



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>A-24:90</b>	<b>SUBJECT PROPERTY:</b>	122 East 16th Street, Hamilton
<b>ZONE:</b>	“R1” (Low Density Residential Zone)	<b>ZONING BY-LAW:</b>	Zoning By-law City of Hamilton 05-200, as Amended

**APPLICANTS:** Owners: Kevin and Sharon Danglad

The following variances are requested:

1. A minimum setback from a flankage lot line of 2.2 metres shall be permitted instead of the required minimum 3.0 metre setback from a flankage lot line.

**PURPOSE & EFFECT:** To facilitate the construction of a two (2) storey addition to an existing single detached dwelling.

**Notes:**

1. Please be advised insufficient information was provided to determine zoning conformity for landscaped area. Additional variances will be required if compliance with Section 15.1.2.4 cannot be achieved.
2. Please be advised insufficient information was provided to determine zoning conformity for Sections 4.6 and 4.35. Additional variances will be required if compliance with these sections cannot be achieved.
3. Please be advised insufficient information was provided regarding parking. Please note these lands are subject to amending By-law 24-052, which is not yet final and binding.
4. Please note ‘generational living’ was stated within this application. If an Additional Dwelling Unit is proposed it shall be in accordance with Section 4.33.1 of the Hamilton Zoning By-law 05-200.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

## A-24:90

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Tuesday, June 11, 2024</b>
<b>TIME:</b>	<b>2:55 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeefadjustment">www.hamilton.ca/committeefadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeefadjustment](http://www.hamilton.ca/committeefadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

### **PUBLIC INPUT**

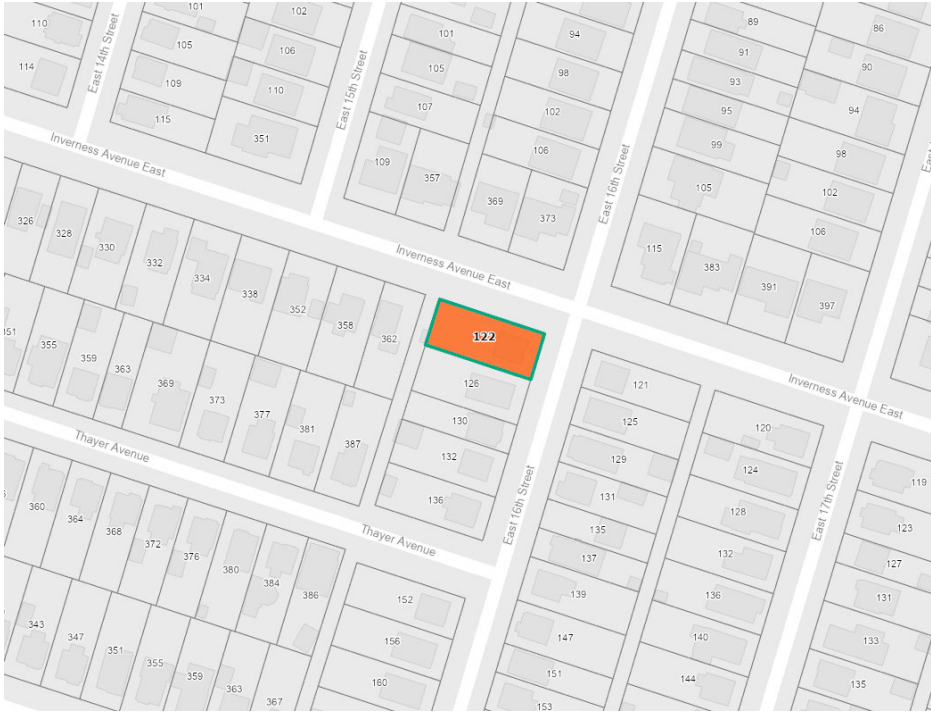
**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon June 7, 2024

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon June 10, 2024

### **FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:90, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: May 23, 2024

