-Residential Survey** – to gather feedback on the residential subsidy program, understand barriers to implementing stormwater practices on-site, and get input on the type of support that the City should provide.
- **Industrial, Commercial, Institutional (ICI) and Large Multi-Residential Property Owners/ Operators Survey** – to gather feedback on the proposed credit program, understand barriers to implementing stormwater practices on-site and get input on the type of support that the City should provide.
- **Agricultural Property Owners Survey** – to gather feedback on the proposed credit program, understand barriers to implementing stormwater practices on-site and get input on the type of support that the City should provide.

The survey yielded responses from 477 residential property owners, 35 ICI/ multi-residential property owners/ operators and 279 agricultural property owners.

The survey questions and a full, detailed summary of the results can be found in Appendix C, D and E for Residential, ICI and Multi-residential, and Agricultural respectively. A summary of key highlights is provided in Section 4.

2.3 Public Meetings

During the engagement period, a series of virtual and in-person public meetings were held. Approximately 66 individuals attended the public meetings.

Virtual Public Meetings

Two virtual public meetings were held on Tuesday, November 7, 2023 at 2:30 p.m. and 7:00 p.m.

Each meeting began with a presentation followed by an opportunity to ask questions and provide input related to the financial incentive program through a facilitated Question and Answer session. To wrap up the virtual meetings, attendees were provided project contact information and were encouraged to visit the Engage Hamilton site, attend one of the in-person Open Houses and/ or complete the survey.

In-Person Open Houses

Two in-person public open houses were held during the engagement period:

- Wednesday, November 15, 2023, Hamilton City Hall – Council Chambers
- Thursday, November 16, 2023, Ancaster Fairgrounds – Hepworth Room

A welcome table invited participants to sign in and take a one-page stormwater incentive program information sheet which also included contact information and links to the online survey. A hard copy version of the survey was also available upon request. Each public meeting featured information boards for participants to read in an open house-style format. The boards included background information about stormwater, stormwater management in Hamilton, the current stormwater model, an introduction to the new stormwater fee and a summary of the draft stormwater incentive program. Project team members from AECOM and the City, and subject matter experts from the Hamilton Water and Roads department were present to answer questions.

Following the open house, the project team provided a presentation overview, and hosted a Question and Answer Session. The presentation wrapped up by reminding participants to complete the survey and contact the Project team with any additional questions or comments.

A summary of the feedback received during the virtual and in-person public meetings is included in Section 4. The virtual and in-person public meeting materials are provided in Appendix F and the public meeting summaries are included in Appendix G.

2.4 Agriculture and Rural Affairs Sub-Committee Meetings

In June 2023, prior to the launch of the engagement period, the Project Team presented to the Agricultural and Rural Affairs Sub-Committee to introduce the stormwater funding project and Council's recommendations for a stormwater fee. During the formal engagement period (November 30, 2023), the Project Team presented to the Agriculture and Rural Affairs Sub-Committee again. This second presentation reviewed the basics of stormwater and stormwater management, with focus on the current model

for funding stormwater in rural communities and the stormwater services and infrastructure in rural areas. The presentation included an analysis of the impervious areas for select agricultural properties in rural Hamilton and an estimate of the stormwater fee base charge.

Copies of the presentations to the Agricultural and Rural Affairs Sub-Committee are provided in Appendix H.

2.5 Additional Meetings

Prior to the formal engagement period, Project Team members attended one-on-one meetings with interested community partners community members as requested. The new stormwater funding model was presented, along with an analysis of the impervious areas of the properties. These meetings included:

- McMaster University, Wednesday, September 6, 2023 (virtual meeting)
- Twenty Place (a private residential community), Thursday, October 12, 2023 (in-person)

3. Communication Activities

Various communication activities were undertaken by the City to inform and encourage residents to meaningfully participate in the online and in-person public engagement.

3.1 Informational Video

A 3-minute informational video was created and posted on the City's YouTube channel – <https://www.youtube.com/watch?v=lmb7lnS69cU> - with background about stormwater and stormwater management in Hamilton, the new stormwater funding model and fee, incentive program and a call-to-action to participate in the public engagement period.

Following the engagement period, a new version of the video was posted without the call-to-action, to serve as an informational video for the implementation period.

3.2 Media Relations

A media release about the community engagement activity, including background information on stormwater in Hamilton and the stormwater fee was sent directly to local media on November 2, 2023.

The Communications & Strategic Initiatives division's Media Relations section replied to media inquiries and provided corrections to local media outlets regarding this topic.

A copy of the media release can be found in Appendix I.

3.3 Digital Platforms and Social Media

Stormwater Incentive Program engagement activities and general stormwater education were posted on four different social media platforms. The links accompanying the social media posts referred viewers to the City media release, City stormwater page and the Engage Hamilton Stormwater Incentive Program page.

Below are the social media statistics during the engagement period from October 1, 2023 to January 31, 2024.

Table 1: Social Media Statistics

Social Media	Number of Posts	Impressions	Likes	Comments	Shares	Link Clicks
X (Twitter)	7	24.15K	27	9	9	117
Instagram Story	4	10.81K		-	-	-
Facebook	5	6.46K	20	2	22	312
LinkedIn	4	3.43K	17	-	3	45
Total	20	44.85K	64	11	34	474

Sample social media posts can be found in Appendix I.

3.4 Advertising / Promotion

Digital signs were placed on the boards at Hamilton City Hall and Gage Park from October 31 until December 3, 2023.

Community Well Newsletter updates were prepared and mailed to residents in Carlisle, Freulton, Greensville and Lynden on the week of August 14, 2023, giving an overview of the new stormwater funding model and inviting readers to visit Hamilton.ca for upcoming engagement opportunities.

An update was published on the front page of the Fall 2023 Hamilton Water Newsletter. The newsletter was included as an insert with the Alectra utilities bill and gave an overview of stormwater, stormwater management and the new stormwater funding model. The article concluded with an invitation to email the Project team or visit the stormwater webpage on Hamilton.ca.

Copies of the promotional materials are available in Appendix I.

4. What We Heard

Highlights of comments and concerns received through the engagement activities (Engage Hamilton, Project email address, and public meetings) and highlights of the survey responses are summarized in the subsections that follow.

4.1 Importance of Stormwater Management Services

- Most urban residential survey respondents consider the City's stormwater management services to be either very important (53%) or important (30%), whereas more rural residential respondents do not consider the services to be important (46%), or only somewhat important (22%). Among ICI and multi-residential survey respondents, 29% consider the City's stormwater management services as very important, and 24% as important (24%), whereas 18% consider it 'somewhat important' and the remaining 29% do not consider it important.
- Half of the of agricultural survey respondents consider the City's stormwater management services to be not important (50%), and one quarter of respondents think that they are only somewhat important (26%).

4.2 On-site Stormwater Management

4.2.1 Steps Already Taken to Implement On-site Measures

- Approximately three-quarters (76%) of residential survey respondents have taken steps to reduce stormwater runoff on their property, including three-quarters of urban and rural residential property owners. Examples of steps taken include the use of rain barrels, disconnecting downspouts, and the use of green space to help reduce stormwater runoff.
- Most ICI and multi-residential survey respondents (71%) have taken steps to reduce stormwater runoff on their property. Examples of steps taken include the use of green space, permeable pavers and retention ponds to help reduce stormwater runoff.
- A large majority (82%) of agricultural survey respondents have taken steps to reduce stormwater runoff on their property. The most common steps taken by agricultural respondents to reduce stormwater runoff is through green space and water retention ponds.

4.2.2 Willingness to Implement On-site Measures

- While most residential survey respondents (66%) who are not already implementing on-site measures would be willing to take steps on their properties to reduce the amount of stormwater, only 37% of rural residential respondents are willing to take steps to reduce runoff compared to 91% of urban residential respondents.
- Of those ICI and multi-residential survey respondents that are not already implementing measures, 80% would be willing to take steps on their properties to reduce the amount of stormwater.
- Just under half (49%) of agricultural survey respondents who are not already implementing on-site measures would be willing to take steps to reduce runoff on their properties.

4.2.3 Barriers to On-site Stormwater Management

- The top barrier to implementing stormwater management practices for urban residential survey respondents is cost (67% of respondents), followed by a lack of knowledge or understanding of on-site stormwater management practices (48% of respondents) and a lack of knowledge or understanding of available subsidized programs (45% of respondents). Examples of other barriers include inadequate incentives offered by the City and that they do not have the time or physical capacity to implement measures.
- The top barrier to implementing stormwater management practices for rural residential survey respondents is cost (55% of respondents) followed by the lack of knowledge or understanding of available subsidized programs (26% of respondents) and a lack of knowledge of on-site stormwater management practices (26% of respondents). Examples of other barriers include limited City infrastructure and restrictions from the City.
- The top barrier to implementing stormwater management practices for ICI and multi-residential property survey respondents is cost (24 responses), followed by a lack of knowledge or understanding of on-site stormwater management practices (12 responses) and lack of knowledge of appropriate contractors (8 responses). Other barriers identified include restrictions from the City, the cost of implementing barriers outweighs the benefits, and not having enough space.

- A large majority of the agricultural survey respondents (170 responses) cite cost as a barrier to implementing stormwater management practices, followed by a lack of knowledge or understanding of stormwater management practices (47 responses) and a lack of knowledge of appropriate contractors (27 responses). Examples of other barriers identified include restrictions from the City and costs outweighing the benefits of implementing measures.

4.3 Stormwater Management Support from the City

- The top three supports that urban residential survey respondents would like the City to provide to encourage good stormwater management practices on residential properties include reduced cost for materials (76% of respondents), online resources (71% of respondents), and in-person guidance from experts (42% of respondents).
- The top three supports that rural residential survey respondents would like the City to provide to encourage good stormwater management practices on residential properties include online resources (53% of respondents), reduced cost for materials (53% of respondents) and in-person guidance from experts (24% of respondents).
- Other supports identified that the City could provide for residential property owners include credits, exemptions for farms and rural properties, the expansion and improvement of maintenance of City infrastructure, and the implementation of by-laws to stop by practices related to stormwater.
- The top two supports that ICI and multi-residential survey respondents would like the City to provide to encourage good stormwater management practices on ICI and multi-residential properties are credits (28 responses) and the creation of online resources by the (17 responses).
- The top three supports that agricultural property survey respondents would like the City to provide to encourage good stormwater management practices on agricultural properties are credits (144 responses), loans (131 responses), and online resources (89 responses).
- Other supports identified that the City could provide for ICI, multi-residential and agricultural property owners include exemptions for agricultural properties, the expansion and improvement of maintenance of City infrastructure, and property audits/ in-person training.

4.4 Draft Stormwater Incentive Program

- Meeting participants and survey respondents expressed interest in the credit or subsidy programs and hoped that their current stormwater mitigation efforts will qualify for credits retroactively.
- A majority of rural residential (71%), urban residential (74%) and ICI survey respondents (91%) believe industrial, commercial, institutional, and large multi-residential properties should be eligible for a credit for implementing on-site stormwater management practices.
- A large majority (94%) of agriculture survey respondents believe the credit should be more than 50% - many of them stating that agricultural properties should receive a 100% credit or be exempt from the fee altogether, citing the greenspace on their property, lack of stormwater services received from the City, and their stormwater management systems already implemented.
- Many rural residential survey respondents (65%) do not agree with the approach of providing subsidies rather than credits to residential property owners. Among rural residential respondents that do support subsidies, 23 respondents mentioned that it would encourage participation and 11 mentioned lower administration costs. Among rural residential survey respondents that oppose subsidies, 40 respondents disagreed with the new stormwater fee altogether, 18 respondents had concerns with implementation, 13 respondents felt credits would be better than subsidies. Other reasons included concerns that a property would not qualify, putting more resources into enforcement of existing stormwater-related and to have no subsidy or credit program at all.
- Most urban residential survey respondents (59%) agree with the approach of providing subsidies rather than credits to residential property owners. When asked for their reasoning for support, 54 urban residential respondents support a subsidy because it encourages resident participation in stormwater management, 27 respondents supported it because it would lower administration costs and 2 respondents gave support because it would be good for the environment. When asked for their reasoning for opposition, 20 urban residential respondents said that they would prefer credits over subsidies, 16 respondents have concerns with program implementation, 14 respondents felt their efforts would not qualify, and 17 respondents disagreed with the new stormwater fee altogether. Other reasons included putting more resources into enforcement of existing stormwater-related by-laws instead of credits, as well as providing both subsidies and credits to all properties.

4.5 Incentive Program Administration

- Meeting participants and survey respondents expressed concern over the effort from both property owners and the City to administer an incentive program. They were unsure if the application process for credits and subsidies would be labour intensive and how the programs would be enforced to ensure compliance.
- Agriculture property owners expressed a reluctance to participate in a new program, if it would require paperwork, consultation and follow-up in order to qualify for credits. Participants mentioned the amount of paperwork already required of them to fulfill other regulatory obligations.
- Most agricultural survey respondents (81%) and many of the ICI respondents (53%) believe properties should be required to re-apply for credits no less than every 5 years, with suggestions that applications should only be required once, or reapplications should take place every ten years or only during major changes to the property.

4.6 Other Concerns and Considerations for Rural and Agricultural Properties

- Agriculture property owners expressed their desire for a survey that asked questions specific to farms in the rural areas of Hamilton. The engagement period began with two versions of the survey, one for residents and small multi-residential owners and one for ICI and large multi-unit residential owners/ operators. Many members of the agriculture community felt that they did not fall into either category and requested a survey version with specific questions to fit their needs. The Project team responded with the release of a new survey and an extension of the engagement period.
- Participants in the public meetings were looking for more examples of agricultural properties, facility sizes and the expected fee calculation based on impervious area to better understand the financial impact of the fee and the benefit of a credit program. Additional agricultural examples were provided in subsequent meetings.
- Agricultural property owners at public meetings and over email expressed frustration that applying for a credit program would be onerous and unnecessary as permit applications and site plans already require stormwater reviews.

- Numerous rural and agricultural property owners expressed frustration with the new stormwater fee as they believe that they do not receive any stormwater services and do not contribute to the City's stormwater system. Some participants cited their property's large areas of permeable land and drainage directly to local creeks or the aquifer as their reasoning.

5. Next Steps

Communication and engagement of interested community partners and community members is critical to the success of the credit programs.

Due to feedback from property owners on the draft incentive program, a unique “made in Hamilton” incentive program is being developed to include a multi-stream credit program. Staff have considered the feedback received and aligned the new streams with the approved guiding principles. The revised credit program that is being considered will consist of three streams for ICI, multi-residential properties with greater than six units, properties that have a vast amount of green space (e.g., farms), and properties that discharge to the harbour. Property owners can qualify for only one of the following streams:

- Green Space Credit
- Hamilton Harbour Discharge Credit
- On-site Stormwater Management Infrastructure Credit

The Residential Stormwater Incentive Program drafted in summer 2023 remains unchanged and is aligned with the engagement feedback received by residents.

A communication update (see Appendix J) was sent to the Mayor and members of City Council on January 16, 2024 with a brief summary of the engagement period and the planned efforts noted above, and a follow-up presentation to the Agricultural and Rural Affairs Sub-Committee is planned for April 25, 2024.

Awareness-building and education for property owners will continue through 2024 and 2025. Following approval of the incentive program, property owners will be informed about the details of the incentive program, qualifying activities and how to apply. Incentive program details will be released, and applications will be open prior to the stormwater fee implementation. Once the rate has been confirmed, an online stormwater fee calculator will be available for property owners. Additional communication about the implementation of the fee, such as the timing of the first bill and how property owners can expect to receive their bill, will be released as details are confirmed.

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Appendix A

Engage Hamilton 'Ask a Question' Summary



Appendix A

Five questions were received through the ‘Ask a Question’ feature in Engage Hamilton. The table below highlights the themes of questions/ comments received and the responses provided.

Comment Source	Theme	Comment	Response
Residents	Qualifying for the incentive program	<p>A resident asked if the use of rain barrels would qualify for incentives as capturing water can make a difference on the stormwater system.</p> <ul style="list-style-type: none"> ■ “Would use of rain barrels that divert stormwater from rooftop downspouts to gardens be part of an incentive program for urban residential units?” 	<p>Our proposed incentive program for residents is looking at providing subsidies for residents which would be a onetime benefit as opposed to an ongoing credit. Single-family residential and multi-residential properties with six or fewer units will be able to access subsidized programs that provide:</p> <ul style="list-style-type: none"> ■ Materials such as rain barrels at a significant discount; ■ A grant (subsidy) for the disconnection of downspouts, installation of a backwater valve, and other eligible works that help to reduce the risk of basement flooding; ■ In-person advisory services on how properties can reduce their stormwater water runoff; ■ How-to information/publications on how properties can reduce their stormwater runoff; and ■ A grant (subsidy) for the installation of rain gardens, bioswales, pollinator gardens, or permeable surfaces and other measures that reduce the quantity
Residents	Impact on me	<p>Residents that felt they were not receiving stormwater services inquired about how the stormwater fee would affect them.</p> <ul style="list-style-type: none"> ■ “How does this affect people with wells and septic tanks?” ■ “For those properties that do not have city water or city sewer will they be impacted by this as well?” 	<p>The City of Hamilton currently funds the majority of its stormwater program through the water utility. A smaller portion is also funded through property taxes. This means that properties that consume more City potable water, contribute more towards stormwater funding. It also means that properties with small water consumption but large parking lots, contribute little to stormwater funding. To address this inequity and other stormwater funding issues, in December 2021 Hamilton Council directed City staff to review various stormwater funding options. In June 2022, Council directed staff to evaluate an alternative stormwater rate funding structure. On June 28, 2023 Council approved a more equitable stormwater rate structure and directed staff to consult the public on a stormwater financial incentive program. The funding model will be implemented in 2025.</p> <p>Rather than charging properties for stormwater based on their potable water consumption and/or assessed value, the approved stormwater rate structure charges properties based on the amount of hard surface (e.g., paving) on their property. All single family detached residential homes will pay the same amount, one billing unit per month, regardless of size or location of their home. The billing unit rates will be set by Council in 2024. When this new funding model is implemented, properties that are connected to the City’s water and/ or sewer systems will no longer be charged for stormwater services through their water/wastewater utility fee. Instead, all properties will see a separate stormwater fee on their utility bill. For those property owners not</p>

Appendix A

Comment Source	Theme	Comment	Response
			<p>currently receiving a water/wastewater utility bill, they will begin to receive a stormwater only bill when the stormwater fee is implemented in 2025.</p> <p>Hamilton is considering offering a grants and subsidies program for residential owners. Feedback on a financial incentive program will be considered as part of a change in how stormwater management is funded at the City.</p>
Residents	Stormwater fees are unfair to rural residents	<p>A rural property owner felt they would not benefit from the stormwater fee as they do not currently receive a water/wastewater bill:</p> <ul style="list-style-type: none"> ■ “Will rural properties which do not have access to city water supply systems and do not have access to a stormwater runoff collection system still be charged the stormwater fee? As they would not benefit from a drop in the water / wastewater and rates (not having access to the water system) this would result in an increase in their fees without any associated drop that other residents would receive.” 	<p>The City of Hamilton currently funds the majority of its stormwater program through the water utility. A smaller portion is also funded through property taxes. This means that properties that consume more City potable water, contribute more towards stormwater funding. It also means that properties with small water consumption but large parking lots, contribute little to stormwater funding.</p> <p>To address this inequity and other stormwater funding issues, in December 2021 Hamilton Council directed City staff to review various stormwater funding options. In June 2022, Council directed staff to evaluate an alternative stormwater rate funding structure. On June 28, 2023 Council approved a more equitable stormwater rate structure and directed staff to consult the public on a stormwater financial incentive program. The funding model will be implemented in 2025.</p> <p>Rather than charging properties for stormwater based on their potable water consumption and/or assessed value, the approved stormwater rate structure charges properties based on the amount of hard surface (e.g., paving) on their property. Properties that are not on the City’s water and wastewater systems do not currently contribute to stormwater funding through municipal water/wastewater rates. These properties do however benefit from the City’s rural stormwater system that includes ditches, creeks and roads which act as overland flow routes during large storms. Currently, the City spends more on managing stormwater in rural area than the portion of stormwater funding that rural properties contribute through property taxes.</p> <p>The City’s stormwater programs include work in the rural areas such as the operation and maintenance of stormwater management facilities, watercourse inspection and rehabilitation, invasive species control, etc., all of which benefit rural property owners and are not supported by municipal property taxes.</p>
Residents	Which survey to fill out?	<p>A resident was unsure of which survey to fill out as an agricultural property owner:</p> <ul style="list-style-type: none"> ■ “I see that there are two surveys ... one for residential, and one for commercial. How would farm properties respond?” 	<p>Agricultural properties should fill out the Industrial, Commercial, Institutional (ICI) and Large Multi-Residential Owner / Operator Survey.</p> <p>*note that an Agricultural version of the survey was created and made available after</p>



Appendix B

Email Correspondence Summary



Appendix B

Over 100 questions were received from approximately 52 property owners via email. The table below highlights the themes of questions/ comments received and the responses provided.

Comment Source	Theme	Comment	Response
Residents	Support for the stormwater fee	<p>Residents sent messages of support for the stormwater fee:</p> <ul style="list-style-type: none"> ■ “Putting a price on the stormwater will encourage better choices about the amount of hard surfacing we place in the watershed in the future. I also agree that the process should be: Fair & equitable, Climate resilient & environmentally sustainable, Justifiable, and Simple to understand.” ■ “I do support the change to wastewater management, even if I don’t qualify for any deductions.” 	<p>Thank you for your email. Your suggestions have been noted and tracked for our future reference.</p> <p>Feedback on the financial incentive program will be considered as part of a change in how stormwater management is funded at the City. Engagement to help shape plans for the proposed Stormwater Incentive Program will take place from October 30 to December 3, 2023. Individuals can participate by taking a survey, joining a virtual meeting or attending an in-person open house.</p> <p>At this time we do not have an approved rate for 2025. Traditionally utility rates are presented to Council in November or December for the following year. For example, the 2023 Rate budget was presented to Council on November 24, 2022.</p>
Residents and ICI	Impact on me	<p>Property owners from both urban and rural areas inquired about how the fees will be calculated:</p> <ul style="list-style-type: none"> ■ “What are the fees are proposed to be, how they will be calculated, and how they will be billed?” ■ Inquiries were also received asking how the program would affect ICI properties and if “exemptions to this new taxation include, Commercial, Government owned Parks & Buildings, Airports, Agriculture & Churches” 	<p>Rather than charging properties for stormwater based on their potable water consumption and/or assessed value, the approved stormwater rate structure charges properties based on the amount of hard surface (e.g., paving) on their property. Under the proposed program, agricultural commercial properties would be eligible for a credit program.</p> <p>Engagement to help shape plans for the proposed stormwater financial incentive program will take place until January 8, 2024. We are interested to hear from rural residents as to what grants and subsidies would be of interest to them. The funding model will be implemented in 2025.</p> <p>No properties will be exempt from the new dedicated stormwater funding fee. However, feedback on a financial incentive program will be considered as part of a change in how stormwater management is funded at the City. Engagement to help shape plans for the proposed Stormwater Incentive Program will take place until January 8, 2024. Learn more about the stormwater incentive program and engagement opportunity details by visiting: Stormwater Incentive Program Engage Hamilton.</p> <p>Hamilton is considering offering a credit program for ICI properties if they reduce the quantity or improve the quality of stormwater that runs off their property. By managing their stormwater on-site, property owners help restore the natural water balance, protect natural waterbodies, and reduce the risk of downstream flooding. However, regardless of how much property owners manage their stormwater on-site, the City must still maintain a stormwater system to service all developed properties, particularly for</p>

Appendix B

Comment Source	Theme	Comment	Response
			<p>intense rainfall events that can overwhelm on-site measures. The City must also maintain a drainage system for the roadways that front each property. In order to cover these base, fixed costs, the City of Hamilton, like many other Ontario municipalities with a stormwater credit program, have capped the proposed credits at 50%.</p>
<p>Residents</p>	<p>Stormwater fees are unfair to rural residents</p>	<p>Farmers and rural property owners expressed over fairness:</p> <ul style="list-style-type: none"> ■ There is a belief that rural properties do not connect with the City system and therefore no service is provided in return for the fee. ■ Property owners had “concerns about equitable billing”, citing their own on-property water management systems, their property’s ample green space or area of fields used for crops. ■ Rural residents believe that the stormwater fees are unreasonable, will cause “negative financial impacts” and request to be exempt from the fees. 	<p>The City’s stormwater programs include work in the rural areas such as the operation and maintenance of stormwater management facilities, watercourse inspection and rehabilitation, invasive species control, etc., all of which benefit rural property owners and are not supported by municipal property taxes.</p> <p>The project team has heard the concerns of residents and is looking to introduce a “Green Space” credit which would take into consideration the ratio of pervious to impervious area of a property. The Green Space credit could reduce base stormwater charges by a significant amount for farms and other large properties. The recommendation report for the incentive program will be brought forward for Council consideration this spring.</p> <p>Rather than charging properties for stormwater based on their potable water consumption and/or assessed value, the approved stormwater rate structure charges properties based on the amount of hard surface (e.g., paving) on their property. Under the proposed program, agricultural commercial properties would be eligible for a credit program.</p> <p>Engagement to help shape plans for the proposed stormwater financial incentive program will take place until January 8, 2024. We are interested to hear from rural residents as to what grants and subsidies would be of interest to them. The funding model will be implemented in 2025.</p>
<p>ICI representative</p>	<p>Stormwater fees are unfair to waterfront residents</p>	<p>Properties along the waterfront inquired if the stormwater fee is appropriate for them. Property owners reasoned that stormwater falling onto the properties drain directly to the harbour and not entering the city sewer system:</p> <ul style="list-style-type: none"> ■ “Properties north of Burlington St” that “do not contribute stormwater to city infrastructure, either because they drain directly to the harbour or via other means, should not have the same burden as properties that implement the incentive measures”. The representative then offered a proposal for a fixed fee. 	<p>Feedback from waterfront properties will be considered.</p>

Appendix B

Comment Source	Theme	Comment	Response
Residents	Request for Information	<p>Residents wanted more information, including:</p> <ul style="list-style-type: none"> ■ How the credits will work for harbourfront properties. ■ The possibility of an extension for the public engagement period. ■ Details about stormwater measures that would qualify for the incentive programs for contractors currently designing a co-op building. 	<p>Responses to direct requests for information:</p> <ul style="list-style-type: none"> ■ The incentive program has not been approved by Council yet; however, Hamilton is considering offering a credit program of up to 50% for Industrial, Commercial, Institutional (ICI) and large multi-residential properties if they reduce the quantity or improve the quality of stormwater that runs off their property. ■ The engagement period will not be extended further. ■ The stormwater funding incentive program is still in a consultative stage. That being said, the proposed incentive program is designed to support projects which include a water quality component and reduce discharge to the combined sewer system. The architect and engineering consultants for the site may wish to compare their proposed ideas for stormwater management with the current draft of the stormwater credit program.



Appendix C

Residential Survey Results

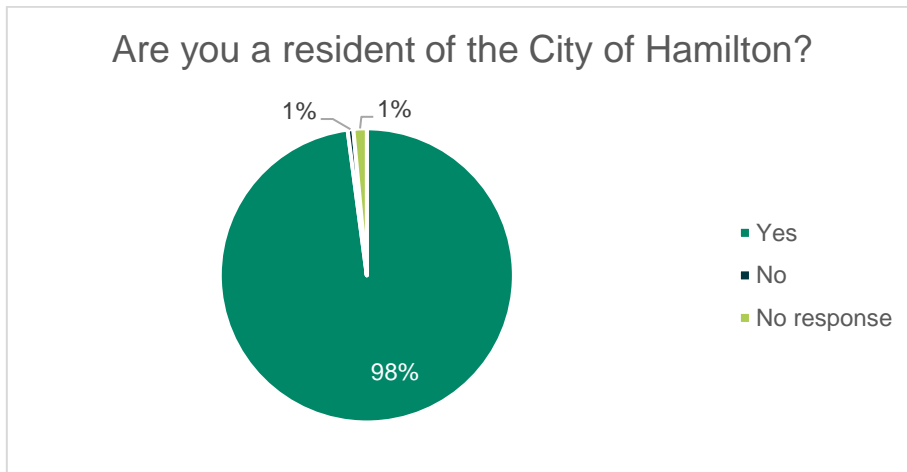


Appendix C Survey Results – Residential Properties \leq 6 units

A total of **477 responses** were received to the residential and small multi-residential survey.

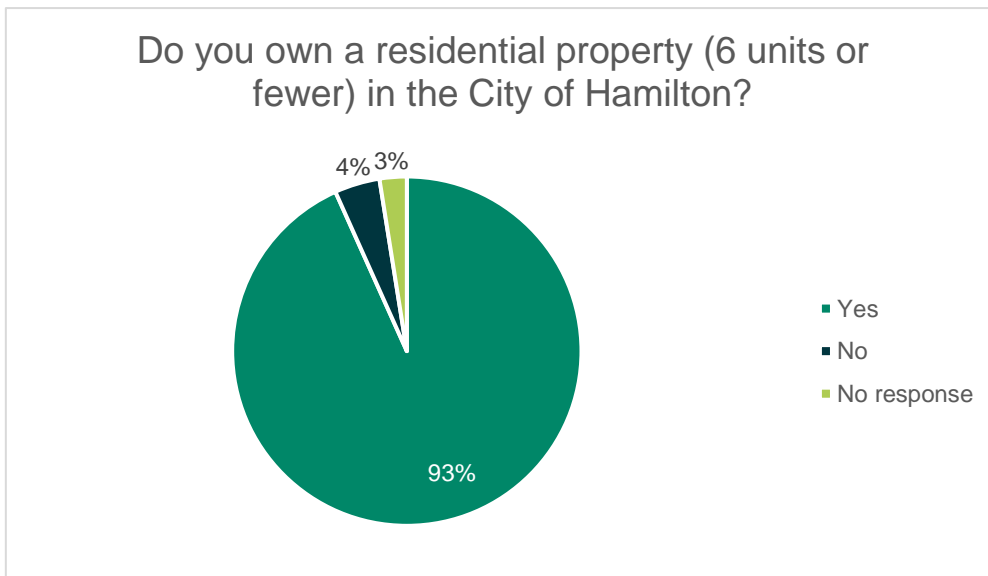
C.1 Demographics

Q1. Are you a resident of the City of Hamilton?



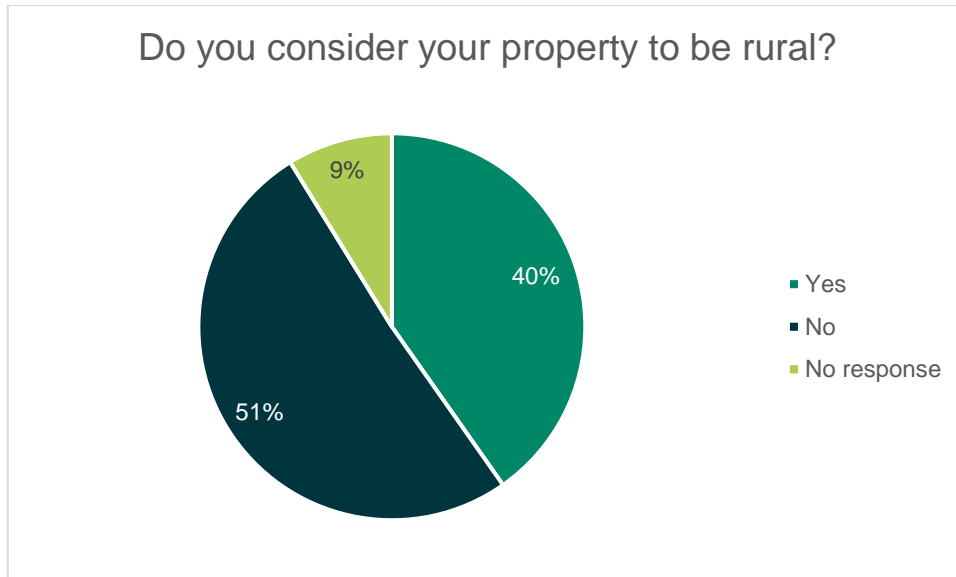
Nearly all respondents (98%) are residents of the City of Hamilton, while 1% are not (1% provided no response).

Q2. Do you own a residential property (6 units or fewer) in the City of Hamilton?



A large majority (93%) of residential respondents own a residential property (6 units or fewer) in the City of Hamilton, while only 4% do not (3% of respondents did not answer the question).

Q3. Do you consider your property to be rural?



A majority (51%) of residential respondents do not consider their property to be rural, while 40% do consider their property to be rural (9% of respondents did not answer the question).

C.2 Managing Stormwater at the City

Q4. How important are the City’s stormwater management services to you?

How important are the City’s stormwater management services to you?	Total Residential	Rural Residential	Urban Residential
Very important	37%	17%	53%
Important	23%	16%	30%
Somewhat important	15%	22%	11%
Not important	24%	46%	6%
	n=477	n=192	n=243

More than half of residential respondents consider City’s stormwater management services to be either very important (37%) or important (23%). Most urban residential respondents consider the City’s stormwater management services to be either very important (53%) or important (30%), whereas more rural residential respondents do not consider the services to be important (46%), or only somewhat important (22%).

Q4.a. Why do you feel that way about the City’s stormwater management services?

Why do you feel that way about the City’s stormwater management services?	Very important	Important	Somewhat important
Good for the environment	65	20	1
Concerned about flooding	48	38	3
It is an important service	19	7	2
It will cost more in the long term without it	12	4	3
Limited stormwater infrastructure where I live	7	10	41

Of those who consider stormwater management very important or important, most either stated that stormwater management is important for protecting the environment (65 responses for very important, 20 responses for important) or for protecting against flooding (48 responses for very important, 38 responses for important). Of those who consider stormwater management only somewhat important, most (41 responses) referenced the limited stormwater infrastructure where they live. No reasoning was provided by those who believe that stormwater infrastructure is not important.

C.3 Stormwater Management Service Funding

Q5. Did you know that property owners currently pay for stormwater management services in Hamilton?

Did you know that property owners currently pay for stormwater management services in Hamilton?	Total Residential	Rural Residential	Urban Residential
Yes	74%	66%	80%
No	26%	34%	20%
	n=472	n=191	n=243

Approximately three-quarters (74%) of residential respondents are aware that property owners currently pay for stormwater management services, including a large majority of urban residential respondents (80%) and many rural residential respondents (66%).

C.4 Incentive Program

Q6. How important is it to you that the City offers incentive programs to encourage property owners to implement on-site measures to reduce the amount of stormwater runoff from their property?

How important is it to you that the City offers incentive programs to encourage property owners to implement on-site measures to reduce the amount of stormwater runoff from their property?	Total Residential	Rural Residential	Urban Residential
Very important	44%	29%	54%
Important	24%	25%	24%
Somewhat important	14%	16%	13%
Not important	18%	30%	9%
	n=470	n=189	n=241

More than half of residential respondents said that it is either very important (44%) or important (24%) that the City offer incentive programs to encourage on-site measures to reduce stormwater runoff from properties. Most urban residential respondents also believe it is very important (54%) or important (24%) to offer incentive programs, whereas just over half of rural residential respondents believe it is either very important (29%) or important (25%).

Q6.a. Why do you feel that way about the incentive programs?

Those who responded to the previous question with: Very important/ Important/ Somewhat important	Total # Responses	Rural # Responses	Urban # Responses
Increases public participation	148	30	108
Reduce cost to taxpayer	44	14	23
Good for the environment	23	8	13
Concerns with implementation	13	4	8
The city should focus on penalizing large properties with poor stormwater management	12	6	4
Concern about flooding	9	4	4
Don't see the need/not necessary in my area	44	28	11

The top comment in support of incentive programs is that an incentive program increases public participation in stormwater management (148 responses). Others believe that incentive programs help to reduce the cost to taxpayers (44 responses) and note potential benefits for the environment (23 responses). Some people (44 responses) – particularly in the rural area – who indicated that stormwater management is very important, important or somewhat important, also said that they do not believe it is necessary in the area around their property.

Those who responded to the previous question with: Not important	Total # Responses	Rural # Responses	Urban # Responses
Don't see the need/not necessary in my area	47	41	3
Concern about the cost of implementing incentive programs	23	11	11
The City should focus on penalizing large properties with poor stormwater management	4	2	2

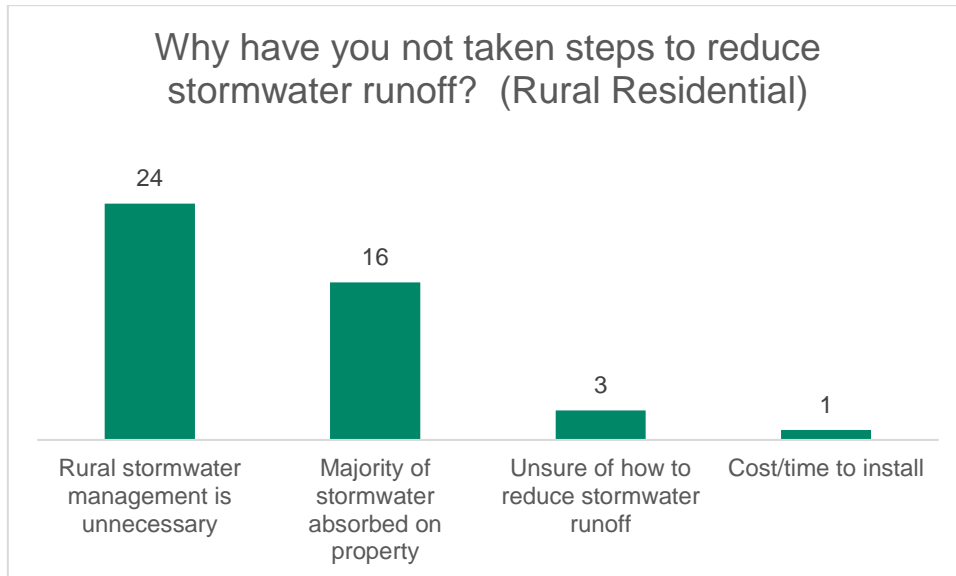
The top comments from respondents who view incentive programs as not important are that they do not believe it would have an impact on stormwater management (47 responses) or question the cost of implementing the program (23 responses).

Q7. Have you taken steps to reduce stormwater runoff on your property?

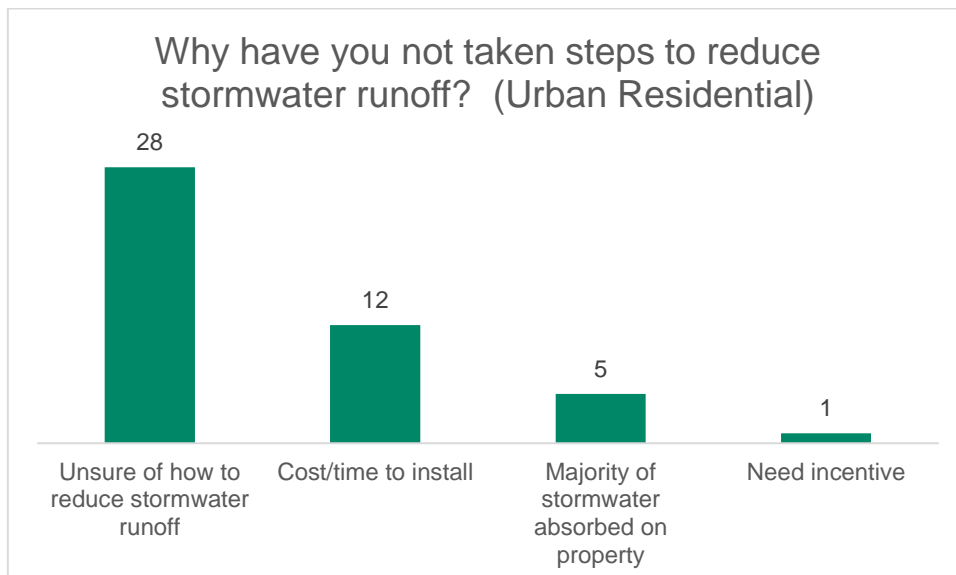
Have you taken steps to reduce stormwater runoff on your property?	Total Residential	Rural Residential	Urban Residential
Yes	76%	75%	76%
No	24%	25%	24%
	n=472	n=191	n=242

Approximately three-quarters (76%) of residential respondents have taken steps to reduce stormwater runoff on their property, including three-quarters of urban and rural residential property owners.

Q7.a. Why have you not taken steps to reduce stormwater runoff?

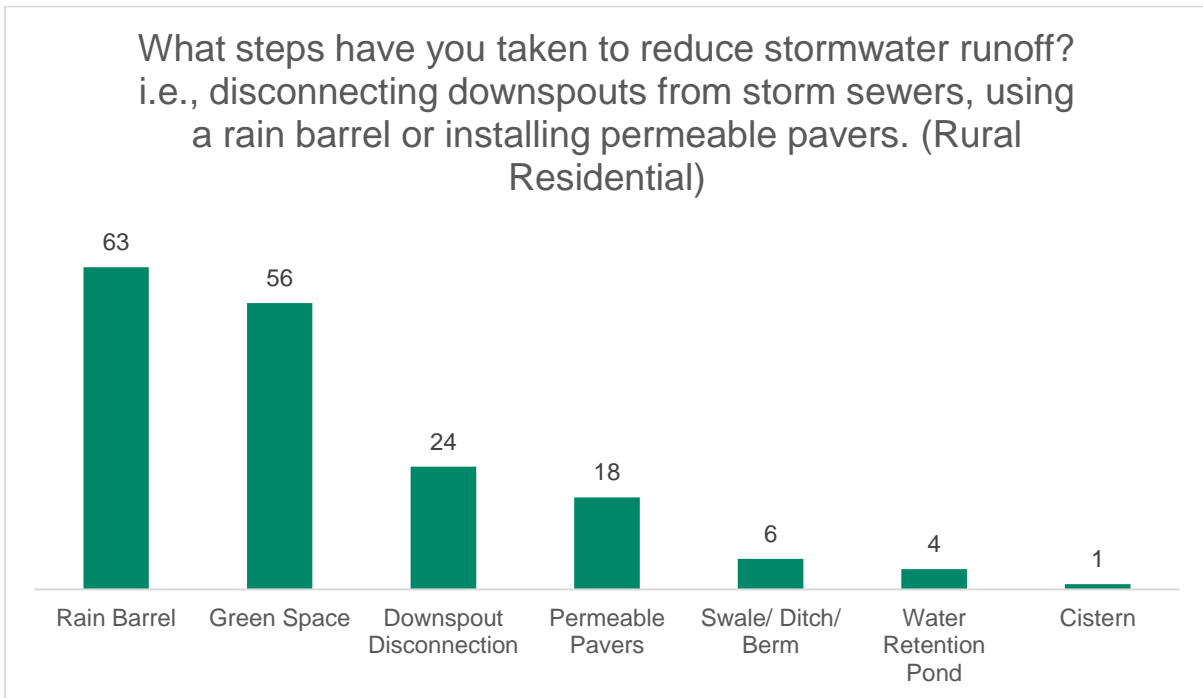


The top reason rural residents have not taken steps to reduce stormwater run off is because they believe that rural stormwater management is unnecessary (24 responses). A number of respondents also state that their property absorbs a majority of stormwater (16 responses).

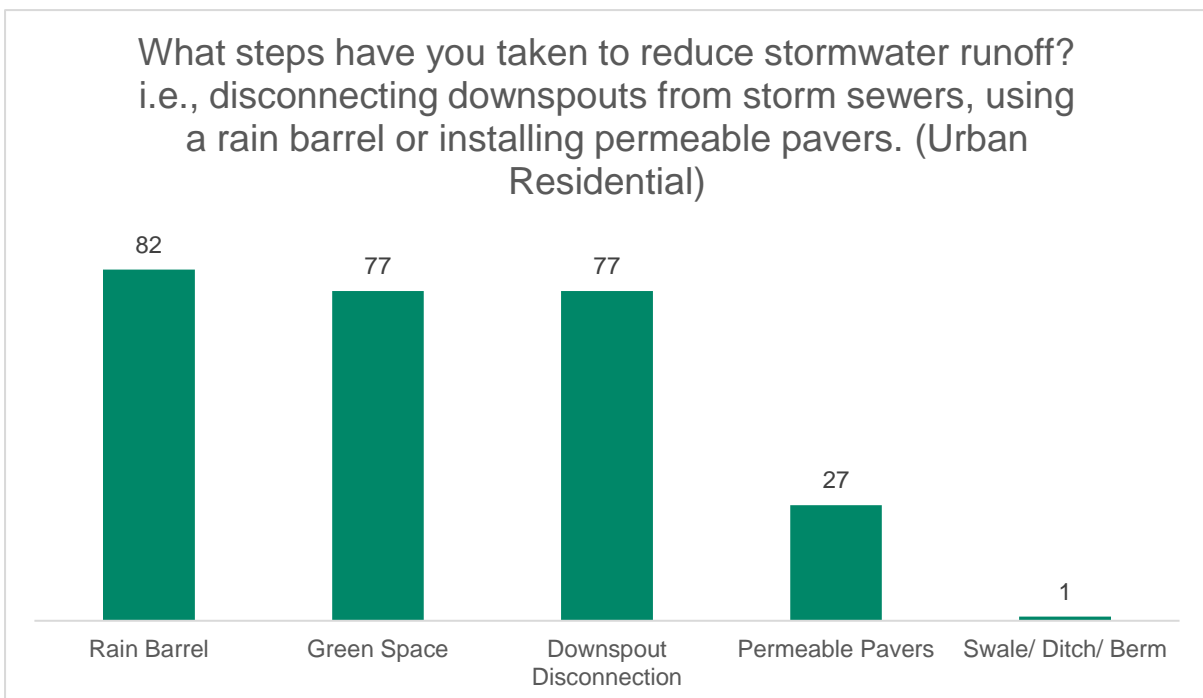


The top reason urban residents have not taken steps to reduce stormwater run off is that they are unsure of how to reduce stormwater runoff on their properties (28 responses). Others also expressed concerns about the cost or time required to implement measures on their property (12 responses).

Q8. What steps have you taken to reduce stormwater runoff? i.e., disconnecting downspouts from storm sewers, using a rain barrel or installing permeable pavers.



The most common step taken by rural residents to reduce stormwater runoff is to use rain barrels (63 responses), followed closely by the use of green space (56 responses). Rural residents also have downspouts that are disconnected from the system (24 responses) and others used permeable pavers on their property (18 responses). Other responses include having swales, ditches or berms (6 responses), water retention ponds (4 responses) and cisterns (1 response).



The most common steps taken by urban residents to reduce stormwater runoff is to use rain barrels (82 responses), followed closely by the use of green space and disconnected downspouts (both with 77 responses). Some urban residents used permeable pavers on their property (27 responses) and one respondent had either swales, ditches or berms on their property.

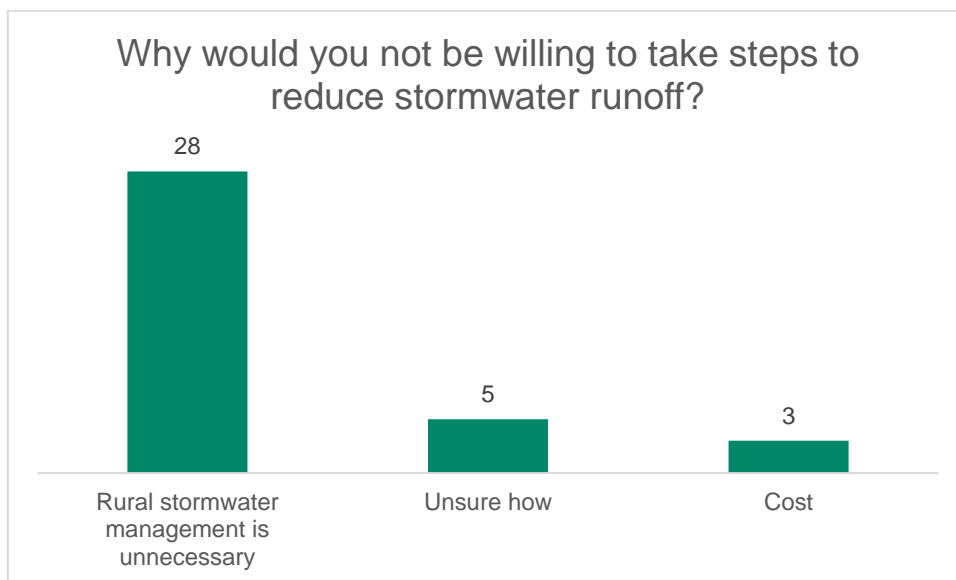
Q9. If you are not already doing so, would you be willing to take steps on your own property to reduce the amount of stormwater runoff on your property?

Would you be willing to take steps on your own property to reduce the amount of stormwater runoff on your property? I.e. disconnecting downspouts from storm sewers, using a rain barrel.

	Total Residential	Rural Residential	Urban Residential
Yes	66%	37%	91%
No	34%	63%	9%
	n=109	n=46	n=54

While the majority of total residential property owners (66%) who are not already doing so would be willing to take steps on their properties to reduce the amount of stormwater, only 37% of rural residential respondents are willing to take steps to reduce runoff compared to 91% of urban residential respondents.

Q9.a. Why would you not be willing to take steps to reduce stormwater runoff?



Among those not willing to take steps to reduce runoff who responded to this question, the majority (28 responses) indicated that they do not believe rural stormwater management is necessary. Others (5 responses) stated that they are unsure what steps they could take on their property and a few (3 responses) are concerned about the cost of implementing changes.

Q10. What support should the City provide to encourage good stormwater management practices on residential properties?

What support should the City provide to encourage good stormwater management practices on residential properties?	Total Residential	Rural Residential	Urban Residential
Online resources, such as stormwater guides and manuals for properties	64%	53%	71%
In person guidance from experts	34%	24%	42%
List of approved contractors	25%	11%	35%
Reduced cost for materials, such as rain barrels, fixtures for disconnecting roof leaders, or plants for rain gardens etc.	66%	53%	76%
Other	25%	29%	24%
	n=477	n=192	n=243

Total residential respondents are most interested in the City providing reduced cost for materials (66%) and online resources (64%). Urban residential respondents are generally more interested in online resources offered by the City compared to rural residential respondents.

‘Other’ and Corresponding Description Categorized

	Total # Responses	Rural # Responses	Urban # Responses
Additional credits	28	9	18
Exempt farms/rural properties	26	24	2
Expand/improve maintenance of City infrastructure	12	9	2
Bylaws to stop bad practices	7	2	5
Discounts on native plants/trees	5	1	4
Property audits/in-person training	4	1	3
Partner with NGOs	4	1	3
Setup/delivery support	2		2
Create a list of approved contractors	2		2
Discounts on downspout re-routing	1	1	
Mail information leaflet	1		1

The two most common ‘other’ responses from residential respondents are that the City should offer additional credits and exempt farms/ rural properties (from the stormwater management fee) – which received 28 and 26 comments in support respectively. A further 12 respondents supported the improvement and maintenance of City infrastructure and seven suggested the City should penalize the worst offenders.

Q11. What barriers have you encountered, or do you foresee, in implementing stormwater management practices on your property?

What barriers have you encountered, or do you foresee, in implementing stormwater management practices on your property?	Total Residential	Rural Residential	Urban Residential
Cost	62%	55%	67%
Lack of knowledge or understanding of on-site stormwater management practices	40%	26%	48%
Lack of knowledge or understanding of available subsidized programs	38%	28%	45%
Lack of knowledge about contractors	19%	9%	25%
Other	17%	17%	19%
	n=448	n=173	n=239

The most cited barrier to implementing stormwater management practices is cost with 62% of total residential respondents noting that as a challenge (55% of rural and 67% of urban respondents).

‘Other’ and Corresponding Description Categorized

	Total # Responses	Rural # Responses	Urban # Responses
Lack of knowledge	13	6	6
Limited city infrastructure	12	8	4
City incentives are inadequate	11	3	7
Restrictions from the City	10	6	4
Cost outweighs benefit	9	3	5
Don't have the time/physical capacity	6		6
Unable to validate contractors	6	1	5
Neighbouring properties/slope on property	5	2	3
Not enough space	4		4

The top three other barriers to implementing on-site stormwater management identified by rural respondents include limited City incentives (8 responses), followed by a lack of knowledge and restrictions from the City (6 responses each).

The top three other barriers to implementing on-site stormwater management identified by urban respondents include inadequate City incentives (7 responses), followed by a lack the knowledge and limited time and/ or physical capacity (6 responses each).

Q12. Should industrial, commercial, institutional, and large multi-residential properties be eligible for a credit (reduction in their stormwater fee) if they implement and maintain on-site measures that reduce the quantity and/or improve the quality of the stormwater that runs off their site?

Should industrial, commercial, institutional, and large multi-residential properties be eligible for a credit (reduction in their stormwater fee) if they implement and maintain on-site measures that reduce the quantity and/or improve the quality of the stormwater that runs off their site?

	Total Residential	Rural Residential	Urban Residential
Yes	72%	71%	74%
No	28%	29%	26%
	n=466	n=186	n=240

A majority of residential respondents (72%) believe that industrial, commercial, institutional, and large multi-residential properties should be eligible for a credit for implementing on-site stormwater management practices. The level of support from rural and urban residents is very similar (71% and 74% respectively).

Q12.a. Why do you think industrial, commercial, institutional, and large multi-residential properties should receive a credit? (Total Residential only)

	Total # Responses
Encourage participation	164
Good for the environment	55
Promote mitigation at the source	35
Reduce cost burden	14

Most respondents who think that industrial, commercial, institutional, and large multi-residential properties should receive a credit believe that a credit would encourage participation in stormwater management (164 responses).

Q12.b. Why do you think industrial, commercial, institutional, and large multi-residential properties should not receive a credit? (Total Residential only)

	Total # Responses
Those properties can incur the full cost	62
They are the source of stormwater issues	37
Other	10

Those respondents who do not think that industrial, commercial, institutional, and large multi-residential properties should receive a credit, state that these large properties are able to incur the full cost of a stormwater fee (62 responses), and that they are the source of many stormwater issues (37 responses).

Q13. Most Canadian municipalities with stormwater fees will limit credits (reduction in stormwater fee) to a maximum of 50%. This ensures all properties still contribute some funding to cover the base, fixed costs of maintaining a municipal stormwater system. Do you agree with this approach?

Most Canadian municipalities with stormwater fees will limit credits (reduction in stormwater fee) to a maximum of 50%. This ensures all properties still contribute some funding to cover the base, fixed costs of maintaining a municipal stormwater system. Do you agree with this approach?

	Total Residential	Rural Residential	Urban Residential
Yes	51%	30%	68%
No	49%	70%	32%
	n=459	n=182	n=240

A slight majority (51%) of total residential respondents believe there should be a maximum credit of 50%. Most urban residential respondents (68%) agree with limiting credits to 50%, whereas most rural residential respondents (70%) do not agree with limiting credits.

Q13.a. Why do you agree with limiting the stormwater credits (reduction of stormwater fee)?

Why do you agree with limiting the stormwater credits (reduction of stormwater fee)?	Rural # Responses	Urban # Responses
Fairness	35	103
May cost more to administer	4	6

Among those who agree with limiting the stormwater credits, most cite fairness – that ICI and multi-residential should still help to fund the stormwater system regardless of on-site measures – as the reason why.

Q13.b. Why do you disagree with limiting the stormwater credits (reduction of stormwater fee)?

Why do you disagree with limiting the stormwater credits (reduction of stormwater fee)?	Rural # Responses	Urban # Responses
Disagree with program altogether	80	25
Discourages participation	25	26
No credits or subsidies for any property type	6	12
Credit should be offered to residents as well	1	1

Among those who disagree with limiting the stormwater credit, most rural respondents stated that they disagree with the program (stormwater fee) altogether. Other reasons why respondents disagree with limiting stormwater credits is that they believe it discourages participation, whereas others believe that there should be no credits or subsidies for any property type.

Q14. Costs to the City for administering credit programs can be high, and require time and effort for property owners to apply for and maintain a credit. Since the stormwater fee for the average residential property would likely be less than \$20 per month, the City is proposing to offer subsidies to residents to implement on-site measures instead of a stormwater fee credit. On-site measures could include disconnecting downspouts, installing rain barrels, and constructing rain gardens. Do you agree with the approach of providing subsidies rather than credits to residential property owners?

Do you agree with the approach of providing subsidies rather than credits to residential property owners?	Total Residential	Rural Residential	Urban Residential
Yes	49%	35%	59%
No	51%	65%	41%
	n=448	n=179	n=233

A slight majority of total residential respondents (51%) do not agree with the approach of providing subsidies rather than credits to residential property owners. A majority (59%) of urban residential respondents support a subsidy as opposed to a credit program, whereas a majority (65%) of rural residential respondents do not support providing subsidies rather than credits to residential property owners.

Q14.a. Why do you agree with providing subsidies rather than credits to residential property owners?

Why do you agree with providing subsidies rather than credits to residential property owners?	Rural # Responses	Urban # Responses
Encourage participation	23	54
Lowers administration costs	11	27
Good for the Environment		2

Among those who support subsidies rather than credits, most rural and urban respondents say that it encourages participation in the program, followed by lowered administration costs.

Q14.b. Why do you disagree with providing subsidies rather than credits to residential property owners?

Why do you disagree with providing subsidies rather than credits to residential property owners?	Rural # Responses	Urban # Responses
Disagree with program	40	17
Concern about implementation	18	16
Credits are better	13	20
Feel they will not qualify	6	14
Enforcement instead of subsidy or credit program	4	2
No subsidy or credit program needed	1	
Provide both		3

Among those who disagree with providing subsidies rather than credits, most rural residential respondents state that they disagree with the program (40 responses). Most urban residents who disagree with providing subsidies rather than credits

believe that credits are better (20 responses), disagree with the program (17 responses) and/ or have concerns about the implementation (16 responses).

Q15. A summary of the draft financial incentive program proposed by the City is available for review. Have you reviewed the draft incentive program?

A summary of the draft financial incentive program proposed by the City is available for review. Have you reviewed the draft incentive program?	Total Residential	Rural Residential	Urban Residential
Yes	37%	44%	32%
No	63%	56%	68%
	n=451	n=182	n=233

Most residential respondents did not review the draft incentive program (63%). 44% of rural residential and 32% of urban residential have reviewed the draft financial incentive program proposed by the City.

Q16. Do you have any comments on the draft incentive program?

Do you have any comments on the draft incentive program?	Total # Responses	Rural # Responses	Urban # Responses
Unfair	45	36	7
Need more details	19	5	13
In-support of the incentive program concept	11	1	9
Residents should get credits	8	1	7
Concerned about incentive program costs	6	2	4
Will I qualify?	4	1	3
Begin incentive program as soon as possible	1		1
Show more City-wide data	1		1

Of those who provided additional comments, most rural respondents believe that the draft incentives program is unfair (36 responses). Most urban residential respondents felt that they need more details to understand it (13 responses).

Q17. Do you have additional ideas, questions or concerns that you would like to share with the study team?

Do you have additional ideas, questions or concerns that you would like to share with the study team?	Rural # Responses	Urban # Responses
Unfair to rural residents	59	11
Concerned about cost	36	18
Request for information	10	8
The City should develop a public education campaign	3	6
The City should institute minimum SWM requirements for new builds	2	8
Not enough information was disseminated to the public prior to survey	2	2
SWM systems are inadequate in my area	1	3
The City should create new bylaws to limit bad practices		10
The City should simplify incentive program		2
Residents who already implemented measures should receive a retroactive credit		1

Of those who responded, many rural residential respondents felt that the program is unfair to rural residents (59 comments) and felt concerned about the cost (36 comments). Similarly, some urban residential respondents were concerned about the cost (18 comments) and others felt it unfair to rural residents (11 comments).

Sample of comments received:

“Make developers part of the action by telling them to implement on-site measures so the new property owners don't have to do it...Make developers protect wetlands that can hold water back and create ecosystems for lots of creatures and plants.”

“Rural properties with large land like farms should be included in the industrial category. With their livestock ponds and large fields they make significant contributions to controlling run-off.”

“Add more details right on people's water bills to show how they are making an impact is motivating. One page of the bill could be devoted to graphs and stats on the city's efforts and those outcomes.”

“With as-of-right construction of up to 10 residential units in most locations, I anticipate that measures to reduce run-off may become essential as part of these developments to avoid negative impacts on the downstream receiving system (e.g., exceed sewer capacity). Consider if there is a need and an opportunity through the stormwater fee /incentives program to ensure/encourage those measures are maintained even though they are connected to a residential property with 6 units or less.”

“Environment Hamilton has done fantastic work on this issue for years, and I would highly recommend using them as an advisory group in this process.”

“I have advocated for years to protect and preserve wetlands that once surrounded my property and the city of Hamilton has allowed developers to drain and “pave over” the wetlands/head waters of Ancaster creek. Now you want me to fund your storm management program to fix the problems that you allowed the developers to create? We still have small pockets of wetlands in the Southcote Road area that currently have proposals for development on the properties where they are situated. Of course there is no consideration to protect these areas....
So what I think you are really asking for is that the public fund storm water management for the developers..”

“I like that this is being explored to charge in a more equitable way. Try and minimize admin cost, review needs every 5 years and adjust as needed.”

“Please make some really informative how-to videos and put them on YouTube. How to properly install a rain barrel, how to hook up a chain of barrels, how to disconnect them in the winter, how to create a rain garden, etc.”

“Different departments such as forestry; parks and recreation, as well as water management need to work together in order to provide compounded benefits as described above. Perhaps forestry could provide native trees (canopy and mid-level), and Parks could provide seedlings of shrubs and flowers. Would Green Venture be

able to provide educational resources for homeowners? Would a multi-disciplinary steering committee with members from the general public, biological experts; representatives from Forestry; Parks and Rec and council be able to work together to fine tune the program? Would volunteers from each neighbourhood and ward be sought out who are willing to provide supportive educational supports in each neighbourhood of the city? Will the city focus especially on heat islands and areas in the downtown core that have extremely limited areas for plantings? What about incentives in new buildings for roof gardens shielded with solar panels to protect residents from the sun? What about incentives for downtown parking lots to rip up the asphalt and install well-spaced trees and plants for cooling as well as water infiltration?"

"This penalizes rural property owners. The cost for large rural properties would likely be greater than \$20. Capping at 50% is not ok, as we already do many things to manage our storm water. We do not receive many of the services provided by the city yet continue to pay very high taxes"

"I heard about this survey through a facegroup I belong to. I have an issue with the fact that this stormwater fee has not been publicized that much. I saw the council meeting from June 2023 that was online as it was mentioned that notices were put into the paper. Most people do not get the paper anymore and community papers have now folded. The city needs to do more with regards to publicizing these fee changes. The city was able to send out many asset review surveys through the libraries; why couldn't this issue have been publicized this way also?"

"I'm normally not one to say "I don't want to pay for something I don't use". But in this case, the algorithms used to calculate the fees need to be **DRASTICALLY** altered, or the program needs to be scraped entirely or we will lose the few local family farms we have left."

"Special consideration should be given to rural property owners and especially farmers who do not have sewers for the water to go to. They should **NOT** be treated like big box stores and malls with huge swaths of paved parking lots. On farms, no matter the size of their roof, the water goes back into the land. Give them a **BREAK**. We need them!"

"You come across as trying to be more equitable but in reality this is a tax grab. The Chedoke cleanup as well as numerous sewers directly discharging into natural waterways has cost the city millions in fines and infrastructure repairs/cleanup. This isn't about protecting the environment at all. Hamilton mismanages tax payers money and once again needs more money to fix its mistakes. I live on a rural property, single family home, no sewers.... **WHY AM I BEING ASKED TO FUND THIS? I AM AGAINST THIS PROPOSED TAX.**"



Appendix D

ICI and Multi-residential Survey Results

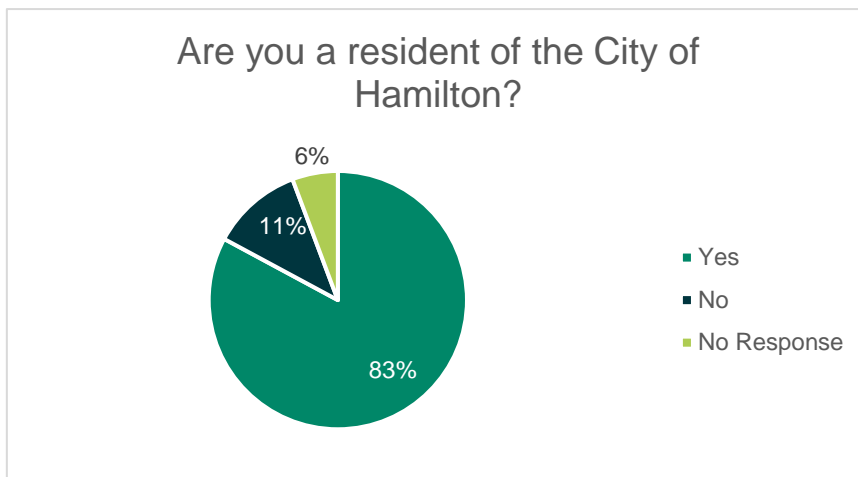


Appendix D Survey Results – Industrial, Commercial, Institutional & Large Multi-Residential Property Owners/ Operators

A total of **35 responses** were received to the Industrial, Commercial, Institutional (ICI) and large multi-residential property owners and operators survey.

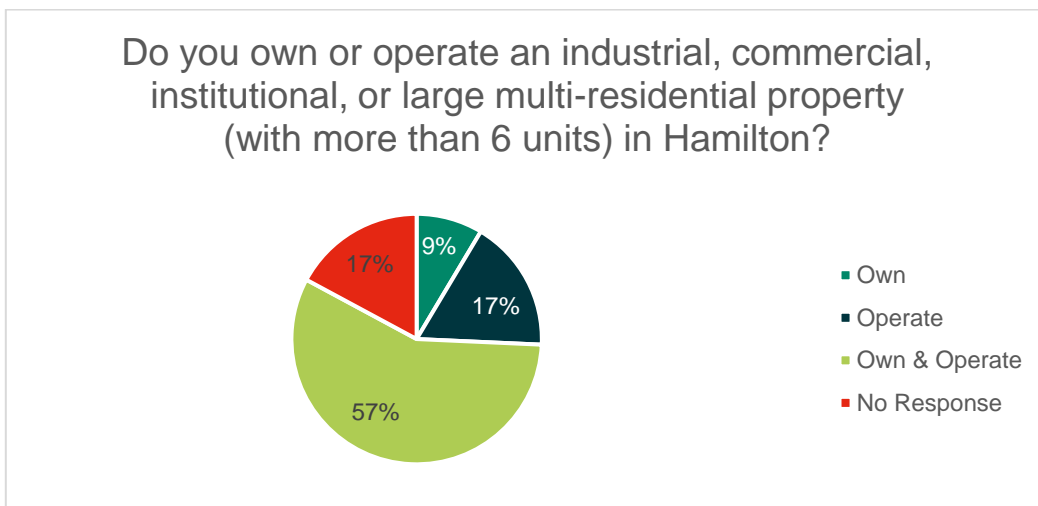
D.1 Demographics

Q1. Are you a resident of the City of Hamilton?



Nearly all ICI and multi-residential respondents (83%) are residents of the City of Hamilton, while 11% are not (6% did not answer the question).

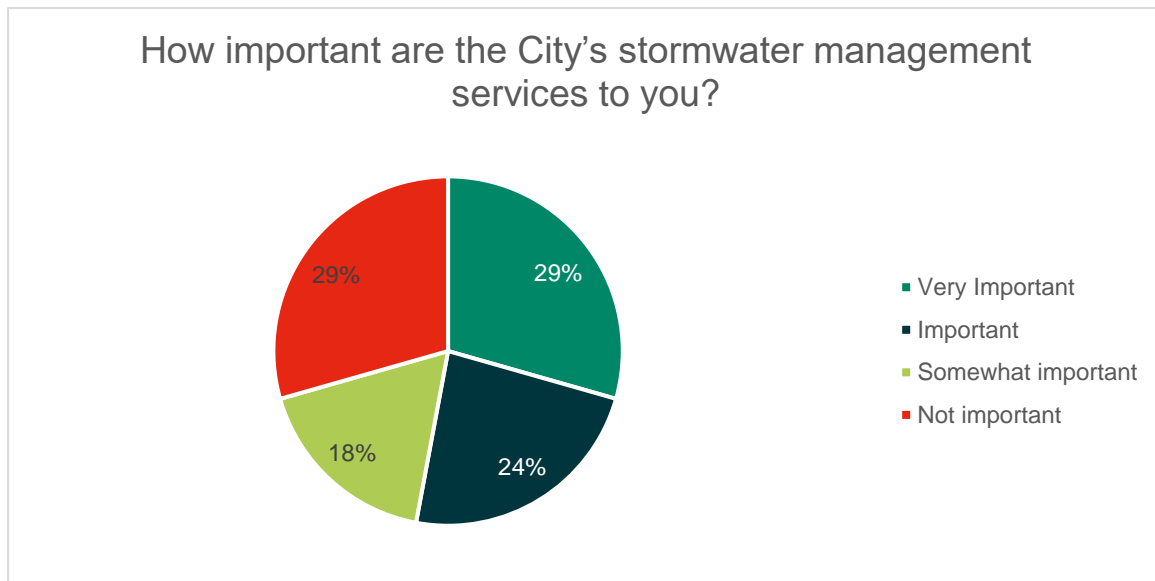
Q2. Do you own or operate an industrial, commercial, institutional, or large multi-residential property (i.e., more than 6 units) in the City of Hamilton?



Most ICI and multi-residential respondents (57%) both own and operate an industrial, commercial, institutional, or large multi-residential property in Hamilton, whereas 17% only operate a property and 9% only own a property (17% did not answer the question).

D.2 Managing Stormwater at the City

Q3. How important are the City’s stormwater management services to you?



Among ICI and multi-residential respondents (n=34), a slight majority consider the City’s stormwater management services as either very important (29%) or important (24%), whereas 18% consider it ‘somewhat important’ and the remaining 29% do not consider it important.

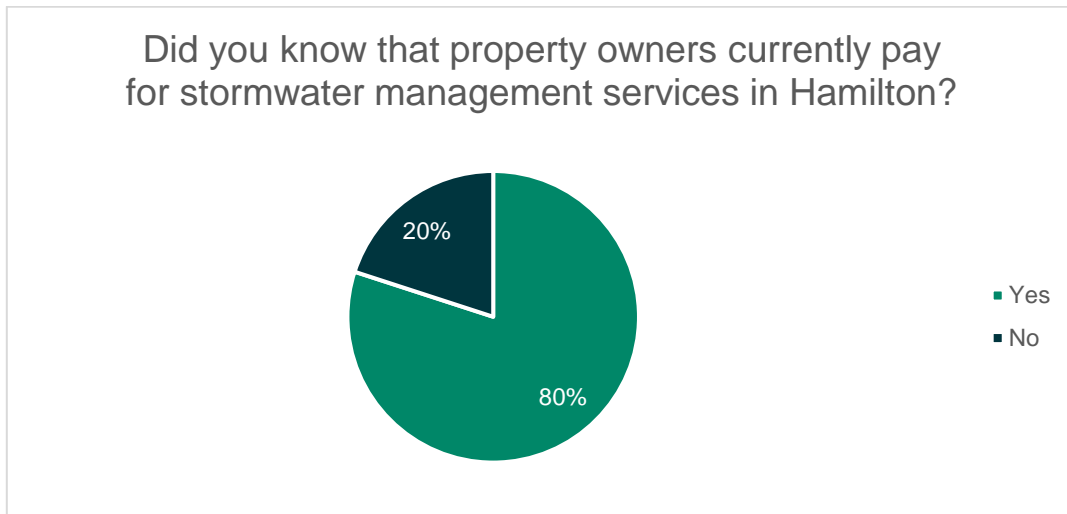
Q3.a. Why do you feel that way about the City’s stormwater management services?

Why do you feel that way about the City’s stormwater management services?	Very important/	Important	Somewhat important
Good for the environment	3	1	
It is an important service	2	4	
Fairness	1		
Limited stormwater infrastructure where I live			5
Will cost more in the long term without it			1

Of those who consider stormwater management very important or important, most either stated that it is important for protecting the environment (3 responses for very important, 1 response for important) or that it was an important service (2 responses for very important, 4 responses for important). Of those who consider stormwater management only somewhat important, most (5 responses) referenced the limited stormwater infrastructure where they live. No reasoning was provided by those who believe that stormwater infrastructure is not important.

D.3 Stormwater Management Service Funding

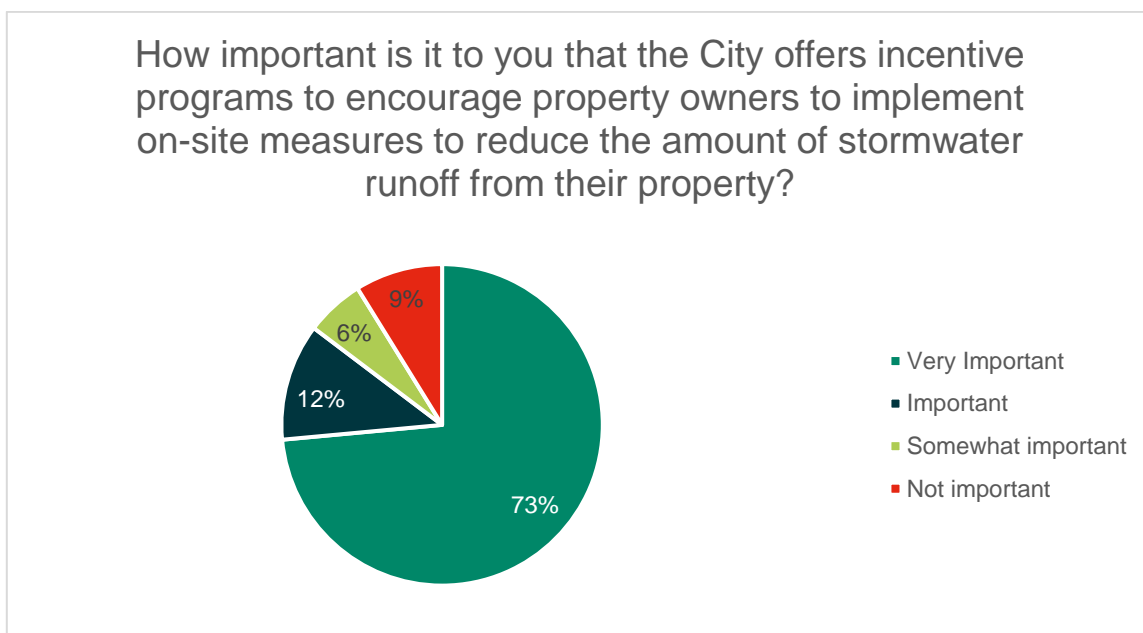
Q4. Did you know that property owners currently pay for stormwater management services in Hamilton?



A large majority (80%) of ICI and multi-residential respondents (n=35) are aware that property owners currently pay for stormwater management services in Hamilton.

D.4 Incentive Program

Q5. How important is it to you that the City offers incentive programs to encourage property owners to implement on-site measures to reduce the amount of stormwater runoff from their property?



A large majority of ICI and multi-residential respondents (n=34) consider it very important (73%) that the City offers incentive programs to property owners that implement on-site stormwater runoff control measures.

Q5.a. Why do you feel that way about the incentive programs?

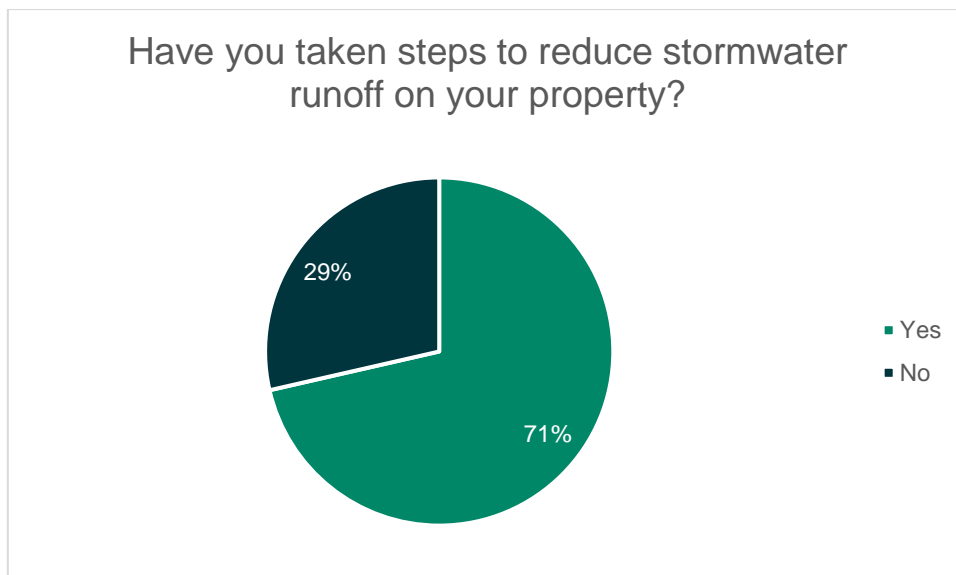
Those who responded to the previous question with: Very important/ Important/ Somewhat important	# Responses
Reduce cost to taxpayer	8
Increases public participation	6
Good for the environment	1
Concern about flooding	1
Concerns with implementation	1
Don't see the need/not necessary in my area	5

The top reasons as to why ICI and multi-residential respondents feel that incentive programs are very important, important or somewhat important is because of the reduced cost to the taxpayer (8 responses), and because it increases public participation in stormwater management (6 responses). Some respondents (5 responses) who indicated that stormwater management is very important, important or somewhat important, also said that they do not believe it is necessary in the area around their property.

Those who responded to the previous question with: Not important	# Responses
Don't see the need/not necessary in my area	2

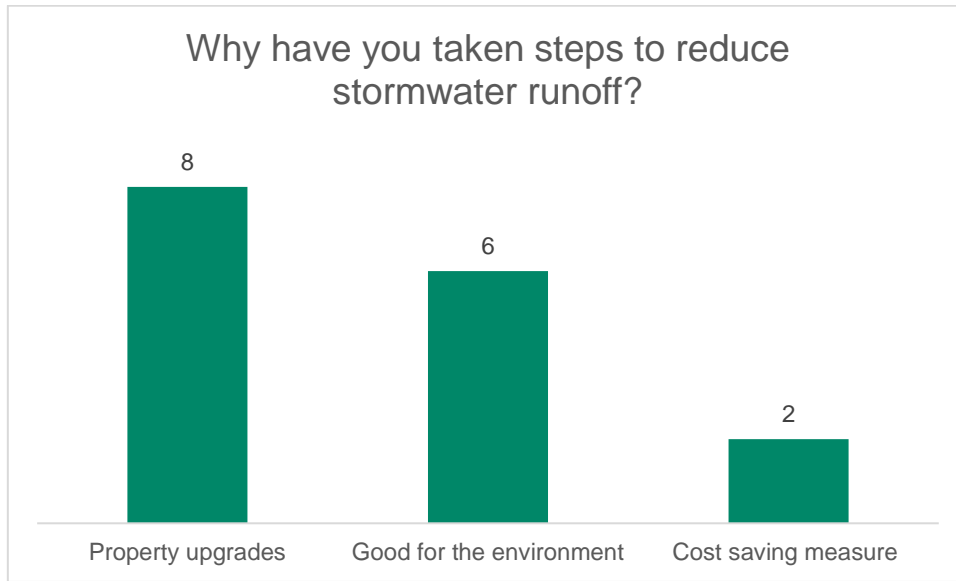
Comments from ICI and multi-residential respondents who view incentive programs as not important do not see the program as needed or necessary in their area (2 responses).

Q6. Have you taken steps to reduce stormwater runoff on your property?



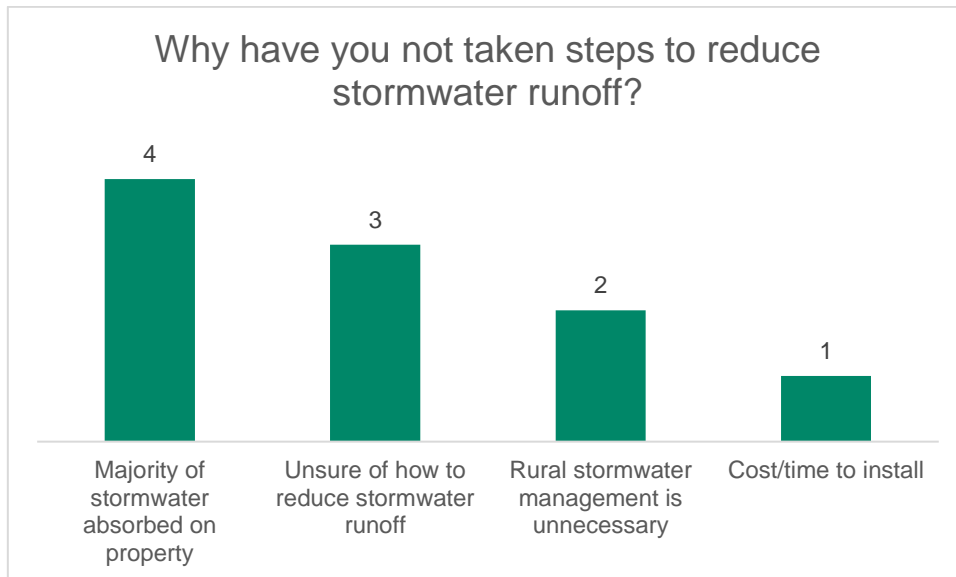
71% of ICI and multi-residential respondents (n=35) have taken steps to reduce stormwater runoff on their property, while 29% have not.

Q6.a. Why have you taken steps to reduce stormwater runoff?



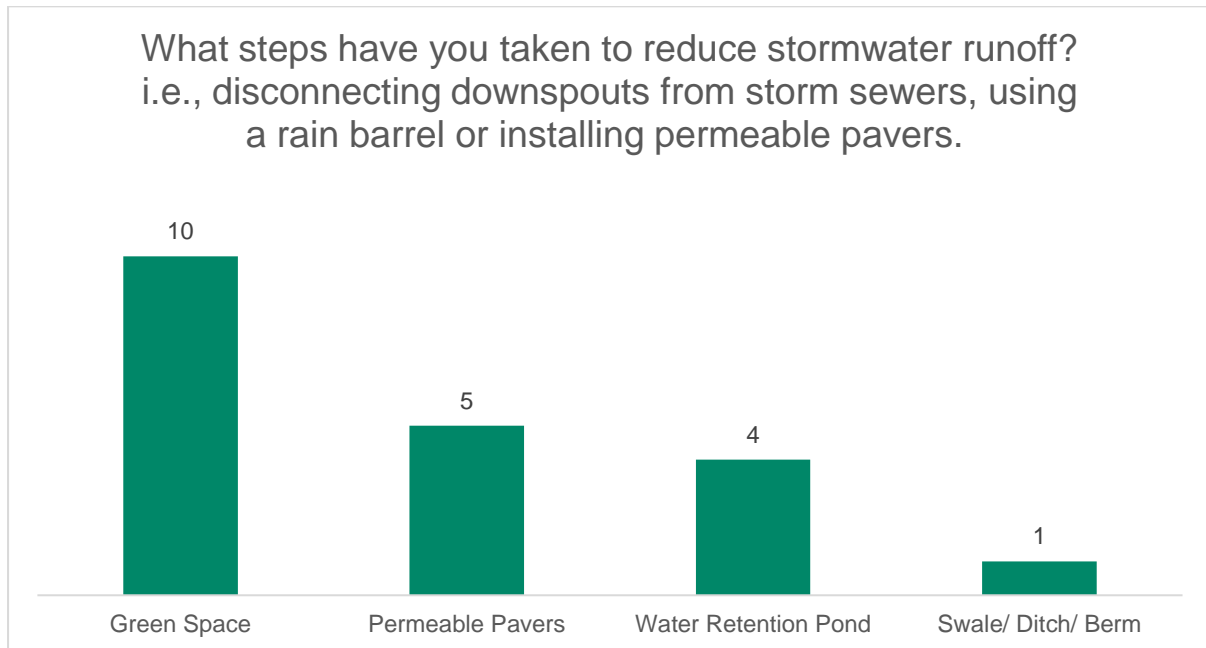
The top reason ICI and multi-residential respondents have taken steps to reduce stormwater run off is to perform property upgrades (8 responses). A number of respondents also state that it is good for the environment (6 responses) and two cite that it is a cost saving measure.