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

##### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

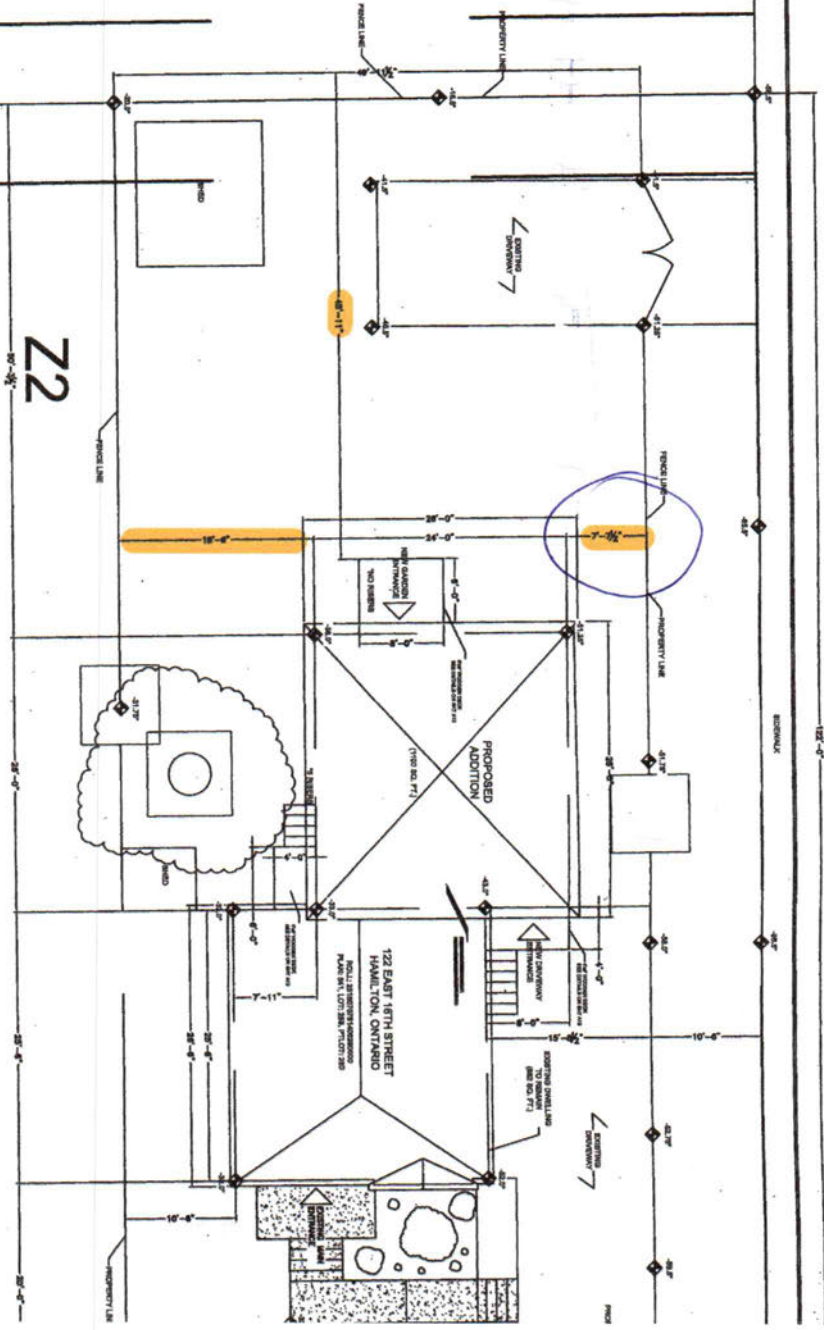
We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-977-1654.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



# SINGLE FAMILY DWELLING ONLY

INVERNESS AVENUE



THESE LINES REPRESENT AN ALLEY WHICH WAS BETWEEN THE EAST AND WEST PORTIONS OF THE PROPERTY. THE EAST PORTION OF THE PROPERTY WAS ALIENATED BY DEED IN 1911 FROM THE WEST PORTION OF THE PROPERTY. THE WEST PORTION OF THE PROPERTY WAS ALIENATED BY DEED IN 1911 FROM THE WEST PORTION OF THE PROPERTY.

CITY OF H

Building

Permit No. 22-1

THESE STAMPED DRAWINGS &

THE OWNER/ANOR CONTRA THE ONTARIO BUILDING CODE AM

These drawings and/or symbols

FOR CHIEF BUILDING OFFIC

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
 UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME
Registered Owners(s)	KEVIN DANGLAD SHARON DANGLAD
Applicant(s)	KEVIN DANGLAD SHARON DANGLAD
Agent or Solicitor	
E-mail:	

1.2 All correspondence should be sent to  Purchaser  Applicant  Owner  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Applicant  Owner  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:

Municipal Address	122 EAST 16TH ST.		
Assessment Roll Number	070814062800000		
Former Municipality	HAMILTON		
Lot		Concession	
Registered Plan Number	PLAN 541	Lot(s) 259	260
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

### 3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

VARIANCE FROM NORTH LOT LINE REDUCE FROM 3.0M TO 2.2M

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

BY-LAW CHANGED PRIOR TO COMPLETION OF PERMIT / CONSTRUCTION.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
47.50	113.00	5367.5	

(14.5 M)

(34.4 M)

(498.7 M)

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SINGLE FAMILY DETACHED	6. M	24.0 M	SOUTH 3.2 M NORTH 4.8 M	1947

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SINGLE FAMILY DETACHED	6. M	16.2 M	SOUTH 3.2 M NORTH 2.2 M	2022 (ADDITION)

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
SINGLE FAMILY DETACHED	78.4 M	156.8 M	1 PLUS BASMENT	4.8 M

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
SINGLE FAMILY DETACHED	136.3	330.7 M	2 STOREYS	8.4 M

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
  - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
  - swales

- ditches
- other means (specify)



4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

SINGLE DETACHED FAMILY DWELLING.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

SINGLE DETACHED FAMILY DWELLING.

**7 HISTORY OF THE SUBJECT LAND**

7.1 Date of acquisition of subject lands:

MAY (14-15) 1998

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE DETACHED FAMILY DWELLING.

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE DETACHED FAMILY DWELLING.

7.4 Length of time the existing uses of the subject property have continued:

1947

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): NEIGHBOURHOODS

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) SD.

Please provide an explanation of how the application conforms with the Official Plan.

YES IN ADDITION TO EXISTING HOUSE.

7.6 What is the existing zoning of the subject land? R1 05-200 SEC 15.1.2.1

7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: \_\_\_\_\_

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: \_\_\_\_\_

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes

No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

WE WERE MADE AWARE OF THE CHANGE OF THE ZONING WHEN WE THOUGHT WAS THE COMPLETION OF THE PERMIT (JUNE 2023) BYLAW CHANGE (NOVEMBER 2022).

EXISTING HOME HAS 3 BED, 1 FULL BATH, 1 HALF BATH, 1 KITCHEN. PROPOSED IS FOR 6 BED 3 FULL BATH, 2 HALF BATH, 1 KITCHEN. THE 'ADDITION' IS JUST THAT, ADDITION OF ADDITIONAL LIVING SPACE FOR OUR GROWING FAMILY. PLUS 2 (MULTIGENERATIONAL). ONE LARGE SHARED HOME.

WHAT WE UNDERSTAND IS THE 'FLANKAGE LOT LINE IS 2.32 M, NEW ZONING IS 3.0 M. (INVERNESS AVE)

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
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