Q6.b. Why have you not taken steps to reduce stormwater runoff?



The top reason ICI and multi-residential respondents have not taken steps to reduce stormwater run off is that a majority of stormwater is absorbed on property (4 responses). Three respondents were unsure how to reduce stormwater runoff, two felt rural stormwater management was unnecessary and one resident cited the cost and time to install stormwater mitigation measures.

Q7. What steps have you taken to reduce stormwater runoff? i.e., disconnecting downspouts from storm sewers, using a rain barrel or installing permeable pavers.



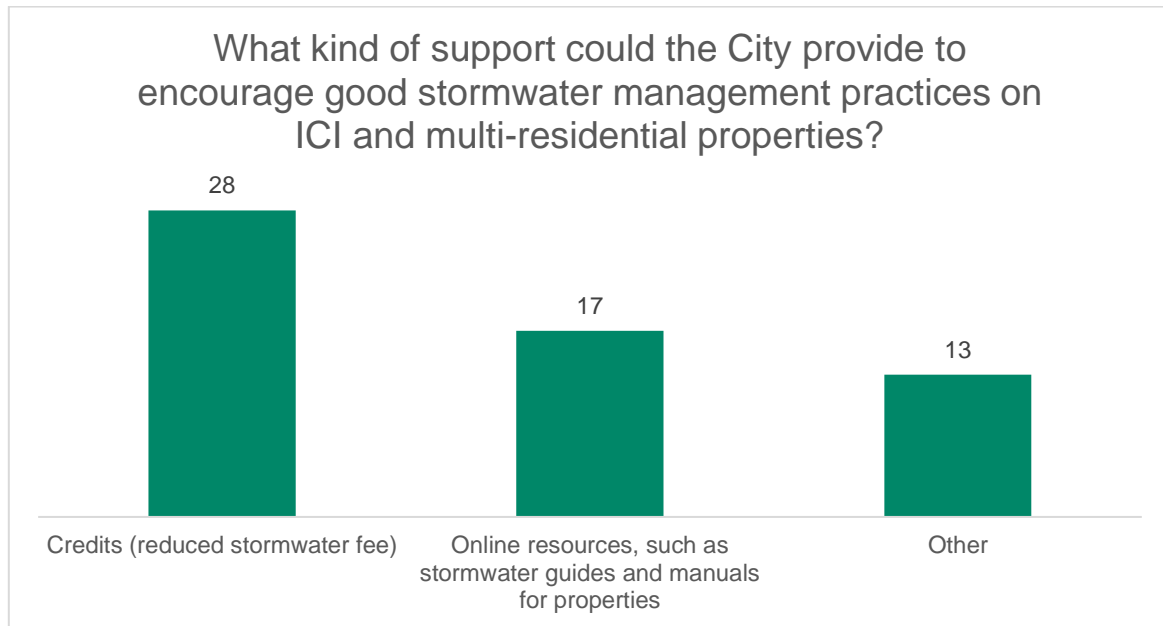
Most ICI and multi-residential respondents that have taken steps to reduce stormwater runoff have done so using green space (10 respondents). Others have implemented permeable pavers (5 respondents), water retention ponds (4 respondents) and/ or swales, ditches or berms on their property (1 respondent).

Q8. If you are not already doing so, would you be willing to take steps on your own property to reduce the amount of stormwater runoff on your property?

Would you be willing to take steps on your own property to reduce the amount of stormwater runoff on your property?	# Responses
Yes	80%
No	20%
n=10	

Of those ICI and multi-residential respondents that are not already doing so, 80% would be willing to take steps on their properties to reduce the amount of stormwater.

Q9. What kind of support could the City provide to encourage good stormwater management practices on ICI and multi-residential properties?



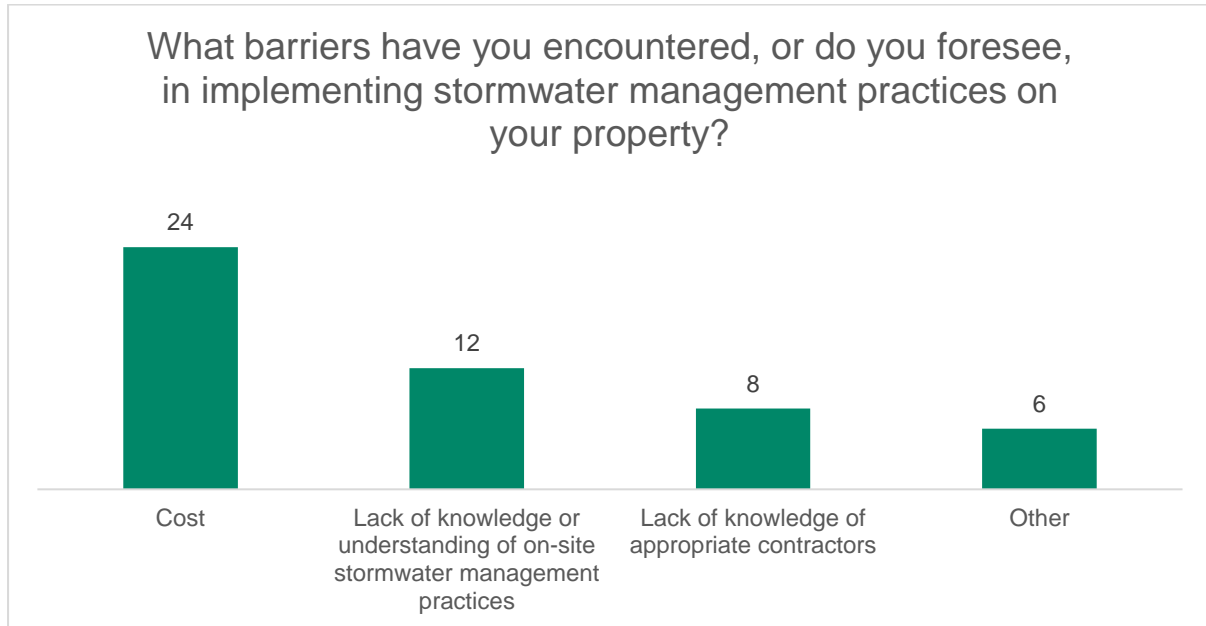
ICI and multi-residential respondents are most in favour of the City providing credits (28 responses), followed by online resources (17 responses), to encourage good stormwater management practices on ICI and multi-residential properties.

‘Other’ and Corresponding Description Categorized

Other	# Responses
Exempt farms/rural properties	4
Property audits/in-person training	4
Additional credits	4
Mail information leaflet	1

Suggestions for other types of support for ICI and multi-residential properties included property audits/in-person training and additional credits. Other respondents suggested that farms and rural properties should be exempt from the fee altogether.

Q10. What barriers have you encountered, or do you foresee, in implementing stormwater management practices on your property?



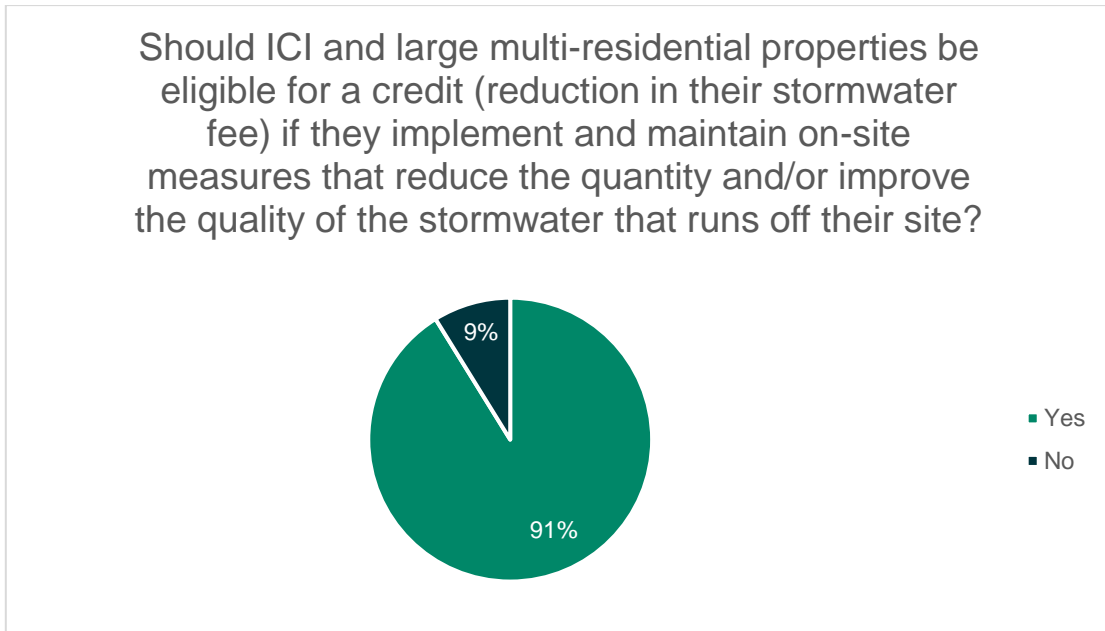
The biggest barrier that ICI and multi-residential respondents have encountered or foresee in implementing stormwater management practices on properties is the cost (24 respondents). This is followed up a lack of knowledge or understanding of on-site stormwater management practices (12 respondents), and a lack of knowledge of appropriate contractors (8 respondents). Other barriers include restrictions from the city (3 respondents), some cited cost outweighing the benefits (2 respondents), while one respondent felt their property did not have enough space.

‘Other’ and Corresponding Description Categorized

Other	# Responses
Restrictions from the City	3
Cost outweighs benefits	2
Not enough space	1

Barriers mentioned by ICI and multi-residential respondents included restrictions from the City and that the cost of implementing measures outweighs the benefit and physical capacity.

Q11. Should industrial, commercial, institutional, and large multi-residential properties be eligible for a credit (reduction in their stormwater fee) if they implement and maintain on-site measures that reduce the quantity and/or improve the quality of the stormwater that runs off their site?



Almost all (91%) ICI and multi-residential respondents (n=34) believe industrial, commercial, institutional, and large multi-residential properties should be eligible for a credit for implementing on-site stormwater management practices. Only 9% felt that they shouldn't be eligible for a credit for implementing on-site stormwater management practices.

Q11.a. Why do you think industrial, commercial, institutional, and large multi-residential properties should receive a credit?

<u>Why do you agree with a credit?</u>	<u># Responses</u>
Encourage Participation	14
Good for the Environment	2
Promote mitigation at the source	2

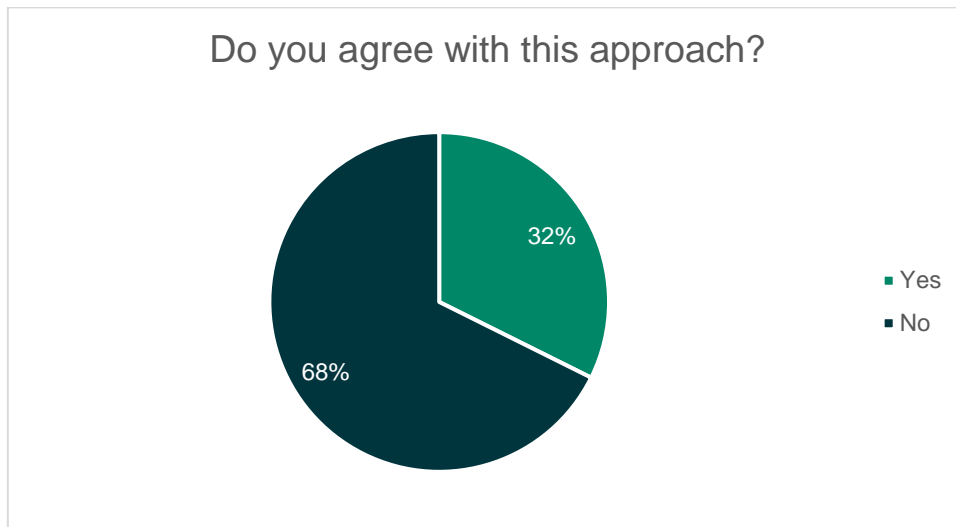
Fourteen ICI and multi-residential respondents felt that industrial, commercial, institutional, and large multi-residential properties should be eligible for a credit as it would encourage participation. Another two respondents thought it should be offered as it would be good for the environment, and two additional respondents felt it would promote mitigation at the source.

Q11.b. Why do you think industrial, commercial, institutional, and large multi-residential properties should not receive a credit?

<u>Why do you disagree with a credit?</u>	<u># Responses</u>
Those properties can incur the full cost	1
They are the source of stormwater issues	1

One respondent believe they shouldn't receive a credit because these properties can incur the full cost, while another believes these properties are the source of stormwater issues.

Q12. Most Canadian municipalities with stormwater fees will limit credits (reduction in stormwater fee) to a maximum of 50%. This ensures all properties still contribute some funding to cover the base, fixed costs of maintaining a municipal stormwater system. Do you agree with this approach?



A majority (68%) of ICI and multi-residential respondents (n=24) do not believe there should be a cap of 50% on the credit, while only 32% agree there should be a cap.

Q12.a. Why do you agree with limiting the stormwater credits (reduction of stormwater fee)?

Why do you agree with limiting the stormwater credits (reduction of stormwater fee)?	# Responses
Fairness	7

Most respondents cite fairness as to why they support limiting stormwater credits.

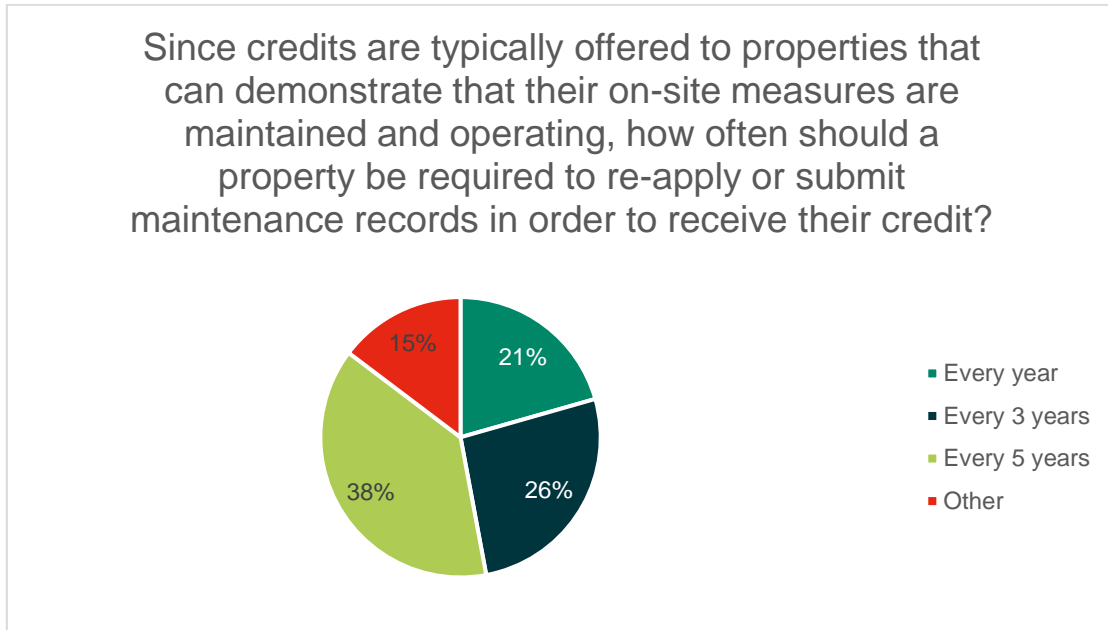
Q12.b. Why do you disagree with limiting the stormwater credits (reduction of stormwater fee)?

Why do you disagree with limiting the stormwater credits (reduction of stormwater fee)?	# Responses
Disagree with program altogether	11
Discourages participation	7
No credits or subsidies for any property type	1

Among those who disagree with limiting the stormwater credit to 50%, most disagree with the fee and the program altogether – especially for those whose properties that

feel that they do not drain into the municipal system. Others believe that limiting credits would discourage participation in the program.

Q13. Since credits are typically offered to properties that can demonstrate that their on-site measures are maintained and operating, how often should a property be required to re-apply or submit maintenance records in order to receive their credit?



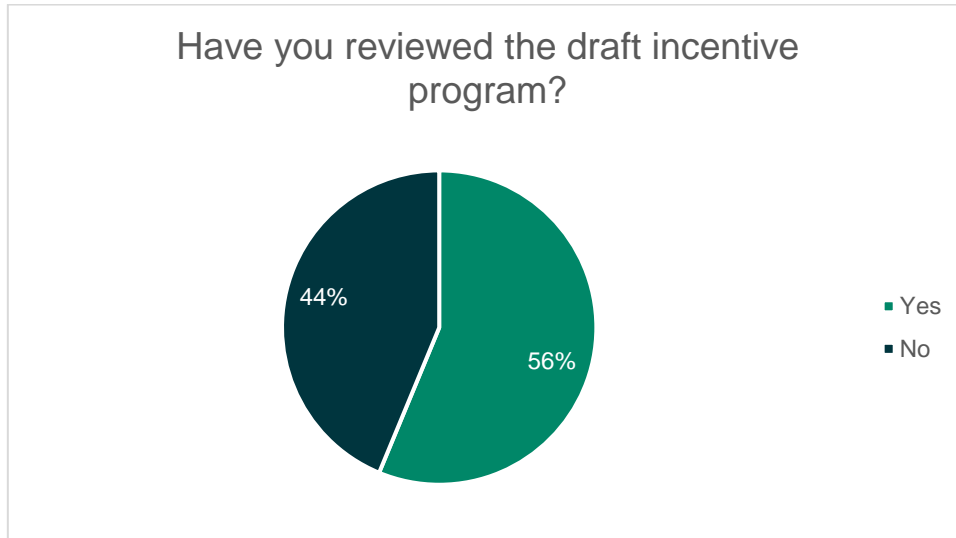
38% of respondents believe properties should only be required to re-apply for credits every 5 years, 26% supported re-applying after 3 years and 15% supported re-applying every year. 15% of respondents provided other comments on how often properties should be required to re-apply or submit records to receive their credits. (n=34)

‘Other’ and Corresponding Description Categorized

Other	# Responses
Prefer no stormwater fee	2
During permitting, major expansion or renovation	2
More information is needed	1

Of those who responded with other, two prefer no stormwater fee, two believe it should be required / re-applied during permitting, major expansion or renovation, and one feels more information is needed.

Q14. A summary of the draft financial incentive program proposed by the City is available for review. Have you reviewed the draft incentive program?



56% of ICI and multi-residential respondents (n=32) have reviewed the draft financial incentive program proposed by the City.

Q15. Do you have any comments on the draft incentive program?

Do you have any comments on the draft incentive program?	# Responses
Need more details	5
No credit cap	3
More credit opportunities	2
Unfair	2

Of those who responded with comments on the draft incentive program five feel they need more details, three don't want a credit cap, two would like to see more credit opportunities, and two believe stormwater fee is unfair.

Q16. Do you have additional ideas, questions or concerns that you would like to share with the study team?

Do you have additional ideas, questions or concerns that you would like to share with the study team?	# Responses
Stormwater fee is unfair to rural residents	8
Concerned about cost of the stormwater fee	5
Not enough information was disseminated to the public prior to survey	2
The City should institute minimum stormwater management requirements for new builds	1
The City should simplify the incentive program	1
Request for information	1
Residents who already implemented measures should receive a retroactive credit	1

Of the respondents of the ICI and multi-residential survey that provided a comment, eight used the answer to note that the stormwater fee is unfair to rural residents and

businesses. Five respondents are concerned about the cost of the fee and two respondents felt not enough information was provided.

Sample of comments received:

“If applying or reapplying for credits is too onerous, property owners will be frustrated and upset with the City. It needs to be as simple as possible. Not everyone will be able to afford an engineer to help them figure out the application.”

“Remove properties that discharge directly to the harbour through private sewers or educate those property owners on the investments the city is making towards storm water from these properties. Would the city prefer all of this water instead go through their stormwater system? These properties are already saving the city a bundle by diverting it away from city-owned infrastructure.”

“Public meetings should be well advertised via local television and radio news broadcasts. A lot of people I have talked to had no idea that these fees would be added to the tax bill. Because we lease our site in a Park we only know what the owner tells us about our taxes. We pay a portion of the whole tax bill each month for our site.”



Appendix E

Agricultural Survey Results

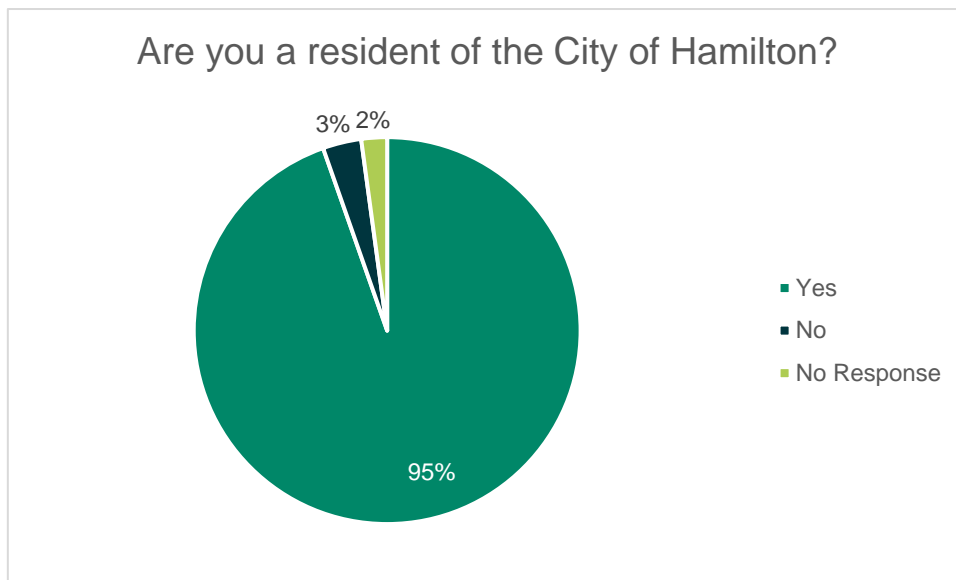


Appendix E Survey Results – Agricultural Property Owners

A total of **279 responses** were received for agricultural property owners survey.

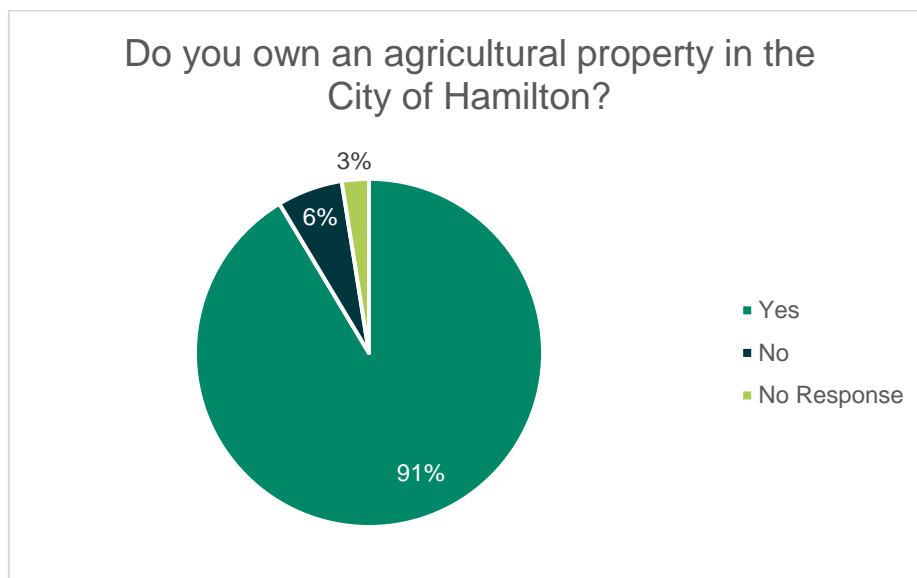
E.1 Demographics

Q1. Are you a resident of the City of Hamilton?



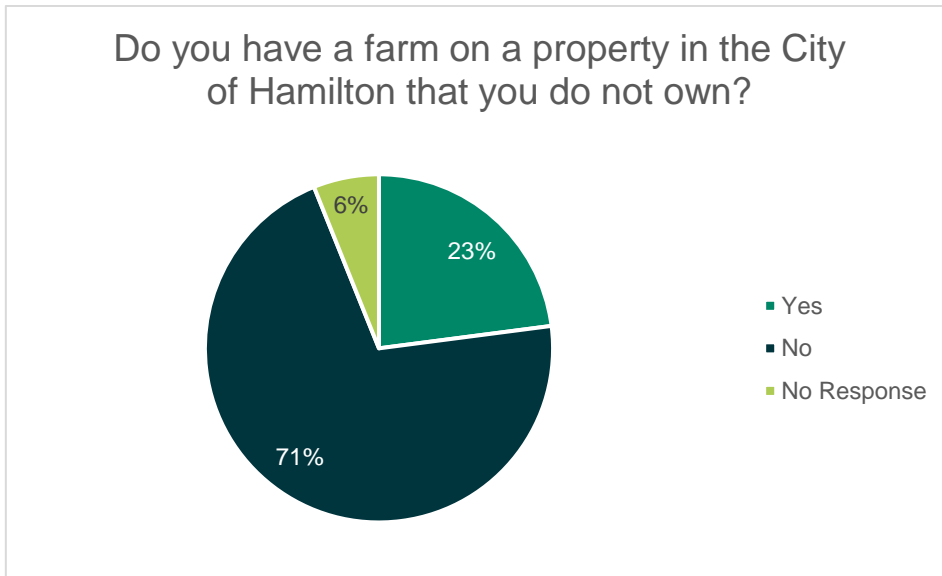
Nearly all respondents (95%) are residents of the City of Hamilton, while 3% are not residents (2% did not answer this question).

Q2. Do you own an agricultural property in the City of Hamilton?



A large majority (91%) of agricultural respondents own agricultural property in the City of Hamilton, while the remaining 6% do not (3% of respondents did not answer this question).

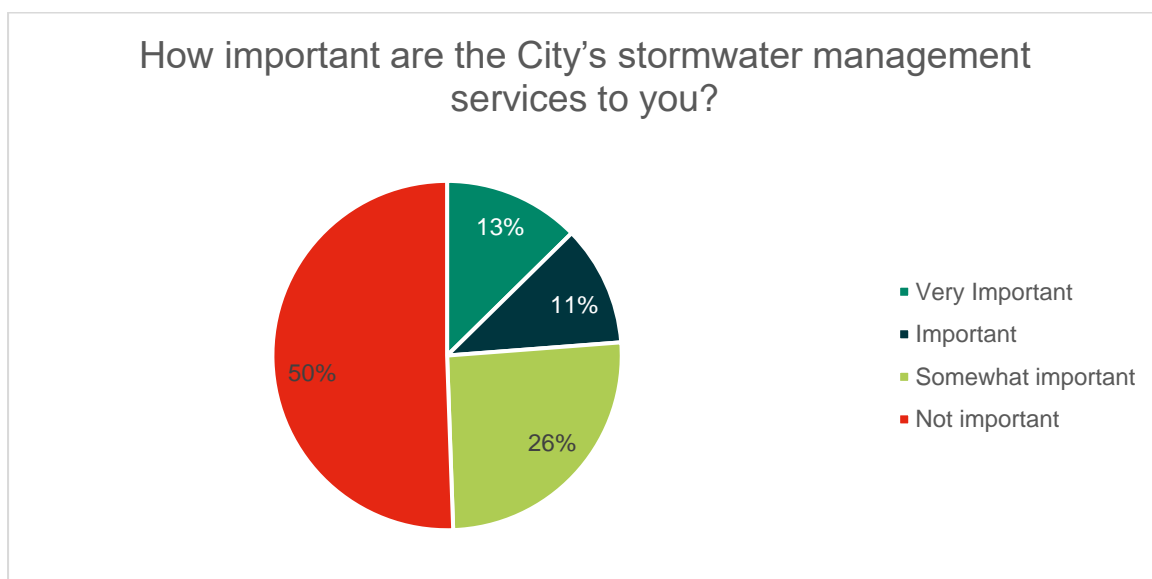
Q3. Do you have a farm on a property in the City of Hamilton that you do not own?



A minority (23%) of agricultural respondents have a farm on a property they do not own, while a large majority (71%) responded they do not have a farm on a property that they do not own (6% did not answer this question).

E.2 Managing Stormwater at the City

Q4. How important are the City's stormwater management services to you?



Half of the of agricultural respondents (n=269) consider the City’s stormwater managements services as not important (50%), and one quarter of respondents think that they are only somewhat important (26%). Approximately one quarter of respondents consider the City’s stormwater management services to be important (11%) or very important (13%).

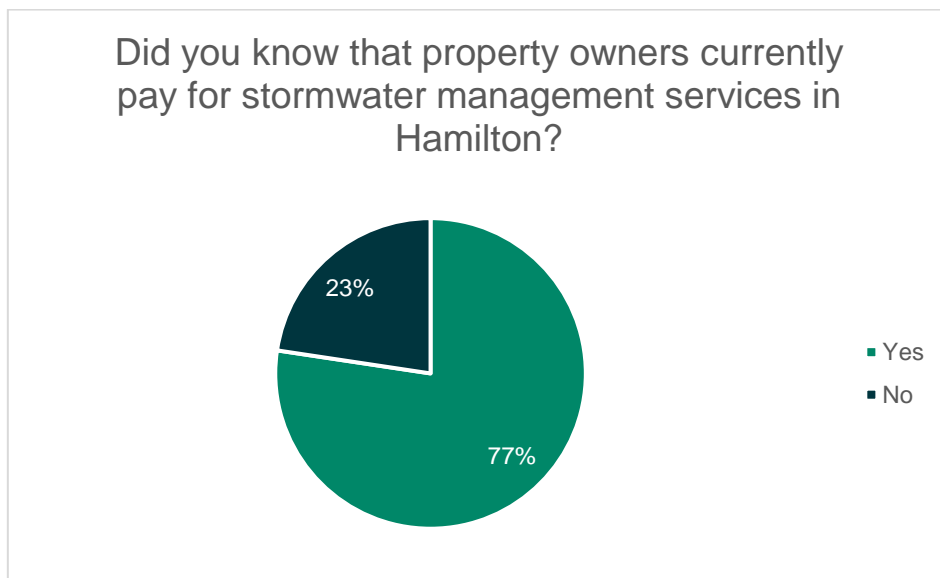
Q4.a. Why do you feel that way about the City’s stormwater management services?

Why do you feel that way about the City’s stormwater management services?	Very important	Important	Somewhat important
Limited stormwater infrastructure where I live	14	14	55
Good for the environment	5	3	2
Concerned about flooding	4	1	
Will cost more in the long term without it	2		1
Fairness	1	1	1
It is an important service		3	1

Of those who consider stormwater management very important or important, most stated that they think stormwater management is important, but not where they currently own property (14 responses for very important, 14 responses for important). Of those who consider stormwater management only somewhat important, most (55 responses) referenced the limited stormwater infrastructure where they live. No reasoning was provided by those who believe that stormwater infrastructure is not important.

E.3 Stormwater Management Service Funding

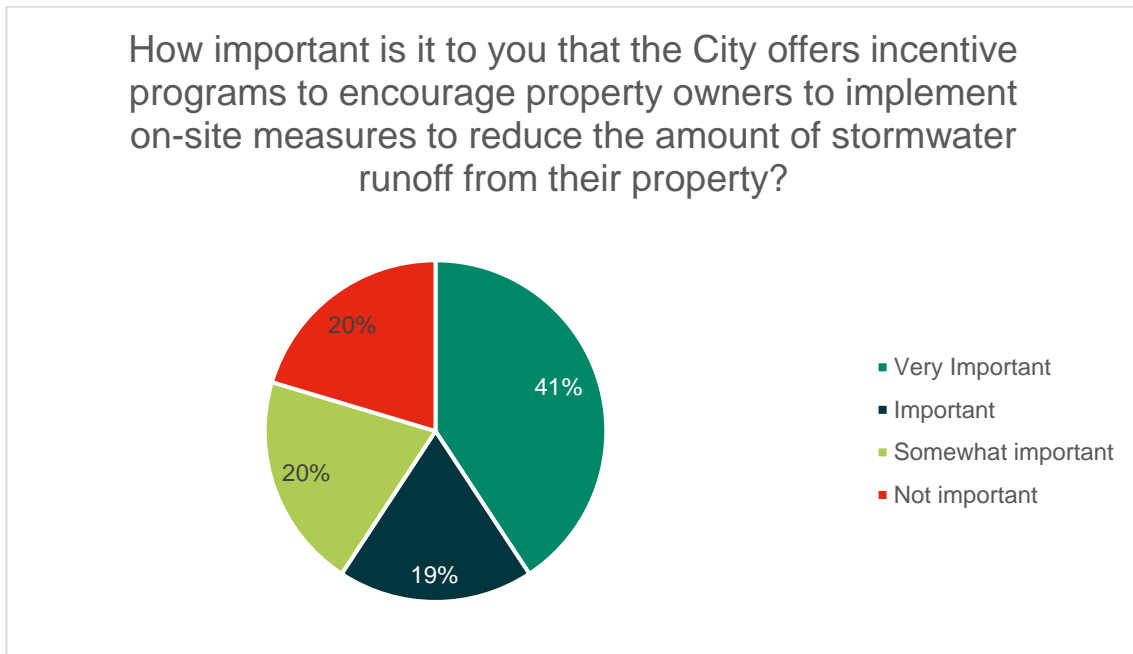
Q5. Did you know that property owners currently pay for stormwater management services in Hamilton?



The majority (77%) of agricultural respondents (n=274) are aware that property owners currently pay for stormwater management services in Hamilton.

E.4 Incentive Program

Q6. How important is it to you that the City offers incentive programs to encourage property owners to implement on-site measures to reduce the amount of stormwater runoff from their property?



More than half of agricultural respondents (n=270) consider it to be either very important (41%) or important (19%) that the City offers incentive programs to property owners that implement on-site stormwater runoff control measures. Fewer than half consider incentive programs to only be somewhat important (20%) or not important at all (20%).

Q6.a. Why do you feel that way about the incentive programs?

Those who responded to the previous question with: Very important/ Important/ Somewhat important	# Responses
Reduce cost to taxpayer	48
Good for the environment	26
Increases public participation	20
Concerns with implementation	9
The city should focus on penalizing large properties with poor stormwater management	2
Concern about flooding	2
Don't see the need/not necessary in my area	50

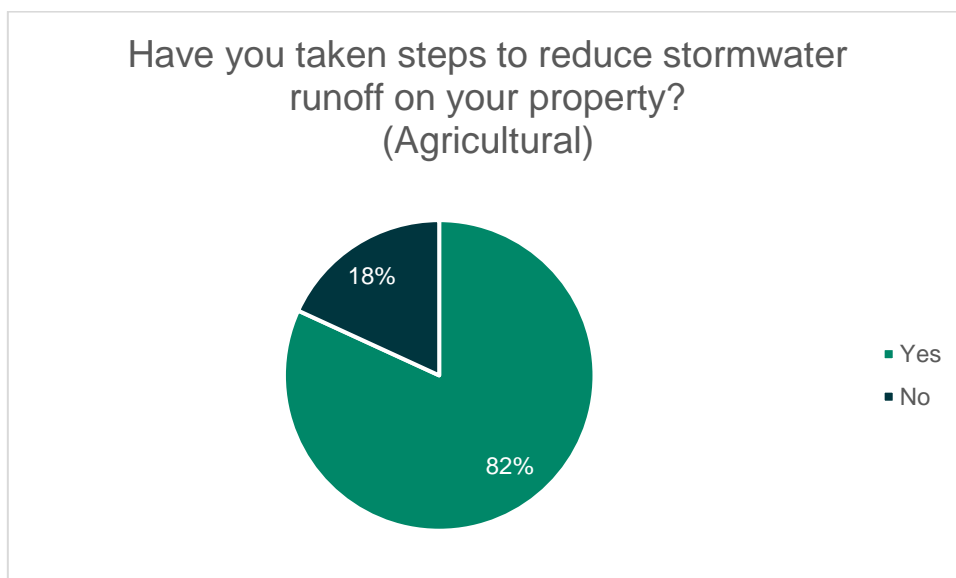
A large number of respondents who believe that the City should offer incentive programs note the reduced cost to the taxpayer (48 responses), the potential benefits for the environment (26 responses) and that it increases public participation in stormwater management (20 responses). 50 respondents also acknowledge that

incentive programs are very important, important or somewhat important, but also do not believe it is necessary where they live.

Those who responded to the previous question with: Not important	# Responses
Don't see the need/not necessary in my area	27
Concerns with implementation	20
The city should focus on penalizing large properties with poor stormwater management	1

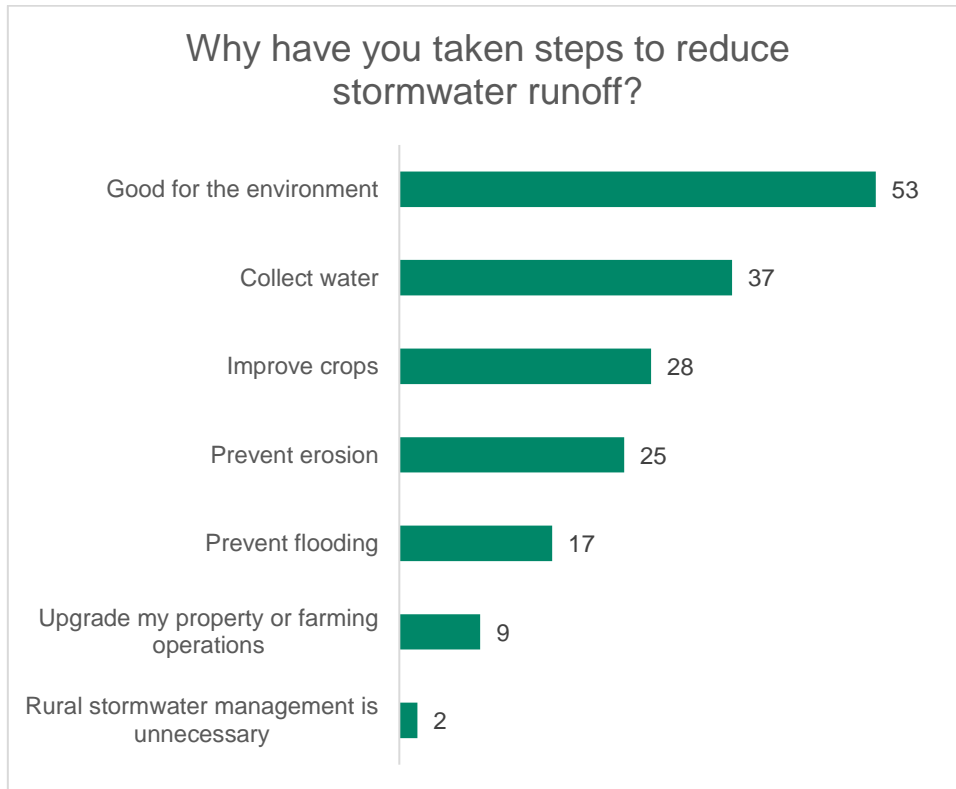
Respondents who view incentive programs as not important do not see the need for an incentive program in their area (27 responses) or have concerns with the implementation of the program (20 responses).

Q7. Have you taken steps to reduce stormwater runoff on your property?



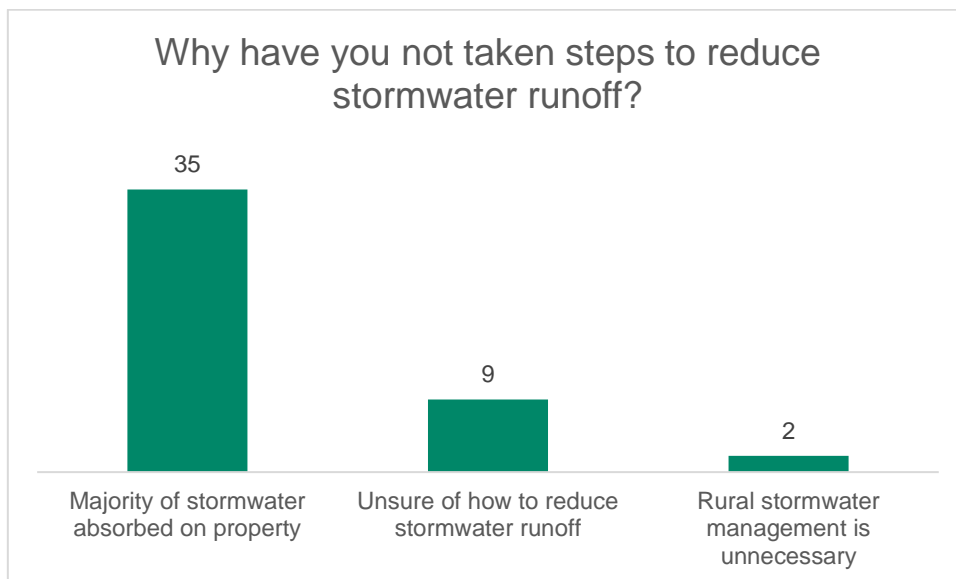
A large majority (82%) of agricultural respondents (n=270) have taken steps to reduce stormwater runoff on their property, while only 18% have not.

Q7.a. Why have you taken steps to reduce stormwater runoff?



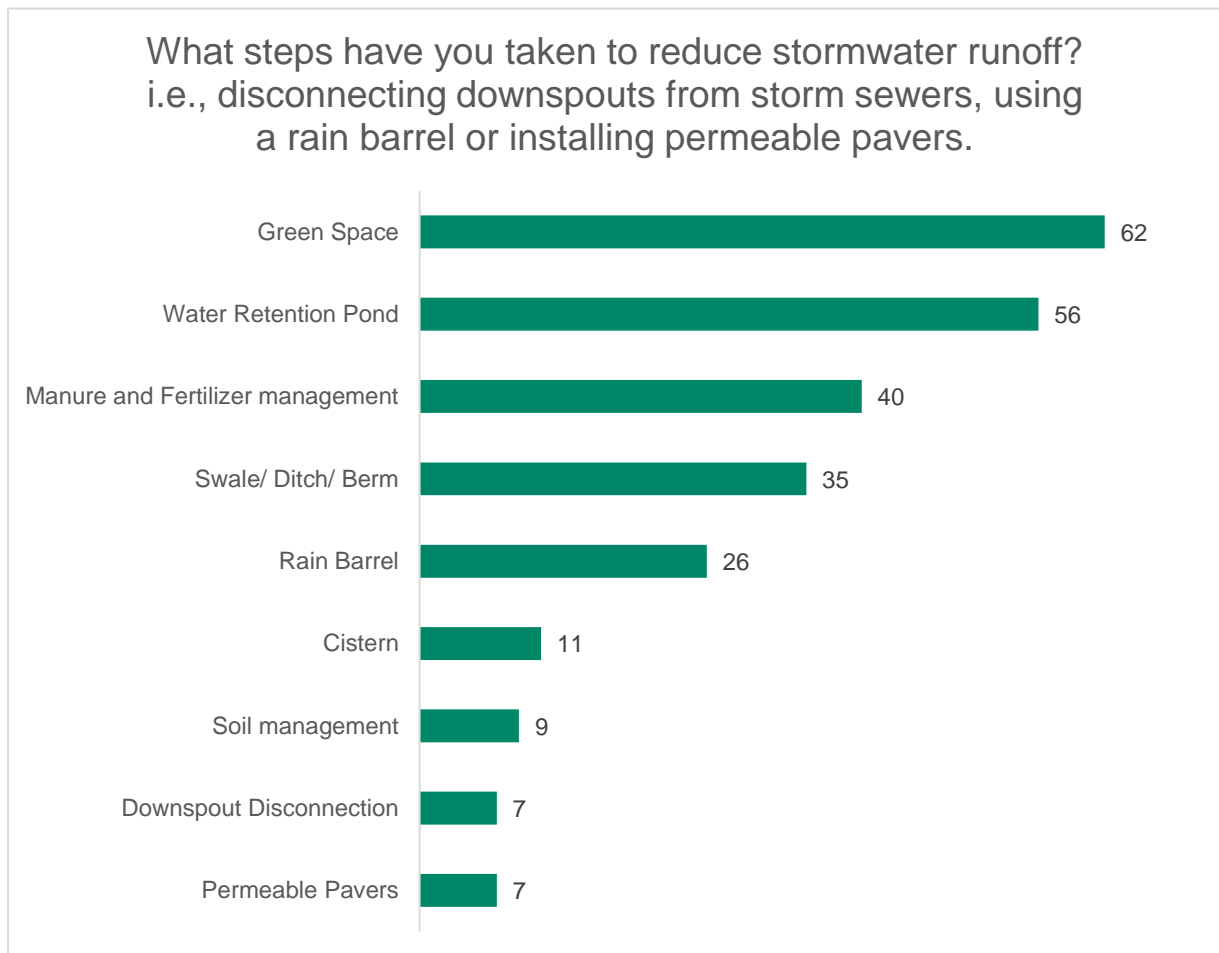
The top reason agricultural respondents have taken steps to reduce stormwater runoff is that it is good for the environment (53 responses), to save water (37 respondents), improve crops (28 respondents) and prevent erosion (25 respondents). Other responses include to upgrade their property or farming operations (17 responses), and to prevent flooding (17 responses).

Q7.b. Why have you not taken steps to reduce stormwater runoff?



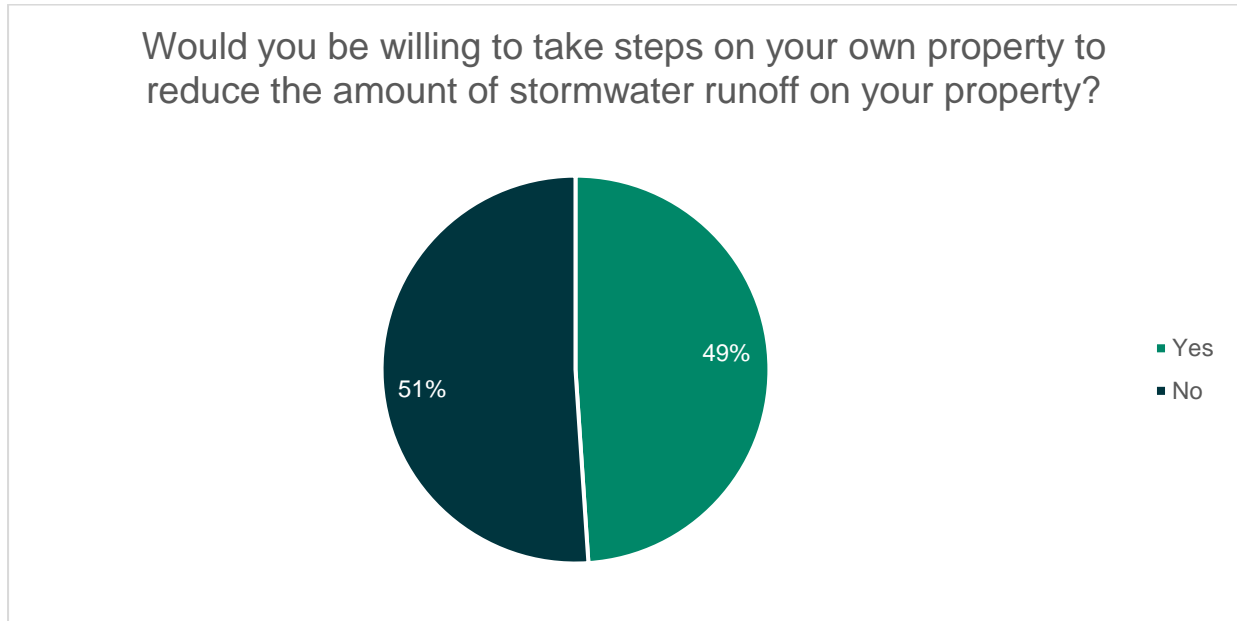
The top reason agricultural residents have not taken steps to reduce stormwater runoff is that they feel their property naturally absorbs a majority of stormwater (35 responses). Some respondents also state that they are unsure of how to reduce stormwater runoff on their property (9 responses).

Q8. What steps have you taken to reduce stormwater runoff? i.e., disconnecting downspouts from storm sewers, using a rain barrel or installing permeable pavers.



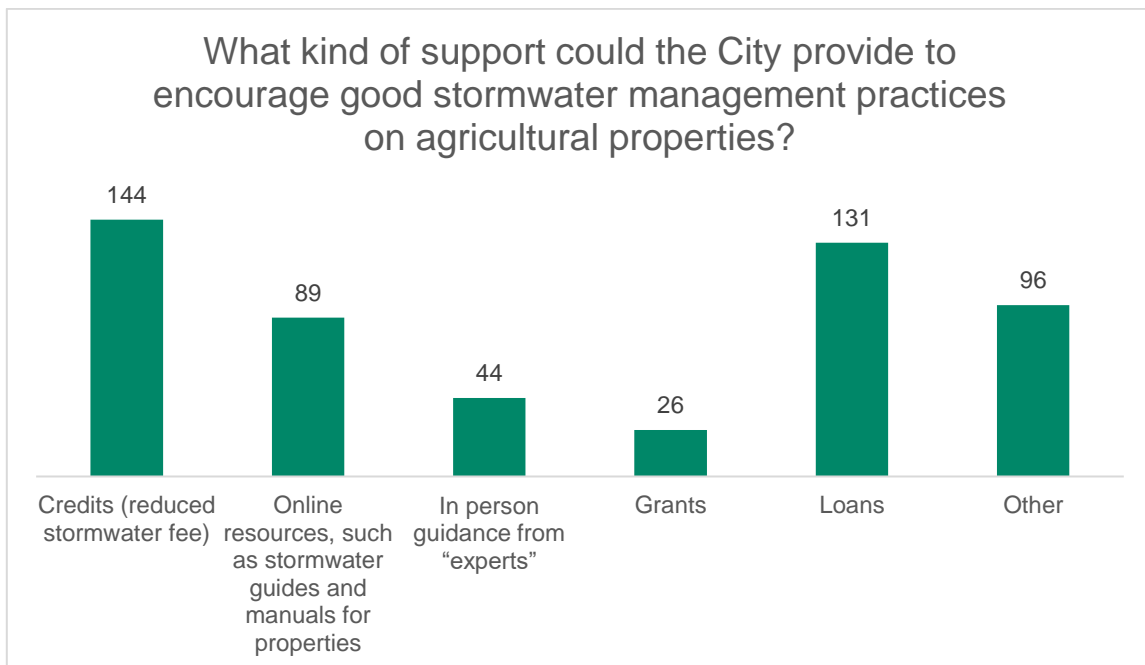
The most common steps taken by agricultural respondents to reduce stormwater runoff is through green space (62 respondents) or water retention ponds (56 respondents). Other respondents have swales, ditches, or berms (25 respondents), rain barrels (26 responses), cisterns (11 responses) and permeable pavers (7 responses) on their property. A good number of respondents indicated that they manage stormwater quality through proper manure and fertilizer management (40 respondents), and soil erosion management (7 responses).

Q9. If you are not already doing so, would you be willing to take steps on your own property to reduce the amount of stormwater runoff on your property?



Just under half (49%) of agricultural respondents (n=47) who are not already doing so would be willing to take steps to reduce runoff on their properties.

Q10. What kind of support could the City provide to encourage good stormwater management practices on agricultural properties?



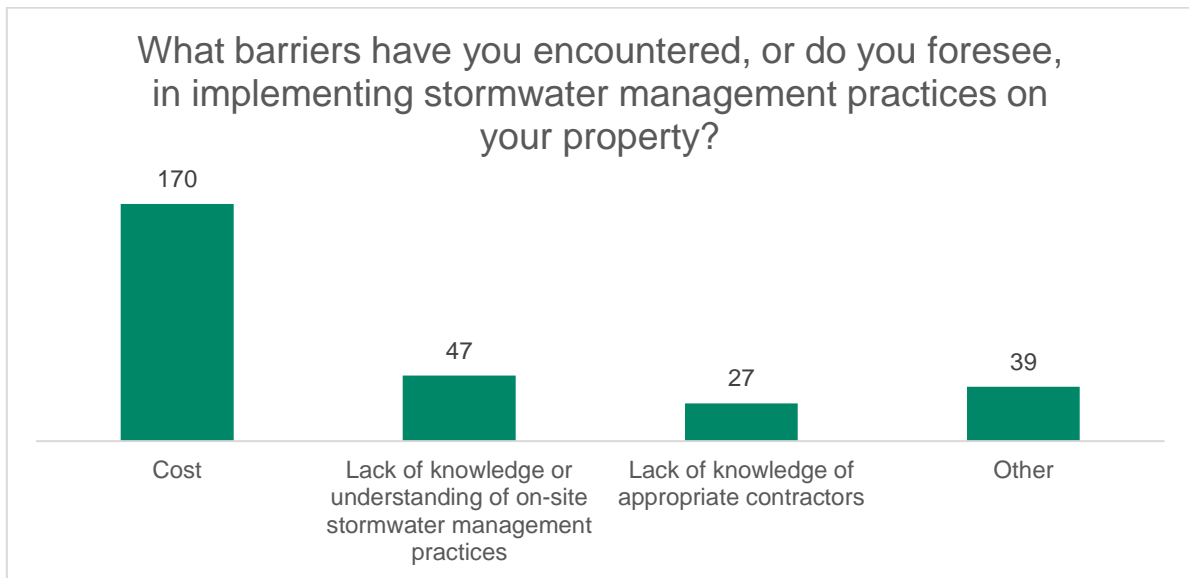
Agricultural respondents are most supportive of the City providing credits (reduced stormwater fee) (144 respondents) and loans (131 respondents). Online resources also had a fair amount of support (89 respondents), followed by in person guidance from experts (44 respondents) and grants (26 respondents).

‘Other’ and Corresponding Description Categorized

	# Responses
Exempt farms/rural properties	59
Expand/improve maintenance of City infrastructure	8
Additional tax credits	4
Bylaws to stop bad practices	3
Mail information leaflet	2
Discounts on native plants/trees	1

Many agricultural survey respondents (59) suggested that the City should exempt farms and rural properties from the stormwater fee altogether. Other respondents suggested that the City should expand/improve the maintenance of City infrastructure (8 respondents) and provide additional tax credits (4 respondents).

Q11. What barriers have you encountered, or do you foresee, in implementing stormwater management practices on your property?



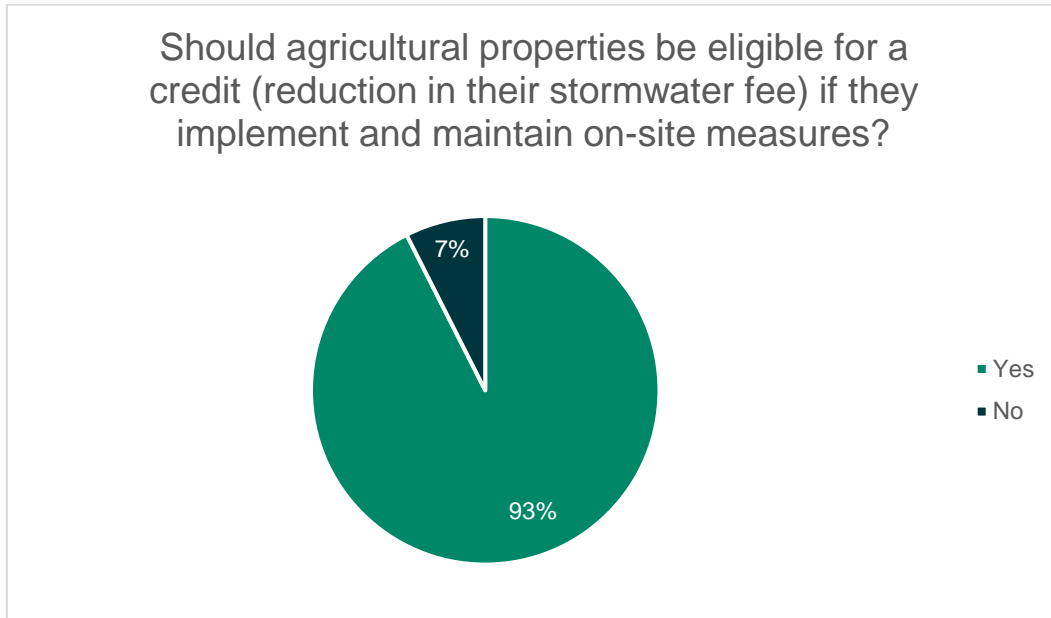
The biggest barrier identified for implementing on-site stormwater management practices is cost (170 respondents). Some agriculture respondents noted a lack of on-site stormwater management knowledge as a barrier (47 respondents), followed by a lack of knowledge of appropriate contractors (27 respondents). An additional 39 respondents noted other barriers.

‘Other’ and Corresponding Description Categorized

	Agriculture
Restrictions from the City	16
Cost outweighs benefit	14
Limited city infrastructure	4
City incentives are inadequate	3
Lack of knowledge	1
Neighbouring properties/slope on property	1

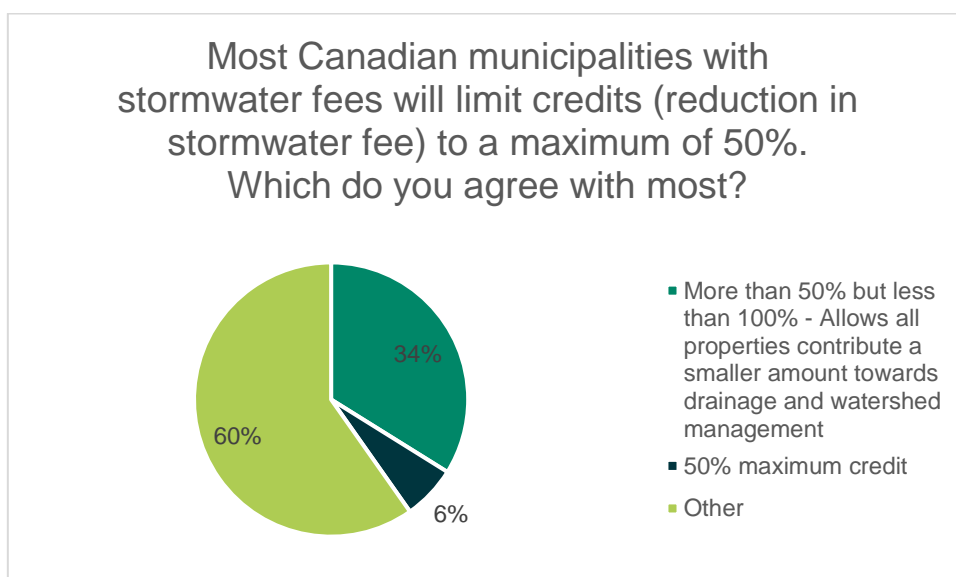
Barriers mentioned by agricultural respondents included restrictions from the City (16 respondents) and that the cost of implementing measures outweighs the benefit and physical capacity (14 respondents).

Q12. Should agricultural properties be eligible for a credit (reduction in their stormwater fee) if they implement and maintain on-site measures that reduce the quantity and/or improve the quality of the stormwater that runs off their site?



The majority of respondents (93%) believe that agricultural properties should be eligible for a credit. (n=255)

Q13. Most Canadian municipalities with stormwater fees will limit credits (reduction in stormwater fee) to a maximum of 50%. This ensures all properties still contribute some funding to cover the base, fixed costs of maintaining a municipal stormwater system. Which do you agree with most?



The majority of agricultural respondents (60%) chose 'other', 34% of agricultural respondents believe the credit should be more than 50%, and 6% agreed with a 50% maximum credit. (n=251)

‘Other’ and Corresponding Description Categorized

	# Responses
Prefer no stormwater fee	63
Don't see a reason to limit incentives	56
Should be linked to services received by property owner	39

Other preferences for credits include no limit to the maximum credit (56 responses) and linking credits to the stormwater services received by the property owner (39 responses). Most comments received (63 responses) indicated that they preferred no stormwater fee at all.

Q13.a. Why do you agree most with a 50% maximum credit?

Why do you agree with limiting the stormwater credits (reduction of stormwater fee)?	# Responses
Fairness	7

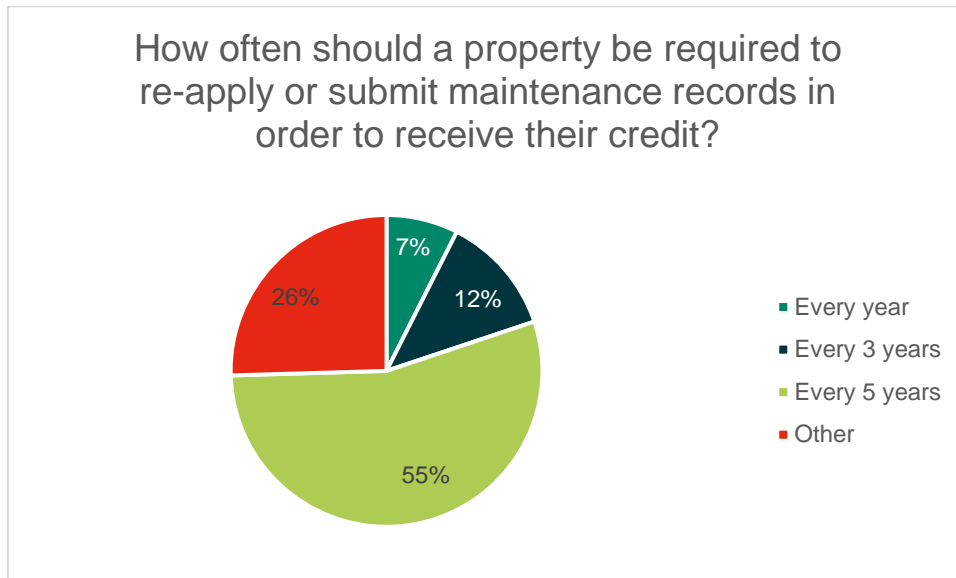
Among agricultural residents who support the 50% maximum credit, 7 respondents noted it is because it is fair that property owners still contribute to stormwater management.

Q13.b. Why do you agree most with a maximum credit of more than 50% but less than 100%?

Why do you disagree with limiting the stormwater credits (reduction of stormwater fee)?	# Responses
Should be as high as possible	29
Should be linked to services received by property owner	15
Prefer no stormwater fee	14

Among agricultural property owners who support a maximum credit of more than 50% but less than 100%, the most common response was that the limit should be as high as possible (20 responses). Others noted the credit should be linked to services received by the property owner (15 responses). A number of respondents commented that they preferred no stormwater fee at all (14 responses).

Q14. Since credits are typically offered to properties that can demonstrate that their on-site measures are maintained and operating, how often should a property be required to re-apply or submit maintenance records in order to receive their credit?



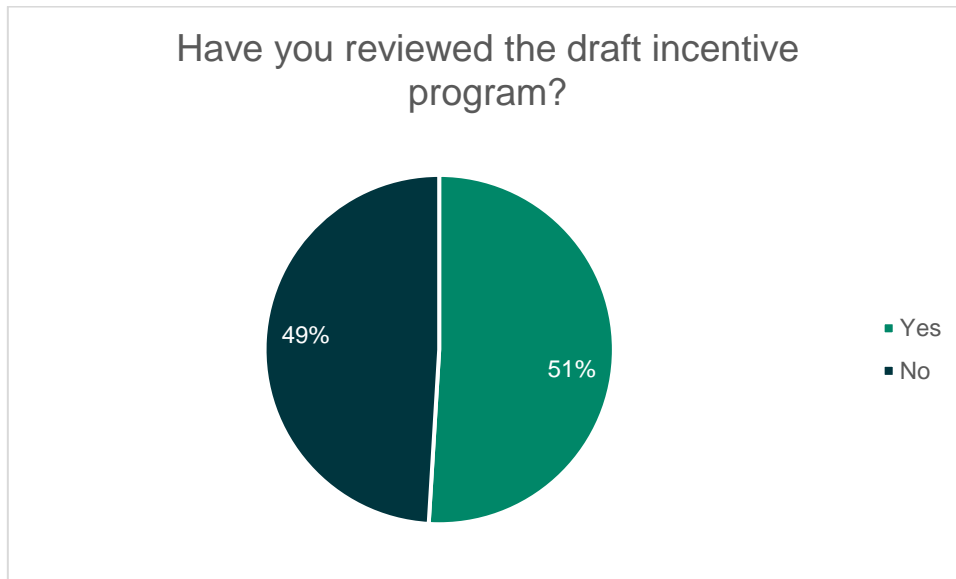
A majority (55%) of agricultural respondents (n=161) believe properties should be required to re-apply for credits every 5 years, 12% supported re-applying after 3 years, just 7% supported re-applying every year, and 26% of respondents provided other comments on how often properties should be required to re-apply or submit records to receive their credits.

‘Other’ and Corresponding Description Categorized

	# Responses
Never	24
Once	16
Every 10 years	14
During permitting, major expansion or renovation	11
More information is needed	8
During change of property ownership	5
Once with regular inspections	3
Every 5 years during other re-certifications	2
Every 5 years	1
Once with reviews based on complaints received	1

Of those who responded with other comments, most prefer that property owners never having to re-apply (24 responses), followed by the suggestion that property owners would only have to re-apply once (16 responses), or every 10 years (14 responses). Some suggested that property owners should have to reapply only during permitting, major expansions or renovations (11 responses).

Q15. A summary of the draft financial incentive program proposed by the City is available for review. Have you reviewed the draft incentive program?



51% of agriculture respondents (n=261) have reviewed the draft financial incentive program proposed by the City.

Q16. Do you have any comments on the draft incentive program?

Do you have any comments on the draft incentive program?	# Responses
Unfair	71
Need more details	9
More credit opportunities	8
Concerned about incentive program costs	5
No credit cap	1

Of the agricultural respondents who reviewed the incentive program and provide comments, most stated that they believe the stormwater fee is unfair (71 responses).

Q17. Do you have additional ideas, questions or concerns that you would like to share with the study team?

Do you have additional ideas, questions or concerns that you would like to share with the study team?	# Responses
Stormwater fee is unfair to rural residents and business owners	164
Concerned about cost of the fee	19
Request for information	9
Not enough information was disseminated to the public prior to survey	5
Residents who already implemented measures should receive a retroactive credit	2
The City should institute minimum stormwater management requirements for new builds	1

Of the respondents of the agricultural survey that provided a comment, a vast majority noted that they believe the stormwater fee is unfair to rural residents and businesses (164 responses).

Sample of comments received:

“Please publish a Stormwater incentive program that addresses how current stormwater management practices will be recognized /credited when implemented by the Agricultural sector. The attached proposal does not address any Agricultural Credits.”

“I think it is unfair to compare farms with a few buildings on them to city properties that have no permeable surfaces such as Dofasco, Stelco, Centre Mall and all other factories and parking lots. A farm may have a large surface of buildings but will have 100 - 200 acres or more of land where that runoff water can soak in. Many farms already have ponds and cisterns to catch rain water. Many greenhouse operations catch the water to irrigate the crops in their greenhouse. Some farms also have a woodlot which helps to control run off. A lot of farmers are using conservation methods to hold moisture on their land to improve the water table for their crops such as no till or conservation tillage and leaving crop residue on the fields to hold moisture. There is four million dollars budgeted for rural roadside ditches. The rural roadside ditches are part of the Roads Department and should not be down loaded on to farmers. They are to keep the road from flooding not draining agricultural land. If the land is rolling, the ditches run water to the lowest point and then discharge it onto farmers land. The funding to the conservation authorities should be sufficient to cover any costs associated with rural drainage. Those funds now come from property taxes. ...

I feel this process was rushed and the ARAC did not have the chance to review it until after it was sent to council. I think the previous method of storm water funding was unfair but I feel that this new method of Storm Water Funding is unfair to the farmers of Hamilton. All our dairy, poultry, swine and greenhouse farmers who rely on having buildings are at a disadvantage compared to farmers in other municipalities. I think that we need to go back and figure out a fairer way to administer costs for Storm Water Management.”

“Provide clarity on the incentive program for agricultural properties. Provide example fees for various sizes of agricultural properties so farmers can begin to plan for new economic situations.”

“With large houses on small lots, backyards completely covered in concrete patios and the extensive roadways to connect them all the stores and warehoused with massive parking lots. Agricultural properties should be off the list. But given the needed taxes, then at least there should be credit for pasture and lawns, really any green space not just rain gardens.”

“Additional grants for restorative and biodynamic practices on agricultural lands would be a net positive in my opinion.”



Appendix F

Public Meeting Materials



A thick, light green arc curves across the top and right side of the slide, framing the title.

Stormwater Fee Information & Financial Incentive Consultation

November 7, 2023

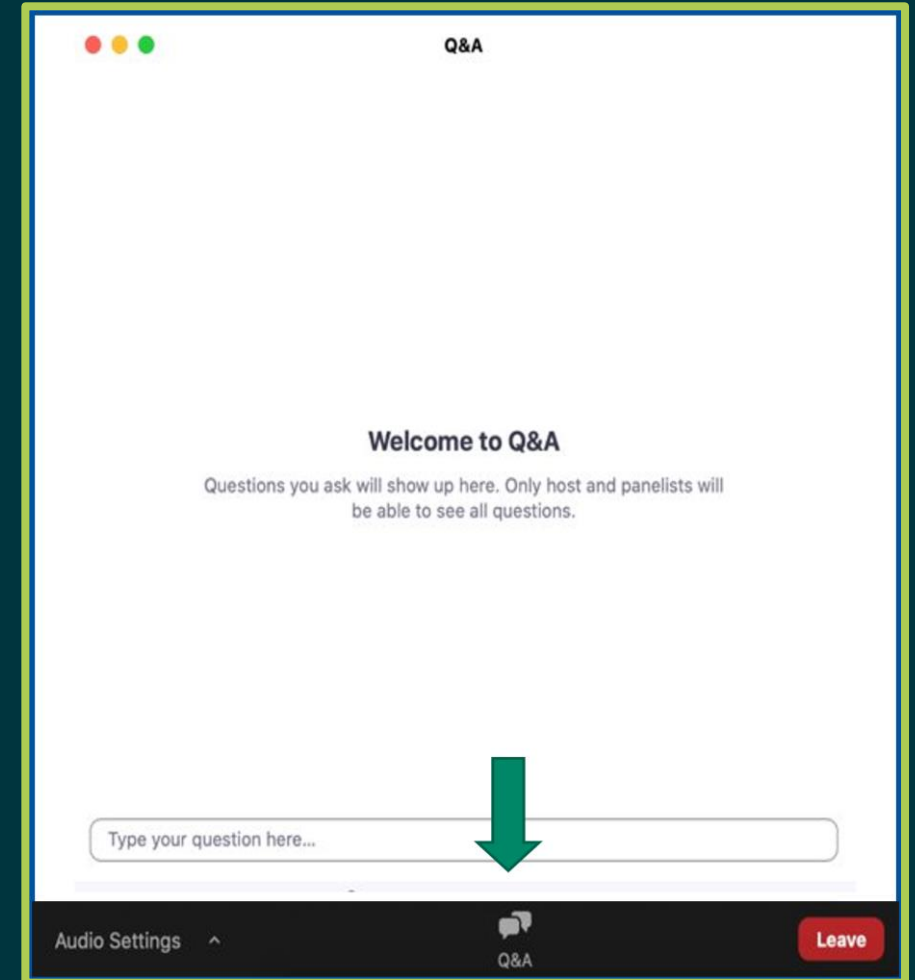
Land Acknowledgement

The City of Hamilton is situated upon the traditional territories of the Erie, Neutral, Huron-Wendat, Haudenosaunee and Mississaugas. This land is covered by the Dish With One Spoon Wampum Belt Covenant, which was an agreement between the Haudenosaunee and Anishinaabek to share and care for the resources around the Great Lakes. We further acknowledge that this land is covered by the Between the Lakes Purchase, 1792, between the Crown and the Mississaugas of the Credit First Nation.

Today, the City of Hamilton is home to many Indigenous people from across Turtle Island (North America) and we recognize that we must do more to learn about the rich history of this land so that we can better understand our roles as residents, neighbours, partners and caretakers.

Housekeeping

- If there are technical difficulties, the speaker may turn off their video
- Attendees will be muted; please participate through the Q&A window. Hover your mouse on a computer or tap the screen on a smartphone or tablet for the toolbar to pop-up and then click Q&A
- If you have any technology issues, please also use the Q&A window
- This meeting is being recorded



Agenda

- Welcome and introductions
- Overview presentation of stormwater/ stormwater management, the stormwater fee and the draft stormwater incentive program
- Public consultation – how to participate and provide your feedback
- Question and answer period

Introductions

Hamilton Project Team

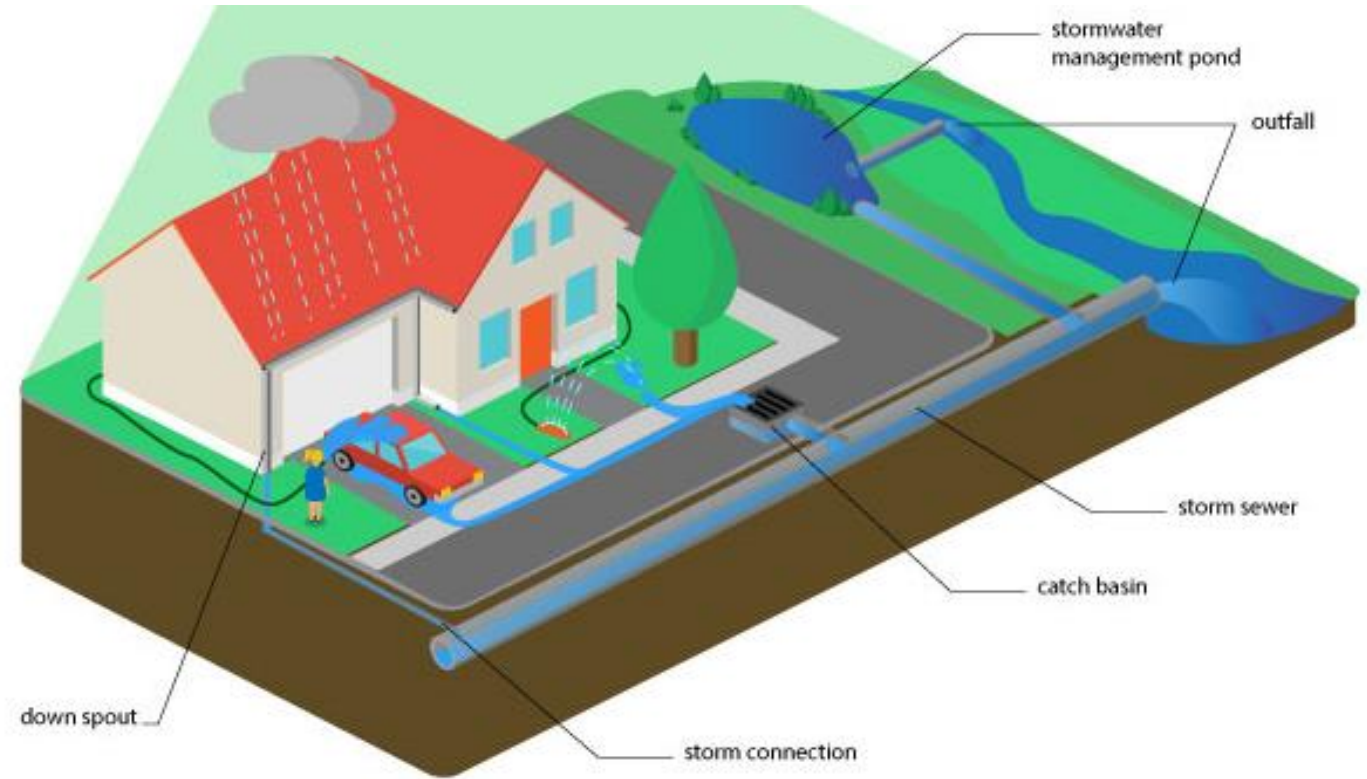
- John Savoia, Acting Manager, Utility Billing
- Katie Black, Senior Financial Analyst
- Cari Vanderperk, Director, Watershed Management
- Nick Winters, Director, Hamilton Water

AECOM

- Nancy Hill, Project Manager

What is Stormwater?

Rain, melting snow, and ice that washes off driveways, parking lots, roads, yards, rooftops, and other surfaces.¹

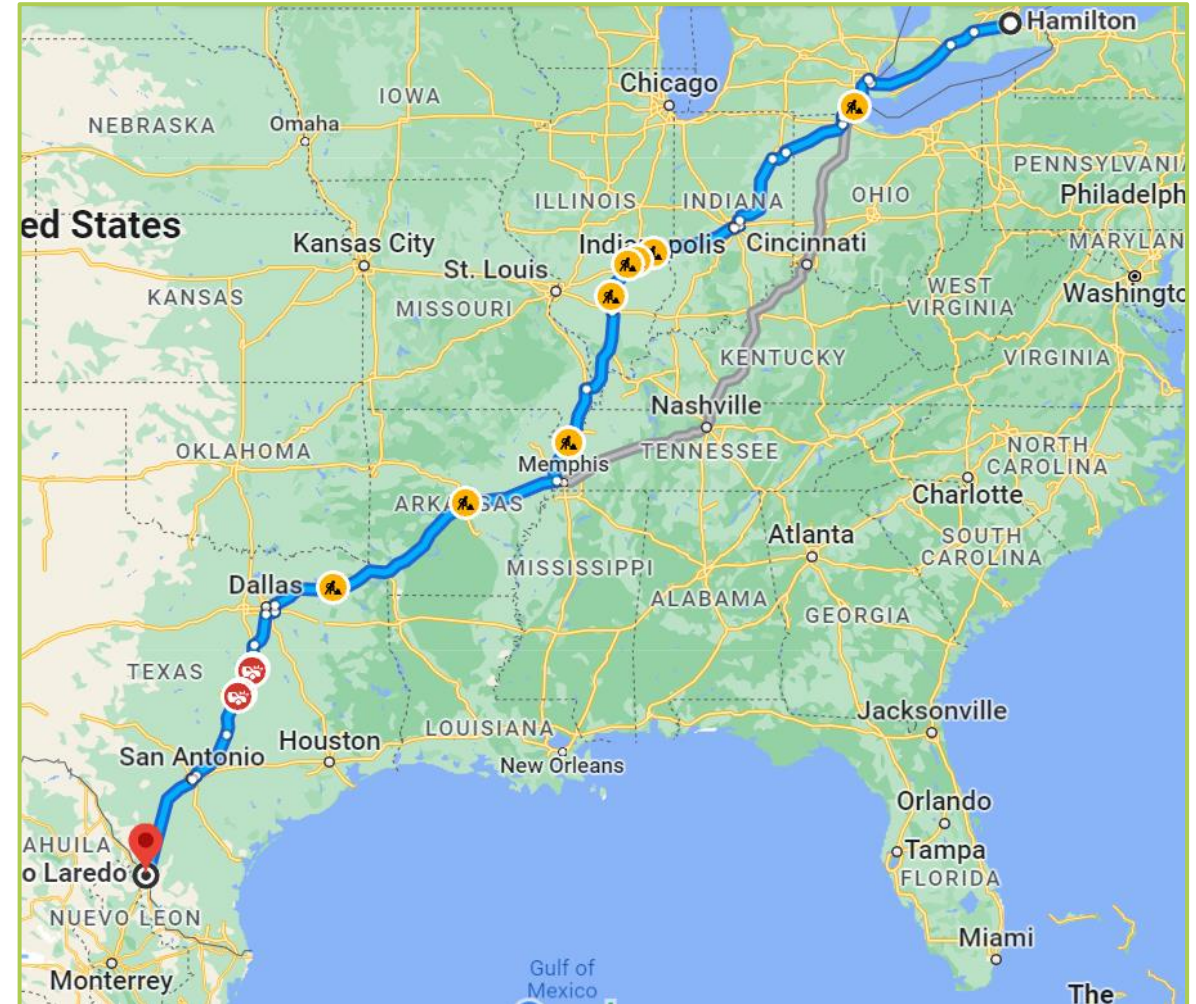


1. CSA W211:21-Management standard for stormwater systems

Hamilton's Stormwater System

- 1,500 km ditches
- 1,200 km storm sewers
- 148 km watercourses
- 50,000 catch basins
- 3,500 culverts
- 4 infiltration facilities
- 126 ponds
- Value of **\$3.1 billion**

Hamilton
to
Mexico



What happens when stormwater and its infrastructure isn't managed?



Erosion



Debris in Creeks



Pollutants in creeks/lake



Road Flooding

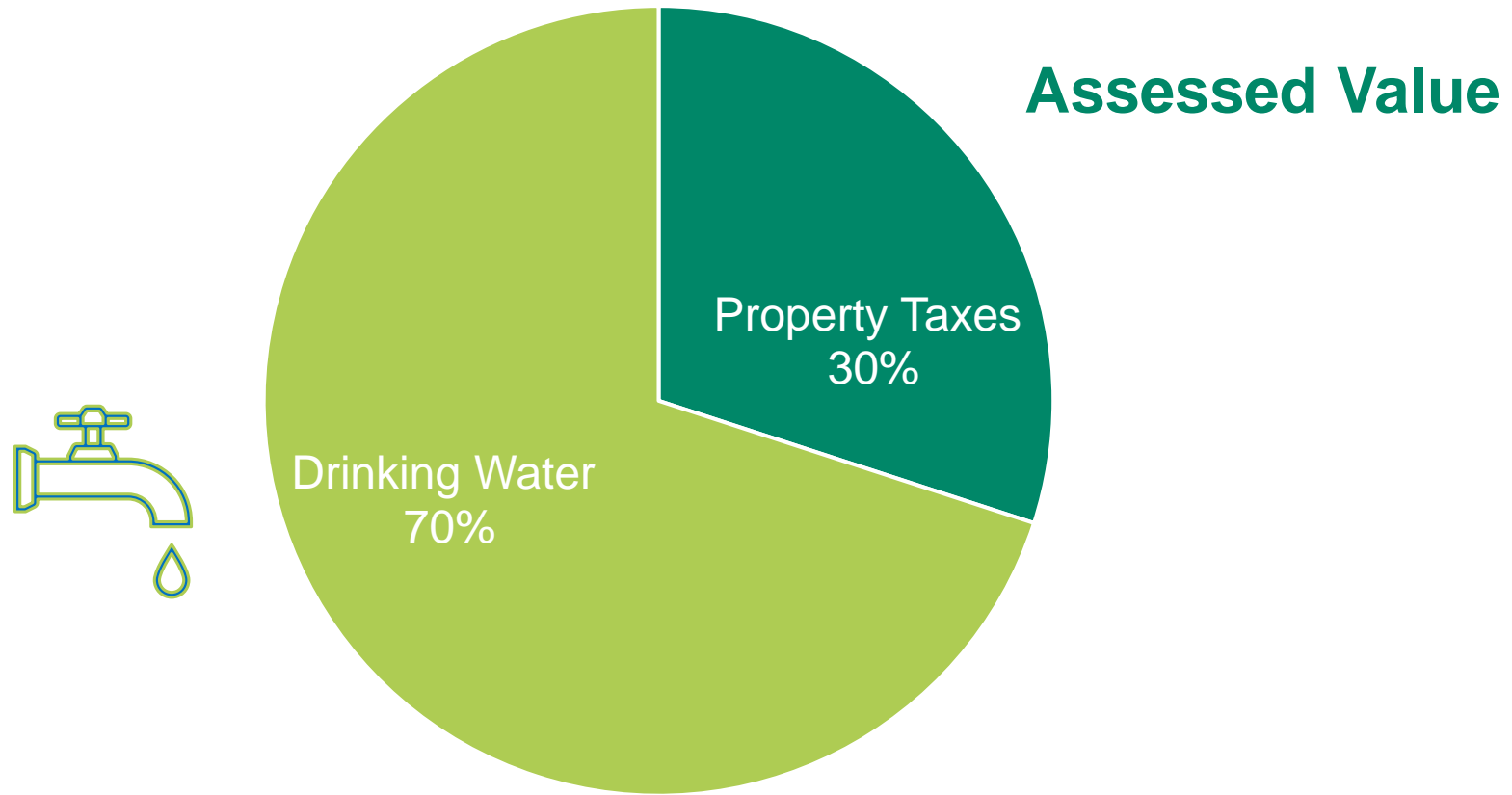


System Surcharge/ Basement Flooding



Infrastructure Failure

What is Hamilton's Current Stormwater Funding Model?



Steps taken to address the inequity in Stormwater Funding

June 2022

● Council directed staff to perform a stormwater funding model review and report back by June 2024

Nov 2022

● Council approved Guiding Principles for stormwater model evaluation

January 2023

● Council directs staff to accelerate review and report back by June 2023

June 2023

● Council approved the new stormwater fee structure & directed staff to consult the public on a financial incentive program

October 2023

● Public consultation launched

Guiding Principles

1. Fair & equitable
2. Climate resilient & environmentally sustainable
3. Affordable & financially sustainable
4. Justifiable
5. Simple

A stormwater fee with an associated credit program is a fairer, more transparent and sustainable funding model than the current system.

What are more equitable stormwater funding models based on?

Impervious area

- Roof
- Asphalt
- Concrete
- Compacted gravel
- Pavers (unless designed for infiltration)



What is the new stormwater funding model that has been approved by Council?

- \$ based on property's impervious area
- Residential ≤ 6 units, averages
- Residential > 6 units & ICI, actual
- Remove \$ from water utility rates
- Develop & consult the public on a financial incentive program



How Are the Stormwater Fees Calculated?

Stormwater Fee = # of billing units X Rate for 1 billing unit

Rates determined annually by Council



= 1 billing unit

Property Type	# Billing Units
Detached homes	1
Semi-detached homes, townhomes, duplexes	0.5 per dwelling unit
Triplex to sixplex	0.3 per dwelling unit
Buildings > 6 units	Impervious area/avg home
Institutional, commercial, industrial	Impervious area/avg home

*Average impervious area for a single-family detached home was determined by measuring a statistically relevant number of homes from across the City using aerial imagery

Will Water/Wastewater Rates Go Down?

\$1,061.50
2025 W/WW/Storm
Residential Bill
(as of Jan 1, 2025)

\$123.95

Restatement
Decrease (\$)

11.7%

Restatement
Decrease (%)

\$937.55
2025 W/WW Residential
Bill Restated
(as of Sept 1, 2025)

**Impact of Recommended 2025 Restatement of the Water and Wastewater Rate;
Decreases on a Typical Residential Bill: 11.7%**

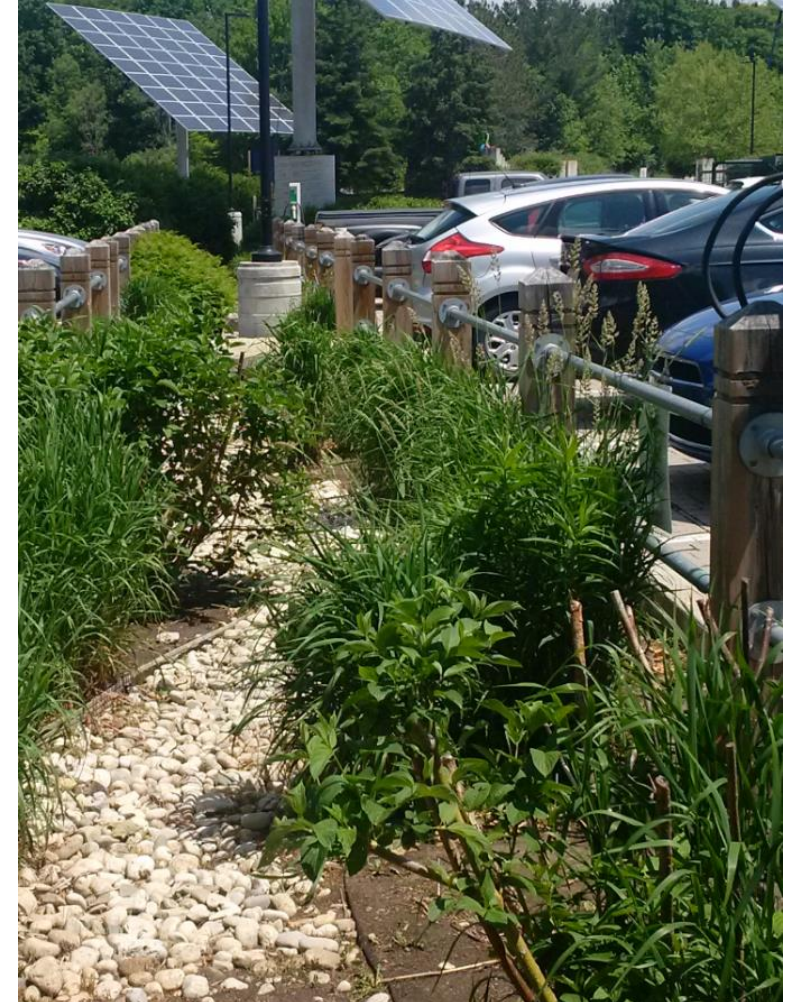
Based on annual water consumption of 200m³

Assumes approved in principle rates for 2024 and 2025 are implemented

What is a stormwater financial incentive program?

Provides financial incentives to property owners for reducing their impact on the stormwater system:

- **Credits:** reduced stormwater fee
- **Grants/subsidies:** reduced implementation cost for on-site measures



Proposed Financial Incentives – Residential \leq 6 units

Grants/subsidies:

- Rain barrels
- Disconnect downspouts, backwater valves etc
- In-person 'how-to' advisory services
- Published 'how-to' information
- Rain gardens, permeable surfaces etc..

Reduce the quantity and improve the quality of stormwater runoff from residential properties



Proposed Financial Incentives – ICI & Residential > 6 units

Proposed Credit Program

Objective	Maximum Credit Amount		Description	Examples
Slow it down	40%	Total max. 50%	Percent reduction of the 100-year storm post-development flow to pre-development conditions of the site.	Detention Ponds, cisterns
Clean it up	25%		Remove ammonia and phosphorous. Remove 60-70% sediment (based on receiving waters).	Oil-grit separators, treatment facilities
Soak it up	40%		Percent capture of first 28 mm of rainfall during a single rainfall event.	Infiltration facilities, re-use facilities
Prevent pollution	15%		Develop and implement a pollution prevention plan	Salt management plan, pesticide/manure management, sweeping, spill response plan, public education etc,

Why not Provide Credits for Residential Properties ≤ 6 units?



Low \$ payback for property owner (\$2-\$8 savings/month per unit)



Grants/subsidies provide upfront \$

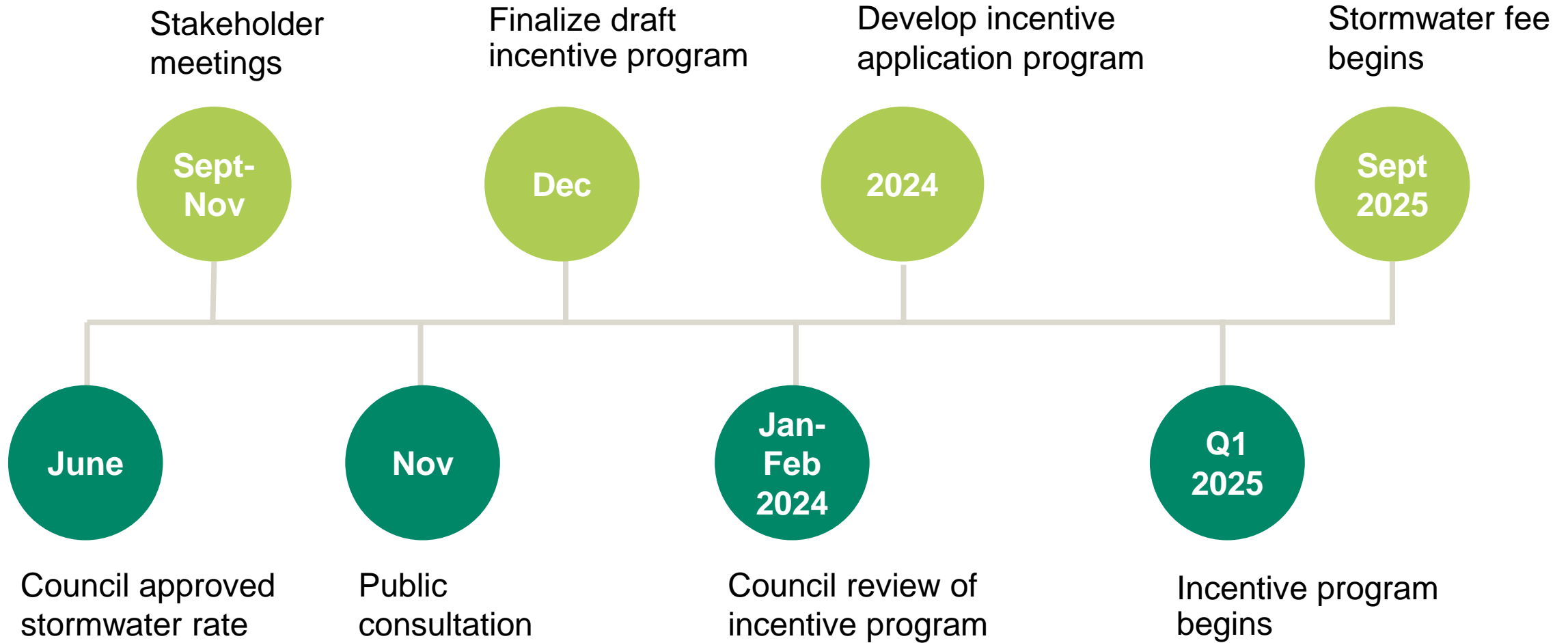


Require effort and technical expertise to apply and renew credits



High admin cost for City (147,000 properties)

Timeline



How to Participate

Complete the Survey:

Visit engage.hamilton.ca/stormwaterincentives by December 3, 2023.

Join us at an Open House:

- November 15, 6:30 to 8:30* pm – Hamilton City Hall, Council Chambers
- November 16, 6:00 to 8:00* pm – Ancaster Fairgrounds, Hepworth Room

*Presentation and Q&A begins 30 mins after start of meeting

Q&A

Please add your questions to the Q&A box.

Contact Us

Visit:

- hamilton.ca/stormwaterfunding
- engage.hamilton.ca/stormwaterincentives

Email:

- stormwaterfundingreview@hamilton.ca



Hamilton

WELCOME

City of Hamilton Stormwater Incentive Program

Open House – Wednesday, November 15

The project team is available to answer your questions and address any concerns.

A presentation and Q&A session starts at 7:00 p.m.





Hamilton

WELCOME

City of Hamilton Stormwater Incentive Program

Open House – Thursday, November 16

The project team is available to answer your questions and address any concerns.

A presentation and Q&A session starts at 6:30 p.m.

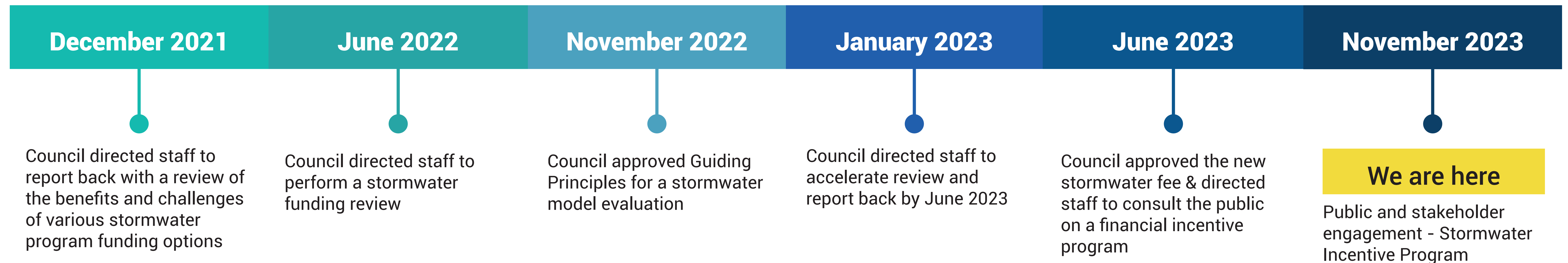


WHY ARE WE HERE?

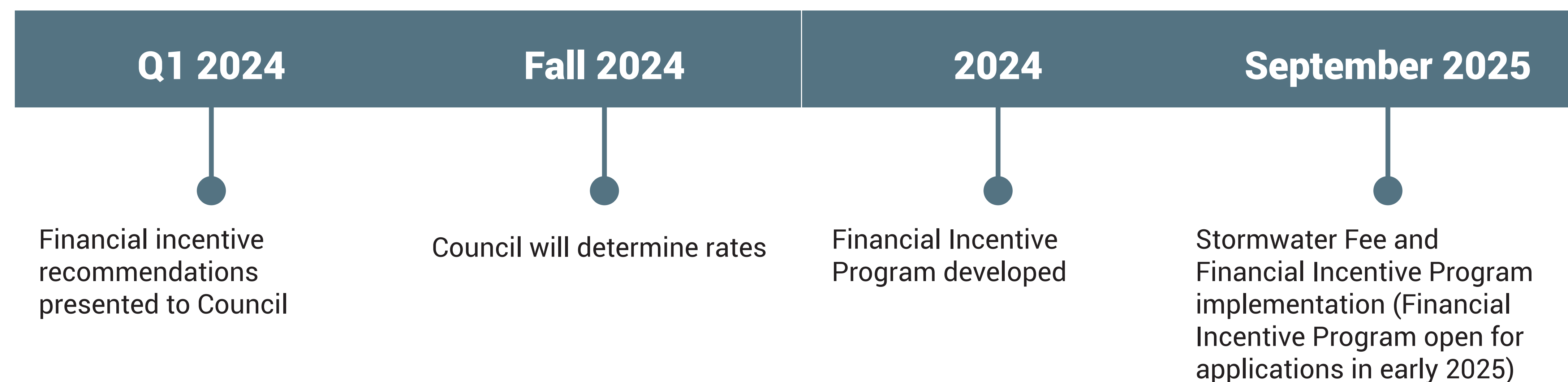
A new stormwater fee has been approved by Council and will be implemented in 2025. As part of this new fee, we are developing a stormwater incentive program for properties that implement measures to reduce their impact on the stormwater system.

The City of Hamilton is inviting residents and property owners to learn about and provide input on the draft Financial Incentive Program. The program will be implemented in 2025 alongside the stormwater fee.

HOW DID WE GET HERE?



WHAT'S NEXT?



Guiding Principles for the Stormwater Funding Model

1. Fair & equitable
2. Climate resilient & environmentally sustainable
3. Affordable & financially sustainable
4. Justifiable
5. Simple

STORMWATER AND STORMWATER MANAGEMENT

What is stormwater? Stormwater is the rain and melted snow and ice that flows over land and into storm drains, ditches, creeks and lakes.

Stormwater in Nature:

In natural landscapes, stormwater is soaked up like a sponge, which then nourishes plants and slowly replenishes creeks, lakes, wetlands and aquifers.



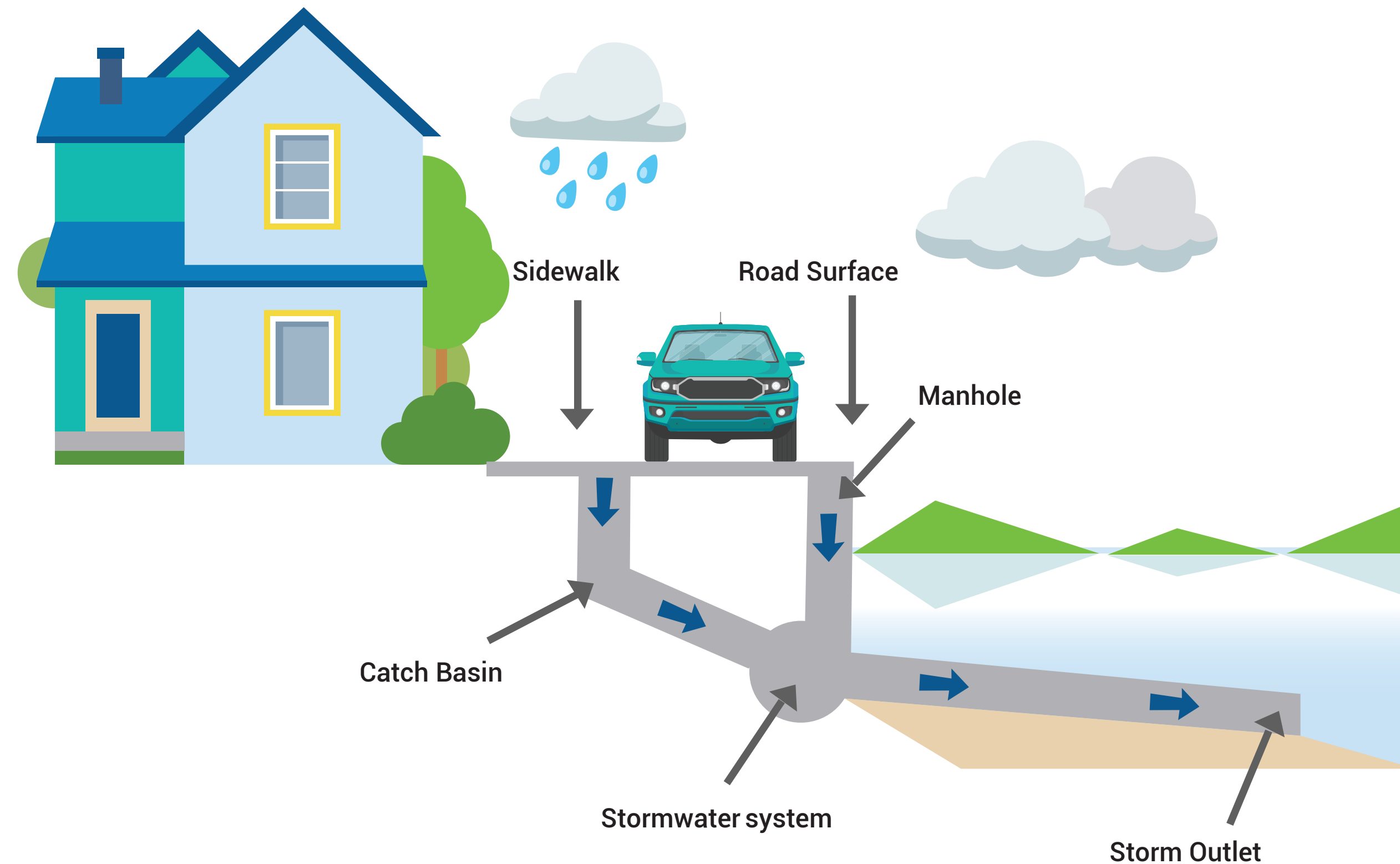
Stormwater in Built Environments:

Cleared land and especially hard (impervious) surfaces such as asphalt, concrete, compacted gravel, and rooftops prevent stormwater from naturally soaking into the ground. Instead, the water runs quickly into storm drains and sewer systems, and eventually to our creeks and lakes.



Impervious areas create more runoff, transport it more quickly, and accumulate more pollutants than natural areas.

What is stormwater management?



Stormwater management involves controlling the quantity and quality of runoff that results from rainfall and snowmelt. Stormwater management helps protect the health and safety of the public, private property, infrastructure (such as bridges and roads), and the natural environment from extreme weather.

What happens when stormwater isn't managed?



Erosion



Debris in Creeks



Pollutants in creeks/lake



System Surcharge/Basement Flooding



Infrastructure Failure

HAMILTON'S STORMWATER SYSTEM

The City of Hamilton manages a stormwater program that includes planning, constructing, monitoring, and maintaining natural and engineered infrastructure.

<p>The City's stormwater management system includes:</p>	 1,500 km of ditches	 1,200 km of storm sewers	 148 km of watercourses	 50,000 catch basins
	 126 stormwater ponds	 3500 culverts	 4 infiltration facilities	Value of \$3.1 billion

There are many different pressures on the City of Hamilton's stormwater system:



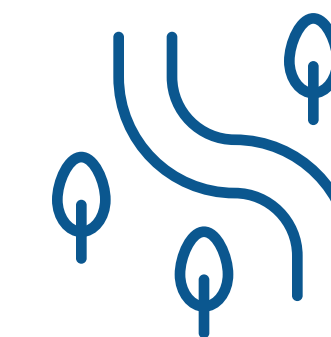
Continued development

Undeveloped land absorbs rainfall and snowmelt like a sponge, replenishing aquifers. Once land is cleared, more rainfall and snowmelt runs off, causing erosion in creeks and preventing aquifers from replenishing.



Aging infrastructure

Hamilton has an estimated backlog of over \$250 million of storm infrastructure that requires renewal.



Negative environmental impacts of stormwater runoff

Stormwater runoff conveys pollutants, such as sediment, hydrocarbons, metals, fertilizers, pesticides and litter, into natural water bodies.



Increasing impacts of climate change

We have experienced significant flood events in the past and climate change will worsen those impacts through more extreme weather, including more intense rain and snowfall and an increase in freeze-thaw cycles.



Areas of combined sewers

In areas of Hamilton with combined sewers, stormwater runoff can mix with an overloaded sewage system and be released untreated into the Hamilton Harbour or back up into basements.



Funding

Without proper financing and preventative maintenance, there is potential for disruptive stormwater asset failures and costly repairs.

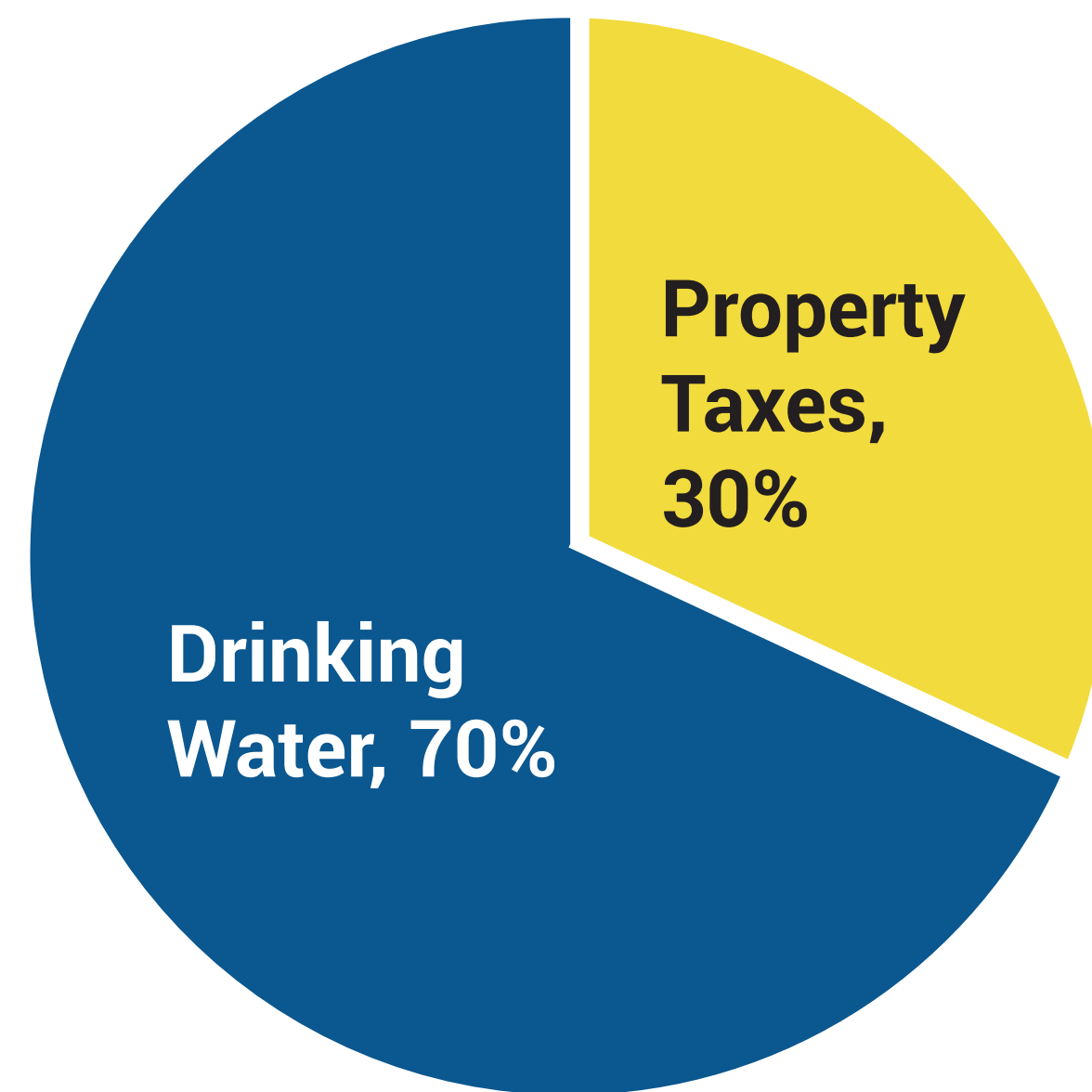
THE NEW STORMWATER FUNDING MODEL

Each year, the City spends approximately \$43 million on its stormwater program.

Property owners have always contributed to funding stormwater management.

The Current Model – Revenue through Water/Wastewater Bills and Property Taxes

Currently, property owners pay for stormwater primarily through their water and wastewater bills, as well as through property taxes.



The amount that a property contributes to stormwater management is mostly based on the amount of City drinking water consumed.

- Properties that use a lot of water (such as laundromats or car washes) currently pay a larger amount towards the stormwater system.
- Properties with no water or sewer connection, such as a parking lot, contribute very little funding to stormwater management despite the amount of stormwater which runs off their site and into the stormwater system.

The New Stormwater Funding Model

- Starting in September 2025, properties will be charged based on the load (or use) they place on the stormwater system.
- Residential properties will be charged based on the average impervious area for their residential type.
- Industrial, commercial and large multi-residential properties will be charged based on their measured impervious area.
- The City will no longer use revenues collected through the water and wastewater utilities to fund stormwater management. Instead, all properties will see a separate stormwater fee on their utility bill.
- Water and wastewater rates will be reduced when the stormwater fee is implemented in 2025.

A stormwater fee with an associated credit program is a more fair, transparent and sustainable funding model than the current system.

HOW ARE THE STORMWATER FEES CALCULATED?

Stormwater Fee = # of billing units x Rate for 1 billing unit

Rates will be determined annually by Council



= 1 billing unit

Property Type	# Billing Units
Detached homes*	1 unit
Semi-detached homes, townhomes, duplexes	0.5 dwelling units
Triplex to sixplex	0.3 dwelling units
Institutional, commercial, industrial, residential buildings > 6 units	Impervious area/avg home

*Average impervious area for a single-family detached home was determined by measuring a statistically relevant number of homes from across the City using aerial imagery

Residential properties with 6 units or fewer

- Will be charged based on the average impervious area for their residential type and the number of dwelling units
- Stormwater fee will be added as a separate line item to water utility bill
- Eligible for subsidized stormwater programs

Institutional, commercial, industrial and residential properties with more than 6 units

- Will be charged based on their measured impervious area
- Eligible for incentive program. Approved credits would be applied to the base charge
- Stormwater fee added as a separate line item to water utility bill
- If condo owner receives bill, stormwater fee will likely be added to their bill
- If condo association receives bill, stormwater fee will likely be added to their condo fees

Several Ontario municipalities have stormwater fees, including Kitchener, Ottawa, Guelph, Richmond Hill, Waterloo, Brampton, Ajax, Mississauga and Markham.

DRAFT STORMWATER INCENTIVE PROGRAM

An incentive program offers several benefits:

- Rewards property owners that reduce their impact on the stormwater system
- Encourages environmentally friendly stormwater practices
- Ensures installed systems are in good working order
- Reinforces fairness & user-pay concepts
- Synergy with water conservation efforts
- Potentially defers or reduces municipal expenditures



The City is proposing an incentive program for property owners that implement stormwater management measures that reduce the amount of stormwater and improves the quality of stormwater that runs off their properties, including:

- **Credits** – reduced stormwater fee
- **Grants/ subsidies** – reduce the costs of on-site measures



Tell us what you think about the draft Stormwater Incentive Program.

Review the next few information boards. Share your thoughts by speaking with a member of the Team, leave a note on a sticky here, or complete the online survey.

To access the online survey, visit <https://engage.hamilton.ca/stormwaterincentives> or scan this QR code:



A hard copy of this survey is also available. Please complete the survey by December 3!

DRAFT STORMWATER INCENTIVE PROGRAM FOR INDUSTRIAL, COMMERCIAL, INSTITUTIONAL, AND MULTI-RESIDENTIAL BUILDINGS MORE THAN 6 UNITS

Industrial, commercial, institutional, and multi-residential buildings with more than six units will be able to apply for a credit (i.e., reduction on their stormwater fee) if they reduce the quantity or improve the quality of stormwater that runs off their property. The various criteria and associated credits are summarized in the following table.

Stormwater Objective	Maximum Credit Amount	Description	Example Measures
Slow it down (peak flow reduction)	40%	Percent reduction of the 100-year storm post-development flow to pre-development conditions of the site.	Detention ponds, cisterns
Clean it up (water quality)	25%	Remove ammonia, sediment, and phosphorous. Remove 60-70% sediment (based on receiving waters).	Oil-grit separators, treatment facilities
Soak it up (volume reduction)	40%	Percent capture of first 28 mm of rainfall during a single rainfall event.	Infiltration facilities/rain gardens, re-use facilities, pervious pavers
Prevent it first (pollution prevention)	15%	Develop and implement a pollution prevention plan.	Salt management plan, pesticide/manure management, sweeping, spill response plan, public education etc.

Interested in the credit program?

- Application, recertification, and appeals processes to be developed in 2024
- Application period begins in 2025, prior to initial billing
- Applicant to certify that on-site features are maintained and working as intended
- Recertification likely every 2-5 years



DRAFT STORMWATER INCENTIVE PROGRAM FOR SINGLE-FAMILY AND MULTI-RESIDENTIAL PROPERTIES WITH SIX OR FEWER UNITS

Residential properties with six or fewer units will be able to access subsidized programs that provide:



Materials such as rain barrels at a significant discount.



A grant (subsidy) for the disconnection of downspouts, installation of a backwater valve, and other eligible works that help to reduce the risk of basement flooding.



In-person advisory services on how properties can reduce their stormwater water runoff.



How-to information/publications on how properties can reduce their stormwater runoff.



A grant (subsidy) for the installation of rain gardens, bioswales, or permeable surfaces and other measures that reduce the quantity and improve the quality of stormwater runoff from residential properties.



What about credits for residents?

Because the average home will likely pay less than \$20 per month for stormwater, providing a reduction such as \$5 per month is generally not enough of a financial incentive to offset the cost of implementing measures on-site. Instead, providing grants and subsidies up front that are worth hundreds of dollars will be a greater incentive to homeowners.

COMPLETE THE SURVEY

We value your input to the incentive program.

Please visit
<https://engage.hamilton.ca/stormwaterincentives>
or use the QR code to complete the online survey
by **December 3, 2023**.



NEXT STEPS

- Public and stakeholder feedback will be reviewed and considered in the financial incentive program recommendations to Council in early 2024.
- The financial incentive program will be developed in detail throughout 2024 and will be open in time for the implementation of the stormwater fee in 2025.

THANK YOU

We appreciate the time you have taken today and encourage you to stay connected.

Visit Hamilton.ca/StormwaterFunding to stay up-to-date or contact the team with additional comments or questions anytime at:
StormwaterFundingReview@hamilton.ca



Hamilton

DRAFT STORMWATER INCENTIVE PROGRAM

The City is proposing an incentive program for property owners that implement stormwater management measures on their properties.

Single-Family and Multi-Residential Properties with ≤ 6 Units

Single-family residential and multi-residential properties with six or fewer units will be able to access subsidized programs that provide:

- Materials such as rain barrels at a significant discount;
- A grant (subsidy) for the disconnection of downspouts, installation of a backwater valve, and other eligible works that help to reduce the risk of basement flooding;
- In-person advisory services on how properties can reduce their stormwater runoff;
- How-to information/publications on how properties can reduce their stormwater runoff; and
- A grant (subsidy) for the installation of rain gardens, bioswales, pollinator gardens, or permeable surfaces and other measures that reduce the quantity and improve the quality of stormwater runoff from residential properties.

We value your input to the incentive program.

Please visit <https://engage.hamilton.ca/stormwaterincentives> or use the QR code to complete the online survey by **December 3, 2023**.



Industrial, Commercial, Institutional, and Multi-Residential Properties with > 6 Units

Industrial, commercial, institutional, and multi-residential properties with more than six units will be able to apply for a credit (i.e., reduction on their stormwater fee) if they reduce the quantity or improve the quality of stormwater that runs off their property. The various criteria and associated credit are summarized in the following table.

Stormwater Objective	Maximum Credit Amount	Description	Example Measures
Slow it down (peak flow reduction)	40%	Percent reduction of the 100-year storm post-development flow to pre-development conditions of the site.	Detention ponds, cisterns
Clean it up (water quality)	25%	Total max. 50%	Remove ammonia, sediment, and phosphorous. Remove 60-70% sediment (based on receiving waters).
Soak it up (volume reduction)	40%		Oil-grit separators, treatment facilities
Prevent it first (pollution prevention)	15%	Percent capture of first 28 mm of rainfall during a single rainfall event.	Infiltration facilities/rain gardens, re-use facilities, pervious pavers
		Develop and implement a pollution prevention plan.	Salt management plan, pesticide/manure management, sweeping, spill response plan, public education etc.

Time and effort will be required by the property owner and the City in the application and administration of a credit program.

- To apply for the credit, property owners will need to show that they have and maintain measures on their property that meet the proposed credit criteria. This typically requires the submission of drawings and maintenance records.
- Property owners will also need to periodically renew their application (e.g., every 2-5 years) to show that the measures continue to be maintained.

Since the stormwater fee for the average residential property would likely be less than \$20 per month, the City is not proposing a credit program (i.e., reduction in stormwater fee) for residential properties with six or fewer units.



Appendix G

Public Meeting Summaries



Appendix G

City of Hamilton – Stormwater Incentive Program Virtual Public Meetings – November 7, 2023 Highlights Report

This report has been prepared by AECOM to provide the City of Hamilton with a summary of the feedback captured at the virtual public meetings held on Tuesday, November 7, 2023.

Overview

On Tuesday, November 7, 2023, the project team hosted two virtual public meetings. The purpose of the meetings was to introduce the approved stormwater fee and proposed draft incentive program, to address questions and to gather feedback to help inform the development of the incentive program. The first meeting was held from 2:30 p.m. to 4:00 p.m. and the second meeting was held from 7:00 p.m. to 8:30 p.m. with participants attending virtually over Zoom.

To begin the meetings, Alicia Evans (AECOM) welcomed attendees, starting with a Land Acknowledgement, and provided the meeting agenda. Nancy Hill (AECOM) delivered a presentation, including:

- background information on stormwater;
- an overview of Hamilton's stormwater management system;
- the current stormwater funding model;
- an introduction of the new stormwater fee, rationale and timeline for implementation; and
- the proposed stormwater financial incentive program, including credit program for agricultural, industrial, commercial, institutional (ICI) and residential properties with more than six units, and the grant/ subsidy program for residential properties of six units or fewer.

Following the presentation, attendees had the opportunity to ask questions and provide input related to the presentation topics through a facilitated Question and Answer session.

To wrap up the session, Alicia Evans provided project contact information and attendees were encouraged to complete the online sure or reach out if they had additional information that would be important to consider during the stormwater fee implementation and incentive program development.

Questions and Answers

The Questions and Answers received during the public meetings are summarized below. Participant questions are noted with a "Q" and comments with a "C". Project team answers are noted with an "A" and responses with an "R". Answers were provided by Nancy Hill (AECOM) unless noted otherwise. Note that this is not a verbatim account but is instead a concise summary of the discussion.

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Virtual Meeting 1

Q1: Is the City still going with the recommendation in the original report to Council in June? Developments with private stormwater ponds, that do not discharge to the municipal collection system should be charged less than developments that do not adopt best practices (page 10 of report).

A1: Private stormwater ponds are the perfect example of what would qualify for the credit program. The credit would depend on the design and the objectives of the stormwater pond – is it just detaining water, infiltrating water or improving water quality? This could result in a credit of up to 50% off the stormwater fee.

Q2: If a property has stormwater ponds that do not flow into the City's stormwater system and are maintained by the property owners at great expense yearly, why are the credits capped at 50%?

A2: Runoff from almost every property in Hamilton will eventually make it into the City's stormwater system. The system includes creeks, ditches and sewers. For example, if a property has a private stormwater pond, the City must still manage the facilities downstream of the pond, from inspection to maintenance. The 50% cap is to ensure that there is still some contribution to the system from property owners.

It is great that properties manage their stormwater on-site and that is why we are proposing a credit program. While the City must still manage stormwater from these properties, there will hopefully be a reduced amount of runoff based on the actions from property owners.

Q3: What about water that discharges directly into water bodies? Our stormwater pond runoff does not go into the City system. It flows into Jordan Harbour via Niagara Conservation.

A3: The City manages natural water bodies through erosion, sediment and pollutant management. For creeks and rivers managed under conservation authorities, the City provides the funding for the authorities and thereby indirectly manages these natural waterbodies and watercourses as well.

Q4: Do you take into consideration large, open grassed areas and trees on properties that help absorb stormwater runoff as part of the credit program?

A4: Open areas with grass and trees are not considered impervious area and are not counted towards the stormwater fee billing. In addition, the objective of the incentive program is to improve and increase absorption of stormwater on-site. If a property owner implements measures that directs stormwater to landscaped areas with the goal of reducing stormwater volume or improving water quality, they could receive a credit.

Q5: If an appeal is launched for a credit adjustment, will someone physically look at the complex?

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A5: There are multiple reasons for an appeal: someone might appeal their property classification, or a technical or legal issue. For the credit program, an appeal would be about the credit amount. In these cases, the City might go out to observe properties and take measurements to determine the appropriate credit.

Q6: It was mentioned that nearly all properties drain into the city's system, can you advise which properties don't use the city stormwater system?

A6: We do not have an example at the moment. We just did not want to exclude the possibility.

Q7: Will there be example properties for homeowners to use for inspiration when implementing measures that qualify for grants, subsidies or credits?

A7: That is part of the work that we want to do in 2024. This includes working with organizations that work directly with property owners, providing how-to information on-site, workshops and coaching to anyone interested.

Virtual Meeting 2

Q1: Is the total impervious area calculation a fair and appropriate model to assess rural and urban properties similarly? Shouldn't there be a better way of assessing benefit/cost that considers factors such as total local infiltration area, type of local drainage system and legal access to a drainage system?

A1: A specific review was done looking at impervious areas of rural versus urban houses. Rural homes, on average, were twice as large as urban and therefore would have been charged twice as much. A decision was made that rural and urban houses would be charged the same. Stormwater expenses were also studied, and it was found that rural properties received more value per property for stormwater services.

Q2: Property owners who benefit from a municipal drain system are individually billed for installation and maintenance costs for these systems. Why should these property owners continue to pay for these stormwater management systems and also pay for everybody else's?

A2: Nick Winters, Director of Hamilton Water – The municipal drain system is a separate system but is paid for by the users that benefit from the drain system. The City inspects the drains annually as required by legislation, but very rarely bill maintenance costs back to drain system users.

Those properties also discharge outside of the municipal drain system and into other locations. To do property-by-property assessments to determine how much stormwater is discharged, and which stormwater system the water is going to on a given property, would be administratively complex and burdensome to the City. The decision was made to balance simplicity with what is fair and equitable.

Q3: Conservation Authorities are already funded by general property tax levies. They provide regulatory oversight for flood protection and management of natural water

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systems for the benefit of all city properties. Why combine this budget item with the urban stormwater budget. What is unfair about the current Conservation Authority levy system?

A3: All stormwater related expenditures, whether it is conservation authority funding, or stormwater system management and staff in urban or rural areas, will be funded under the new stormwater fee. Property taxes will no longer be used to fund conservation authorities because we are finding that a lot of the issues that the conservation authorities and municipalities are trying to address are because of erosion in creeks and pollution. The more that property owners' control and manage their stormwater on-site, the less work conservation authorities and the City must do. We think that a stormwater funding program that encourages properties to manage stormwater will reduce the overall funding needs of the conservation authorities and City.

Nick Winters, Director of Hamilton Water – Through one of the Council motions related to the development of the program, Council directed staff to move forward with a rate structure that included all costs associated with stormwater in the rate. What conservation authorities are doing across the watershed to support natural drainage systems are aligned with City stormwater service, so fees for the services that they provide are included.

Q4: Why would rural road ditching be transferred from the road maintenance budget to the stormwater budget? Roadside ditches are not riparian systems. The adjacent property owners may not collect and legally discharge water into a roadside ditch. The ditches and culverts are required to allow water to move from one side of the road allowance to the other, and also to manage runoff from the City's impervious road.

A4: Ditches do take runoff from roadways, but they also take overland flow from properties. It is correct that you are not legally allowed to have a pipe connection, but there are many cases where stormwater and associated pollutants runoff properties and into the ditch system. From the ditch system, water flows farther down the system into pipes, which go into creeks and it all gets mixed together and into the harbour, when you look at it from a holistic "one-water" perspective.

All the water ultimately leads to the same place and when we have water quality and quantity issues in a creek, it might be coming from a ditch system, or it could be from a pipe system. To try and break this out would be unnecessarily administrative. Treating it as all stormwater under one umbrella seems like the better way of going about it.

Nick Winters, Director of Hamilton Water – The ditch system across the non-urbanized areas of the City of Hamilton are important conduits for stormwater. They do require maintenance, and based on Council's desire to have all our stormwater programs infrastructure renewal and maintenance programs funded from one fee across the City, ditches need to be included as part of this rate.

Q5: Don't rain gardens, rain barrels and disconnected downspouts still spill surplus water into the ground? How is this different from farm properties which are already absorbing a lot of rainwater, but don't seem to be eligible for credits or incentives?

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A5: Farm properties have the same eligibility for incentive programs as non-farm properties. If it is just a rural residential property, similar to any other residential property, whether it's outside or inside the urban boundary, it would have access to the same rebates and incentive programs. Likewise, if it is a farm property that is commercial and has more buildings than just a home then they could apply for credits.

If there are other items that properties, and especially farm properties, or properties outside the urban boundary, would like to see – other types of financial incentives or credits or subsidized programs – this is what we're here for and this is what we hope to get as feedback. Please fill out the survey and give your input.

Cari Vanderperk, Director of Watershed Management at City of Hamilton – Farm properties could potentially carry pollutants into the groundwater that you wouldn't see within the urban boundary from farm operations, and also could have an impact on aquifers in the water table. This could impact our source water, which the City is responsible for protecting.

Q6: Will rural properties that are not on city water or sewers be eligible for the same credits/ subsidies that urban residents will be eligible for?

A6: Yes, these properties will be eligible.

Q7: Programs to provide research, education, outreach and incentives that address farm water runoff quality related to erosion, manure, pesticide and fertilizer have been in effect for many years by OMAFRA, MECP and the Conservation Authorities in co-operation with farm organizations. What expertise, or new opportunities can be provided by the City that can justify any City stormwater expenditures?

A7: The idea behind the incentive program is to leverage existing programs, and there are a lot of programs out there already. We don't want to reinvent the wheel but even with these existing programs, we are still having some issues with stormwater management and there are still some water quality issues in rural areas.

There could be more that could be done to help property owners manage stormwater especially, as Cari alluded to, from a quality perspective and pollutants. There is good information from the conservation authorities, but if what people need are workshops and in-person consultation, then maybe those are some of the things that we can help with.

We also talked about credits for manure management in the presentation. Maybe by providing an extra credit up to 15% for properties that develop and maintain a pesticide or a manure management plan it is an extra incentive that will encourage all properties to do that.

Nick Winters, Director of Hamilton Water – We're looking for a program that's going to be simple, but as fair a system as possible to administer on behalf of the city. We're not looking to create additional administrative hoops for members of our farming community here in Hamilton either, so where there is existing information or programs in place, then we would just refer to those.

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Cari Vanderperk, Director of Watershed Management at City of Hamilton – In 2016-2017 there was a number of recommendations made by the Hamilton Harbour Remedial Action Plan (HHRAP) process and one of the recommendations was for the City of Hamilton to implement a stormwater fee. That was really to address the non-point source pollution that was entering Hamilton Harbour that could not be dealt with via hard capital expenditures like upgrading our sewage treatment plants. There is certainly evidence to support that the pollutants that are now remaining in the harbour and that are still entering the harbour could be coming from rural runoff. There is a lot of information that can be found on the HHRAP website about this.

Q8: I was told that as a farm owner, I should fill out the industrial, commercial and large multi residential owner survey. My property is used for cash crops, and this is my home. Why would I be considered an ICI owner/operator?

A8: If the only facility, the only hard surface or the only building, on your site was a house and everything else was just greenfield, then you would be treated like a homeowner and you would be charged one billing unit.

If, however, you have barns and greenhouses, then you would be treated like a non-residential property owner, and your fee would be determined based on measured impervious area. It depends on what's on your property.

Q9: You say that an urban residence would have a decrease of \$124.00, but those of us with a rural residence would be looking at a fee of \$140.00, so you transfer the cost for an urban residence whose impervious footprint is much larger to the rural residents who do not currently contribute.

A9: What we found when we did the measurements of footprints of homes, is that the rural homes are twice as large on average as the urban homes. We didn't want to charge rural homes twice as much so the City is instead charging everyone one billing unit.

The reason that rural residents don't get a restatement in their water/ wastewater bill is that they're not currently contributing financially to stormwater through City water and wastewater fees. They just contribute a small amount to stormwater funding through property taxes.

We found that the City was spending more in rural areas than rural properties were contributing to stormwater management funding. On one hand it may seem unfair, but on the other hand, now all properties will be contributing to stormwater funding and one might argue this is a more equitable model.

Q10: This totally represents an added tax to rural property owners that paid for their own well to be dug and the electricity it costs for running the pump or extra payments to fill up cisterns that urban folks don't pay. How is the City recognizing these costs?

A10: Urban residents who don't have their own wells pay for water through their water and wastewater utility rates. They will still have to pay for their water and wastewater utility rates, so it's not like they're getting water and wastewater for free. The

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restatement of the water wastewater bill just means that stormwater is coming off the stormwater portion of the water rate.

I know that rural property owners have to pay for their well, but likewise urban property owners will still have to pay their water bills based on the amount of water they consume.

Q11: How much revenue will this generate for the city from big box stores with large parking lots?

A11: It is true that if you were a store with a large parking lot and a single toilet and sink in the back, the property probably was not contributing a lot to stormwater funding, despite there being a lot of stormwater runoff from your site. Those types of properties will probably see an increase in overall utility costs with the new stormwater fee.

In addition, and more importantly, hopefully this will also encourage property owners to manage their stormwater more sustainably.

The idea is that this new stormwater funding model will be more equitable and those who generate the largest amounts of runoff will pay the most.

Nick Winters, Director of Hamilton Water – City Council has not yet determined what the stormwater rates are going to be. This will come in the future, including consideration for the rebate incentive and credit programs that we're reaching out about now and looking for feedback on.

The recommendations from staff that have been made to City Council is we're looking at a revenue neutral implementation of a stormwater rate. What that means is we're not looking to make more money off a new stormwater rate than what is presently needed to maintain our existing stormwater infrastructure and related programming.

C1: I dispute the fact that rural homes are larger. I have a home that is less than 1,000 sq feet and a garage of 300 sq ft. My water goes into a cistern which we use. It then goes into a septic system and any excess water goes into a pond on the farm behind us and from there to the Forty Mile Creek, a municipal drain.

R1: "Twice as large" was a statistical average and we did measure a statistically significant number of properties to determine that.

You're right, there will be variation, and some homes will be very small and contribute very little. Instead of measuring 180,000 properties individually it was decided to use averages for single family homes and other residential types such as duplexes and town homes. This decision was made to balance both the goal of equity and administrative simplicity.

C2: This sounds like it supports administrative costs through fees on the backs of rural residents that have nothing to do with the stormwater management system.

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City of Hamilton – Stormwater Incentive Program Public Open Houses – November 15 and 16, 2023 Highlights Report

This report has been prepared by AECOM to provide the City of Hamilton with a summary of the feedback captured at the public houses held on Wednesday November 15 and Thursday November 16, 2023.

Overview

On Wednesday, November 15 and Thursday, November 16, 2023, the City of Hamilton hosted two public open houses for the Stormwater Incentive Program. The purpose of the meetings was to introduce the approved stormwater fee and proposed draft incentive program, to address questions and to gather feedback to help inform the development of the incentive program. The first open house was held from 6:30 p.m. to 8:30 p.m. at Hamilton City Hall and the second meeting was held from 6:00 p.m. to 8:00 p.m. at the Ancaster Fairgrounds.

To begin the meetings, Alicia Evans (AECOM) welcomed attendees, starting with a Land Acknowledgement, and provided the meeting agenda. An AECOM representative, Pippy Warburton on November 15 and Mike Gregory on November 16, delivered a presentation, including:

- background information on stormwater;
- an overview of Hamilton's stormwater management system;
- the current stormwater funding model;
- an introduction of the new stormwater fee, rationale and timeline for implementation; and
- the proposed stormwater financial incentive program, including credit program for agricultural, industrial, commercial, institutional (ICI) and residential properties with more than six units, and the grant/ subsidy program for residential properties of six units or fewer.

Following the presentation, attendees had the opportunity to ask questions and provide input related to the presentation topics through a facilitated Question and Answer session.

To wrap up the session, Alicia Evans provided project contact information and attendees were encouraged to review the information boards, complete the survey (online or through a hard copy) and speak to AECOM consultants or City staff if they had additional information that would be important to consider during the stormwater fee implementation and incentive program development.

Questions and Answers

The Questions and Answers received during the public meetings are summarized below. Participant questions are noted with a "Q" and comments with a "C". Project team answers are noted with an "A" and responses with an "R". Answers and responses

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were provided by Pippy Warburton (AECOM) and Mike Gregory (AECOM) for the November 15 and November 16 meetings respectively, unless noted otherwise. Note that this is not a verbatim account but is instead a concise summary of the discussion.

Open House 1

C1: It is mentioned in the presentation that culverts and debris are part of maintaining the stormwater system. The City should be installing plastic culverts and moving away from metal. Also, there are thousands of dead trees in rural areas. The City should take them down before they fall, so that they do not end up in ditches and cause backups.

R1: Peter Sniuolis, Manager, Roadway Maintenance – There are limitations to plastic culverts and where they can be installed. We monitor and inspect culverts and the City repairs about 70-80 culverts per year. We are able to analyze the lifecycle of culverts and try to proactively upsize culverts where it is needed and feasible, but at the same time, we need to ensure that we do not increase the flow intensity downstream.

Q1: Is this tax included in the rise in Hamilton municipal taxes? Or is this a new tax on top of it?

A1: Currently, the City of Hamilton funds stormwater through water consumption fees and a small portion of property tax. The amount contributed through water fees and property taxes will be removed and a new stormwater fee will be added to the utility bill, separate from water and wastewater fees. For rural properties that are not billed for water and wastewater, they will receive a new bill only for stormwater fees.

C2: Whatever fee we will pay will be a brand new tax for rural residents. Based on the calculation as it stands right now, my property will face \$1,000 stormwater bill. I do not consider my property to be ICI and I do not like the term non-residential either. I live on my property, it is my home, and it has a farm as well.

R2: You are basing that calculation on the percent of impervious area on your property. The rate has not yet been set, so it is just an approximation. If your property is categorized like ICI properties, you would qualify for the credit program.

Q2: When urban homeowners disconnect their downspouts from the sewer system, the flow from the downspout will just go onto the lawn, but eventually goes to the sewer anyway. How do these actions address stormwater issues if it just delays the flow?

A2: Delaying stormwater from reaching the system is useful because the system is designed to handle peak, or maximum, flow. Any action to slow down stormwater has a huge benefit to the system.

C3: Farmland seems to contribute even more to slow down stormwater going into the stormwater system than urban lawns.

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R3: This is being taken into consideration. Farming properties will be measured individually for impervious area and there will be a property-by-property discussion with property owners about the credits they qualify for.

Q3: What is the average size house area being used to determine the rate? What is 1 billing unit?

A3: The average impervious area for a single-family detached home is 291 m². This is determined by measuring impervious area from a statistically significant number of houses using aerial photography. This is different than for ICI properties that will need to be measured individually.

A billing unit is used to differentiate the property types, with 1 billing unit representing the average single-family home. Different categories of homes, such as units in a semi-detached home or triplex, for example, will be a fraction of one billing unit, which is then multiplied by the stormwater rate set by Council.

Q4: How will the City enforce, or follow-up on incentive credits or subsidies? Will the City have dedicated staff? Hiring more staff will add more administrative costs.

A4: Implementing inspections and follow-up is part of the development of the incentive program and we will be looking at other municipalities that have developed a program already. As an example, a property owner will need to show the City the on-site measures are operating as they were designed and built. Without an incentive program, the City cannot follow-up to inspect to make sure the system is being maintained properly. With the program, maintenance is incentivized.

C4: Farmers are already doing a lot to prevent runoff and soil erosion and would qualify for a credit under many of the categories already, whether it is rotating crops, having water management and always having something growing on the topsoil. I feel as if people do not understand what farmers have already been doing for stormwater management. I am sure some farmers feel as if they should be given a rebate for what they do for water management.

R4: We have set the incentive cap at 50% because even with property owners building stormwater management facilities, there are still base costs for the stormwater management system. We also have to be aware that not all farms are the same and not all farms have stormwater management.

C5: There are farms that are not perfect and there are some that spread manure over snow. When the snow melts, it takes the phosphates and potash into the watercourses, sewer system and into the lake. There should be more enforcement for this issue.

C6: A lot of the farmers don't know about the fee. They think they are getting hit with another tax and do not know about the incentive program and credits. There is also a

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lack of knowledge about where the tax dollars are currently going, including the fact that the City of Hamilton contributes to the conservation authorities for the work that they do.

Open House 2

Q1: My property gets a lot of stormwater runoff from a neighbouring industrial park that ends up going through my fields. Why should I give Hamilton \$1000 when I have personally been dealing with the water?

A1: Nick Winters, Director of Hamilton Water – Many agricultural property owners have stories about flooding or poor quality runoff from upstream. There are requirements (by-laws) for these industrial parks that the property owners have to adhere to. Please let us know about these issues, and we will review them on a case-by-case basis.

Q2: We have already spent tens of thousand of dollars on these types of stormwater facilities for our properties. Would we be given a credit?

A2: This is why we would like to meet with property owners before the stormwater fee starts in Quarter 3, 2025. We want to use 2024 to begin evaluating properties for the credit program.

Q3: The incentive program seems like a lot of paperwork. Can this program be a fee exemption, as opposed to the current plan of crediting money back? As a dairy farmer, I am required to report our water usage already. How often would we need to apply for these credits?

A3: We cannot exempt properties from a fee like this and we must charge every property the same way. Yes, it will take time to iron out the details of the program, but once the application process opens, it will be more straightforward as time goes on. We would like your feedback on what you believe would be an appropriate timeframe for renewing the credits.

Nick Winters, Director of Hamilton Water – City staff has invited communities for feedback and if you have ideas on how to simplify the process, we would like to hear it.

C4: I've done an assessment and the stormwater fee for my farm might be upwards of \$30,000. For me to design and build these on-site stormwater facilities and apply for any permits will cost me a lot of money to install and maintain. I cannot raise my prices to compensate for these increased costs to my business.

Q5: Who made the decision to cap the credit at 50%?

A5: It is common in Canada to have a cap on the credits for an incentive program. The highest credit in Canada is 55% of the stormwater fee.

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C1: We have a holding pond on our property. We feel as if we tick all the boxes for the credit program. 50% feels arbitrary and as we have been doing the right thing before this fee is even implemented.

Q6: Our farm has tile drainage. We receive a lot of stormwater from other properties and the City stormwater system that goes through our property. We have built berms to control the water. Can we get credit for putting berms to control the water?

A6: This sounds like it may qualify.

Nick Winters, Director of Hamilton Water – If there are issues with water coming from other properties, we would love to connect with you on your specific situation.

Q7: Going back to the timeline slide in the presentation (slide 11), has council approved the rate amount?

A7: The rate for 2025 will be approved near the end of 2024.

C2: We have to keep in mind that this is council directed. We have one Councillor present and another Councillor has staff present. Your complaints should go to Council. They are the ones who directed staff to begin this process.

Q8: From my understanding, every property will pay this fee. Have tax exempt properties been informed of this? I am sure a lot of properties are not aware that this is coming.

A8: Yes, tax-exempt properties will pay a stormwater fee. They should be informed, and we will be doing more to spread the word of this change over the coming year. The fee is not in place until 2025.

C3: This is a failure of the City to publicize this change.

R3: We began this project in 2022. Council just approved the stormwater fee in June of this year (2023).

Q9: Are ditch inspection records publicly available? I have seen a lot of the infrastructure failures and we ourselves maintain the roadside ditches. We don't feel that rural areas are being serviced as you say they are.

A9: Nick Winters, Director of Hamilton Water – It is not municipal practice to have records available for maintenance on ditches and culverts.

Q10: Regarding the incentive program, what about if our property is 90% green space? Does this qualify?

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A10: Is the intention of the field to soak up the water? Then it is possible it would be. If your tile drainage system drains into the municipal ditches, it is not eligible.

Q11: If my property doesn't drain into the City system, is this eligible for the incentive program?

A11: If you can show that you do not discharge into the City system, then yes. This is intent of the incentive program.

Q12: You mention concrete and asphalt as impervious. Some of us have gravel and natural gravel on our properties. Is there any consideration for gravel driveways vs asphalt?

A12: Other municipalities have specific policy for the distinction between gravel and asphalt. If the gravel is used as a driveway, then it is typically considered impervious.

Q13: This is a tough subject and we thank you for presenting the information and taking our questions. As a member of the Agriculture and Rural Affairs Sub-Committee, I attended the meeting in June. I heard from Nancy Hill, who came on virtually. During the Q&A period, my question was strictly about the cost to the taxpayer. She did not have an answer for the farmers at the time. What is the fee for small farms, medium sized farms and what is the tax on a large farm? The large farms seem to be getting a large hit. Can you give us a number? The rate really adds up as the farm is grows in size.

A13: We have an example for you (slide 24) of a small property of 100-acres. It has a residential building and other outbuildings that are non-residential and for commercial purposes. The residence would count for 1 billing unit, while the non-residential buildings work out to 5.2 billing units. The property has built a cistern and has a system to discharge stormwater to green space, thus qualifying for the maximum credit of 50%. We estimate that their annual base charge would be \$1,054 and their credit would be 50%, lowering their annual fee to \$527.

Would anyone offer their property to be reviewed for the next meeting? We are looking for what would be considered a medium and a large agriculture property. We will provide examples at the next Agriculture and Rural Affairs Sub-Committee meeting.

Property owners volunteered their property to be used as case studies.

C4: This stormwater fee is raising our taxes during a recession. Just because they have a parking lot and some buildings some property owners are going to pay more.



Appendix H

Agricultural and Rural Affairs Sub-Committee Presentations



Stormwater Funding Review

Agriculture and Rural Affairs Sub-Committee

City of Hamilton

June 28, 2023

Presented by: Nancy Hill

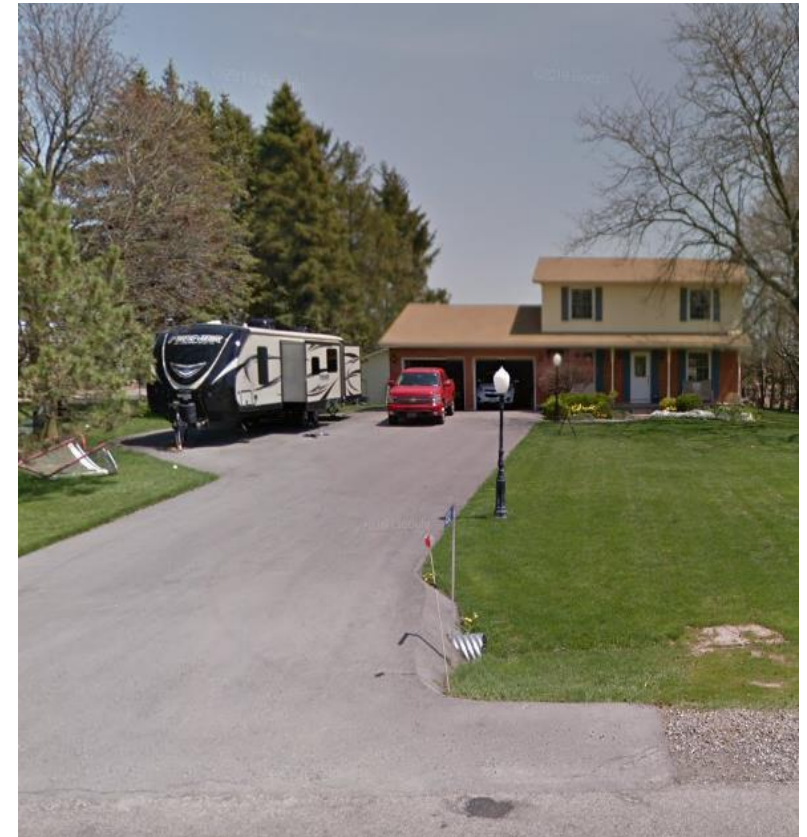
Agenda

1. Why are we here?
2. Hamilton's current stormwater funding
3. Funding option evaluation
4. Property analysis
5. Rural analysis
6. Estimated rates
7. Stormwater fees – other municipalities
8. Financial incentives
9. Implementation plan & resourcing requirements



What is Stormwater?

Rain, melting snow, and ice that washes off driveways, parking lots, roads, yards, rooftops, and other surfaces.¹



1. CSA W211:21-Management standard for stormwater systems

What is Stormwater Management?

From problems...



Bank Erosion



Debris



Spills



Water Quality



Road Flooding



System Surcharge



Asset Failure

To Solutions....

Stormwater Management

Planning, design, and implementation of systems that mitigate and control the impacts of human-made changes to runoff and other components of the hydrologic cycle.¹



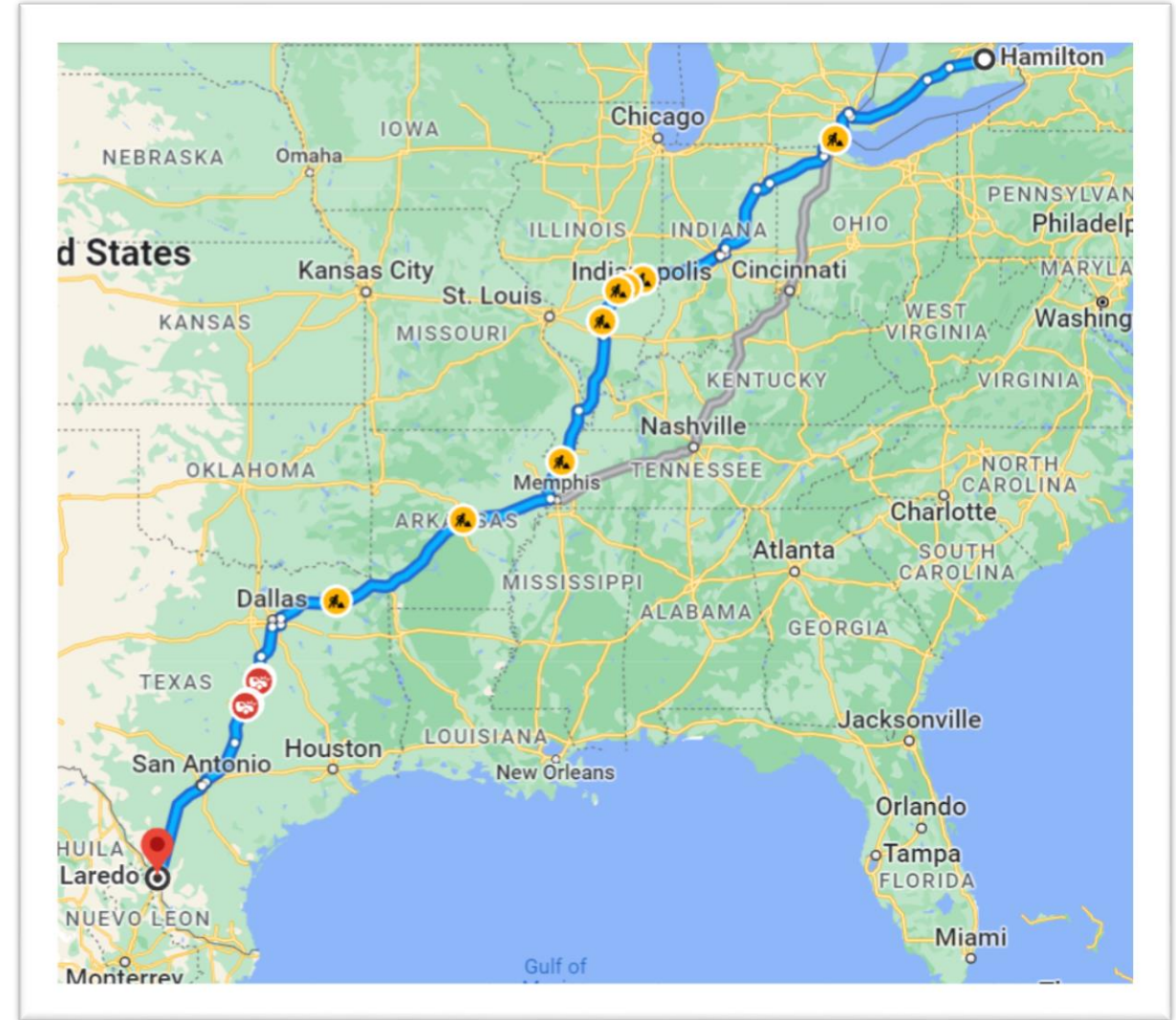
1. CSA W211:21 – Management standard of stormwater systems



Hamilton's Stormwater System

- 1,500 km ditches
- 1,200 km storm sewers
- 148 km watercourses
- 50,000 catch basins
- 3,500 culverts
- 4 infiltration facilities
- 126 ponds
- Value of **\$3.1 billion**

} Hamilton
to
Mexico



Hamilton's Current Stormwater Funding



\$000	Storm Operating (W/WW Rate)	Conservation Authorities (Tax Levy)	Roads Maintenance (Tax Levy)	Total Stormwater Program
2023 Restated Budget	\$ 30,284	\$ 9,108	\$ 3,880	\$ 43,272

Stormwater funding is primarily based on water consumption

- Big water consumers pay more for stormwater management
- Those not on municipal water system (ex. parking lots) pay little/nothing

Is there a better way to fund the City's Stormwater Management Services?

CITY OF HAMILTON MOTION

General Issues Committee: January 18, 2023

MOVED BY COUNCILLOR J.P. DANKO.....

SECONDED BY MAYOR/COUNICLLOR.....

Stormwater Rate Review

WHEREAS, in December 2021, Council directed staff, through Report PW21074 to report back to the Public Works Committee with a review of the benefits and challenges of various stormwater program funding options including water rates, a dedicated stormwater fee or tax levy or any other options and provide a recommendation for the preferred financing model for the City's stormwater programs, including a preliminary plan and any resource requirements necessary to conduct a detailed review of the preferred financing model;

WHEREAS, in June 2022, Council approved Report FCS22043 - Stormwater Funding Review that directed staff to report back to the General Issues Committee to provide Guiding Principles for consideration that will direct the evaluation of alternative stormwater rate funding structures as part of the Stormwater Funding Review;

WHEREAS, Report FCS22043 Stormwater Funding Review outlined three phases for the project with an estimated timeline for completion of all three phases of January 2026;

WHEREAS, Report FCS22043(a) Stormwater Funding Review on the November 30, 2022 General Issues Committee (GIC) agenda recommends a set of guiding principles for council to consider;

WHEREAS, Report FCS22043(a) Stormwater Funding Review highlights that Phase 1 of the project was completed three months earlier than originally planned;

WHEREAS, a new Utility Billing System is required to be in place at the expiry of the current contract with Alectra expected at December 31, 2024; and;

WHEREAS, synergies could be achieved if a new Stormwater Funding model could be integrated into a new Utility Billing System;

THEREFORE, BE IT RESOLVED:

- a) That staff be directed to report back to the General Issues Committee in the second quarter of 2023 on the steps and resources required to implement a dedicated user fee for stormwater service, with an implementation date no later than January 2025; and,
- a) That, in addition to the guiding principles that may be adopted by Council through Report FCS22043(a), staff be directed to include all aspects of the City's stormwater services to be funded from the revenues associated with this dedicated user fee.

Council – January 25, 2023

Guiding Principles to Evaluate Stormwater Funding Options

1. Fair & equitable (“user-pay”)
2. Climate resilient & environmentally sustainable
3. Affordable & financially sustainable
4. Justifiable
5. Simple to understand & manage

Funding Option Evaluation

Stormwater Funding Model	Used By	Stormwater Rate Based On	Guiding Principles						
			Fair & Equitable	Climate Resilient & Environmentally Sustainable		Affordable & Financially Sustainable		Justifiable	Simple to Understand & Manage
				Climate Resilient	Environmentally Sustainable	Affordable	Financially Sustainable		
1. General Tax Levy	Brantford	Assessed value	✗	✗	✗	⦿	✗	✗	✓
2. Dedicated Tax Levy	Markham	Assessed value	✗	✗	✗	⦿	⦿	✗	✓
3. Water/Wastewater Rate	Hamilton Toronto	Water consumption	✗	⦿	✗	⦿	⦿	✗	✓
4. Stormwater Rate – Tiered Flat Fee	Ottawa Vaughan London	Property type, size	✗	⦿	⦿	⦿	✓	⦿	⦿
5. Stormwater Rate – ERU	Guelph	Impervious area (but all residential types pay the same)	⦿	✓	✓	⦿	✓	✓	⦿
6. Stormwater Rate – SFU	Windsor	Impervious area (but all single family dwellings pay the same)	✓	✓	✓	⦿	✓	✓	⦿
7. Stormwater Rate – Tiered SFU	Mississauga Kitchener	Impervious area	✓	✓	✓	⦿	✓	✓	✗

Hamilton's current model →



Defining Impermeable Surfaces

- Roof
- Asphalt
- Concrete
- Compacted gravel
- Pavers (unless they are designed for infiltration)



Stormwater Rates 101

$$\text{Rate} = \frac{\text{Total revenue requirements}}{\text{Total \# of billing units}} \quad (1 \text{ billing unit} = \text{average residential impervious area})$$

Option #5 Equivalent Residential Unit (ERU)

- Charge all residential units the same



Options #6 Single Family Unit (SFU)

- Charge all single-family detached homes the same
- Charge other residential types based on their footprint



Option #7 Tiered Single Family Unit (Tiered SFU)

- Same as SFU but break single-family detached homes into tiers based on their size



Recommended Option(s) Comparison

Housing Type	5. Equivalent Residential Unit – # billing units	6. Single Family Unit – # billing units	7. Tiered SFU - # billing units
Average house	Same for all - 1		
Small house	1	1	0.5
Large house	1	1	1.5
Duplex (both units)	2	1	1
House with suite	2	1	1
20 unit apartment building – low rise	20	Approx 4	Approx 4
40 unit apartment building – high rise	40	Approx 4	Approx 4
Industry/commercial/institution	Same for all - measured individually		

Evaluation: ERU vs SFU vs Tiered SFU

5. Equivalent Residential Unit

- Less equitable than SFU

6. Single Family Unit

- Balances simple vs equity*****
- Residential rates are based on assessment code – simple to administrate



7. Tiered Single Family Unit

- Single family dwellings must be placed into tiers
- Most of the largest homes are in rural areas
- More administration than ERU/SFU

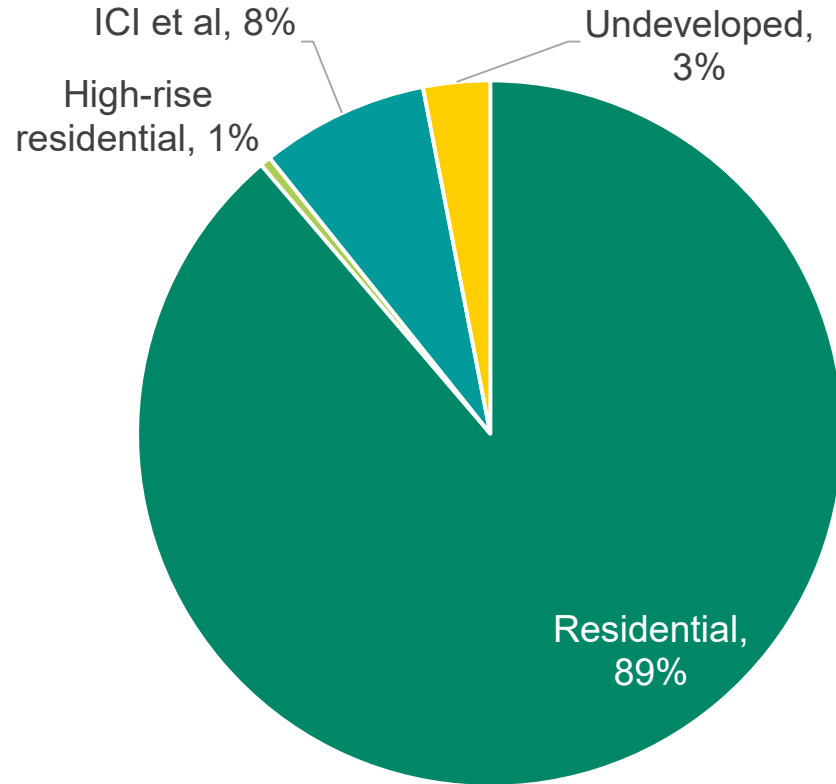
Residential Impervious Area Sampling

Parcel Type	Avg Impervious Area (m ²) per d.u.	Ratio of Imp Area to Urban SFD	Assigned SFU Factor
Residential SFD (in Urban Boundary)	291	1.0	1.0
Residential SFD (outside Urban Boundary)	596	2.0	1.0
Residential Link Home	223	0.8	1.0
Residential Condo - Standard - Detached	291	1.0	1.0
Residential Semi Detached	171	0.6	0.5
Residential Townhouse (Freehold)	140	0.5	0.5
Residential MultiFamily - Towns	130	0.4	0.5
Residential Condo - Standard - Towns	159	0.5	0.5
Residential Duplex	114	0.4	0.5
Residential Triplex	84	0.3	0.3
Residential Fourplex	81	0.3	0.3
Residential Fiveplex	78	0.3	0.3
Residential Sixplex	73	0.3	0.3
Residential MultiFamily - Building	47		assessed individually
Residential Condo - Standard - Building	60		assessed individually

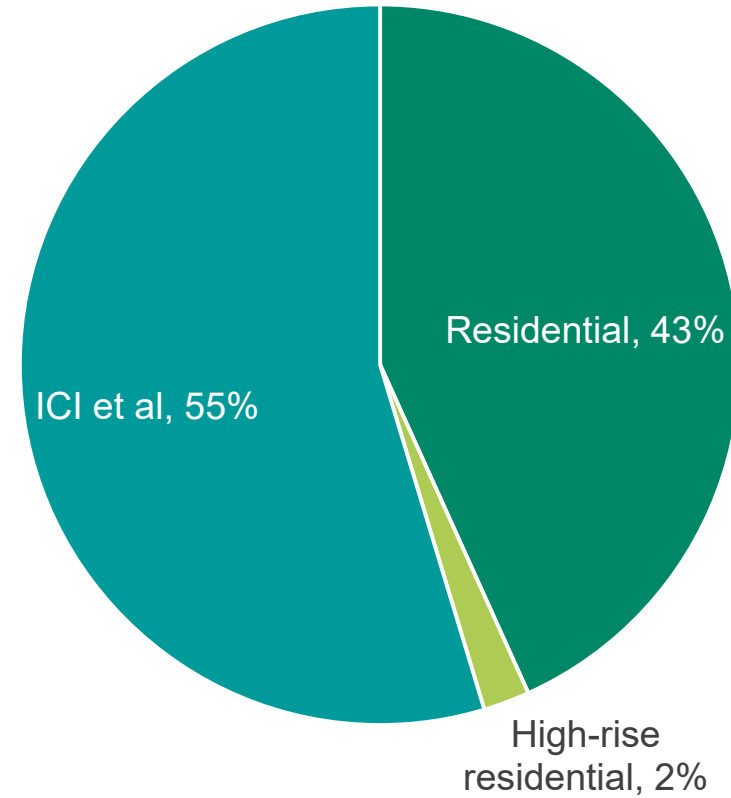


Property Summary for the City of Hamilton

Impervious Area

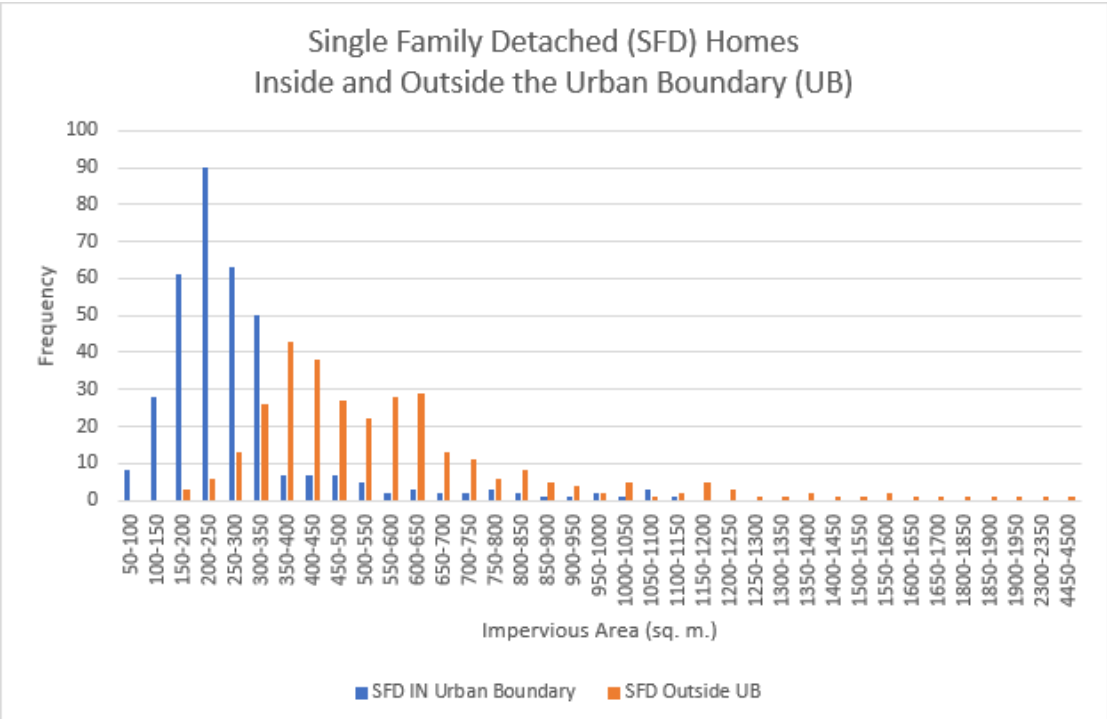
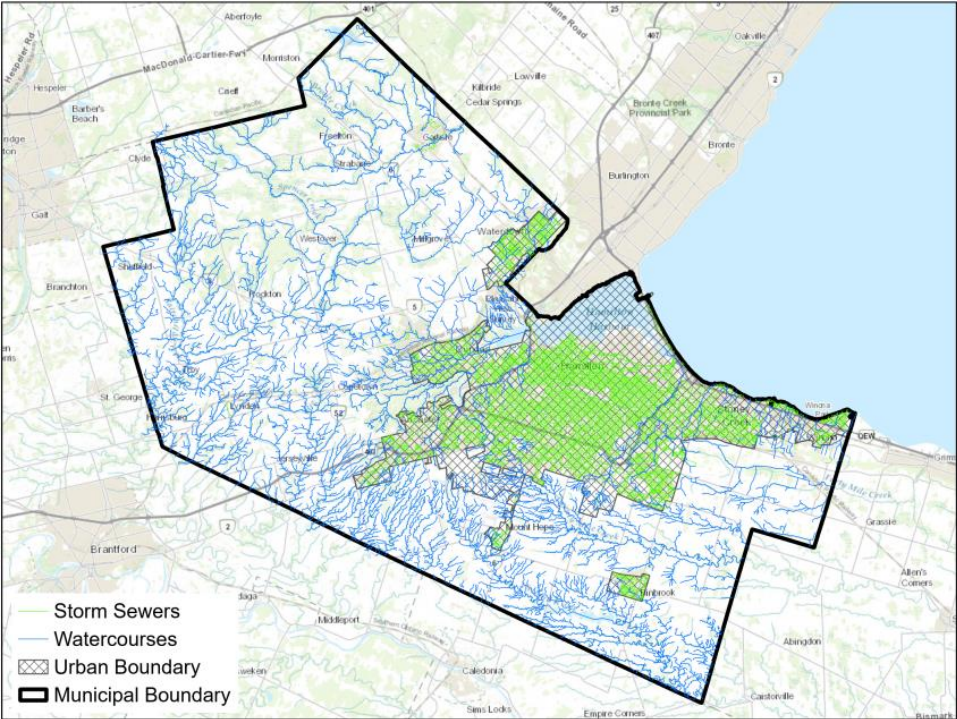


Parcels



Rural Analysis

- Average rural home impervious area = 2 x average urban home
- Average residence contributes \$60 per year towards stormwater management through property taxes
- All rural properties contribute approx. \$1.5 million towards stormwater management through property taxes.
- In 2022, the City spent over \$2.6 million on rural drainage projects plus \$11.7 million on joint rural/urban initiatives
 - Culvert inspections & replacements, ditch cleaning, Conservation Authority contributions

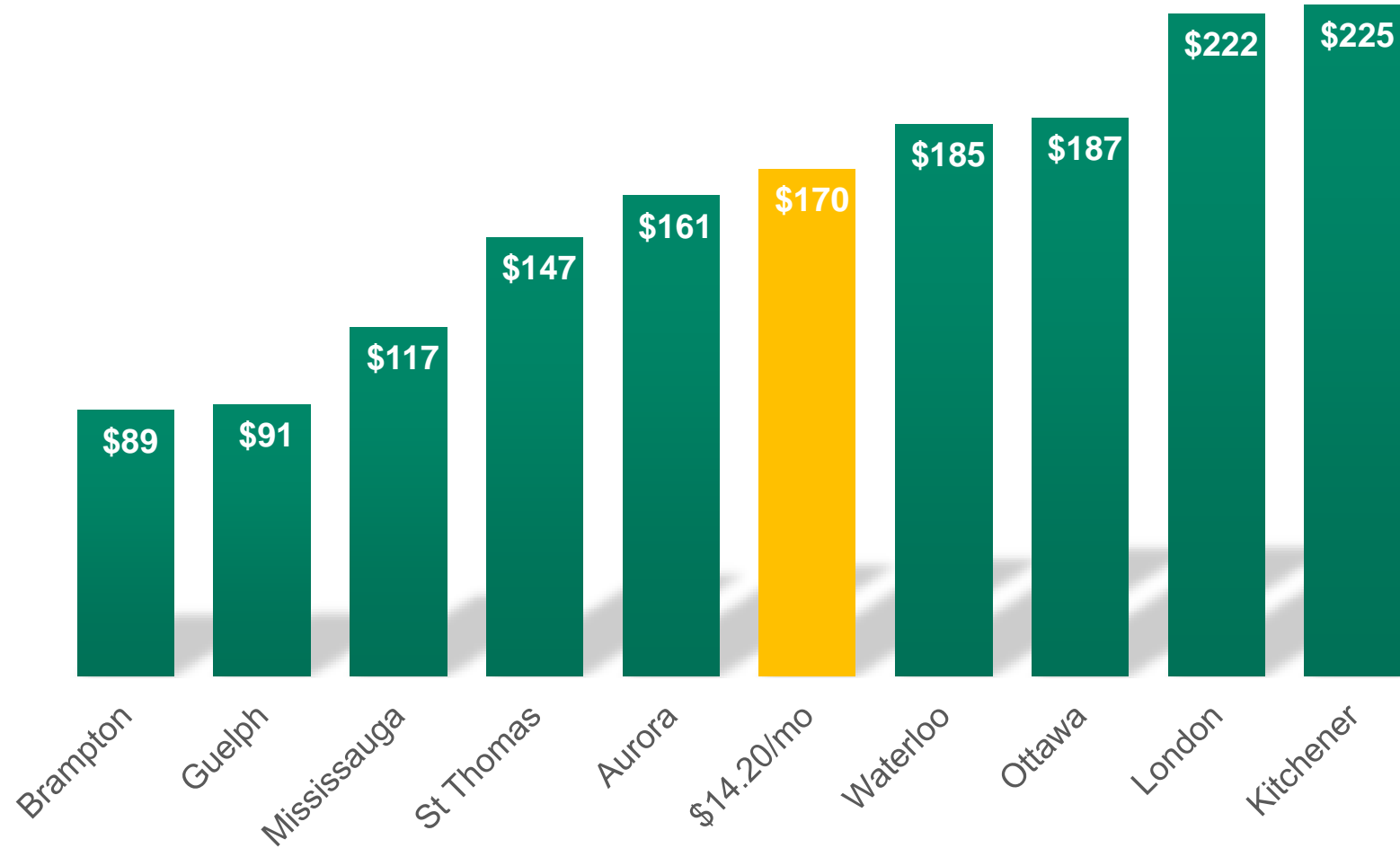


Estimated Rates based on **2025** Budget





2023 Average Residential Annual Stormwater Fees – Other Municipalities



Financial Incentives for On-site Measures



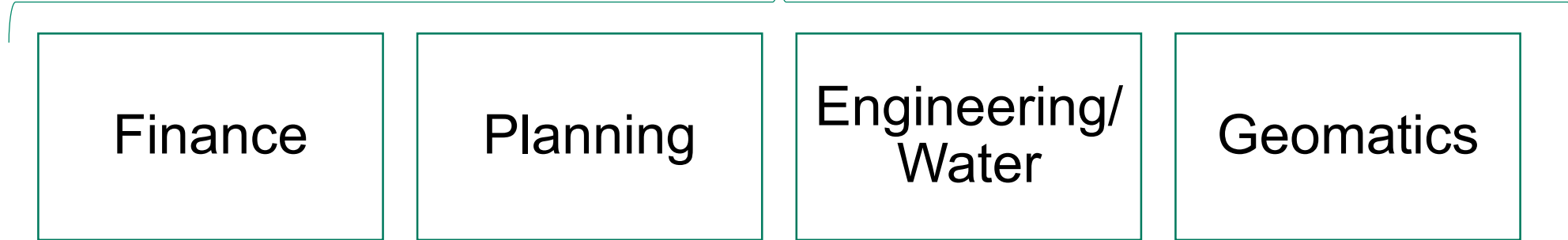
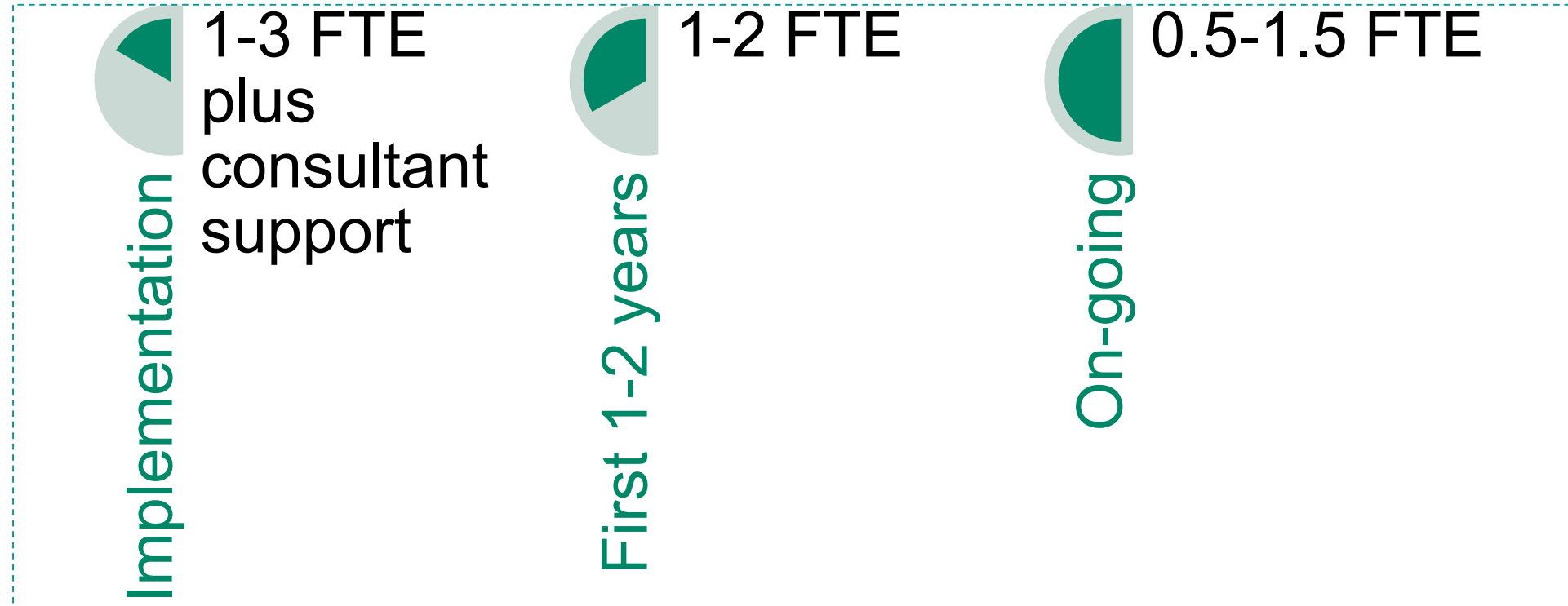
- **Credits** – on-going reduction in stormwater fee for *maintained/functional* measures
- **Other** – financial contributions toward programs



Benefits

- Encourage LID
- Reward desired measures
- Environmental awareness
- Reinforce equity & user-pay concepts
- Synergy with Water
- Potentially defer expenditures

Stormwater Fees – Resourcing Requirements







Stormwater Funding Review

Stormwater Funding Review Timeline

Phase	Timeline	Process Step
Phase One	September 2022	Retained AECOM through the use of the Roster to support Review
	October 2022	Developed Guiding Principles for Council's consideration
	November 30, 2022	Obtained approval of Guiding Principles to be used to evaluate storm funding models
	Dec 2022 - Jan 2023	AECOM conducted Stormwater Funding Review
	February 2023	Council Education Sessions
	May 2023	Provided information presentations to Environment Hamilton & the Hamilton Industrial Environmental Association
	Feb – May 2023	Incorporated feedback from Council sessions to develop a recommended rate structure
	June 28, 2023	Report to GIC with recommended stormwater rate structure for Council's consideration
Phase Two	July 2023 to Q1 2025	Coordinate with new water billing solution and implement a plan for customer communications
	July – December 2023	Community Engagement with Stakeholders and the creation of a Financial Incentive program
	Spring 2024	Development of a Review/Appeal process
	Winter 2024	2025 Rate & Tax supported budgets incorporating revised stormwater rate structure
	September 1, 2025	Revised Stormwater Rate Structure implemented

Stormwater Funding Needs

\$000	Storm Operating (Rate)	Conservation Authorities (Tax Levy)	Roads Maintenance (Tax Levy)	Credit / Incentive Programs (New)	Administration (New)	Total Stormwater Program
2023 Restated Budget	\$ 30,284	\$ 9,108	\$ 3,880	n/a	n/a	\$ 43,272
2024 Forecasted Budget	\$ 35,928	\$ 9,288	\$ 3,927	n/a	n/a	\$ 49,143
2025 Forecasted Budget	\$ 38,810	\$ 9,472	\$ 3,986	\$ 1,574	\$ 200	\$ 54,043

- 2025 forecasted storm rate budget = \$54.0 M (all Stormwater related expenditures)

- Assumes forecast water and wastewater rates for 2024 (10.04%) and 2025 (9.95%)
- Incentive Program assume 3% of total program
- Administration assumed at 1.4 FTE

Paying for Stormwater Program

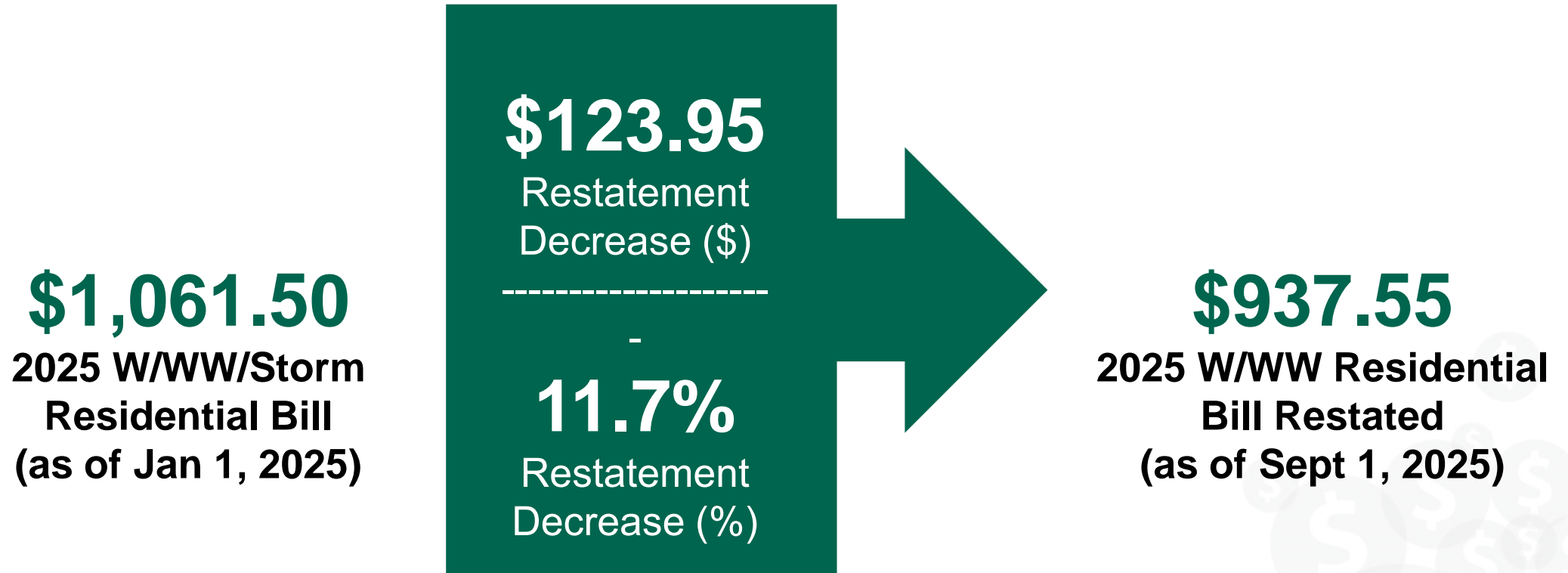
- Residential ratepayers (excluding multi-residential) contribute nearly 50% of water and wastewater revenues and residential taxpayers contribute 70% of taxation revenues while responsible for about 43% of the stormwater runoff
- This means residential rate and taxpayers are indirectly subsidising the cost of the stormwater system for other sectors under the current storm system funding
- In 2025, under the current approach to funding stormwater services, an average residential homeowner would pay a total of about \$180 (\$120 in water/wastewater charges and \$60 in property taxes)
- In 2025, assuming the recommended stormwater rate structure the costs would be:
 - Single Family Dwellings - \$170 annual stormwater user fee
 - Semi-detached and townhomes - \$85 annual stormwater user fee

Tax Levy Funded Stormwater Expenditures

- 2025 Impact on the overall total tax levy:
 - 1.0% = \$11 M
 - 1.3% = \$14 M
- Recommendation to transfer \$14M to the Climate Change Reserve for climate change / environmental initiatives in conjunction with the introduction of the Stormwater Rate Structure



Water/Wastewater Rates Restatement



Impact of Recommended 2025 Restatement of the Water and Wastewater Rate; Decreases on a Typical Residential Bill: 11.7%

Based on annual water consumption of 200m³

Assumes approved in principle rates are implemented for 2024 (10.04%) and 2025 (9.95%)

Residential Impact Profiles

Residential Type	Single Family Dwelling			Townhome	Triplex
	Average Residential User	Low Water User (Single Occupant)	Large Water User (Multi Generational Home)	Average Townhome	Average Triplex
Meter Size	meters < 25mm				
Annual Consumption	200m3	100m3	300m3	170m3	250m3
Forecast Monthly SW Fee	\$ 14	\$ 14	\$ 14	\$ 7	\$ 13
Current Annual WWW Bill	\$ 1,062	\$ 685	\$ 1,533	\$ 920	\$ 1,297
Restated WWW Bill, 2025	\$ 938	\$ 600	\$ 1,360	\$ 811	\$ 1,149
WWW Bill, Net Change	\$ (124)	\$ (85)	\$ (173)	\$ (109)	\$ (148)
Annual Storm Bill	\$ 170	\$ 170	\$ 170	\$ 85	\$ 153
Annual Net Change	\$ 46	\$ 86	\$ (3)	\$ (24)	\$ 5
Annual Net Change %	4.4%	12.5%	(0.2%)	(2.6%)	0.4%

Assumes approved in principle rates are implemented for 2024 (10.04%) and 2025 (9.95%)

Property Type	Institutional (Hospital)	Commercial (Shopping Mall)	Commercial (Big Box Retailer)	Commercial (York Blvd Parkade)
Meter Size	Various Meters	Various	38mm	N/A
Annual Consumption	301,940m ³	32,550m ³	3,883m ³	N/A
Impervious Area	41,300m ²	229,300m ²	37,200m ²	4,100m ²
Forecast Monthly SW Fee	\$ 2,015	\$ 11,190	\$ 1,815	\$ 200
Annual WWW Bill, Current Structure	\$ 1,512,494	\$ 181,817	\$ 20,296	N/A
Restated WWW Bill, 2025	\$ 1,352,222	\$ 161,980	\$ 18,120	N/A
WWW Bill, Net Change	\$ (160,272)	\$ (19,837)	\$ (2,176)	N/A
Annual Storm Bill	\$ 24,180	\$ 134,275	\$ 21,777	\$ 2,403
Annual Net Change	\$ (136,092)	\$ 114,438	\$ 19,601	\$ 2,403
Annual Net Change %	(9.0%)	62.9%	96.6%	N/A

Assumes approved in principle rates are implemented for 2024 (10.04%) and 2025 (9.95%)

Report FCS22043(b) Recommendations

- (a) That the Stormwater Rate Structure as outlined in Appendix "A" to Report FCS22043(b) be approved effective September 1, 2025;
- (b) That staff develop the 2025-2034 Rate Supported Budget incorporating the Stormwater Rate Structure;
- (c) That property tax levy funding related to stormwater expenditures to be funded by the new stormwater rate structure, be transferred to the Climate Change Reserve and applied to climate change / environmental initiatives in conjunction with the introduction of the Stormwater Rate Structure;
- (d) That staffing requirements for the Stormwater Rate Structure once implemented be referred to the 2025 Rate Supported Budget;
- (e) That the City Solicitor be authorized and directed to prepare all necessary by-laws, for Council approval, in order to implement recommendations (a) through (d) of Report FCS22043(b);
- (f) That staff develop and report back regarding the implementation of a Stormwater Incentives Program;

Report FCS22043(b) Recommendations

- (g) That staff develop and implement a communication strategy to advise property owners of the Stormwater Rate Structure to be implemented;
- (h) That the single source procurement of AECOM Canada Ltd as external consultants for the Stormwater Funding implementation, pursuant to Procurement Policy #11 – Non-competitive Procurements be approved;
- (i) That the General Manager, Finance and Corporate Services, be authorized to negotiate, enter into and execute a contract and any ancillary documents required to procure AECOM Canada Ltd as the consultant to support the implementation of Stormwater Rate Structure in a form satisfactory to the City Solicitor;
- (j) That the implementation of the Stormwater Rate Structure with an upset limit of \$500,000, be funded from the Stormwater Reserve (108010);
- (k) That the subject matter respecting an assessment of steps and resources required to implement a dedicated user fee for stormwater, be identified as complete and removed from the General Issues Committee Outstanding Business List.

THANK YOU

Stormwater Fee Information & Incentive Program Consultation

Agriculture and Rural Affairs Sub-Committee

City of Hamilton

November 30, 2023

Presented by: Nancy Hill

What is Stormwater?

Rain, melting snow, and ice that washes off driveways, parking lots, roads, yards, rooftops, and other surfaces.¹

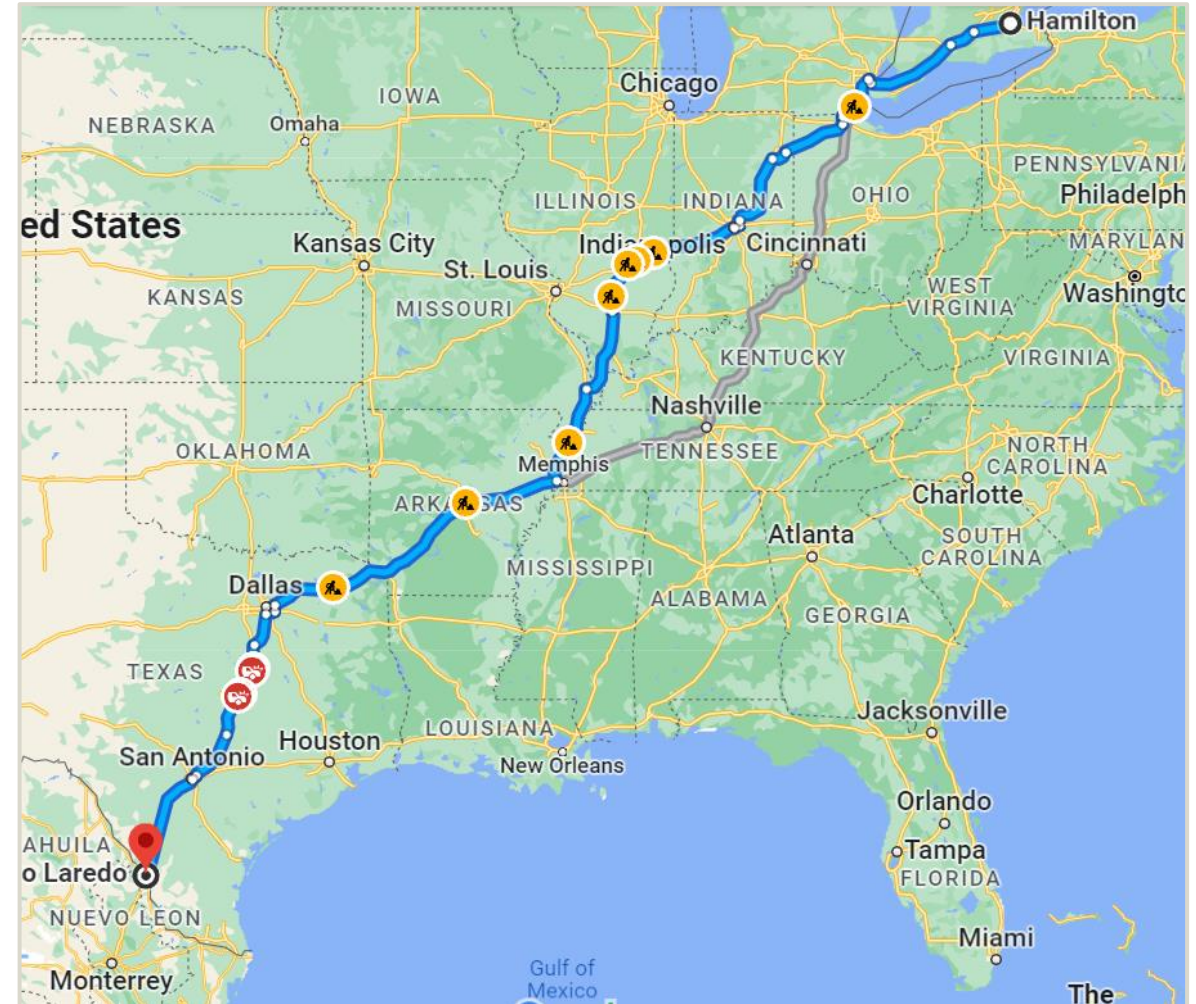


1. CSA W211:21-Management standard for stormwater systems

Hamilton's Stormwater System

- 1,500 km ditches
- 1,200 km storm sewers
- 148 km watercourses
- 50,000 catch basins
- 3,500 culverts
- 4 infiltration facilities
- 126 ponds
- Value of **\$3.1 billion**

Hamilton
to
Mexico



Rural & Urban Stormwater Systems = Watershed Management

WHAT IS A WATERSHED?

An area that is drained by a river and its tributaries. Wherever you are right now, you are in a watershed.

WATERSHEDS DELIVER IMPORTANT BENEFITS

Human – provide safe drinking water and food, and help to reduce flooding and erosion.

Economic – produce energy, and supply water for agriculture, industry and homes.

Environment – promote a healthy water cycle, and provide vital habitat for wildlife and plants.

What is the Natural Heritage System?

Consists of natural features and areas, including wetlands, forests, meadows and valleylands, that are needed to maintain biodiversity and healthy ecosystems.

How can agriculture impact a watershed?

Agricultural areas provide valuable greenspace and reduce stormwater, since precipitation can penetrate the soil. On the other hand, agricultural fields can release harmful contaminants into waterways as excess nutrients (e.g. phosphorous) and pesticides. Soil erosion from fields can increase the amount of sediment in waterways negatively affecting aquatic ecosystems.

What is the Water Resource System?

Consists of groundwater and surface water features and areas, including streams, lakes, groundwater recharge areas and springs, needed to sustain healthy aquatic and terrestrial ecosystems, and human water supply.

How can urbanization impact a watershed?

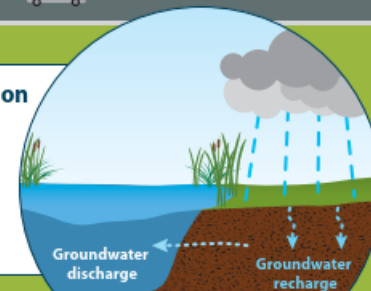
Since impervious surfaces (roads, buildings, parking lots) prevent water from penetrating into soil, stormwater runoff can carry contaminants into waterways and increase the likelihood of flooding. Infrastructure and land use development can degrade habitat, reducing the quality and quantity of natural systems and their connectivity.

What causes flooding?

Rivers naturally flood with heavy rain or snowmelt, but flooding can become a problem when buildings and other structures are placed in floodplains. Climate change and urbanization can make flooding worse.

Surface and Groundwater Interaction

Rain and melting snow penetrate the soil in permeable areas draining into an aquifer (i.e. groundwater recharge areas). That groundwater can then discharge at springs into streams, wetlands or other surface water features.



How can salt impact a watershed?

Chlorides can contaminate drinking water and negatively affect the health of aquatic species.

What happens when stormwater and its infrastructure isn't managed?



Erosion



Debris in Creeks



Pollutants in creeks



Road Flooding

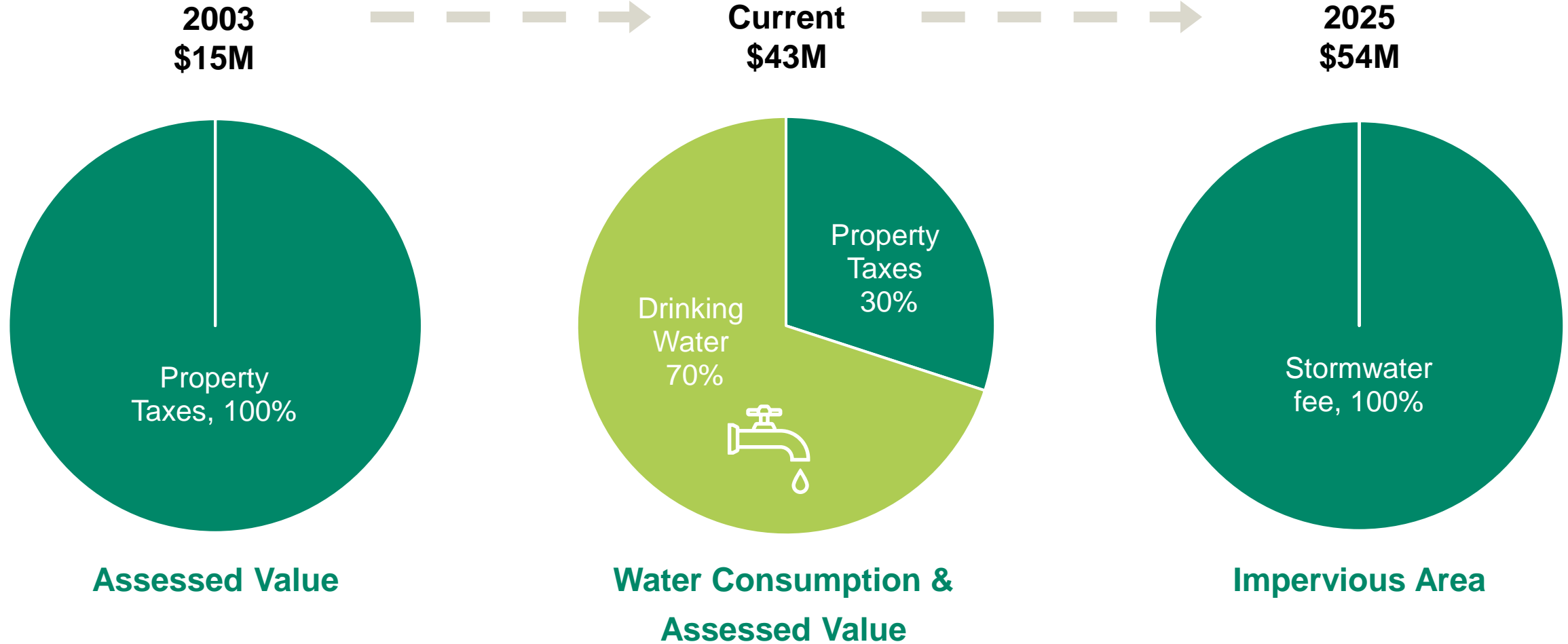


System Surcharge/ Basement Flooding



Infrastructure Failure




How Does Hamilton Fund Stormwater?



Stormwater Funding Breakdown

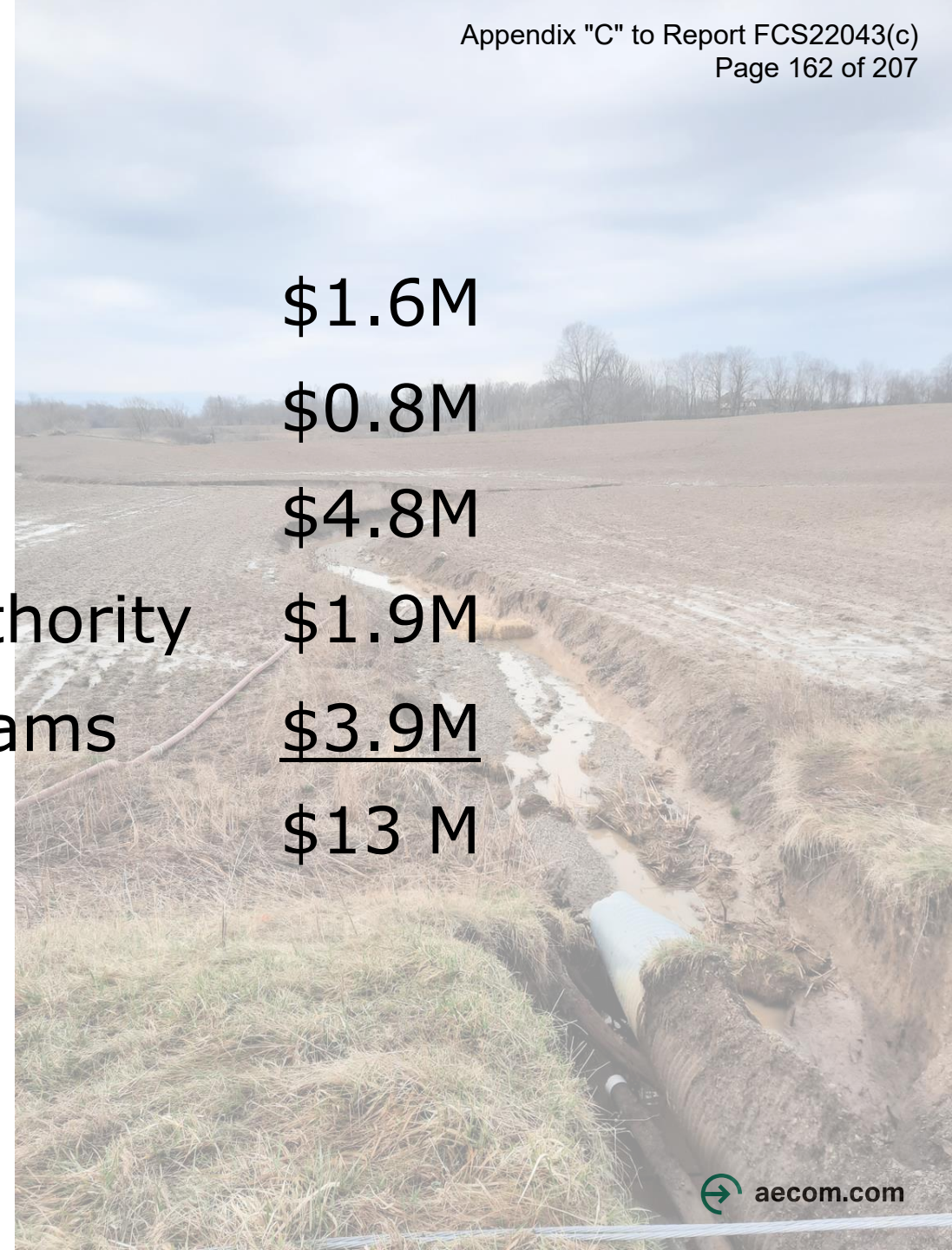
Stormwater Program Budget	2003 (previous)		2023 (current)		2025 (future)	
Conservation Authorities	\$4	27%	\$9.1	21%	\$9.5	18%
Road Drainage Maintenance	\$1	7%	\$3.9	9%	\$4.0	7%
Storm Operations/Capital	\$10	67%	\$30.0	70%	\$40.5	75%
TOTAL	\$15 M/yr		\$43 M/yr		\$54 M/yr	

Funding Source

Tax Levy	
Water Rate	
Storm Fee	

2023 Tax Levy Funded Stormwater Funding

• Grand River Conservation Authority	\$1.6M
• Conservation Halton	\$0.8M
• Hamilton Conservation Authority	\$4.8M
• Niagara Peninsula Conservation Authority	\$1.9M
• Roads Maintenance Drainage Programs	<u>\$3.9M</u>
	\$13 M



Steps taken to address the inequity in Stormwater Funding

June 2022

● Council directed staff to perform a stormwater funding model review and report back by June 2024

Nov 2022

● Council approved Guiding Principles for stormwater model evaluation

January 2023

● Council directs staff to accelerate review and report back by June 2023

June 2023

● Council approved the new stormwater fee structure & directed staff to consult the public on a financial incentive program

October 2023

● Public consultation launched

Guiding Principles

1. Fair & equitable
2. Climate resilient & environmentally sustainable
3. Affordable & financially sustainable
4. Justifiable
5. Simple

A stormwater fee with an associated credit program is a fairer, more transparent and sustainable funding model than the current system.

What are more equitable stormwater funding models based on?

Impervious area

- Roof
- Asphalt
- Concrete
- Compacted gravel
- Pavers (unless designed for infiltration)

Better estimate of stormwater impact than water consumption or assessed value.



What is the New Stormwater Funding Model Approved by Council?

- \$ based on property's impervious area
- Residential ≤ 6 units, averages
- Residential > 6 units, ICI (including Ag), actual
- Remove \$ from water utility rates
- Develop & consult the public on a financial incentive program



How Are the Stormwater Fees Calculated?

Stormwater Fee = # of billing units X Rate for 1 billing unit

Rates determined annually by Council



= 1 billing unit = 291 m²*

Property Type	# Billing Units
Detached homes (urban and rural)	1
Semi-detached homes, townhomes, duplexes	0.5 per dwelling unit
Triplex to sixplex	0.3 per dwelling unit
Buildings > 6 units	Impervious area/avg home
Institutional, commercial, industrial	Impervious area/avg home
Agricultural with secondary structures/outbuildings	Impervious area/avg home

* Average impervious area for a single-family detached home was determined by measuring a statistically relevant number of homes from across the City using aerial imagery

** Estimated 2025 rate for 1 billing unit is \$170

Will an incentive program be available to reduce stormwater management fees?

- Yes – it is being considered!
- Common practice (Mississauga, Kitchener, and Guelph etc.)
- Proposed subsidized programs for residential properties
- Proposed credits for agricultural properties with more than just a residence (as well as industrial, commercial, institutional and large multi-residential property owners)



Proposed Financial Incentives – Residential \leq 6 units

Grants/subsidies:

- Rain barrels
- Disconnect downspouts, backwater valves etc
- In-person 'how-to' advisory services
- Published 'how-to' information
- Rain gardens, permeable surfaces etc..

Reduce the quantity and improve the quality of stormwater runoff from residential properties



Proposed Financial Incentives – Agricultural, ICI & Residential > 6 units

Proposed Credit Program

Objective	Maximum Credit Amount		Description	Examples
Slow it down	40%	Total max. 50%	Percent reduction of the 100-year storm post-development flow to pre-development conditions of the site.	Detention Ponds, cisterns
Clean it up	25%		Remove ammonia and phosphorous. Remove 60-70% sediment (based on receiving waters).	Oil-grit separators, treatment facilities
Soak it up	40%		Percent capture of first 28 mm of rainfall during a single rainfall event.	Infiltration facilities, re-use facilities
Prevent pollution	15%		Develop and implement a pollution prevention plan	Salt management plan, pesticide/manure management, sweeping, spill response plan, public education etc,

Why not Provide Credits for Residential Properties ≤ 6 units?



Low \$ payback for property owner (\$2-\$8 savings/month per unit)



Grants/subsidies provide upfront \$



Require effort and technical expertise to apply and renew credits



High admin cost for City (147,000 properties)

Why is the stormwater fee applied to rural properties ?

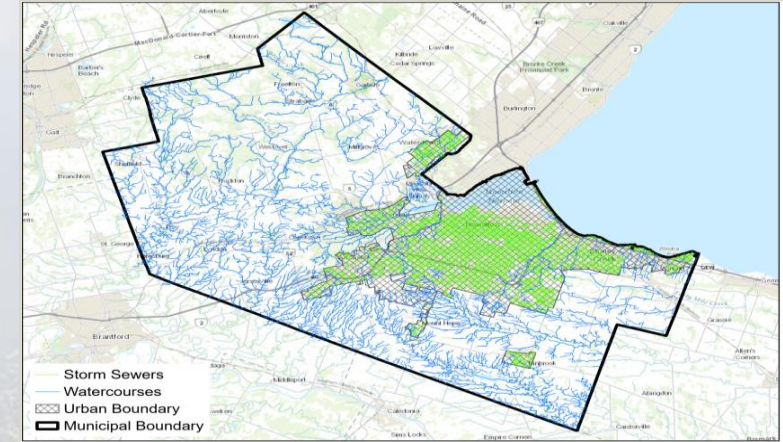
- City maintains rural stormwater system (ditches, culverts, watercourses etc.) that convey runoff from rural properties
- City spends > **\$2.6 million** on **rural drainage projects** + **\$11.7 million** on rural/urban initiatives
- Rural properties contribute ~ **\$1.5 million** towards stormwater (\$60 per home)
- Avg rural home impervious area = 2 x average urban home



“the rural areas of Grindstone and Spencer Creeks contribute sediment and phosphorous loadings to Hamilton Harbour particularly during precipitation and snow melt events”

What Stormwater Work is Done in Rural Areas?

- Monitor & address phosphorous and sediment in Spencer & Grindstone Creeks
- Repair/prevent creek erosion
- Remove/prevent debris in creeks
- Inspect, repair & replace culverts
- Clean ditches
- Invasive species control



Example Agricultural Property 1

Property Info

- House plus outbuildings
- 104 ac
- Billing Units: 1 + 5.2
- Cistern and impervious areas discharged to green space

Annual Stormwater Fee

- Estimated base charge: \$1,054
- Potential credit: (\$527)
- Total **\$527**



Example Agricultural Property 2

Property Info

- House plus outbuildings
- 48 ac
- Billing Units: 1 + 13.2
- Impervious areas discharged to green space

Annual Stormwater Fee

- Estimated base charge: \$2,584
- Potential credit: (\$1,292)
- Total \$1,292



Example Agricultural Property 3

Property Info

- Houses plus outbuildings
- 135 ac
- Billing Units: 3x1 + 40.6+86.3
- Impervious areas discharged to green space

Annual Stormwater Fee

- Estimated base charge: \$22,083
- Potential credit: (\$11,042)
- Total \$11,041



Example Agricultural Property 4

Property Info

- House plus outbuildings
- 49 ac
- Billing Units: 1 + 55.2
- Impervious areas discharged to green space

Annual Stormwater Fee

- Estimated base charge: \$9,554
- Potential credit: (\$4,777)
- Total \$4,777



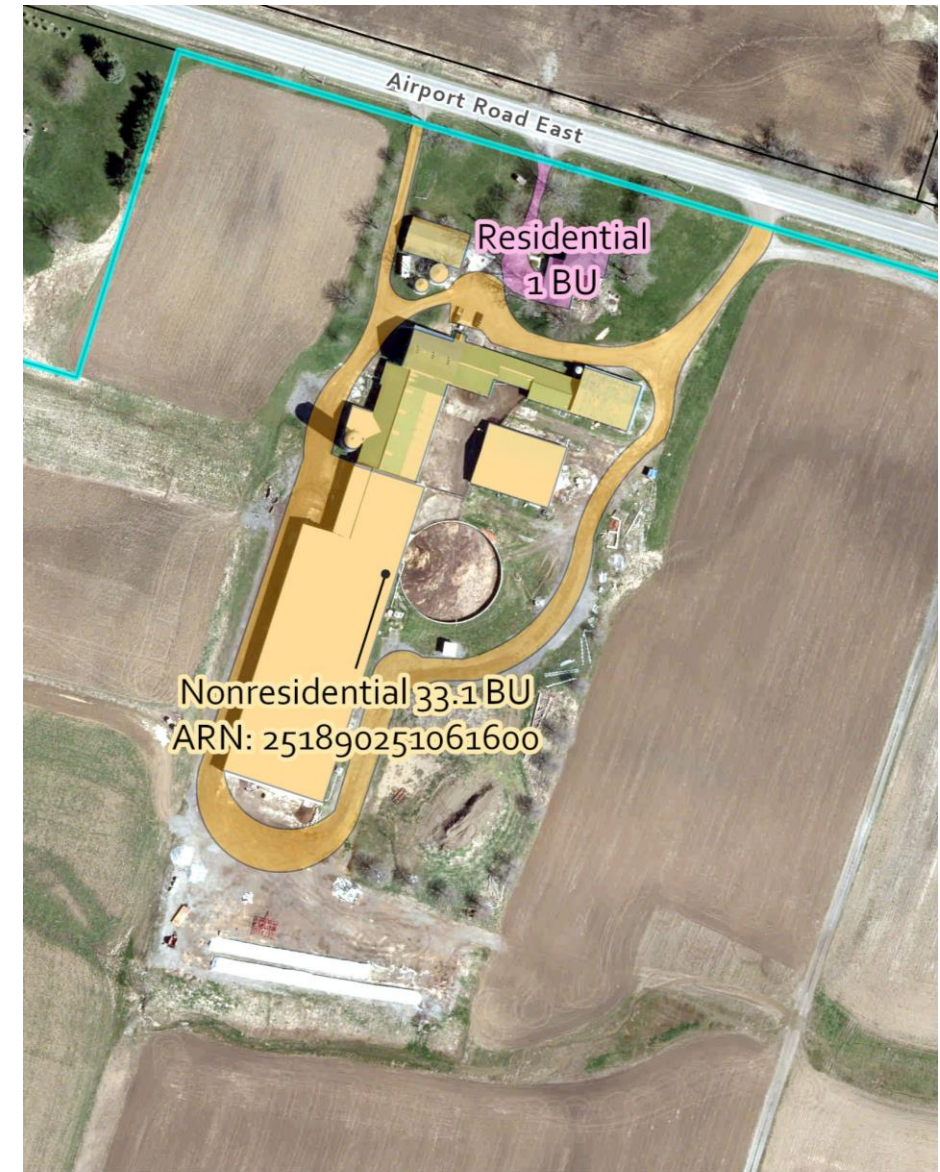
Example Agricultural Property 5

Property Info

- House plus outbuildings
- 145 ac
- Billing Units: 1 + 33.1
- Impervious areas discharged to green space

Annual Stormwater Fee

- Estimated base charge: \$5,797
- Potential credit: (\$2,898)
- Total \$2,899



Example Agricultural Property 6

Property Info

- Houses plus outbuildings
- 6 ac
- Billing Units: 2x1 + 54.3
- Impervious areas discharged to green space

Annual Stormwater Fee

- Estimated base charge: \$9,571
- Potential credit: (\$4,786)
- Total \$4,785



Example Agricultural Property 7

Property Info

- Outbuildings
- 158 ac
- Billing Units: 455.3
- Impervious areas discharged to green space

Annual Stormwater Fee

- Estimated base charge: \$77,401
- Potential credit: (\$38,700)
- Total \$38,701



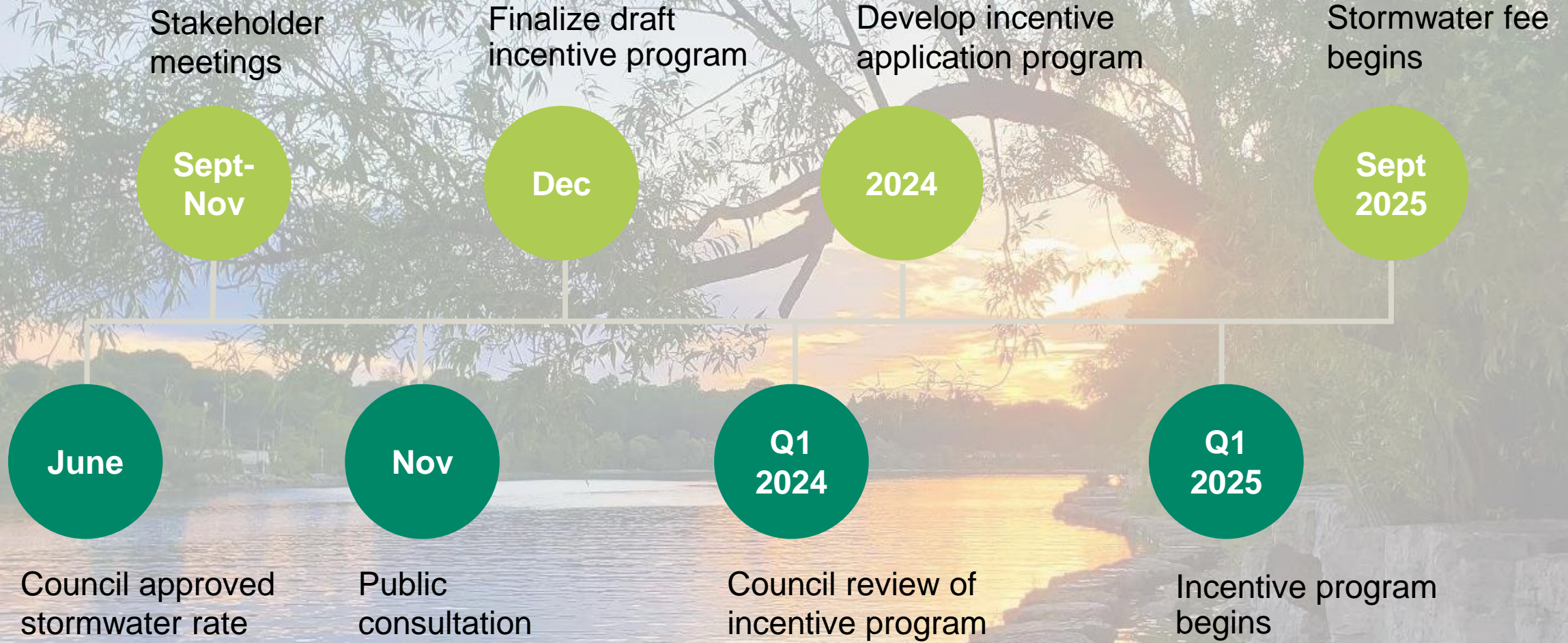
Proposed Credit Application Process

1. Demonstrate that on-site infrastructure is maintained and working
2. Application and appeal processes to be confirmed & developed in 2024
3. Applications to be reviewed by Hamilton staff
4. Applications to open in early 2025

Stormwater Billing

- For those that receive municipal water/wastewater bills – the stormwater fee will be added as a separate line item to the utility bill
- Water / wastewater rates will be restated, where applicable, when the stormwater fee is implemented
- For those that do not receive municipal water/wastewater bills – the property will likely receive a ‘stormwater only’ utility bill
- Where water / wastewater bills are being billed to a condominium and not to individual owners, likely, the stormwater utility bill will follow suit
- Approved credits would be applied on the monthly bills

Timeline



What Have We Heard Thus Far?

- Would like a survey specific to Agricultural Properties
- Should consider good on-site stormwater practices on farms (cisterns, run-off to soils/grass etc.)
- Credit application process should be simple
- Max credits should be >50%
- Need to communicate the new stormwater fee more widely

Complete the Survey:

Visit **engage.hamilton.ca/stormwaterincentives**
by December 3, 2023.

Contact Us

Visit:

- hamilton.ca/stormwaterfunding
- engage.hamilton.ca/stormwaterincentives

Email:

- stormwaterfundingreview@hamilton.ca

Questions?



Appendix I

Promotional Materials



News Releases

PUBLISHED

November 02, 2023

MEDIA CONTACT

mediarelations@hamilton.ca

NEWS CATEGORY

Media Release

SHARE:

HAMILTON, ON – The City of Hamilton is looking for public input on a stormwater incentive program that could help property owners reduce their stormwater runoff from their property into the City's stormwater system.

As precipitation levels continue to increase with increasing temperatures globally, and with Hamilton's water and sewer infrastructure being one of the oldest systems in Canada at more than 100 years old, the City needs to divert as much stormwater as possible to manage the pressure on the system, and it's looking at ways to incent property owners to help with that.

In follow-up to City Council's approval of a new funding model for stormwater infrastructure, which will better support the funding needs of maintaining the system, the City's asking residents to give their input on what an incentive program to reduce stormwater system impacts could entail.

The program would apply to owners who implement stormwater management measures on their properties that positively impact the environment, help protect private property, and reduce impact on the stormwater system by reducing and/or improving the quality of stormwater runoff from their property.

Measures could include installation of a rain barrel, disconnection of downspouts, installation of a backwater valve or other strategies to help to reduce the risk of basement flooding. They could also be planting rain gardens, bioswales, pollinator gardens or installing permeable surfaces.

Incentives could include credits to help lower the stormwater fee for industrial, commercial, institutional, and large, multi-residential property owners who implement onsite measures to reduce and/or improve the quality of stormwater runoff from their property.

The new funding model for stormwater infrastructure takes effect September 2025.

Public input on what could be included in an incentive program can be provided through an online survey, virtual meetings or in-person open houses:

Online survey: engage.hamilton.ca/StormwaterIncentives

Virtual meetings (pre-registration required)

- November 7, 2:30 to 4 pm - industrial, commercial, institutional and multi-residential property owners
- November 7, 7 to 8:30 pm - residents and residential property owners

In-person open houses

- November 15, 6:30 to 8:30 pm - Hamilton City Hall, Council Chambers, 71 Main St W, Hamilton
- November 16, 6 to 8 pm - Ancaster Fairgrounds, 630 Trinity Rd. S. Ancaster

For more information, visit www.hamilton.ca/stormwaterfunding.

BACKGROUND

In June 2023, Hamilton City Council approved a new funding model for stormwater infrastructure. Starting September 2025, a stormwater fee will replace the current funding model where most stormwater funding comes from the City's water and wastewater utility revenues. Properties will be charged based on the load (or use) they place on the stormwater system. Residential properties will pay based on the type of dwelling (e.g., single family detached dwellings, duplexes/townhomes, and multiplexes). Non-residential and large, multi-residential properties will pay based on their measured imperviousness (the amount of hard surface on their property).

When this new funding model is implemented, water and wastewater rates will be reduced as they will no longer be used to fund stormwater management activities, and the stormwater fee will be broken out as a

separate line item on utility bills. This investment in infrastructure, will be increasingly required as precipitation levels increase as global temperatures increase. Currently, much of Hamilton's water and sewer infrastructure is some of the oldest in Canada at more than 100 years and will increasingly need upgrading.

QUICK FACTS

- Stormwater is water that comes from rain and melted snow that flows over land and into storm drains, ditches, creeks and lakes. In natural landscapes, stormwater is soaked up like a sponge, which then nourishes plants and slowly replenishes creeks, lakes, wetlands and aquifers.
- Like other municipalities who have implemented similar stormwater fees (Mississauga, Kitchener, and Guelph to name a few), an incentive program is being considered.
- Subsidized programs to support better on-site stormwater management for residents are also under consideration.

“How can the City make it easier for Hamiltonians to reduce the storm runoff on their properties? We’re looking for practical ideas that would incentivize residents to help us reduce costs and address the impacts of a changing climate. Please share your ideas!”

Mayor Andrea Horwath

Additional Resources

www.hamilton.ca/stormwater

www.hamilton.ca/stormwaterfunding

Stormwater Funding Review (FCS22043(a)) (City Wide) - November 30, 2022

Stormwater Funding Review (FCS22043(b)) (City Wide) - June 28, 2023



City of Hamilton

November 24, 2023 · 🌐

Have your say! Complete a survey to provide feedback on the financial incentives program for stormwater fees being considered in #HamOnt. Your input will help us develop the next steps in implementing an equitable stormwater funding model. engage.hamilton.ca/stormwaterincentives #EngageHamilton

WE WANT TO HEAR FROM YOU!



STORMWATER INCENTIVE PROGRAM



engage.hamilton.ca



4

1 share

Like

Comment



City Of Hamilton

47,586 followers

4mo



Hamilton is investigating ways to implement an equitable stormwater funding model, and this starts with hearing from you. Provide input and feedback on the financial incentives program being considered and have your say in stormwater fees at: <https://lnkd.in/dcsXsi5Z>

WE WANT TO HEAR FROM YOU!



**STORMWATER
INCENTIVE PROGRAM**



engage.hamilton.ca



6



Like



Comment



Share

Understanding Low Level Water Conditions



Your community draws its water from a groundwater source. In addition to the City of Hamilton Water Works By-law R84-026, the Provincial Low Water Response Plan sets requirements for low water level conditions that range from Level 1 to Level 3. The higher the level, the more severe the water supply shortage and subsequent restrictions. Low water level conditions are promoted through local media sources, direct mail, and online at:

www.hamilton.ca/lowlevelconditions



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More Information

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Outdoor Water Conservation Tips

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Watershed Action Plan

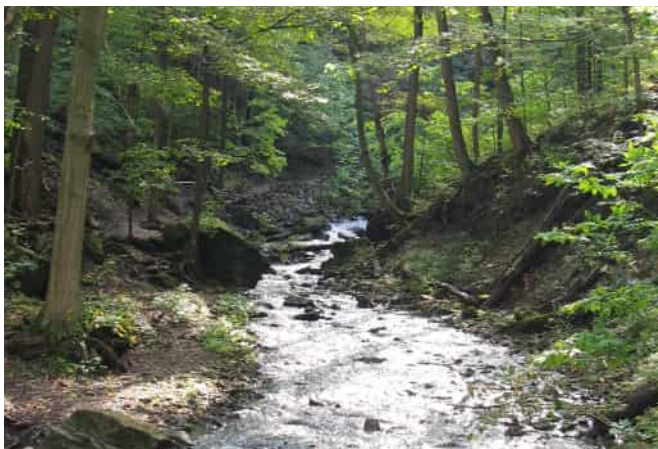
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For many years investments have been made into reducing point-source contamination in Hamilton Harbour. The Watershed Action Plan will help to identify and guide the work to address non-point-source contamination and will focus on activities that are within the care and control of the City of Hamilton.

www.hamilton.ca/watershedactionplan



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Your Water Supply Update

Hamilton Water initiated a Municipal Class Environmental Assessment to consider infrastructure options to ensure that Carlisle will have long-term sustainable water servicing to meet the current and future needs of the community. The first Public Information Centre (PIC) was held on June 14th, 2023 where an overview of the Study was presented, including the problem and opportunities to be addressed, existing conditions within the study area, and a preliminary long-list of site options currently under consideration. A redundant well (FDC03RR) has been installed at the location of the existing municipal well FDC03R to act as a backup should one of the existing municipal wells have to be taken offline for any reason.

The next steps of the project will involve short-listing the site options and completing environmental inventory studies. We will hold a second PIC with the Carlisle residents in late 2023.

New Stormwater Funding Model

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Council recently approved the implementation of a new, equitable stormwater funding model starting in 2025, where properties will be charged based on the

Get Involved

As part of this study, we are forming a Community Liaison Committee (CLC) comprising of members from the Carlisle community to provide valuable input at key stages throughout the project. This is an opportunity for Carlisle residents to apply to be members of the CLC. The deadline has been extended until all positions have been completely filled. You can submit your application at:

www.hamilton.ca/CarlisleWaterStorage

Further Details

For more information, including a recording of the presentation at the Public Information Centre (PIC) and Frequently Asked Questions (FAQ), please visit:

www.hamilton.ca/carlislewaterstorage and

www.engage.hamilton.ca/carlislewaterstorage



load (or use) they place on the stormwater system. Water and wastewater rates will no longer be used to fund stormwater management activities. An incentive program is also under consideration for properties that implement measures to reduce their impact on the stormwater system.

We want your help to shape the implementation of the new stormwater fee so that it meets the needs of our community and the infrastructure that supports it today and into the future. Opportunities to learn more about the new stormwater funding model and provide feedback on an incentives program will be available later this year. To keep updated on progress and upcoming engagement opportunities, visit our website at hamilton.ca/stormwaterfunding or email us at StormwaterFundingReview@hamilton.ca

Understanding Low Level Water Conditions

1

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www.hamilton.ca/lowlevelconditions

2

3

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FREELTON WATER UPDATE

For residents on the municipal water system



Watershed Action Plan

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What is a watershed action plan? It is a framework to guide decisions and actions to protect, restore and enhance natural resources to support healthy and resilient communities.

For many years investments have been made into reducing point-source contamination in Hamilton Harbour. The Watershed Action Plan will help to identify and guide the work to address non-point-source contamination and will focus on activities that are within the care and control of the City of Hamilton.

www.hamilton.ca/watershedactionplan



Did You Know

- That Council identified the Watershed Action Plan as a top priority
- The City is developing a Biodiversity Action Plan: www.engage.hamilton.ca/biodiversityplan
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Your Water Supply Update

Hamilton Water is currently assessing the stations within the Freelon Drinking Water System as part of the asset management program. The results of the assessment will guide the upgrades to those stations. If required, design and construction would be estimated to start in late 2024.

Sampling and Analysis

Each well is equipped with online chlorine residual and turbidity analyzers that continually monitor the treated water quality. Raw, treated and distributed water is sampled and analyzed weekly. In addition, chlorine residual in the distribution system is analyzed daily.

Last year, more than 1,300 water samples were tested in Freelon to ensure the safety of the municipal water supply.

www.hamilton.ca/waterquality

Municipal Well Assessment

Hamilton Water completes regular assessments of the municipal wells to ensure that they are performing as expected and that the integrity of the wells is aligned with or above the requirements stated in Ontario Reg. 903.Wells. The Freelon community relies on two municipal wells. One of them underwent detailed testing in late 2022 followed by some repairs in 2023.

Halton-Hamilton Source Protection Region in collaboration with Hamilton Water revised the significant drinking water threats (SDWT) for Freelon based on updated municipal wellhead protection areas.

The technical information has been approved by the Ministry of Environment, Conservation and Parks. The City is conducting work to manage those newly identified SDWT.

www.hamilton.ca/sourcewater

New Stormwater Funding Model

The City of Hamilton's stormwater management program helps protect the public, private property, infrastructure and the environment from flooding, erosion and water quality issues by properly managing rain and melted snow that flows over land. The stormwater management system includes maintenance holes, catch basins, ditches, ponds, storm sewers, creeks and outlets to the lake. In rural areas of Hamilton, the stormwater management system consists of ditches, culverts and creeks.

Currently, the City primarily funds stormwater management through water and wastewater utility revenues, with the remainder coming from property taxes. This means that properties primarily pay based on the amount of City drinking water consumed. Properties such as parking lots, with no water or sewer connection, contribute very little funding to stormwater management despite the amount of stormwater which runs off their site and into the stormwater system.

Council recently approved the implementation of a new, equitable stormwater funding model starting in 2025, where properties will be charged based on the



load (or use) they place on the stormwater system. Water and wastewater rates will no longer be used to fund stormwater management activities. An incentive program is also under consideration for properties that implement measures to reduce their impact on the stormwater system.

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2

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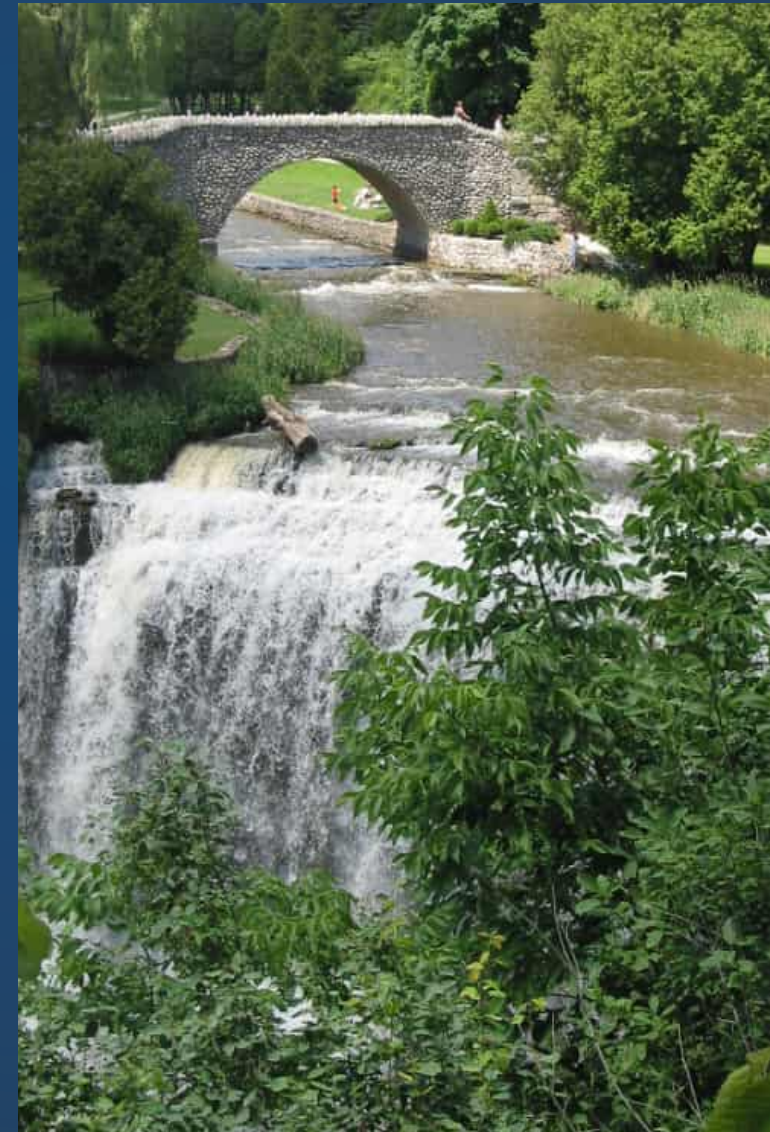
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GREENSVILLE WATER UPDATE

For residents on the municipal water system



Watershed Action Plan

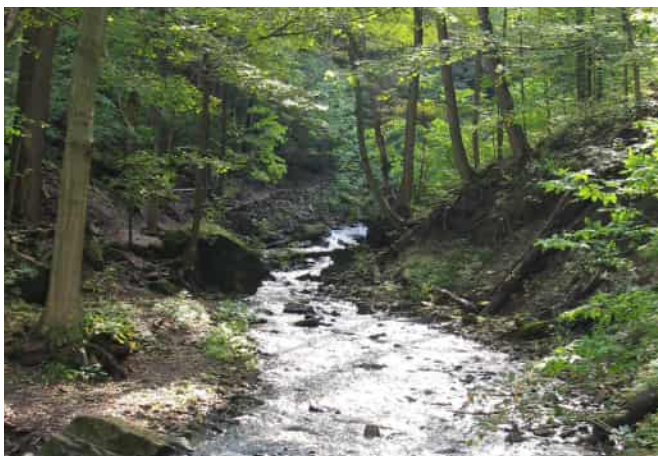
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www.hamilton.ca/watershedactionplan



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Your Water Supply Update

The Municipal Class Environmental Assessment (EA) for the Greenville Municipal Well System resumed as the City retained Stantec to develop the EA Study and evaluate servicing alternatives for the Greenville Drinking Water System. The information will be presented to the public in Fall 2023.

Municipal Well Assessment

Hamilton Water completes regular assessments of the municipal wells to ensure that they are performing as expected and that the integrity of the wells is aligned with or above the requirements stated in Ontario Reg. 903. Wells. The Municipal Class Environmental Assessment for the Greenville Drinking Water System relies on a new municipal well located at Johnson Tews Park. The well was inspected and tested in 2022.



Sampling and Analysis

The well is equipped with online chlorine residual and turbidity analyzers that continually monitor the treated water quality. Raw, treated and distributed water is sampled and analyzed weekly. In addition, chlorine residual in the distribution system is analyzed daily.

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LYNDEN WATER UPDATE

For residents on the municipal water system



Photo: Chris Maillet, Bennett Mechanical Installtions (2001) LTD

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Your Water Supply Update

It has been 2 years since the new Lynden water facility was commissioned and the new treatment system is performing well.



Municipal Well Assessment

Hamilton Water completes regular assessments of the municipal wells to ensure that they are performing as expected and that the integrity of the wells meets the requirements stated in Ontario Reg. 903. Wells.

The Lynden community relies on two municipal wells. The oldest well, drilled in the 80s, underwent testing that revealed well integrity issues. It was determined that the best course of action is for a replacement well to be drilled near the existing well and connected to the new treatment facility. The consultant has been retained and drilling activities are anticipated to commence in fall 2023, followed by testing and construction in late 2023-2024.

New Stormwater Funding Model

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Your City. Your Water.

FALL 2023

Welcome to the tenth edition of the Hamilton Water Newsletter.

In this newsletter you will find information on: New Stormwater Funding Model · Leak Adjustment Program · Watershed Action Plan · Wastewater Treatment Plant Upgrades · Frozen Pipes · Lead Pipe Awareness · Vacant Properties · Property Owner Contact Information

NEW Stormwater Funding Model

A new stormwater funding model has been approved by Council and will be implemented in 2025.

Stormwater is water that comes from rain and melted snow that flows over land and into storm drains, ditches, creeks and lakes. Impervious (or hard) surfaces such as asphalt, concrete, rooftops and compacted soils prevent stormwater from naturally soaking into the ground.

The City of Hamilton's stormwater management program helps protect private and public property, infrastructure and the environment from flooding, erosion and water quality issues by properly managing the rain and melted snow that flows over land. The stormwater management system includes maintenance holes, catch basins, ditches, ponds, storm sewers, creeks and outlets to the lake. In rural areas of Hamilton, the stormwater management system consists of ditches, culverts and creeks.

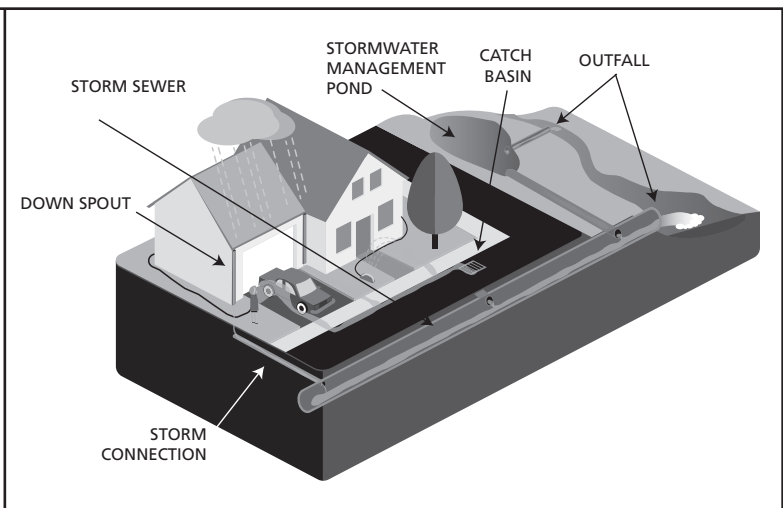
Currently, the City primarily funds stormwater management through water and wastewater utility revenues, with the remainder coming from property taxes. This means that properties pay primarily based on the amount of City drinking water consumed. Properties that use a lot of water (such as the food services industry and laundromats) currently pay a larger amount for the stormwater system. While properties with large areas of hard surfaces such as parking lots, or without water or sewer connection, contribute very little funding to stormwater management despite the amount of stormwater which runs off their site and into the stormwater system.

Council approved the implementation of a stormwater fee starting in 2025 to replace the current inequitable stormwater funding model. Properties will be charged based on the load (or use) they place on the stormwater system. Residential properties will pay based on the type of dwelling (e.g., single family detached dwellings, duplexes/town homes, and multiplexes). Non-residential and high-rise residential properties will pay based on their measured imperviousness. Properties that are connected to the City's water and/or sewer systems will no longer be charged for stormwater services through their water/ wastewater utility fee. Instead, these properties will see a separate stormwater fee on their utility bill. An incentive program is also under consideration for properties that implement measures to reduce their impact on the stormwater system.

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A stormwater fee provides greater transparency, is more equitable, and is a more sustainable funding model than the current billing structure. Other municipalities across Ontario that have successfully implemented a stormwater fee include Kitchener, Waterloo, Ottawa, Guelph, Brampton and Mississauga.

We want your help to shape the implementation of the new stormwater fee so that it meets the needs of our community and the infrastructure that supports it today and into the future. Visit our website at hamilton.ca/stormwaterfunding or email us at StormwaterFundingReview@hamilton.ca to learn more about the new stormwater fee, and opportunities to provide feedback on an incentives program.



Leak Adjustment Program

The City of Hamilton has a residential Leak Protection Program that is administered by ServLine. This program provides protection from a high water bill caused by a qualifying internal leak. There is protection up to \$2,500/leak and is available for one occurrence per 24-month period. If you have any questions or need to file a claim, please contact ServLine at 1-888-977-7471 or visit:

hamilton.ca/leaks



The City of Hamilton is taking steps toward developing a comprehensive Watershed Action Plan and restating its commitment to the water quality objectives outlined in the Hamilton Harbour Remedial Action Plan.

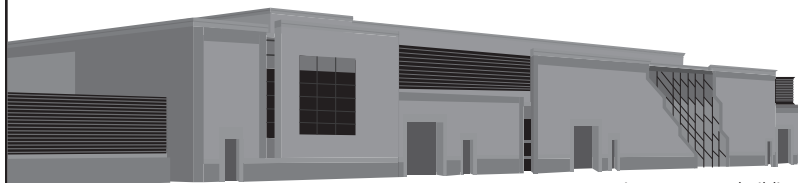
The Watershed Action Plan will help to identify and guide the work to address non-point-source contamination (eg. pollution from urban runoff, fertilizers, pesticides, or other contaminants) and will focus on activities that are within the care and control of the City of Hamilton. Actions under the new Plan will benefit recreation and natural habitats in each watershed and continue the process to delist Hamilton Harbour as an identified Area of Concern. It is estimated that it will take two years to develop the full Watershed Action Plan in Hamilton, which will include stakeholder engagement and consultation. The final Plan will include a capital implementation strategy that will outline a 5 to 10-year capital budget plan and financing strategy. **Learn more: hamilton.ca/watershedactionplan**

Wastewater Treatment Plant Upgrades

The Woodward Avenue Wastewater Treatment Plant upgrades are a significant investment within the City of Hamilton’s Clean Harbour Program. This extensive upgrade project occurred over several years and involved various sub-projects, each with its own set of specifications and timelines. Notably, the Main Pumping Station and Electrical Power Centre upgrades have been successfully completed and are presently within their 2-year warranty period.

The final phase of this ambitious \$340 million multi-phase plan is focused on completing the Tertiary Treatment Facility. In October 2022, a crucial milestone was achieved as the secondary effluent started to flow through the Tertiary Treatment Facility, simultaneously initiating the commissioning period. This achievement signifies a momentous step towards transforming the Woodward Avenue Wastewater Treatment Plant from a secondary to a tertiary-level treatment facility. Meeting this goal reflects the City’s commitment to fulfilling the Hamilton Harbour Remedial Action Plan Targets. The final phase of the upgrade project is scheduled to be completed in Q4 of 2023.

Learn more: hamilton.ca/cleanharbour



Tertiary Treatment building

Vacant Properties

If your property will be vacant, please call 905-546-2489 within 24 hours of leaving to arrange for the City to turn your water off at the street. There is a turn off and turn on fee associated with this service but you will be protected from unauthorized water use of outdoor taps and water leaks that are not identified/addressed due to lack of occupants.

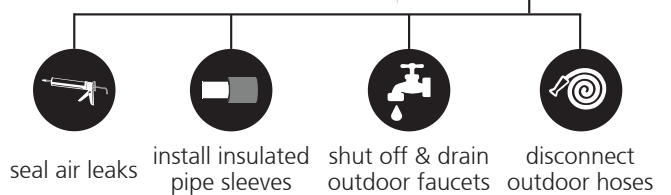
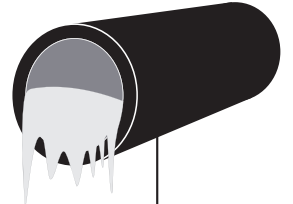
Property Owner Contact Information

Keeping you informed of changes or disruptions to your water service is important to Hamilton Water. In times of emergency, having the most up-to-date contact information is vital. Alectra Utilities handles all billing for Hamilton Water. To ensure we have your most up-to-date contact information, please call Alectra Utilities at 1-833-253-2872 to make sure your information is current.

Please Note: Neither Alectra Utilities nor the City of Hamilton sells any of your information to third-party companies.

Frozen Pipes

Frozen pipes can leave you without water and with costly repairs. Take precautions to help prevent your pipes from freezing this winter.

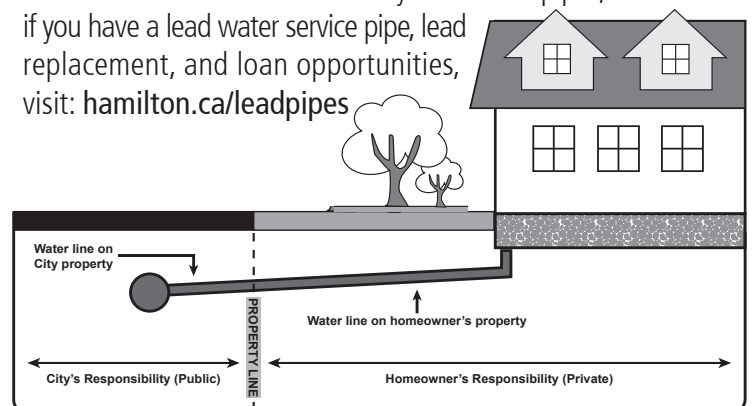


For more tips on how to prepare visit: hamilton.ca/frozenpipes

Lead Pipe Awareness

If your home was built before 1955, you may have a lead water service pipe type. Changes to the Plumbing Code banned the use of lead pipes because of the harmful health effects it could cause, and copper for water service pipes became the new standard. Lead is a known toxic metal and exposure to even small amounts can be harmful to human health, especially for babies, young children, and pregnant people. Although the City has implemented a Corrosion Control Program to prevent lead from entering our tap water, eliminating the source of lead is the best way to protect you and your family.

For information on how to identify lead water pipes, what to do if you have a lead water service pipe, lead replacement, and loan opportunities, visit: hamilton.ca/leadpipes





Appendix J

Communication Update





COMMUNICATION UPDATE

TO:	Mayor and Members City Council
DATE:	January 16, 2024
SUBJECT:	Hamilton Stormwater Financial Incentive Program Update (City Wide)
WARD(S) AFFECTED:	City Wide
SUBMITTED BY:	Brian McMullen Director, Financial Planning, Administration and Policy Corporate Services Department
SIGNATURE:	

This Communication Update provides information regarding the Engagement for the proposed stormwater financial incentive program. It includes some historical background information on the stormwater funding review and the feedback received for the proposed incentives program.

Stormwater Incentives Program Engagement

As previously advised, the City of Hamilton is changing its stormwater funding model and asked property owners and residents for feedback on a new stormwater incentive program. Feedback on the proposed financial incentive program will be considered as part of a change in how stormwater management is funded at the City.

Engagement to help shape plans for the proposed Stormwater Incentive Program took place from October 31, 2023, to January 8, 2024. A [Stormwater Incentive Program | Engage Hamilton](#) webpage was set up. This site received 3.26 K visits between October 31, 2023, and January 8, 2024.

Individuals participated by taking a survey, joining a virtual meeting or attending an in-person open house. Individuals were able to submit questions to the project team through this site or by emailing StormwaterFundingReview@hamilton.ca. This inbox will remain active through implementation and go-live. Additionally, an educational video around the Stormwater Management Program was created by the City's consultant, AECOM, and posted on several City sites.

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Three distinct surveys were available through [Stormwater Incentive Program | Engage Hamilton](#): one for residents and residential property owners; one for industrial, commercial, institutional (ICI) and large multi-residential property owners and operators; and one specific to agricultural / farm properties. Individuals were also able to fill out a hard copy survey and submit it to the project team. The survey yielded responses from 471 residential, 36 ICI and multi-residential properties with greater than six units and 276 agricultural property owners. The Stormwater Funding Review inbox has also fielded over 100 questions and comments from residents, the majority of these being agricultural or rural property owners.

Public Information sessions included:

- Two virtual meetings were held as follows via Zoom focusing on two distinct sectors.
 - November 7, 2023 – 2:30 to 4:00 p.m.
 - November 7, 2023 – 7:00 to 8:30 p.m.
- Two in-person open house events were held with the project team. The project team provided information boards available for questions and feedback on the proposed incentive program. A presentation was also provided followed by a question-and-answer period.
 - November 15, 2023 – 6:30 to 8:30 p.m. – Hamilton City Hall, Council Chambers, 71 Main Street West, Hamilton
 - November 16, 2023 – 6:00 to 8:00 p.m. – Ancaster Fairgrounds, 630 Trinity Road South, Ancaster
- November 30, 2023, Agriculture and Rural Affairs Sub-Committee meeting, Stormwater Financial Incentives program presentation.

The project team has begun to analyze the results of the three distinct surveys, as well as feedback received via email and at the virtual and in-person open houses. The in-person open house at the Ancaster Fairgrounds was well attended by individuals representing the agricultural sector and the participants of the surveys can be broken down into essentially three constituency groups: residential (from across Hamilton), agricultural and industrial, commercial, institutional and large multi-residential.

On December 13, 2023, Council approved the following direction with respect to the Stormwater Financial Incentive Program:

- (a) That staff, in the report back regarding the implementation of a Stormwater Incentives Program, include specific recommendations regarding a stormwater rate structure and incentives program that recognizes rural agricultural properties as different from Industrial, Commercial, Institutional and Multi-Residential properties; and

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- (b) That staff clearly explain the financial impacts of the stormwater rate structure and incentives program for rural agricultural properties, including alignment to the Council approved guiding principles: Fair and equitable, Climate resilient and environmentally sustainable, Affordable and financially sustainable, Justifiable, and Simple.

In response to the preceding motion, as well as, similar themes received in the public feedback, the project team is working on enhancements to the draft Storm Incentive Programs that align with the Review Guiding Principles approved by Council in November 2022. Staff is developing a unique “made in Hamilton” incentive program for ICI, agricultural and multi-residential properties with greater than six units that will include a multi-stream credit program unlike other municipalities.

The preliminary credit program that is being considered will consist of three streams for ICI, agricultural and multi-residential properties with greater than six units:

- **Green Space Credit** – would take into consideration the pervious to impervious ratio of a property. Preliminary analysis of the Green Space credit could reduce Base Storm charges by up to 97% based on the ratio of hard surface to the total softscape of the property. Properties that will likely benefit from this credit include farms, parks, schools, golf courses, cemeteries and other large properties with large amounts of permeable surfaces.
- **Hamilton Harbour Discharge Credit** – up to a 90% credit (reduction on their stormwater fee) if the property owner can demonstrate that the properties’ stormwater fully discharges to Lake Ontario which is Provincial jurisdiction.
- **Stormwater Management Infrastructure Credit** – Property owners will be able to apply for a credit (i.e., reduction on their stormwater fee) if they reduce the quantity or improve the quality of stormwater that runs off their property. The various criteria and associated credit are summarized in Table 1 of this Communication Update. To apply for the credit, property owners will need to show that they have and maintain measures on their property to meet the proposed credit criteria.

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Table 1

Stormwater Objective	Maximum Credit Amount (Total Max. 50%)	Description	Example Measures
Slow it down (peak flow reduction)	40%	Percent reduction of the 100-year storm post-development flow to pre-development conditions of the site.	Detention ponds, cisterns
Clean it up (water quality)	25%	Remove ammonia, sediment, and phosphorous. Remove 60% to 70% sediment (based on receiving waters).	Oil-grit separators, treatment facilities
Soak it up (volumen reduction)	40%	Percent capture of first 28 mm of rainfall during a single rainfall event.	Infiltration facilities/rain gardens, re-use facilities, pervious pavers
Prevent it first (pollution prevention)	15%	Develop and implement a pollution prevention plan.	Salt management plan, pesticide/manure management, sweeping, spill response plan, public education etc.

Note: property owners will not be eligible for more than one stream of the program.

The Residential Stormwater Incentive Program as outlined below, drafted in summer 2023 remains unchanged and consistent with the engagement feedback received by residents. Staff is having further discussion with local non-profit Green Venture regarding a formal partnership to enhance their existing Naturehood's program. The program would provide on-site guidance to implement stormwater measures that would be subsidized by the City. This approach would be similar to residential subsidized incentive programs offered in Guelph, Kitchener and Waterloo.

Draft Residential Stormwater Incentive Program

Single-family residential and multi-residential properties with six or fewer units will be able to access subsidized programs that provide:

- A grant (subsidy) for the disconnection of downspouts, installation of a backwater valve, and other eligible works that help to reduce the risk of basement flooding;
- In-person advisory services on how properties can reduce their stormwater water runoff;
- How-to information/publications on how properties can reduce their stormwater runoff; and
- A grant (subsidy) for the installation of rain barrels, rain gardens, bioswales, pollinator gardens, or permeable surfaces and other measures that reduce the quantity and improve the quality of stormwater runoff from residential properties.

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Next Steps

Staff will be bringing forward a recommendation report to the General Issues Committee expected in Q2 of 2024. This will include a fulsome summary of the engagement process and feedback received, a detailed outline of the enhanced Stormwater Financial Incentive Programs, provide stormwater fee profiles of various property types and will identify staff requirements to administer the Incentive Programs and ongoing Stormwater Fee program.

Following approval of the Incentive Program, the planned communication strategy will focus on the implementation of the new stormwater fee, including:

- Updates to the Engage Hamilton webpage (survey / consultation summary, next steps, etc.)
- Updates to other City websites regarding implementation (who will be billed – when and how, approved credit program, credit application process, residential incentive program)
- Development of an online “calculator” showing what a property would be charged
- Bill inserts with information about the upcoming stormwater fee
- On-going monitoring of the stormwater funding review email

City of Hamilton Stormwater Funding Background

On July 12, 2019, Council passed a motion that directed staff to review a Stormwater Rate Program for the City of Hamilton and report back to the General Issues Committee (GIC) with a framework and options for implementation. Report PW19109 was presented to GIC on December 4, 2019, and outlined other municipal stormwater rate programs, as well as a preliminary fee structure developed from the guiding principles identified within the Report.

On June 22, 2022, Corporate Services staff provided a report to the Public Works Committee that recommended engaging a consultant to undertake a holistic Stormwater Funding Review (Review). Report FCS22043 outlined three phases for the project including Discovery, Detailed Analysis and Implementation. The estimated timeline to report back with the results of the Review, conduct public consultation and provide a recommended stormwater funding model was June 2024. In addition to approving the engagement of a consultant and related funding, staff was directed to report back to the General Issues Committee to provide Guiding Principles for consideration that would direct the evaluation of alternative stormwater rate funding structures as part of the Review.

On November 30, 2022, the General Issues Committee approved Guiding Principles for the Review as follows:

- Fair and equitable
- Climate resilient and environmentally sustainable
- Affordable and financially sustainable
- Justifiable
- Simple to understand and manage

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On January 25, 2023, Council approved the following direction with respect to the Review:

- (a) That staff be directed to report back to the General Issues Committee (GIC) in the second quarter of 2023 on the steps and resources required to implement a dedicated user fee for stormwater services, with an implementation date no later than January 2025; and
- (b) That, in addition to the guiding principles that may be adopted by Council through Report FCS22043(a), staff be directed to include all aspects of the City's stormwater services to be funded from the revenues associated with this dedicated user fee.

The January 2023 Council motion essentially fast tracked the Review timeline a full year from an original reporting timeline of June 2024 to June 2023. An unintended impact of the accelerated timeline was that there was not sufficient time to incorporate a comprehensive public engagement plan regarding the Review results and / or the recommended future funding model (often referred to as the Rate Structure). Staff and the consultant (AECOM) did provide three education sessions with Councillors and the Mayor in early February 2023.

On June 28, 2023, Council approved a Stormwater Rate Structure that will become effective September 1, 2025. Staff has been directed to develop and report back regarding the implementation of a Stormwater Incentives Program once a public engagement has been undertaken. Staff expect to report back on the incentives program in Q2 2024.

On December 13, 2023, Council approved the following direction with respect to the Stormwater Financial Incentive Program:

- (a) That staff, in the report back regarding the implementation of a Stormwater Incentives Program, include specific recommendations regarding a stormwater rate structure and incentives program that recognizes rural agricultural properties as different from Industrial, Commercial, Institutional and Multi-Residential properties; and,
- (b) That staff clearly explain the financial impacts of the stormwater rate structure and incentives program for rural agricultural properties, including alignment to the Council approved guiding principles: Fair and equitable, Climate resilient and environmentally sustainable, Affordable and financially sustainable, Justifiable, and Simple.

APPENDICES AND SCHEDULES ATTACHED

N/A

JS/dt

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